

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: <u>October 8, 2008</u>	Action Requested
UDC MEETING DATE: <u>October 15, 2008</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 6901 Littlemore Drive

ALDERMANIC DISTRICT: Lauren Cnare- District #3

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Metcalfe Company/ Kevin Metcalfe

Knothe & Bruce Architects, LLC

726 N. Midvale Blvd.

7601 University Avenue, Suite 201

Madison, WI 53705

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

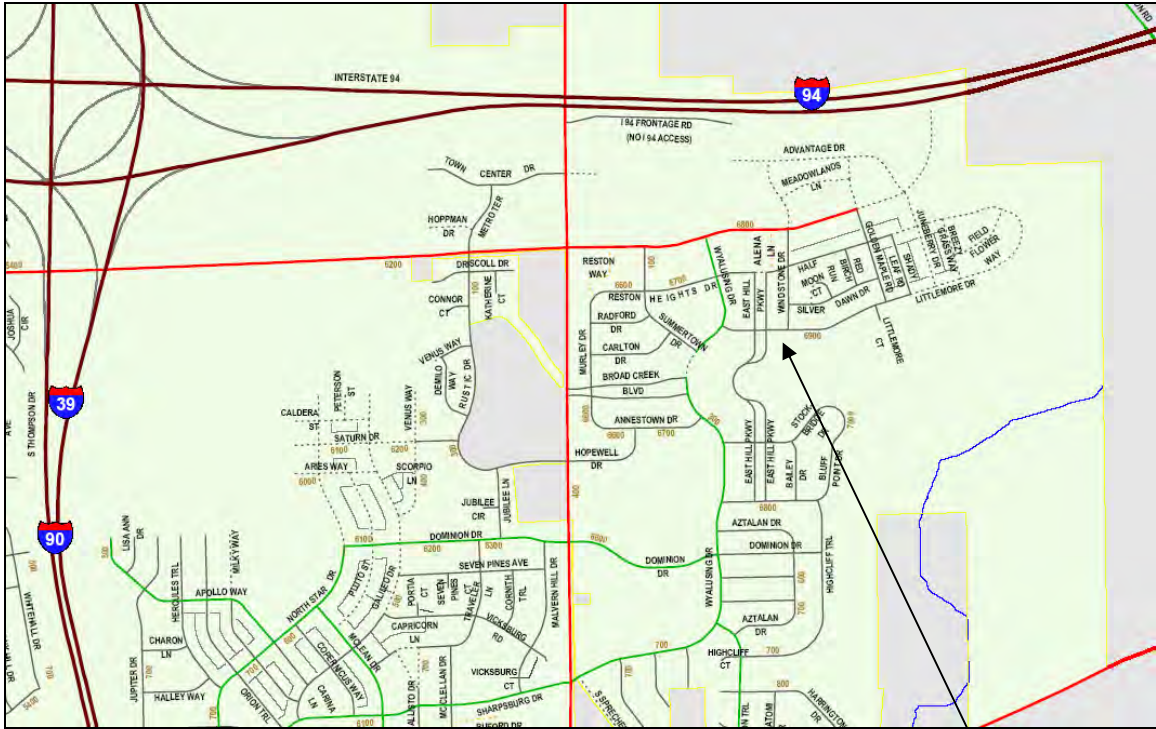
(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



Site Locator Map

6901 Littlemore Drive

October 8, 2008

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701-2985

Re: Revised Letter of Intent
Amended PUD-GDP and PUD-GDP-SIP
6901 Littlemore Drive
Lot 263 Second Addition of Reston Heights
Madison, WI

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff plan commission and common council consideration of approval.

Organizational structure:

Owner: Kevin Metcalfe
John Leja
Madison Investment LLC
726 N. Midvale Blvd.
Madison, WI 53705
608-236-2022
608-663-3981 fax
kevin@metcalfe.net

Engineer: Calkins Engineering
5010 Voges Road.
Madison, WI 53718
(608) 838-0444
(608) 838-0445 fax
dglusick@calkinsengineering.com

Architect: Knothe & Bruce Architects, LLC
7601 Elmwood Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
rbruce@knothebruce.com

Landscape Design: Saiki Design
303 S. Paterson Street, Ste 1
Madison, WI 53703
608-251-3600
608-251-2330 fax
aklostermann@ksd-la.com

Introduction:

The Reston Heights development is located on the east side of Madison within the Sprecher Neighborhood Development Plan. The neighborhood is south east of the intersection of Milwaukee Street and Sprecher Road, and south of I-94. To the north of Lot 263 are one and two-family residences, a neighborhood park and mixed-use neighborhood retail district. West of Lot 263 is a multi-family residence district. South of Lot 263 is a greenway and public trail, multi-family residence district, and a single-family residence district. To the east is a regional City and County park.

The General Development Plan for Reston Heights proposed a mixed-use development concept that integrated retail, residential, religious facilities, and open green space. The purpose of the Reston Heights GDP was to create a living environment within a neighborhood setting that offered a variety of housing types and uses to facilitate a variety of living preferences. The plat and General Development Plan for the site was approved and recorded in October 1999. Much of the Reston Heights GDP has since been constructed, although three multifamily lots along Littlemore Drive and East Hill Parkway (Lots 254, 262 and 263 Second Addition to Reston Heights) remain undeveloped and zoned PUD-GDP.

This submittal requests a rezoning to PUD-SIP for Lot 263. In addition, an alteration to the PUD-GDP for Lots 254, 262, and 263 is requested to allow for a minor adjustment to the permitted densities within those three lots.

General Development Plan Amendment:

The approved General Development Plan (PUD-GDP) limited the total number of multifamily units to 384 units and a net density of 16.7 dwelling units per acre. We are requesting a slight increase in the density on Lot 263 to allow 158 dwelling units rather than the 144 units that would be permitted at a density of 16.7 du/ac. However, the overall densities of the combined multifamily lots will not exceed what was originally approved. The densities of Lots 198 and 254 have been reduced accordingly by a total of 14 dwelling units. An attached exhibit is included with this letter of intent summarizing the alteration in density.

Lot 263 PUD-SIP Site Development Data :

Densities:

Lot Area	375,441 sf or 8.62 acres	
Dwelling Units	158 units	
	<u>Provided</u>	<u>Required per GDP</u>
Lot Area / D.U.	2,376 sf/du	
Density	18.3 du/ac	16.7 du/ac
Usable Open Space	102,189 sf	25,280 sf
Usable Open Space/D.U.	647 sf/du	160 sf/du

Unit Mix:

Efficiency	20
Studio Loft / One Bedroom	14
One Bedroom	56
One Bedroom + Den / Two Bedroom	2
One Bedroom + Loft / Two Bedroom	10
Two Bedroom	44
<u>Two Bedroom + Den / Three Bedroom</u>	<u>12</u>
Total	158

Site Coverage:

Building Coverage	68,059 sf	(18%)
Pavement Coverage	82,848 sf	(22%)
Usable Open Space	102,189 sf	(27%)
Additional Open Space	<u>74,111 sf</u>	<u>(33%)</u>
Total Lot Area	375,441 sf	(100%)

Vehicular Parking Ratio:

Underground Garage	170 stalls
<u>Surface Parking</u>	<u>88 stalls</u>
Total Parking	258 stalls
Parking Ratio	1.63 stalls/du

Bicycle Parking Ratio:

Underground Garage	116 stalls
<u>Surface Parking</u>	<u>42 stalls</u>
Total Parking	158 stalls

Required Bike Parking	
Units 1 – 50	50 stalls
Units 51 – 158	108 stalls

Site and Building Architecture:

This project consists of two 24-unit buildings, one 26-unit buildings, and two 42-unit buildings for a total of 158 units. The buildings are two and a half and three stories with lower level parking. The unit mix offers a variety of choices from efficiency to a two bedroom + den/three bedroom. The clubhouse and pool are centrally located on the lot for the residents.

The development is meant to apply neighborhood design practices that promote human scale and a pedestrian friendly environment for future residents. The proposed structures are located along the public right of way featuring individual private entry porches to facilitate use of outdoor space and generate social activity. Generous open space remains for passive and active recreation within the community, as well.

Additionally, reduced front yard setbacks, design standards, and guidelines created for this district will help provide human scale along the street façade. This will enhance the pedestrian oriented environment, which is an important aspect of the development.

The majority of the parking for the residences is accommodated in the underground parking. The remaining visitor parking is located along the adjacent streets or in small surface parking areas that are screened from the public view. Pedestrian and bicycle usage is encouraged in the development by convenient bicycle parking and multiple sidewalks that connect to the main street and to the public trail located near the south lot line.

High-quality materials will be used on the exteriors including brick and horizontal siding. The intent is to provide an architectural aesthetic that will be compatible with the existing portions of Reston Heights and to provide a residential environment that is focused on the streetscapes. The architectural character will be representative of the Craftsman style.

Project Schedule & Management:

It is anticipated that Lot 263 will be constructed over a 4 to 5 year period beginning with building 3. Construction will start in the fall of 2008, or as soon as all necessary approvals and permits are obtained. Building 3 should be completed by early fall of 2009. The remaining buildings will be constructed as market conditions dictate. It is projected that one or two buildings will be constructed per year.

Social & Economic Impacts:

This development will have a positive social and economic impact. It helps complete a well designed and implemented neighborhood plan and provides alternative housing choices within a mixed-use neighborhood. Construction of the facilities will provide economic employment for local businesses and trades people.

Thank you for your time in reviewing our proposal.

Very truly yours,

J. Randy Bruce, AIA
Managing Member

Zoning Text

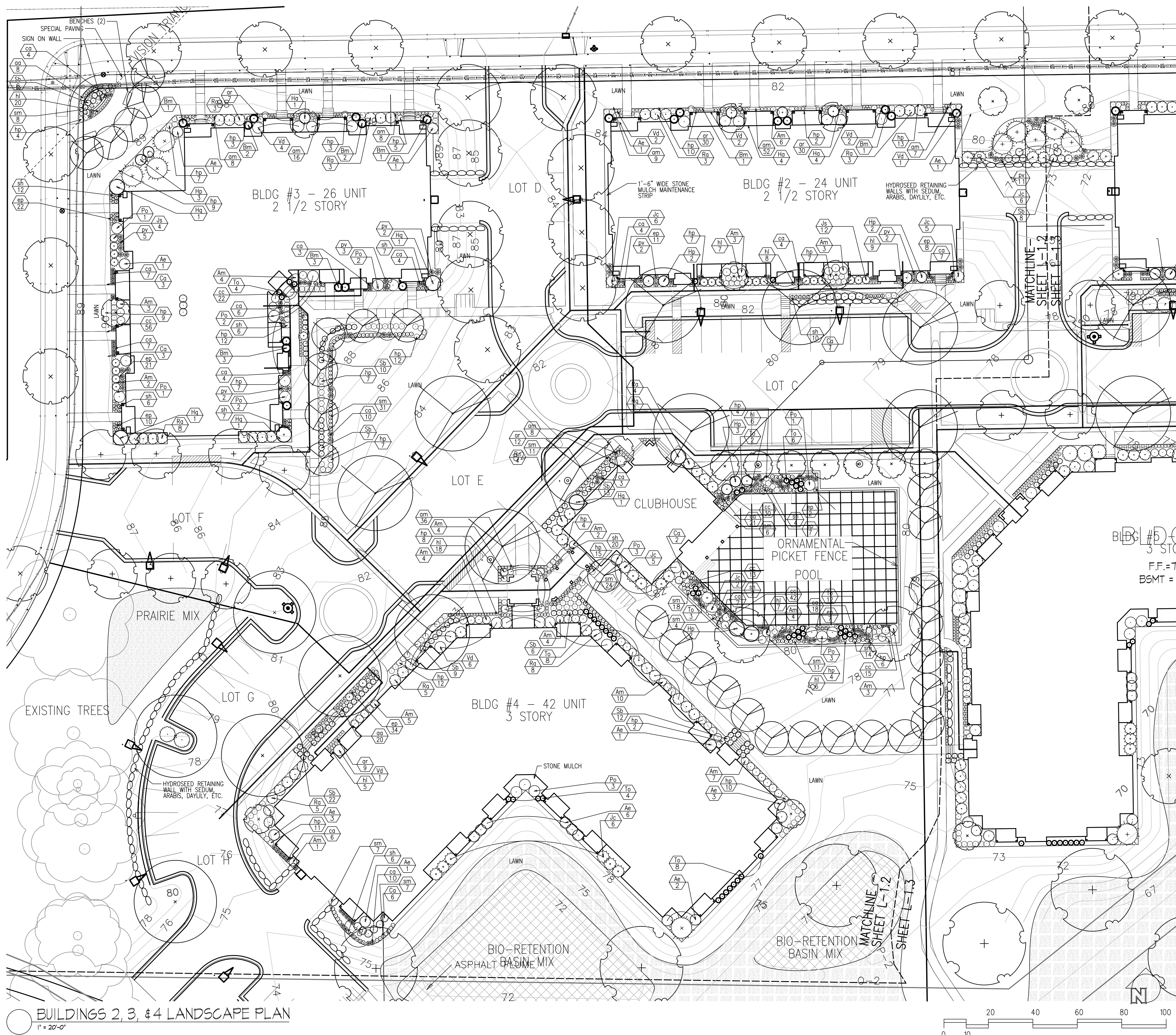
Amended PUD-GDP and PUD-GDP-SIP

Lot 263, Second Addition to Reston Heights

July 16, 2008

Legal Description: All of Outlot 28 and all of Lot 263, Second Addition to Reston Heights, as recorded in Volume 58-066B of Plats, on pages 346-350, as Document Number 4003594, Dane County Registry and located in the Southwest Quarter and the Southeast Quarter of Section 1, Township 7 North, Range 10 East, City of Madison, Dane County, Wisconsin.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a 158-unit multifamily housing community.
- B. **Permitted Uses:** Following are permitted uses within this PUD district:
 - 1. A 158-unit multifamily housing community.
 - 2. Accessory uses including parking for residents and guests, and those accessory uses allowed in the R-4 district.
 - 3. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street and surface parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R- 4 zoning district.
- J. **Signage:** Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the R-4 district or signage will be provided as approved on the S.I.P. plans or as a minor alteration to the approved SIP.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.



NOTES

- TOPSOIL**
1. Topsoil shall be clean salvaged or imported material capable of passing the 1" sieve and meeting the requirements of Section 625.2(1) of the Standard Specifications for Highway Construction. The material shall be free of rocks, gravel, wood, debris, and of noxious weeds and their seeds.
 2. Remove all rocks, debris, and litter from the site and all planting/seeding/sodding areas. Till or disc the subsoil to a depth of 6"-8" to allow aeration. Provide a minimum of 6" topsoil in all lawn areas. Provide a minimum of 12" topsoil in all plant beds.
 3. Topsoil shall be amended with compost: lawn areas 1 1/2", plant beds 3". Apply to the soil surface and till in.
- PLANTS**
1. See Sheet L-1.3 for planting details.
 2. All plant material shall conform to the American Standards of Nursery Stock.
 3. Contact Landscape Architect, in writing, to request any plant material substitutions.
 4. Trees and shrubs shall have superior form, compactness, and symmetry. Damaged trees and shrubs, by weather, insects, fungus, knots, abrasions, or cut limbs or leaders and trees with multiple leaders, unless specified otherwise, will be rejected.
 5. Trees and shrubs shall have healthy, well-developed root systems, free from physical damage.
 6. All plant material shall be guaranteed for one (1) year from time of installation. Only one replacement per plant shall need to be made.
 7. All plant beds shall be mulched per planting details with shredded bark, free of material detrimental to healthy plant growth.
 8. All plant beds shall be edged with aluminum edging. Size: 3/16" wide by 5-1/2" deep; stakes: aluminum approx. 1-1/2" wide by 12" long; finish: black anodized.
 9. Stone mulch maintenance strip:
 10. Maintenance for plant material shall be 30 days. Plants shall be watered, staked, pruned, dead-headed; plant beds shall be weeded. Apply pre-emergent herbicide to all mulch beds at completion of installation.
- LAWNS & GRASSES**
1. The Contractor shall guarantee the germination of seed installed during the regular seeding season (May 1 - October 15).
 2. Grass seed shall meet the requirements of Section 630.2.1 of Standards Specifications for Highway Construction. Lawn seed mix shall consist of a minimum of 3 improved varieties of Kentucky Bluegrass, 25% creeping red or chewings fescue, and a minimum of 2 improved varieties of turf-type perennial rye grass. Seeding rate is 3-4 pounds per 1000SF.
 3. Mulch with clean straw or hay mulch that is well-seasoned, and free of rot, mildew, and seeds of noxious weeds over the seeded area according to the methods outlined by Section 627.3 of Standards Specifications for Highway Construction.
 4. Slopes greater than 4:1 shall be mulched with erosion control blanket.
 5. Maintenance of sodded lawn is to begin immediately after each area is planted and continued until acceptable lawn is established, but not less than 30 days from date of substantial completion.
 6. Maintain and establish seeded and sodded lawn areas by watering, fertilizing, weeding, mowing, trimming, replanting, and other operations. Roll, regrade, and replant bare or eroded areas and remulch to produce a uniformly smooth lawn.
 7. At the end of the maintenance period, a healthy, well-rooted, even-colored, viable lawn will have been established, free of weeds, open joints, bare areas, and surface irregularities.

Consultant

Notes
 October 8, 2008



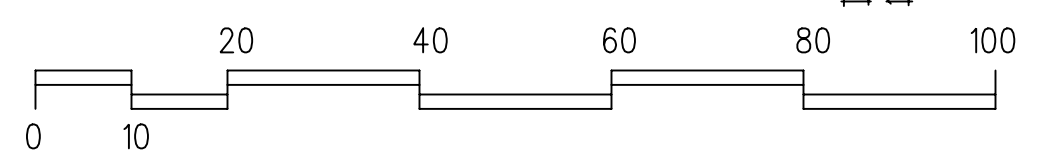
Revisions
 S.J.P. Submittal - July 16, 2008
 Submittal - October 8, 2008

Project Title
6901 Littlemore Drive Apartments

Drawing Title
Planting Plan Enlargement

Project No. **0817** Drawing No. **L-1.2**

PRELIMINARY NOT FOR CONSTRUCTION



Consultant

Notes
 July 16, 2008



KEN SAKI
 DESIGN INC

LANDSCAPE
 CONSULTANTS

Revisions
 S.J.P. Submittal - July 16, 2008
 Submittal - October 9, 2008

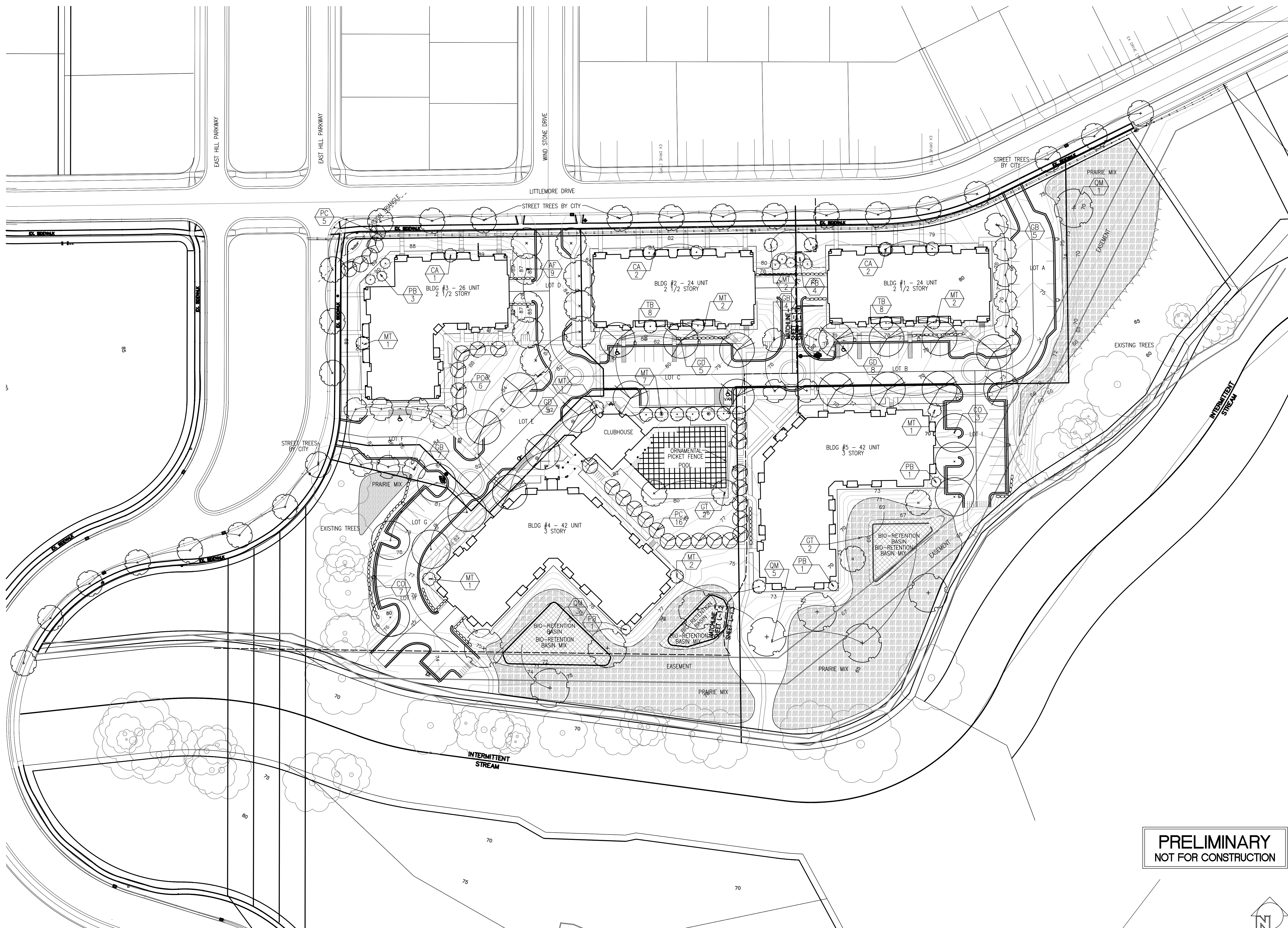
Project Title
**6901 Littlemore Drive
 Apartments**

**PRELIMINARY
 NOT FOR CONSTRUCTION**

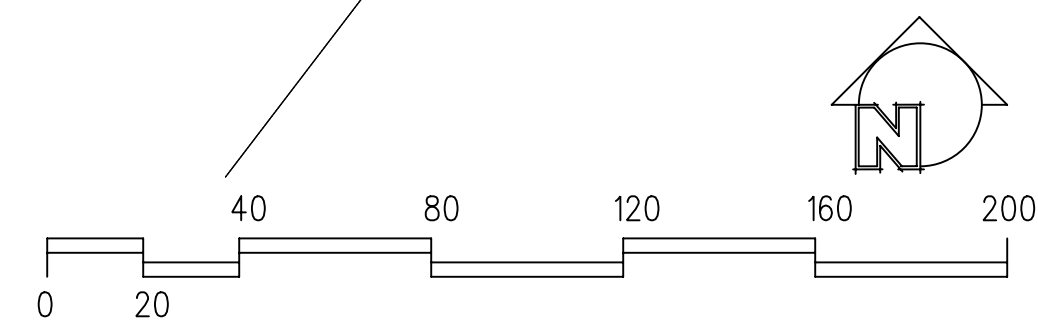
Drawing Title
Overall Planting Plan

Project No. **0817** Drawing No. **L-1.1**

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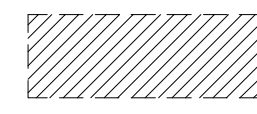


TREE & GROUNDCOVER PLANTING PLAN
 1" = 40'-0"



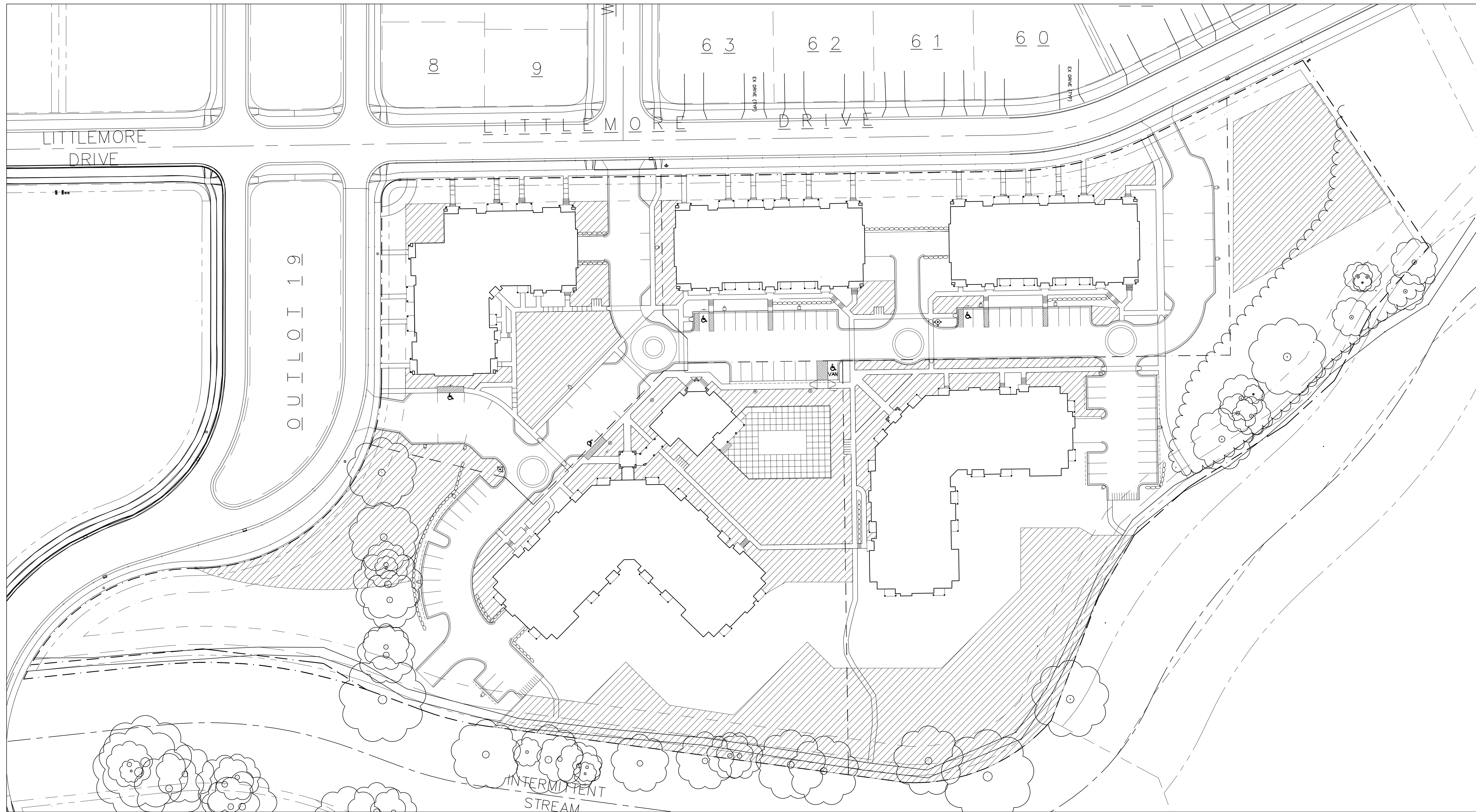
Consultant

Notes

 = USABLE OPEN SPACE

Revisions

GDP / S/P SUBMITTAL - JULY 16, 2008
INITIAL UDC SUBMITTAL - JULY 16, 2008
FINAL UDC SUBMITTAL - OCTOBER 8, 2008



 **USABLE OPEN SPACE**
1" = 40'

SITE DATA:

DENSITIES:

Lot Area 375,441 S.F. or 8.62 Acres

Usable Open Space	102,189 S.F.	Required per GDP
Usable Open Space/D.U.	647 S.F./D.U.	25,280 S.F.
		160 S.F./D.U.

SITE COVERAGE:

Building Coverage	68,059 S.F. (18%)
Pavement Coverage	82,848 S.F. (22%)

Usable Open Space	102,189 S.F. (27%)
Additional Open Space	122,245 S.F. (33%)
Total Open Space	224,534 S.F.

Project Title

6901 Littlemore Drive
Apartments

Drawing Title

Usable Open Space

Project No.

0817

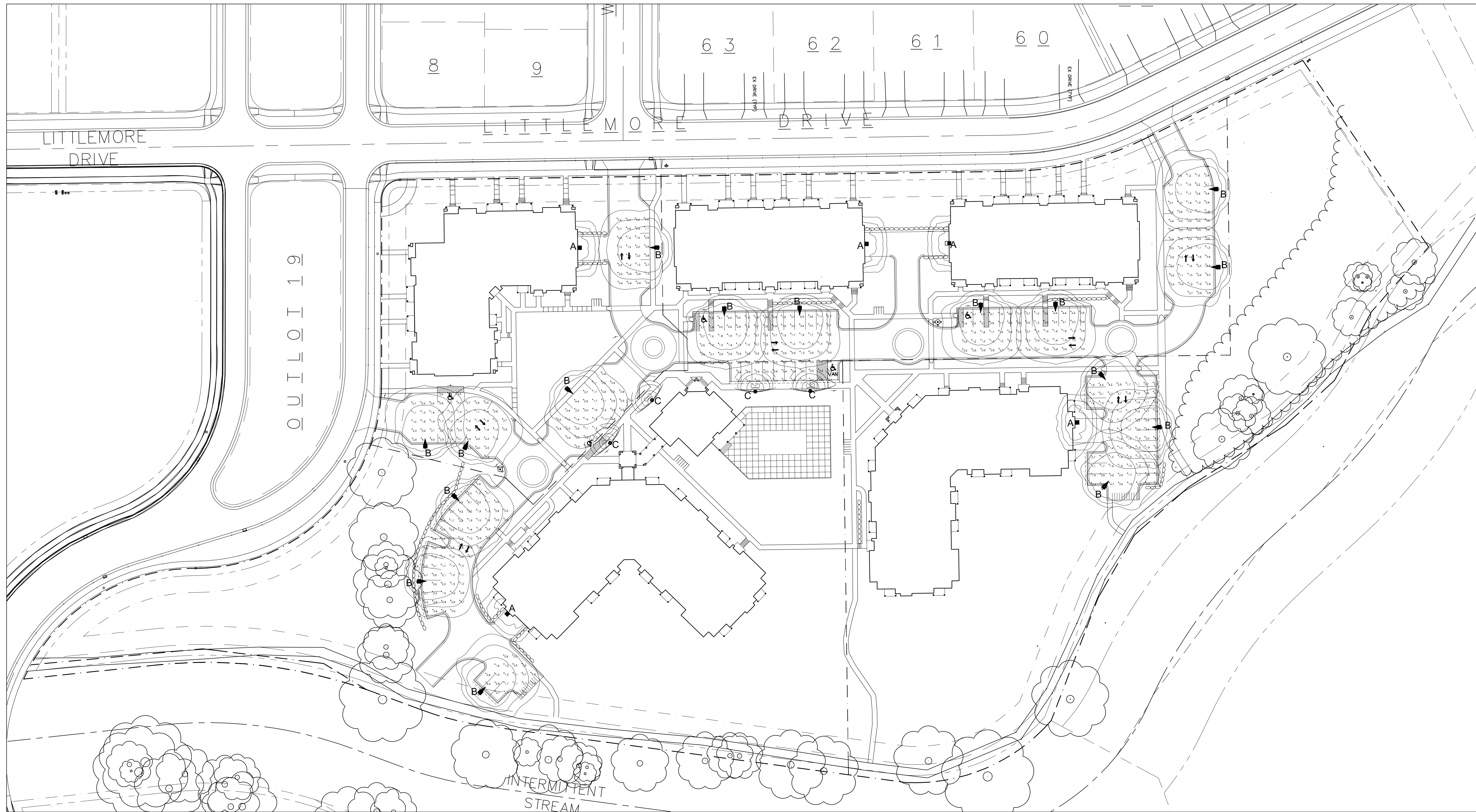
Drawing No.

C-1.7

Consultant

Notes
1. CONTRACTOR TO NOTIFY ARCHITECT OF SUBSTITUTION OF LIGHT FIXTURE MANUFACTURER OR MODEL PRIOR TO ORDERING PRODUCT

Revisions
GDP / S/P SUBMITTAL - JULY 16, 2008
INITIAL UDC SUBMITTAL - JULY 16, 2008
FINAL UDC SUBMITTAL - OCTOBER 8, 2008

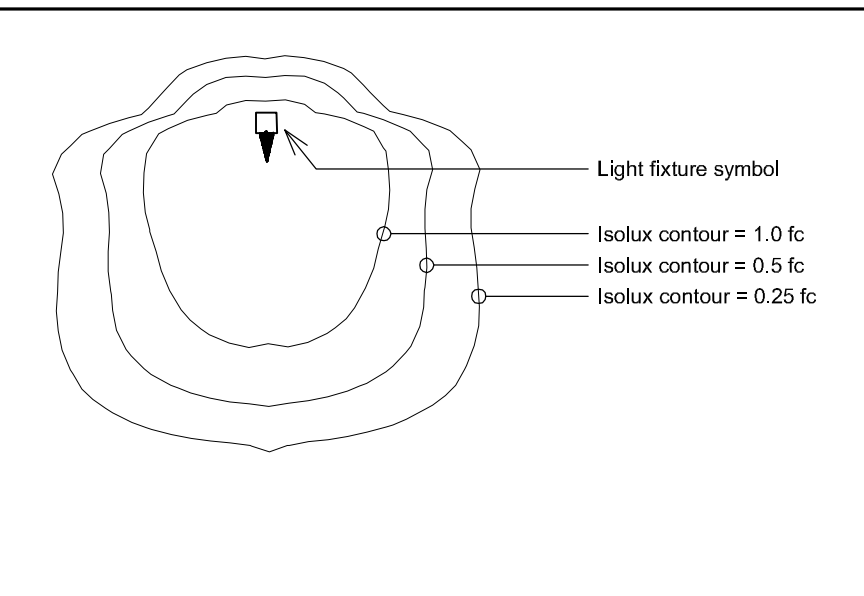


LIGHTING PLAN
1" = 40'
N

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.5 fc	5.0 fc	0.4 fc	12.5:1	3.75:1

LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
■	A	5	RUUD LIGHTING	E8405-D	RECTANGULAR SECURITY / DEEP SHIELDED	50 WATT MH	E8507.IES	8'-0" UP ON SIDE OF BUILDING
▲	B	16	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/ BACK LIGHT SHIELD	100 WATT MH	MAC417SBL.ies	17'-0" POLE ON 1'-0" TALL CONC. BASE
●	C	4	RUUD LIGHTING	HC407A	ROUND CLEAR BOLLARD W/180 DEG. SHIELD	70 WATT MH	HC407A.ies	3'-0" BOLLARD ON FLUSH CONC. BASE

Arrow indicates direction of light, typical





Project Title
6901 Littlemore Drive
Apartments

Drawing Title
Lighting Plan

Project No. 0817 Drawing No. C-1.6

Consultant

Notes

-  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
-  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)

Revisions

- GDP / S/P SUBMITTAL - JULY 16, 2008
- INITIAL UDC SUBMITTAL - JULY 16, 2008
- FINAL UDC SUBMITTAL - OCTOBER 8, 2008

Project Title

6901 Littlemore Drive
Apartments

Drawing Title

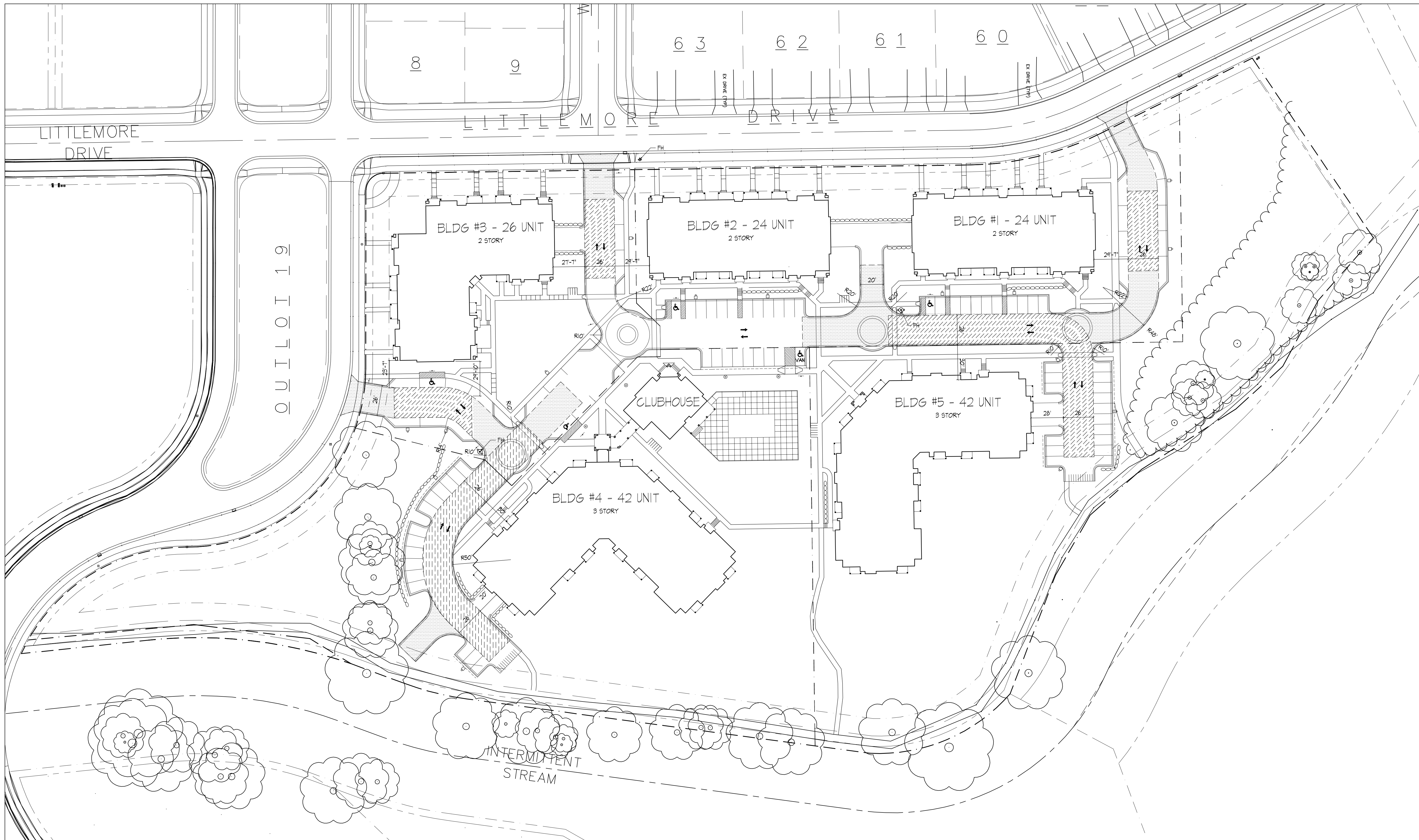
Fire Department
Access Plan

Project No.

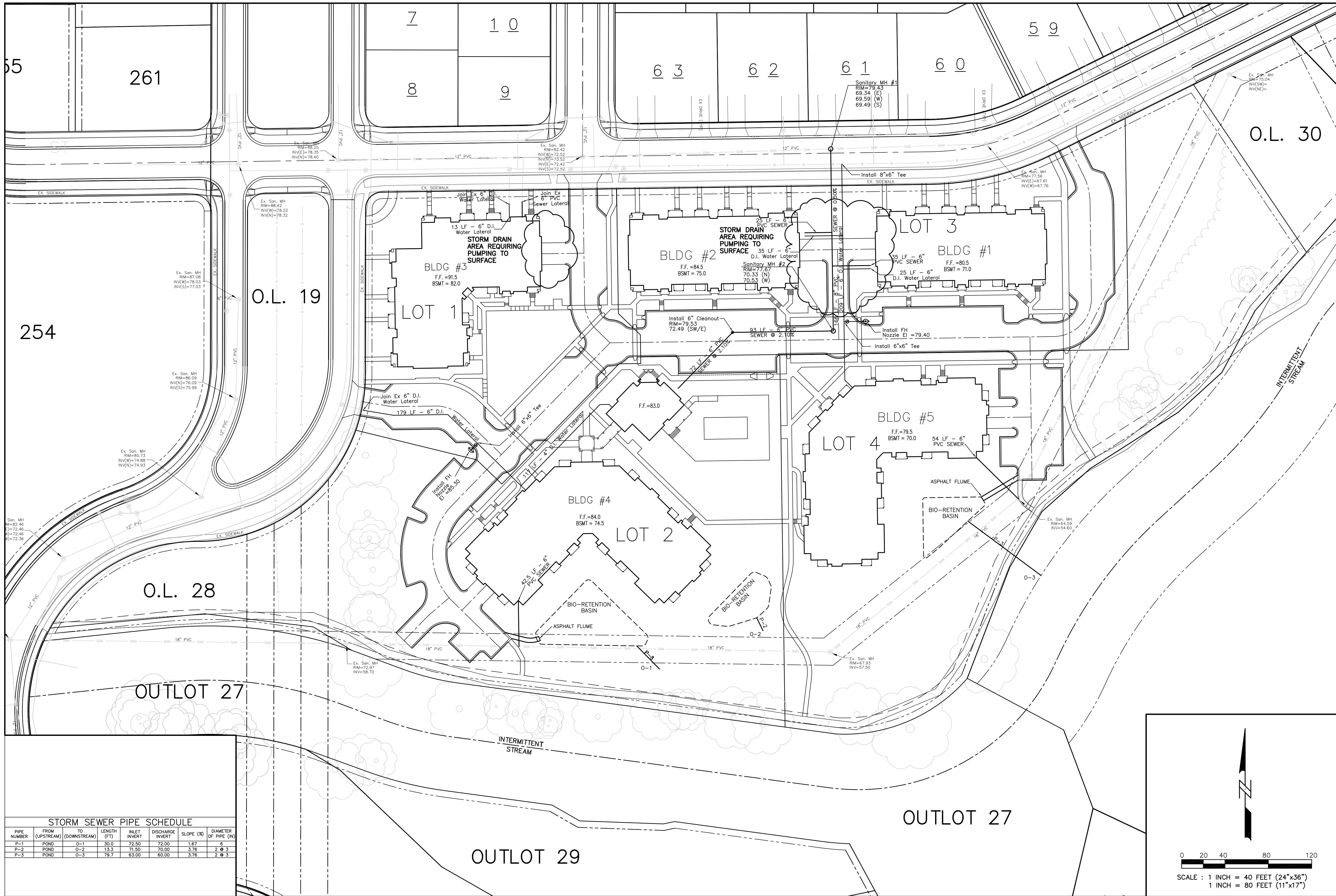
0817

Drawing No.

C-15

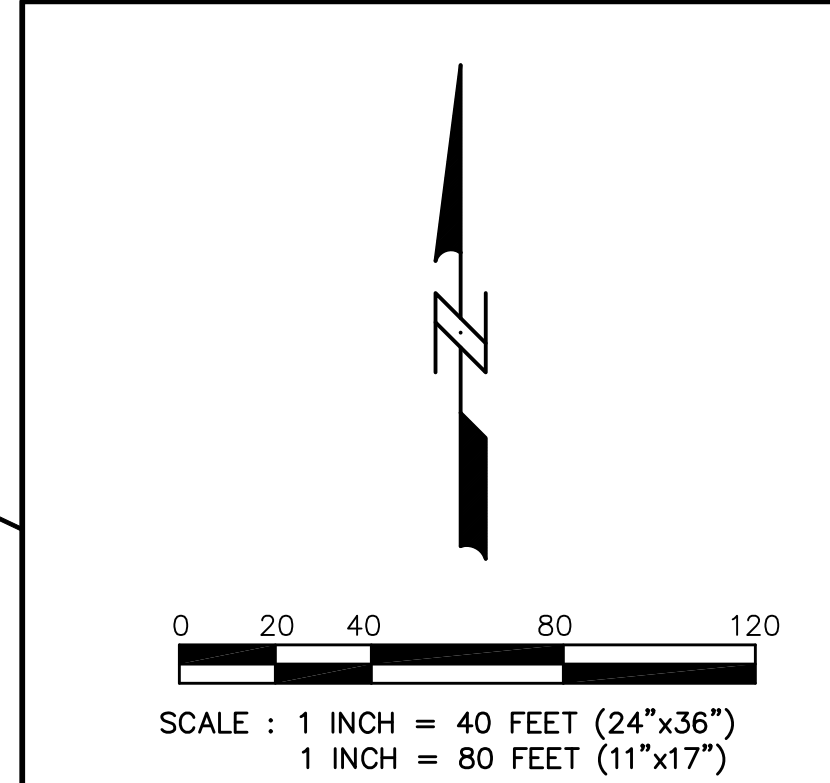


 FIRE DEPARTMENT ACCESS PLAN
1" = 40'



STORM SEWER PIPE SCHEDULE

PIPE NUMBER	FROM (UPSTREAM)	TO (DOWNSTREAM)	LENGTH (FT)	INLET INVERT	DISCHARGE INVERT	SLOPE (%)	DIAMETER OF PIPE (IN)
P-1	POND	O-1	30.0	72.50	72.00	1.67	6
P-2	POND	O-2	13.3	71.50	70.00	3.76	2 @ 3
P-3	POND	O-3	79.7	63.00	60.00	3.76	2 @ 3



Calkins Engineering, LLC
5010 Voges Road
Madison, WI 53718
(608) 838-0444

DATE: 10-07-08

REVISIONS:

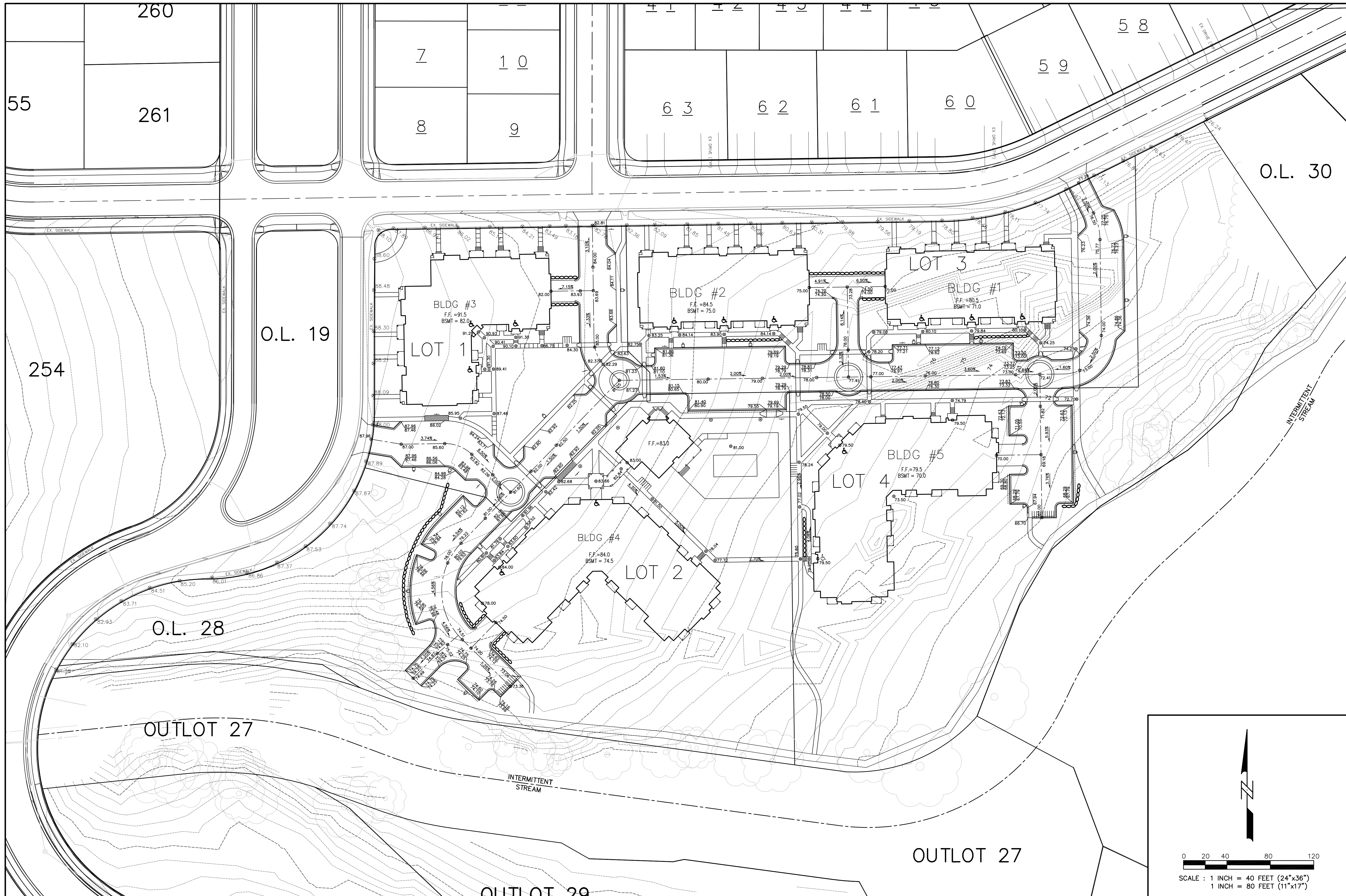
6901 LITTLEMORE DRIVE APARTMENTS
MASTER SITE UTILITY PLAN

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FN: MET09

Calkins Engineering, LLC
Civil Engineers & Land Surveyors

C1.4



Calkins Engineering, LLC
 5010 Voges Road
 Madison, WI 53718
 (608) 838-0444

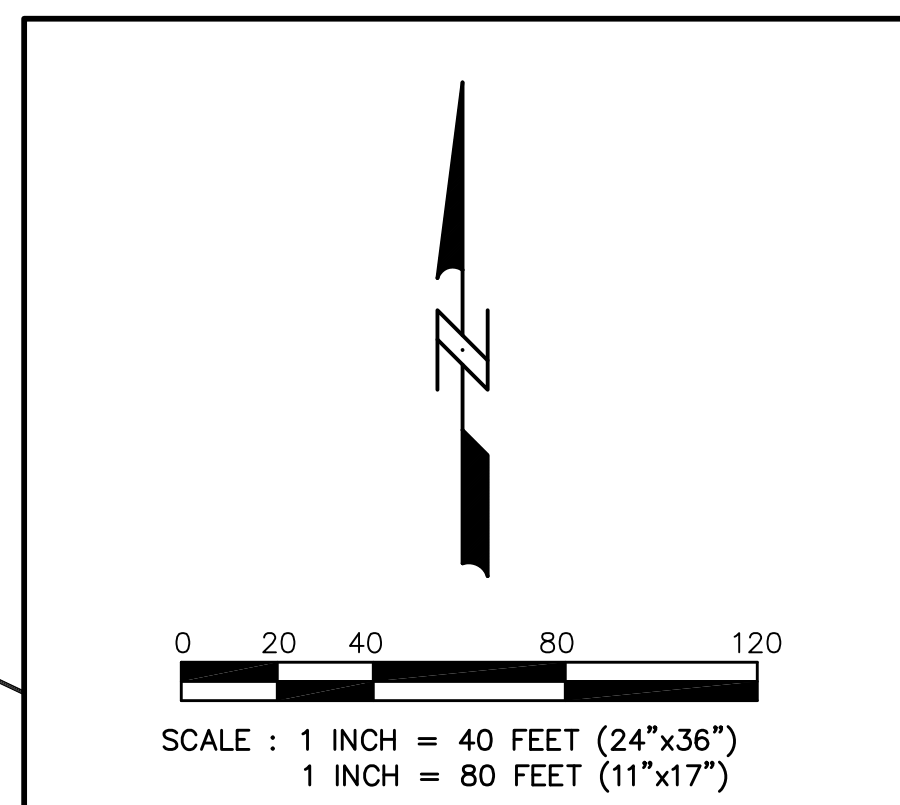
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REVISIONS:

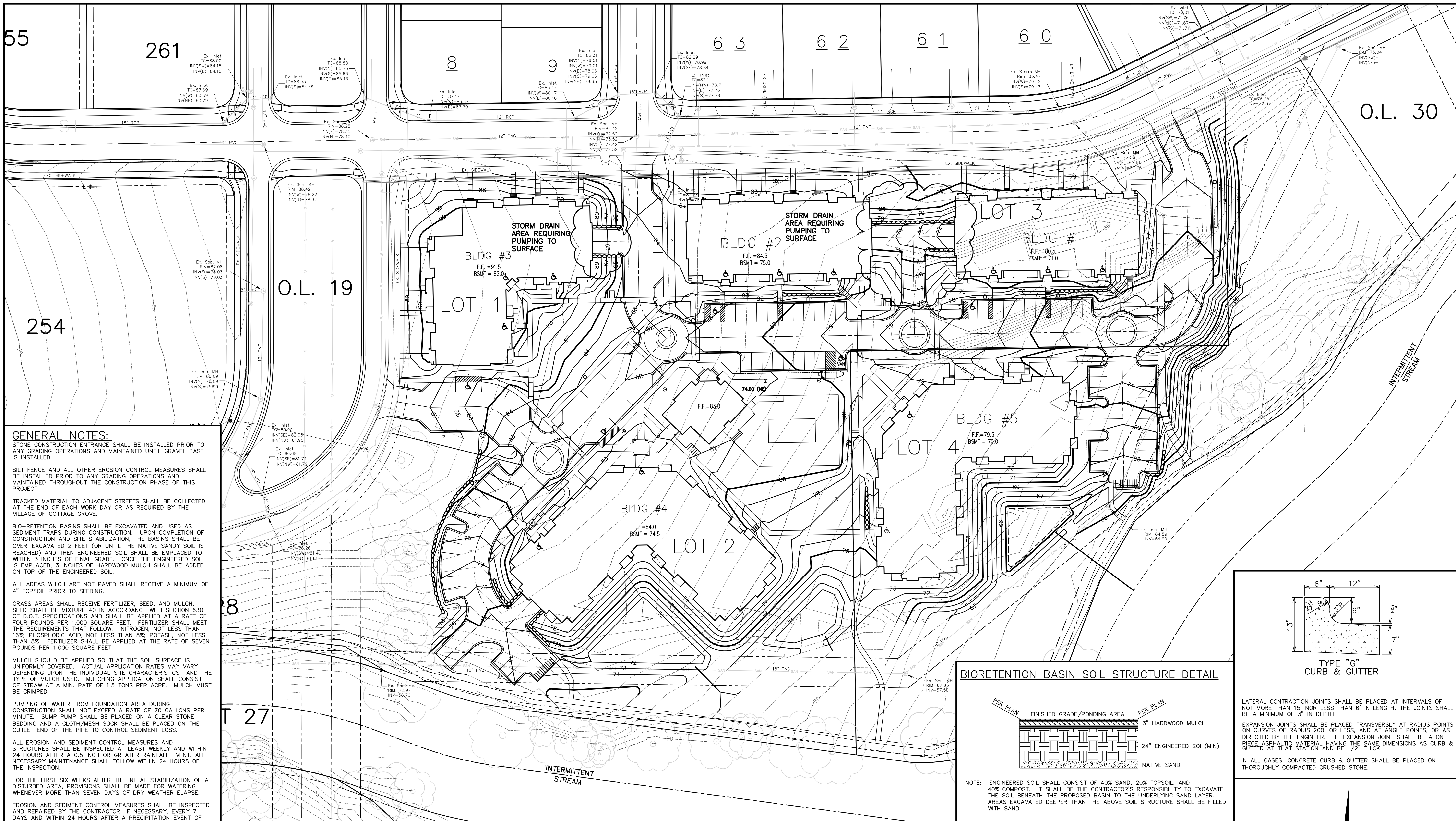
6901 LITTLEMORE DRIVE APARTMENTS
 MASTER SITE SPOT GRADES

Calkins Engineering, LLC
 Civil Engineers & Land Surveyors

C1.3



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 FN: MET09



GENERAL NOTES:

STONE CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE IS INSTALLED.

SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE VILLAGE OF COTTAGE GROVE.

BIO-RETENTION BASINS SHALL BE EXCAVATED AND USED AS SEDIMENT TRAPS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION AND SITE STABILIZATION, THE BASINS SHALL BE OVER-EXCAVATED 2 FEET (OR UNTIL THE NATIVE SANDY SOIL IS REACHED) AND THEN ENGINEERED SOIL SHALL BE EMPLACED TO WITHIN 3 INCHES OF FINAL GRADE. ONCE THE ENGINEERED SOIL IS EMPLACED, 3 INCHES OF HARDWOOD MULCH SHALL BE ADDED ON TOP OF THE ENGINEERED SOIL.

ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.

GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 6.30 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF FOUR POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%, PHOSPHORIC ACID, NOT LESS THAN 8%, POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET.

MULCH SHOULD BE APPLIED SO THAT THE SOIL SURFACE IS UNIFORMLY COVERED. ACTUAL APPLICATION RATES MAY VARY DEPENDING UPON THE INDIVIDUAL SITE CHARACTERISTICS AND THE TYPE OF MULCH USED. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A MIN. RATE OF 1.5 TONS PER ACRE. MULCH MUST BE CRIMPED.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED AT LEAST WEEKLY AND WITHIN 24 HOURS AFTER A 0.5 INCH OR GREATER RAINFALL EVENT. ALL NECESSARY MAINTENANCE SHALL FOLLOW WITHIN 24 HOURS OF THE INSPECTION.

FOR THE FIRST SIX WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE FOR WATERING WHENEVER MORE THAN SEVEN DAYS OF DRY WEATHER ELAPSE.

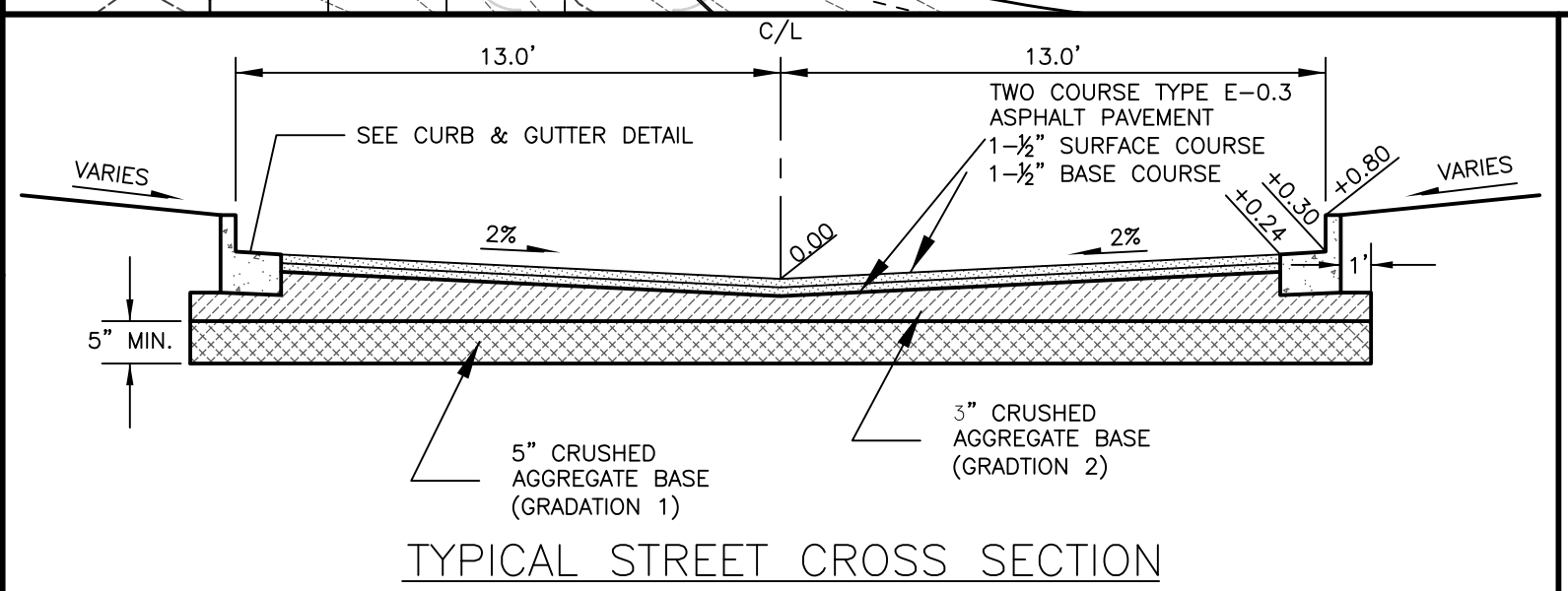
EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.

ALL INLETS SHALL HAVE TYPE "D" PROTECTION DURING CONSTRUCTION.

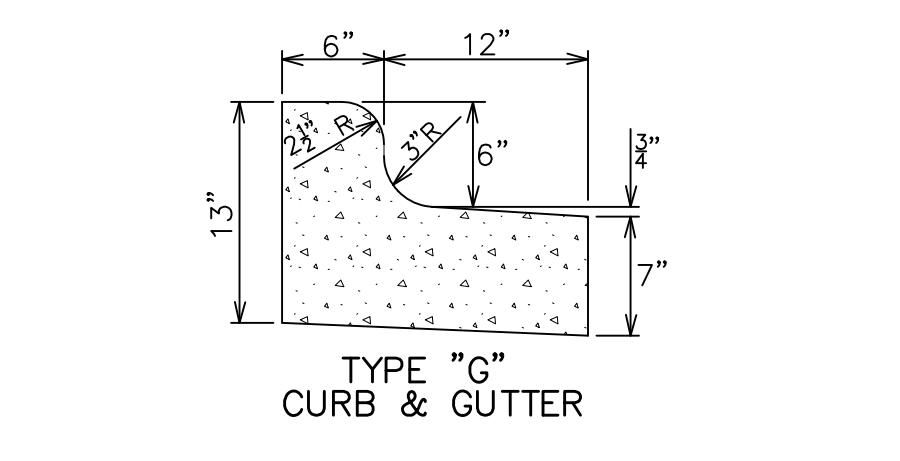
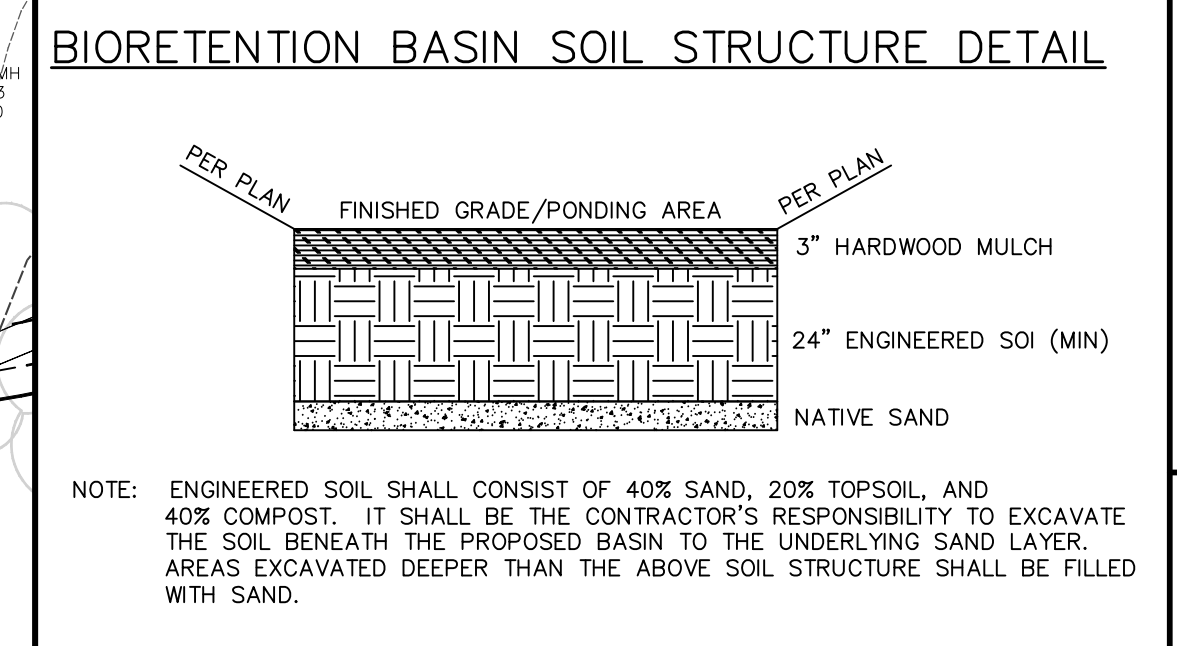
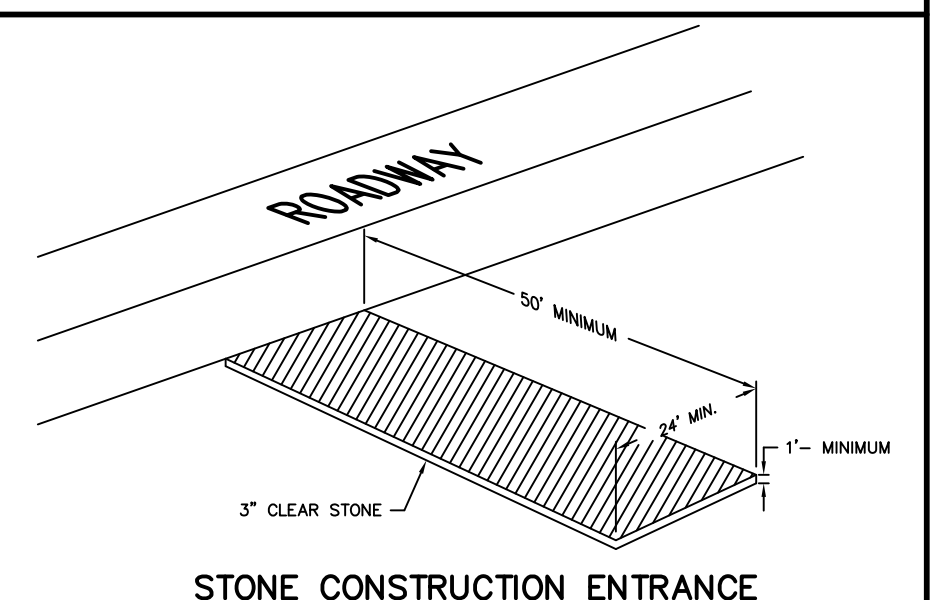
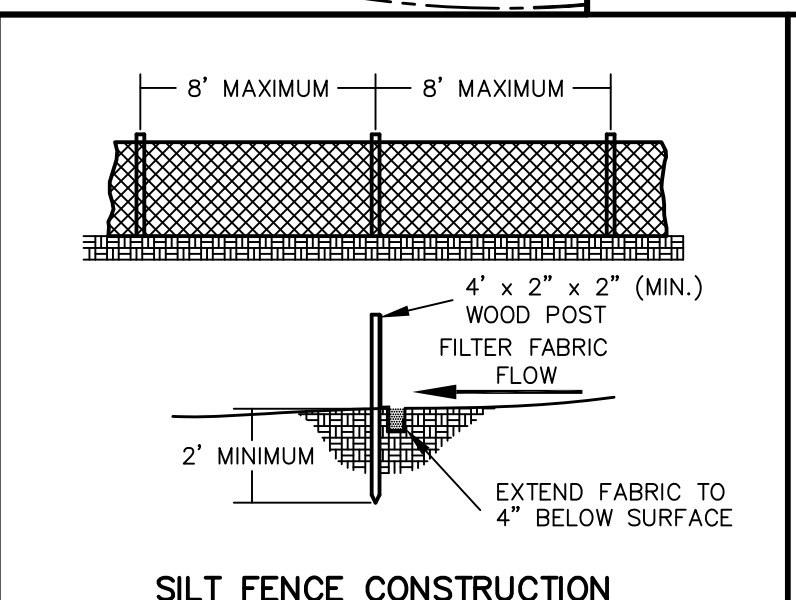
FILTER FABRIC FOR INLET BAGS SHALL MEET THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST, TYPE "D", OR EQUAL, AND SHALL BE ULTRAVIOLET STABILIZED.

INSTALL EROSION CONTROL MEASURES:
BEGIN CONSTRUCTION:
GRAVEL BASE COURSE INSTALLATION COMPLETED:

NOTE: AN EROSION CONTROL PERMIT EXTENSION SHALL BE FILED WITH THE CITY OF MADISON PRIOR TO THE GRAVEL BASE COURSE INSTALLATION DATE INDICATED ABOVE IF THIS DATE WILL NOT BE MET. CONTRACTOR SHALL NOTIFY ENGINEER IF AN EXTENSION IS NECESSARY.



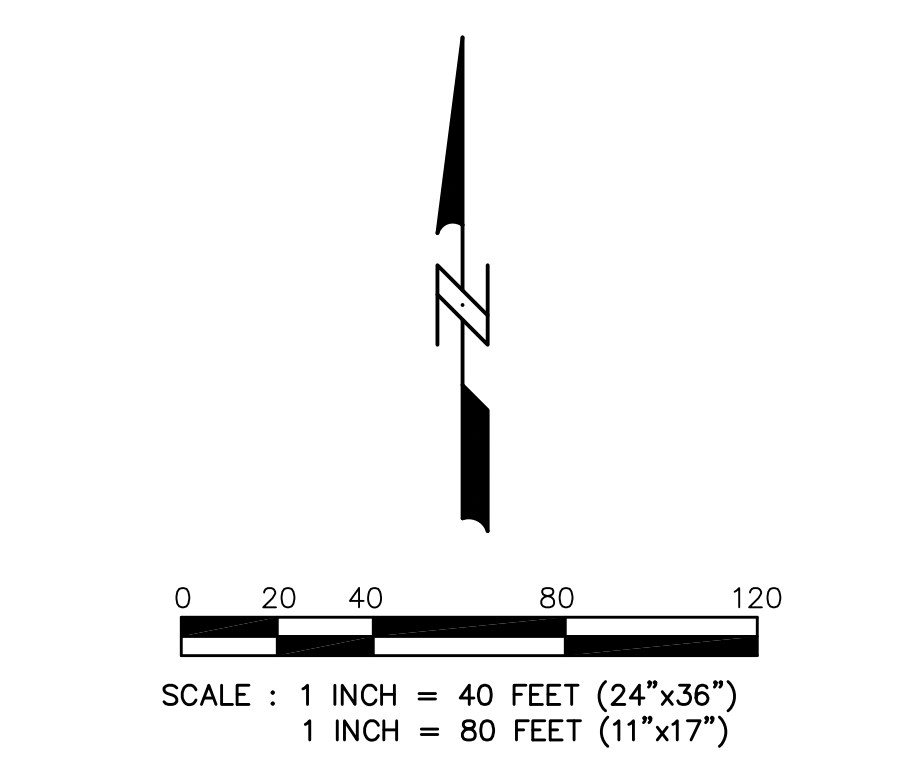
- LEGEND:**
- 900.00 = PROPOSED SPOT ELEVATION
 - 900.0 = EXISTING SPOT ELEVATION
 - = RETAINING WALL
 - = STONE CONSTRUCTION ENTRANCE
 - = SILT FENCE



LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.



Colkins Engineering, LLC
 5010 Voges Road
 Madison, WI 53718
 (608) 838-0444

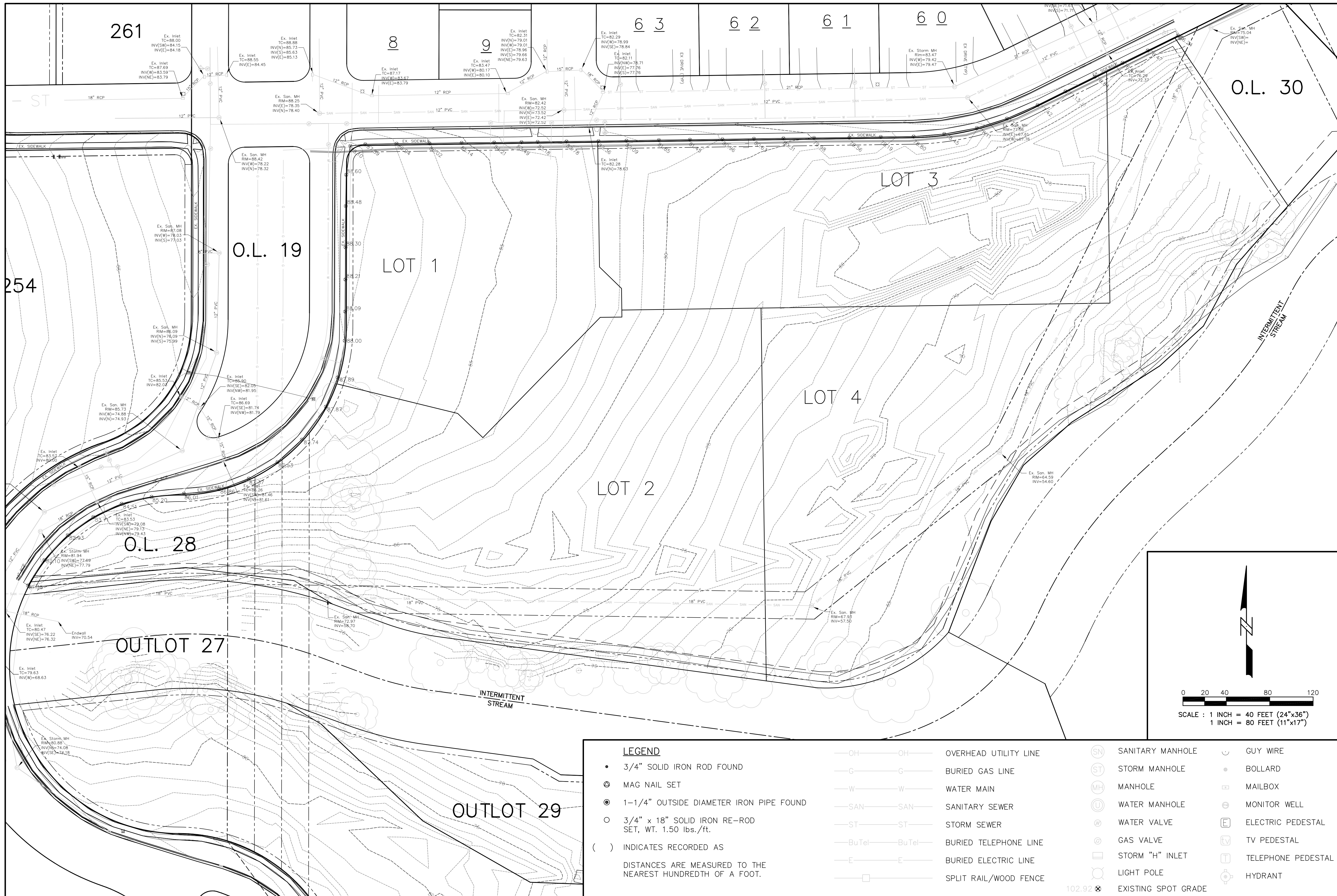
DATE: 10-07-08
 REVISIONS:

**6901 LITTLEMORE DRIVE APARTMENTS
 MASTER SITE GRADING PLAN**

DRAWING NAME : P:\PROJECTS\W\MET09\DESIGN\MET09-BASE.DWG
 FN: MET09

Colkins Engineering, llc
 Civil Engineers & Land Surveyors

C1.2



Calkins Engineering, LLC
 5010 Voges Road
 Madison, WI 53718
 (608) 838-0444

DATE: 06-27-08

REVISIONS:

6901 LITTLEMORE DRIVE APARTMENTS
 SITE SURVEY

DRAWING NAME : P:\PROJECTS\METORS\DESIGN\MET09-BASE.DWG

FN: MET09

Calkins Engineering, LLC
 Civil Engineers & Land Surveyors

C1.1

LEGEND	
•	3/4" SOLID IRON ROD FOUND
⊙	MAG NAIL SET
⊙	1-1/4" OUTSIDE DIAMETER IRON PIPE FOUND
○	3/4" x 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
()	INDICATES RECORDED AS
DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.	
—OH—OH—	OVERHEAD UTILITY LINE
—C—C—	BURIED GAS LINE
—W—W—	WATER MAIN
—SAN—SAN—	SANITARY SEWER
—ST—ST—	STORM SEWER
—BuTel—BuTel—	BURIED TELEPHONE LINE
—E—E—	BURIED ELECTRIC LINE
—	SPLIT RAIL/WOOD FENCE
(SN)	SANITARY MANHOLE
(ST)	STORM MANHOLE
(MH)	MANHOLE
(U)	WATER MANHOLE
(W)	WATER VALVE
(G)	GAS VALVE
(H)	STORM "H" INLET
(L)	LIGHT POLE
(102.92)	EXISTING SPOT GRADE
(C)	GUY WIRE
(B)	BOLLARD
(M)	MAILBOX
(E)	MONITOR WELL
(EP)	ELECTRIC PEDESTAL
(TV)	TV PEDESTAL
(TP)	TELEPHONE PEDESTAL
(H)	HYDRANT

Consultant

Notes

1. A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
3. ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.08(4)
4. ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING BASEMENTS.
5. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
6. COMM 62.050(1)-REQUIRED FIRE LANES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF COMBUSTIBLE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTING AND FOUNDATION.
7. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
8. BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 20.11, (SEE SUBSECTIONS (5)(b) AND (3)(a)(2a)). USE THE "BIKE HITCH" STYLE FOR ALL SURFACE PARKING. USE THE SQUARE 'U' RACK FOR THE 2' X 6' TYPICAL UNDERGROUND BIKE PARKING.
9. ALL SIDEWALK, CURB, AND GUTTER ABUTTING THE PROPERTY WHICH IS DAMAGED DURING CONSTRUCTION OR THAT THE CITY ENGINEER DETERMINES TO BE NECESSARY SHALL BE REPLACED.

Revisions

- GDP / S/P SUBMITTAL - JULY 16, 2008
 INITIAL UDC SUBMITTAL - JULY 16, 2008
 FINAL UDC SUBMITTAL - OCTOBER 8, 2008

Project Title

6901 Littlemore Drive
 Apartments

Drawing Title

Site Plan

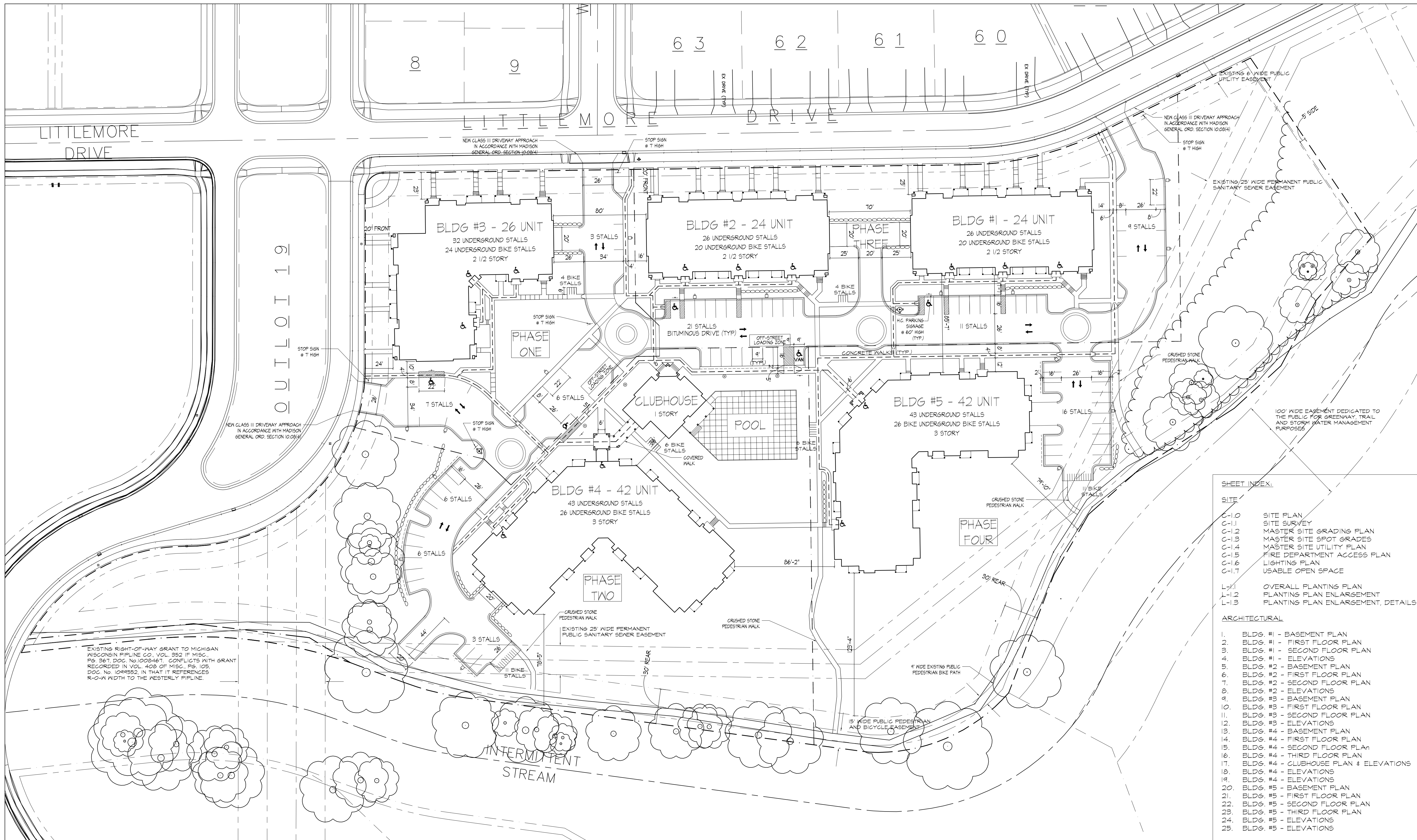
Project No.

0817

Drawing No.

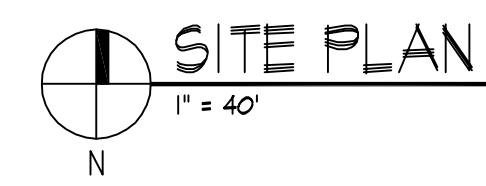
C-1.0

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C-1.2	MASTER SITE GRADING PLAN
C-1.3	MASTER SITE SPOT GRADES
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24.	BLDG. #5 - ELEVATIONS
25.	BLDG. #5 - ELEVATIONS



SITE DEVELOPMENT DATA:

DENSITIES:		375,441 S.F. or 0.62 Acres	
Lot Area	158 units		
Lot Area / D.U.	2,376 S.F./Unit	<i>Provided</i>	
Density	18.9 net D.U./Acres	<i>Required per GDP</i>	
Usable Open Space	102,894 S.F.	16.7 net D.U./Acres	
Usable Open Space/D.U.	647 S.F./D.U.	160 S.F./D.U.	

UNIT MIX						
Apartments	Bldg. #1	Bldg. #2	Bldg. #3	Bldg. #4	Bldg. #5	Total
Efficiency	5	5	2	4	4	20
Studio Loft	5	5	4	0	0	14
One Bed	0	0	0	12	12	24
One Bed-Den/Two Bed	0	0	2	0	0	2
One Bed+Loft/Two Bed	3	3	4	0	0	10
Two Bed	0	0	4	20	20	44
Two Bed-Den/Three Bed	0	0	0	6	6	12
Total	24	24	26	42	42	158

BUILDING HEIGHT:	2 1/2 - 3 Stories	
GROSS BUILDING AREA:		
Bldg. #1	22,485 S.F.	
Bldg. #2	22,485 S.F.	
Bldg. #3	21,970 S.F.	
Bldg. #4	50,170 S.F.	
Bldg. #5	50,170 S.F.	
Clubhouse	2,363 S.F.	

SITE COVERAGE:		68,059 S.F. (18%)
Building Coverage		82,848 S.F. (22%)
VEHICULAR PARKING RATIO:		
Underground Garage	170 stalls	
Surface Parking	88 stalls	
Total Parking	258 stalls	
Parking Ratio	1.63 stalls/D.U.	
BIKE PARKING:		
Underground Garage	116 stalls	
Surface Parking	42 stalls	
Total Parking	158 stalls	
REQUIRED BIKE PARKING:		
Units 1 - 50	50 Stalls	
Units 51 - 158	108 Stalls	
Total Required Stalls	158 Stalls	

Consultant

Notes
Date



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Revisions
GDP / SIF Submittal - July 16, 2008
UDG Initial Submittal - July 16, 2008
UDG Final Submittal - October 08, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #5 - 42 Unit
Elevations**

Project No.
0817

Drawing No.
25

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 Date



WEST ELEVATION
 1/8" = 1'-0"



NORTHWEST ELEVATION
 1/8" = 1'-0"



NORTH ELEVATION
 1/8" = 1'-0"

- TYPICAL MATERIALS
- HORIZONTAL SIDING
- ALUMINUM WRAPPED FASCIA
- ASPHALT SHINGLES
- PAINTED COMPOSITE TRIM
- PAINTED COMPOSITE WINDOW TRIM
- ALUMINUM RAILING SYSTEM
- PRECAST WINDOW SILLS
- PAINTED COMPOSITE COLUMNS
- BRICK VENEER

Revisions
 GDP / SIF Submittal - July 16, 2008
 UDC Initial Submittal - July 16, 2008
 UDC Final Submittal - October 08, 2008

Project Title
**6901 Littlemore Drive
 Apartments**

Drawing Title
**Building #5 - 42 Unit
 Elevations**

Project No. Drawing No.

0817 24

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THIRD FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #5 - 42 Unit
Third Floor Plan**

Project No. **0817** Drawing No. **23**

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Notes
Date



SECOND FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #5 - 42 Unit
Second Floor Plan**

Project No. **0817** Drawing No. **22**

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FIRST FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

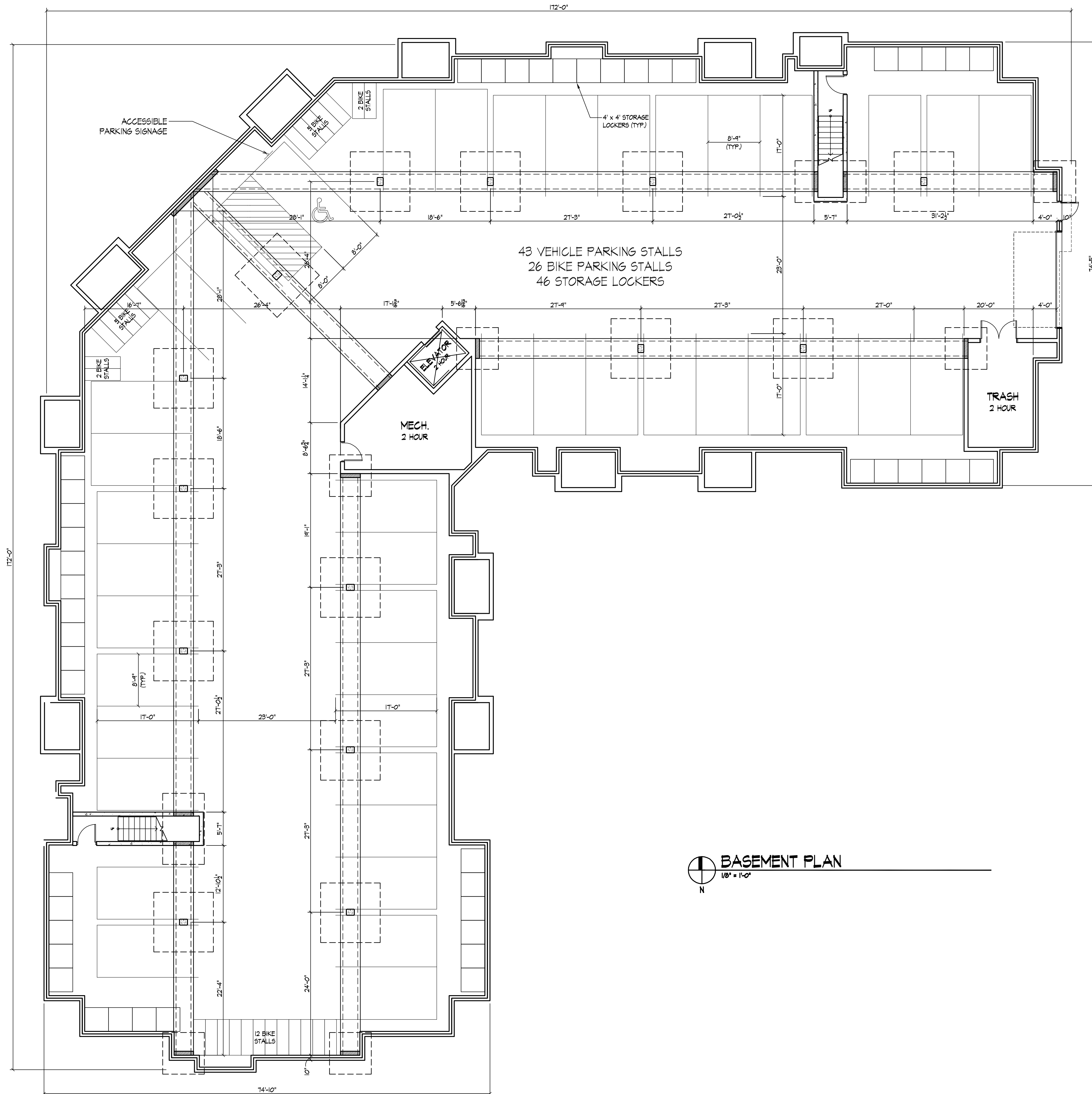
Drawing Title
**Building #5 - 42 Unit
First Floor Plan**

Project No. **0817** Drawing No. **21**

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Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #5 - 42 Unit
Basement Floor Plan**

Project No. Drawing No.

0817 20

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○ SOUTHWEST ELEVATION
1/8" = 1'-0"



○ SOUTHEAST ELEVATION
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 08, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #4 - 42 Unit
Elevations**

Project No. Drawing No.

0817

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Notes
 Date



NORTHWEST ELEVATION
 1/8" = 1'-0"



NORTH ELEVATION
 1/8" = 1'-0"



- TYPICAL MATERIALS**
- HORIZONTAL SIDING
 - ALUMINUM WRAPPED FASCIA
 - ASPHALT SHINGLES
 - PAINTED COMPOSITE TRIM
 - ALUMINUM RAILING
 - PAINTED COMPOSITE WINDOW TRIM
 - PRECAST WINDOW SILLS
 - PAINTED COMPOSITE COLUMNS
 - BRICK VENEER

NORTHEAST ELEVATION
 1/8" = 1'-0"

Revisions
 GDP / SIF Submittal - July 16, 2008
 UDC Initial Submittal - July 16, 2008
 UDC Final Submittal - October 08, 2008

Project Title
**6901 Littlemore Drive
 Apartments**

Drawing Title
**Building #4 - 42 Unit
 Elevations**

Project No. Drawing No.

0817

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Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Clubhouse Floor Plan
& Elevations**

Project No. Drawing No.

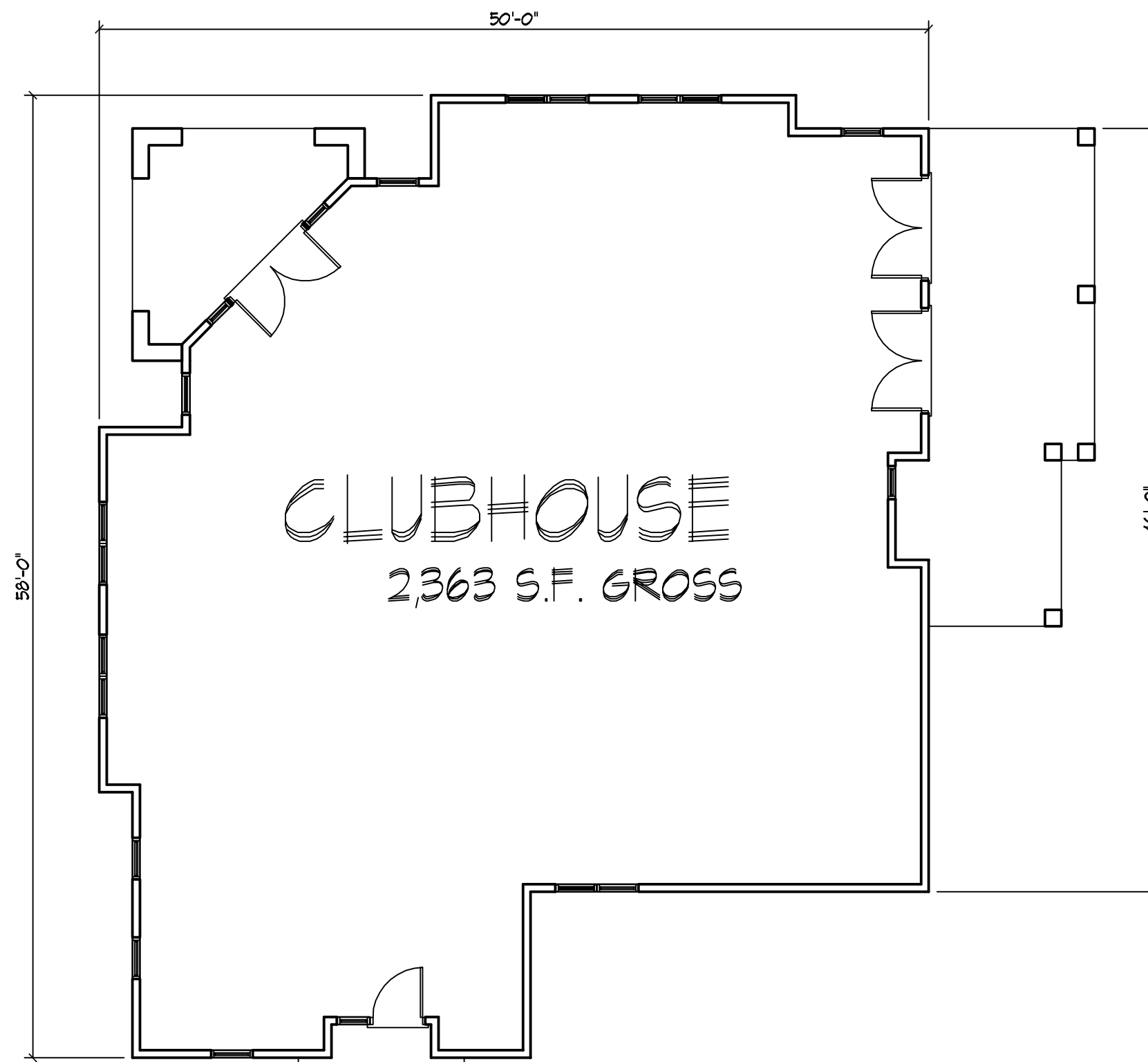
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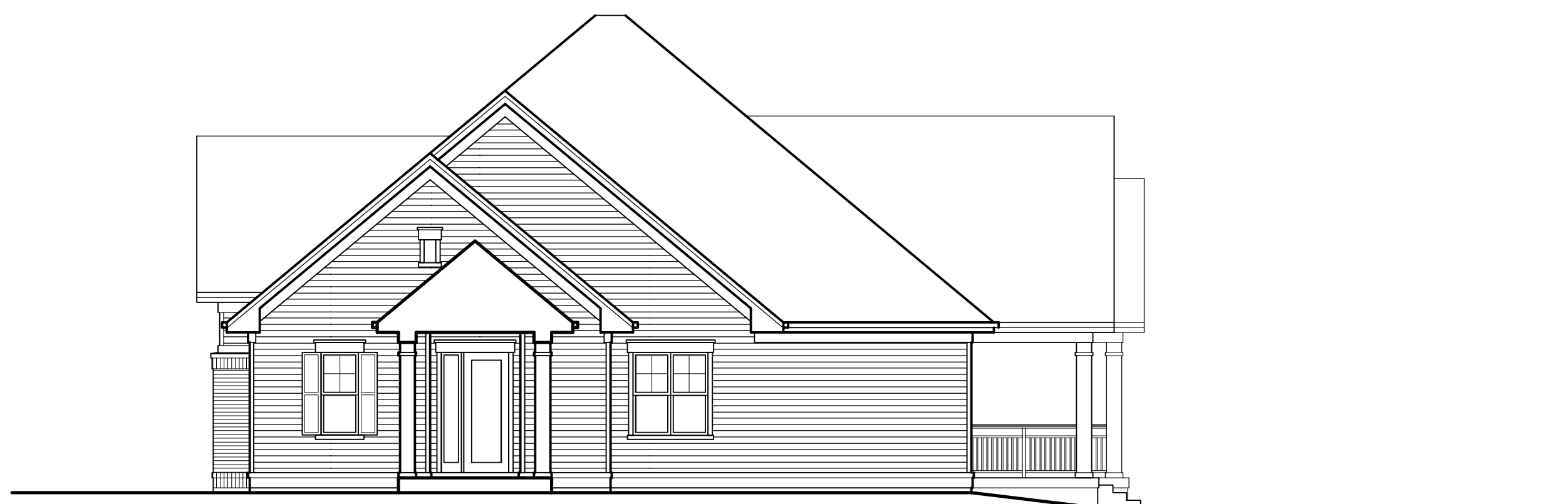
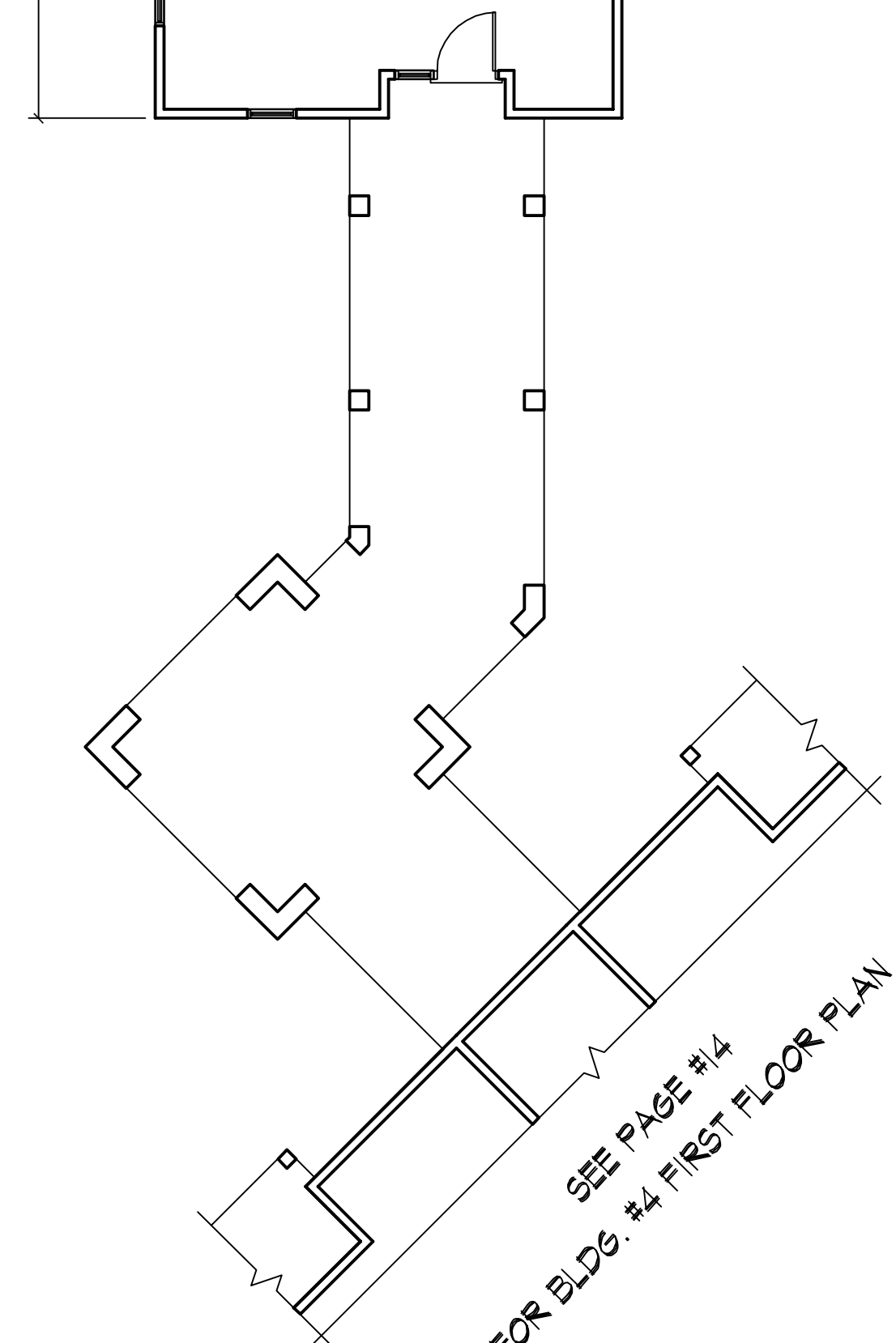
NORTHEAST ELEVATION
1/8" = 1'-0"



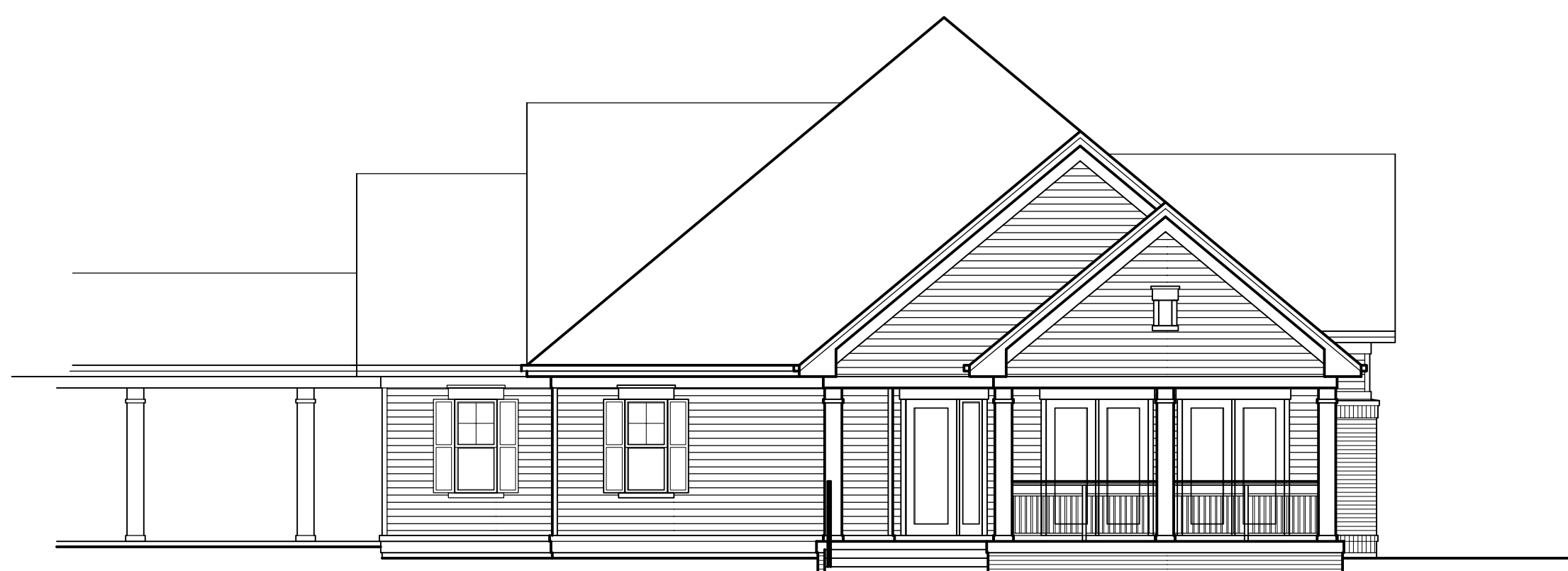
CLUBHOUSE FLOOR PLAN
1/8" = 1'-0"



NORTHWEST ELEVATION
1/8" = 1'-0"



SOUTHWEST ELEVATION
1/8" = 1'-0"



SOUTHEAST ELEVATION
1/8" = 1'-0"

Consultant

Notes
Date



THIRD FLOOR PLAN
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #4 - 42 Unit
Third Floor Plan**

Project No. **0817** Drawing No. **16**

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SECOND FLOOR PLAN
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #4 - 42 Unit
Second Floor Plan**

Project No. Drawing No.
0817 15

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FIRST FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

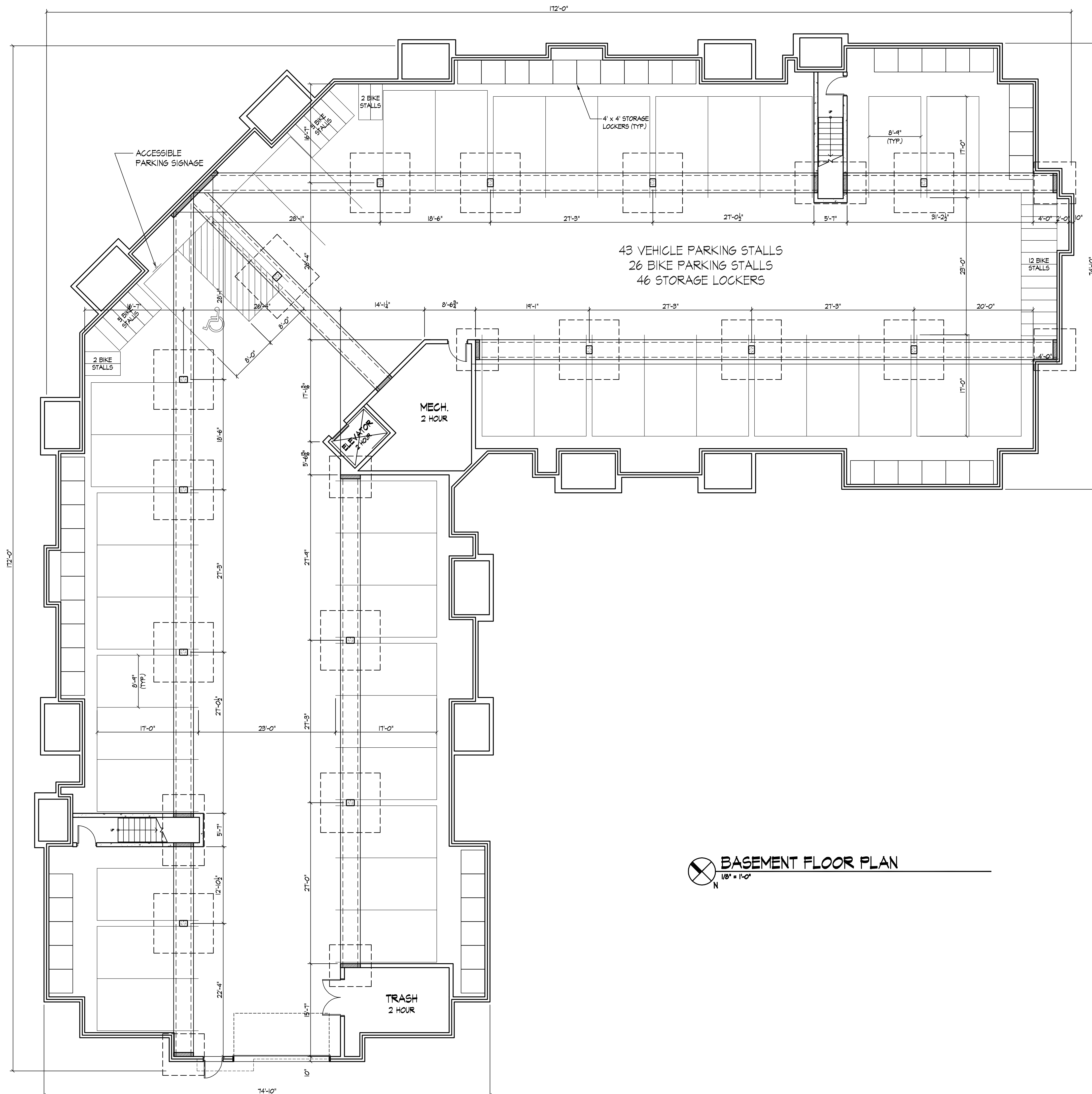
Drawing Title
**Building #4 -42 Unit
First Floor Plan**

Project No. Drawing No.
0817 14

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 **BASEMENT FLOOR PLAN**
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #4 - 42 Unit
Basement Plan**

Project No. **0817** Drawing No. **13**

Consultant

Notes
Date



NORTH ELEVATION (ALONG LITTLEMORE DR.)
1/8" = 1'-0"



- TYPICAL MATERIALS**
- HORIZONTAL SIDING
 - ALUMINUM WRAPPED FASCIA
 - ASPHALT SHINGLES
 - HORIZONTAL SIDING
 - PAINTED COMPOSITE TRIM
 - PAINTED COMPOSITE WINDOW TRIM
 - PRECAST WINDOW SILLS
 - ALUMINUM RAILING
 - PAINTED COMPOSITE COLUMNS
 - BRICK VENEER

EAST ELEVATION
1/8" = 1'-0"

- Revisions**
- GDP / S/P Submittal - July 16, 2008
 - UDG Initial Submittal - July 16, 2008
 - UDG Final Submittal - October 08, 2008



WEST ELEVATION (ALONG EAST HILL PARKWAY)
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Project Title
6901 Littlemore Drive
Apartments

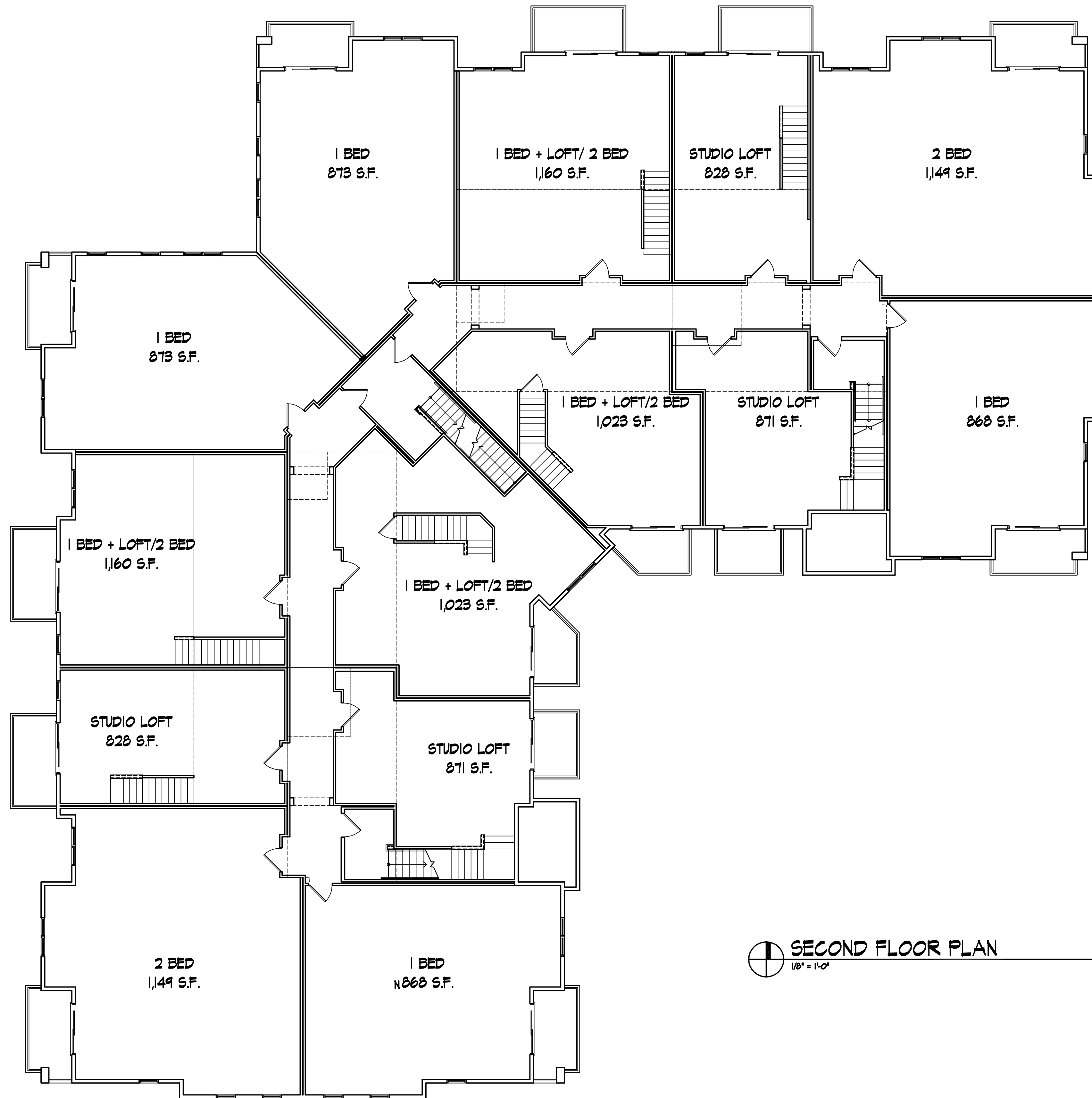
Drawing Title
Building #3 - 26 Unit
Elevations

Project No. 0817 **Drawing No.** 12

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Date



⊕ SECOND FLOOR PLAN
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #3 - 26 Unit
Second Floor Plan**

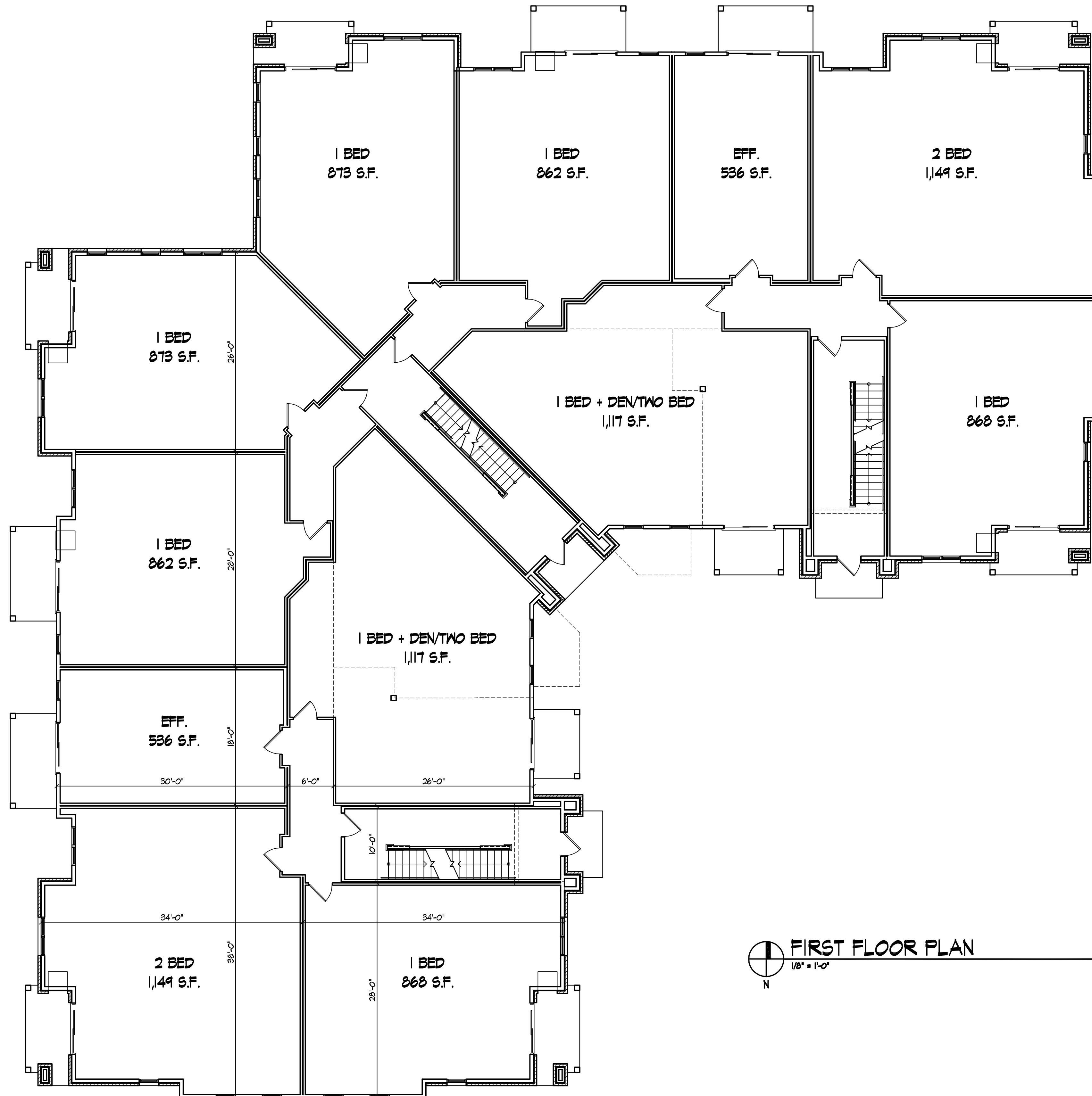
Project No. Drawing No.

0817

11

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Notes
Date



FIRST FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

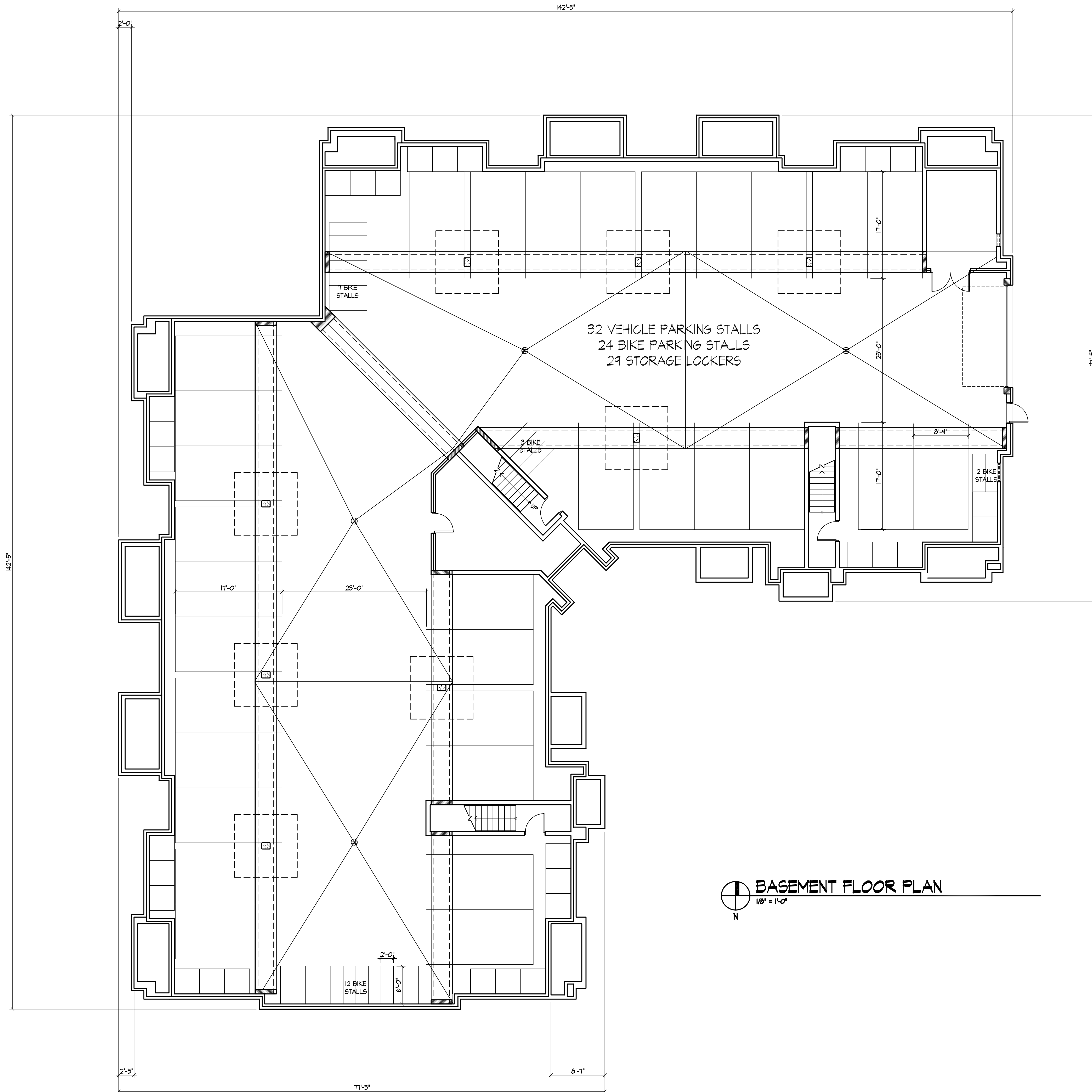
Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #3 -26 Unit
First Floor Plan**

Project No. **0817** Drawing No. **10**

Consultant

Notes
Date



Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #3 - 26 Unit
Basement Plan**

Project No. Drawing No.

0817 9

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NORTH ELEVATION (ALONG LITTLEMORE DR.)
 1/8" = 1'-0"



WEST ELEVATION
 1/8" = 1'-0"



- TYPICAL MATERIALS**
- HORIZONTAL SIDING
 - ALUMINUM WRAPPED FASCIA
 - ASPHALT SHINGLES
 - HORIZONTAL SIDING
 - PAINTED COMPOSITE TRIM
 - PAINTED COMPOSITE WINDOW TRIM
 - PRECAST WINDOW SILLS
 - ALUMINUM RAILING
 - PAINTED COMPOSITE COLUMNS
 - BRICK VENEER

- Revisions**
- GDP / SIF Submittal - July 16, 2008
 - UDC Initial Submittal - July 16, 2008
 - UDC Final Submittal - October 08, 2008

EAST ELEVATION
 1/8" = 1'-0"



SOUTH ELEVATION
 1/8" = 1'-0"

Project Title
**6901 Littlemore Drive
 Apartments**

Drawing Title
**Building #2 - 24 Unit
 Elevations**

Project No. Drawing No.

0817

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Consultant

Notes
Date



 **SECOND FLOOR PLAN**
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #2 - 24 Unit
Second Floor Plan**

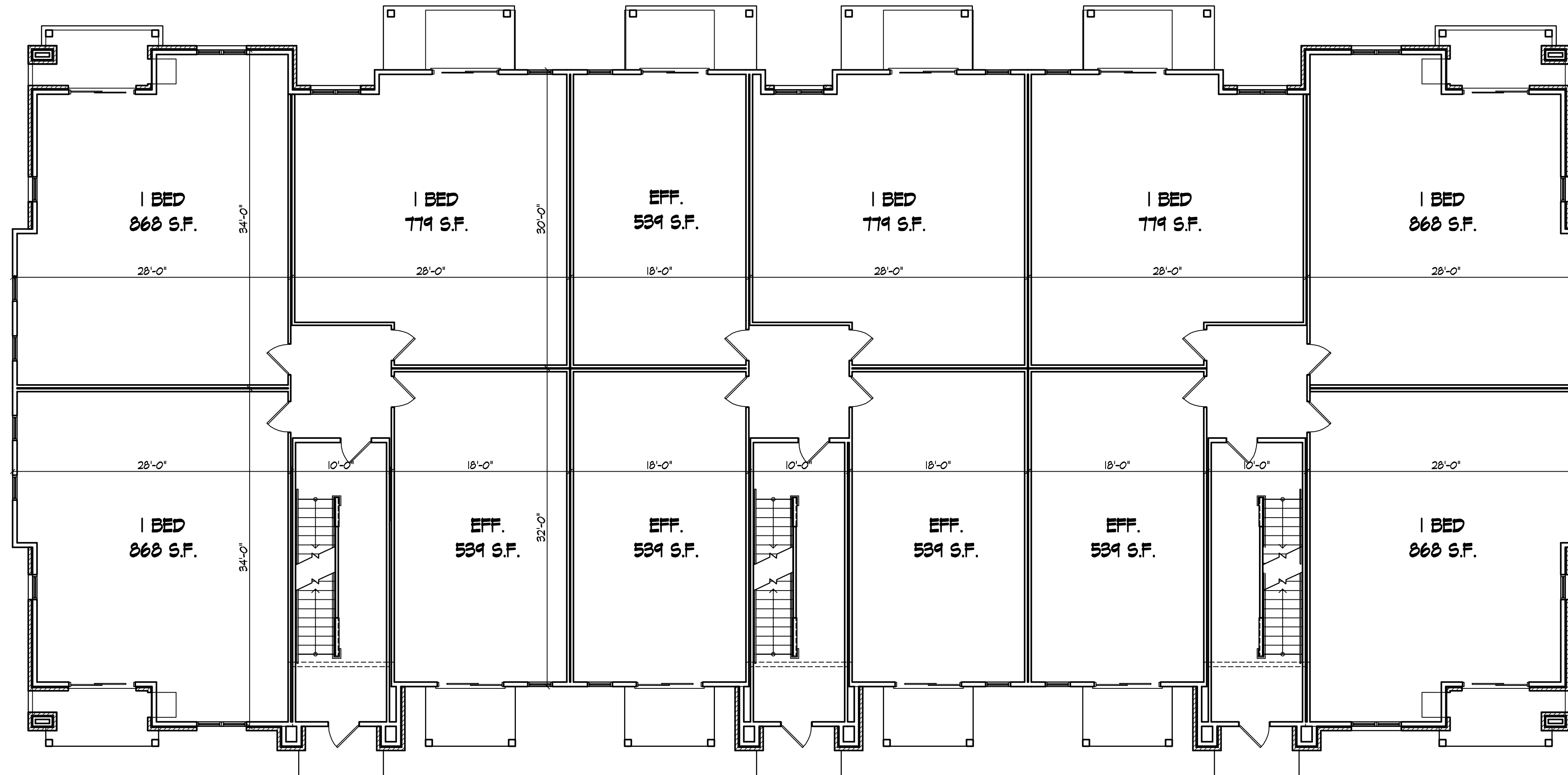
Project No. Drawing No.

0817

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Consultant

Notes
Date



FIRST FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #2 - 24 Unit
First Floor Plan**

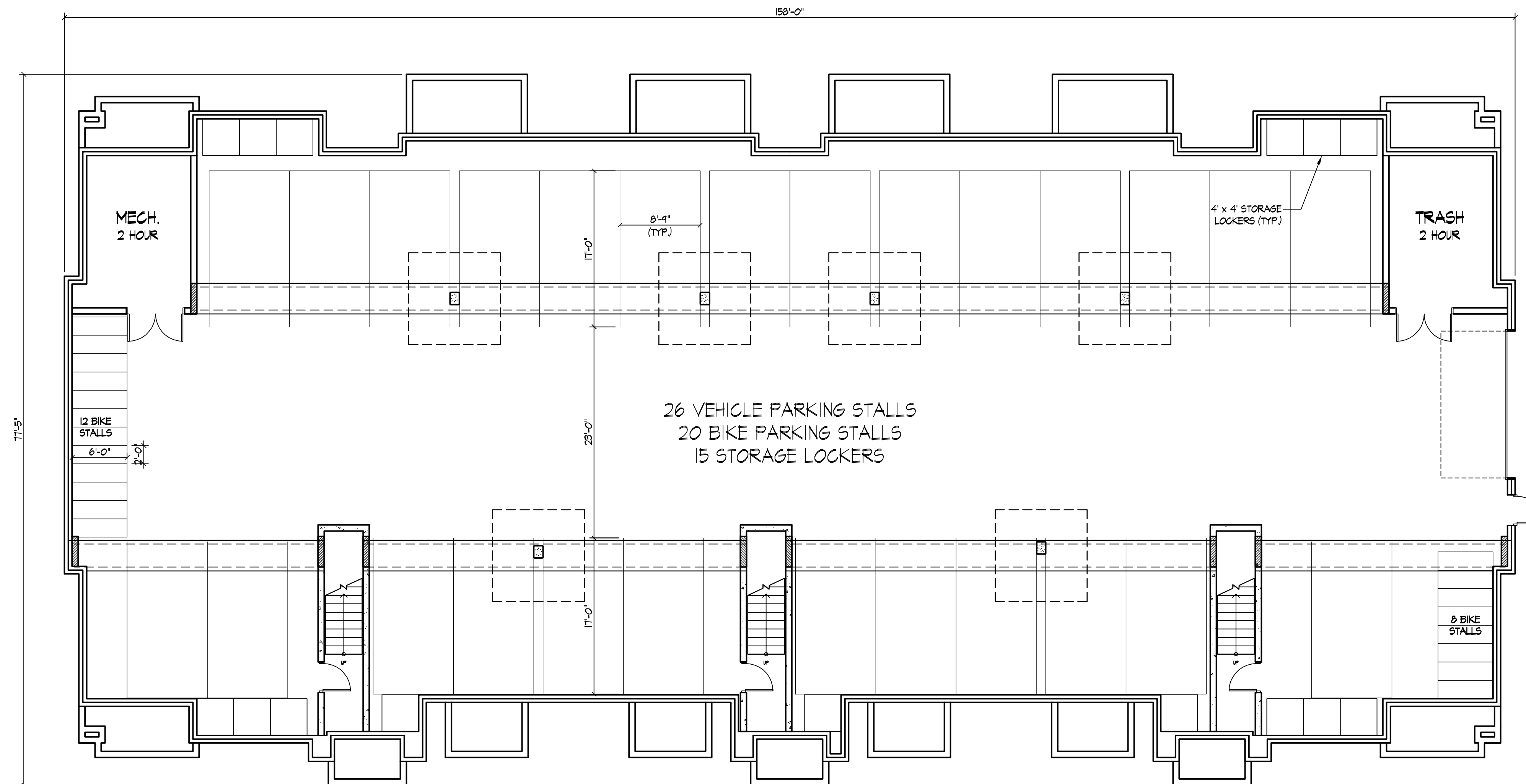
Project No. Drawing No.

0817

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Consultant

Notes
Date



BASEMENT FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #2 - 24 Unit
Basement Plan**

Project No. Drawing No.

0817

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Date



NORTH ELEVATION (ALONG LITTLEMORE DR.)
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



TYPICAL MATERIALS

- HORIZONTAL SIDING
- ALUMINUM WRAPPED FASCIA
- ASPHALT SHINGLES
- HORIZONTAL SIDING
- PAINTED COMPOSITE TRIM
- PAINTED COMPOSITE WINDOW TRIM
- PRECAST WINDOW SILLS
- ALUMINUM RAILING
- PAINTED COMPOSITE COLUMNS
- BRICK VENEER

Revisions
GDP / SIF Submittal - July 16, 2008
UDG Initial Submittal - July 16, 2008
UDG Final Submittal - October 08, 2008

EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #1 - 24 Unit
Elevations**

Project No. Drawing No.

0817

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Date



 **SECOND FLOOR PLAN**
1/8" = 1'-0"

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #1 - 24 Unit
Second Floor Plan**

Project No. Drawing No.

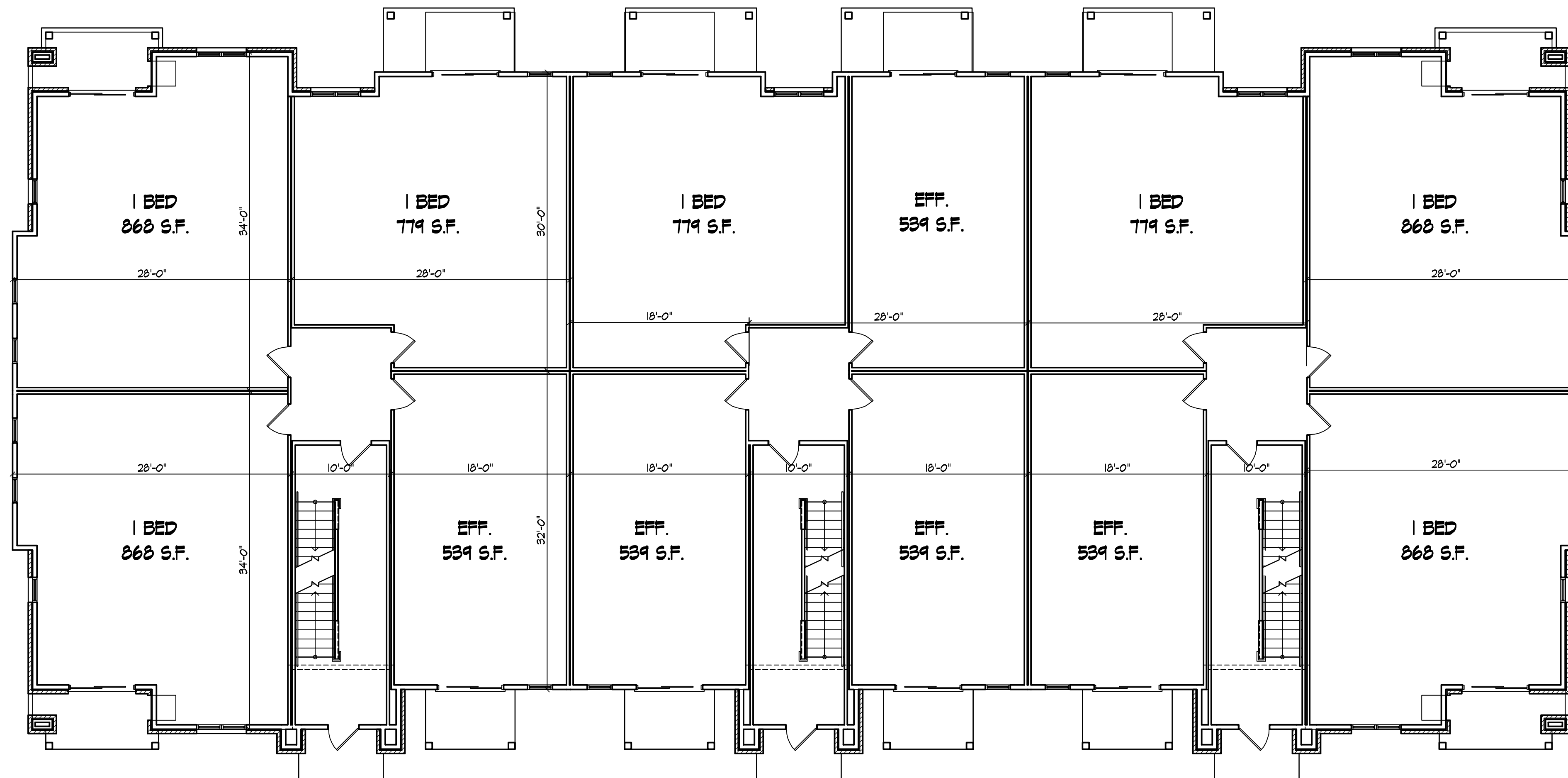
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Date



FIRST FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #1 - 24 Unit
First Floor Plan**

Project No. Drawing No.

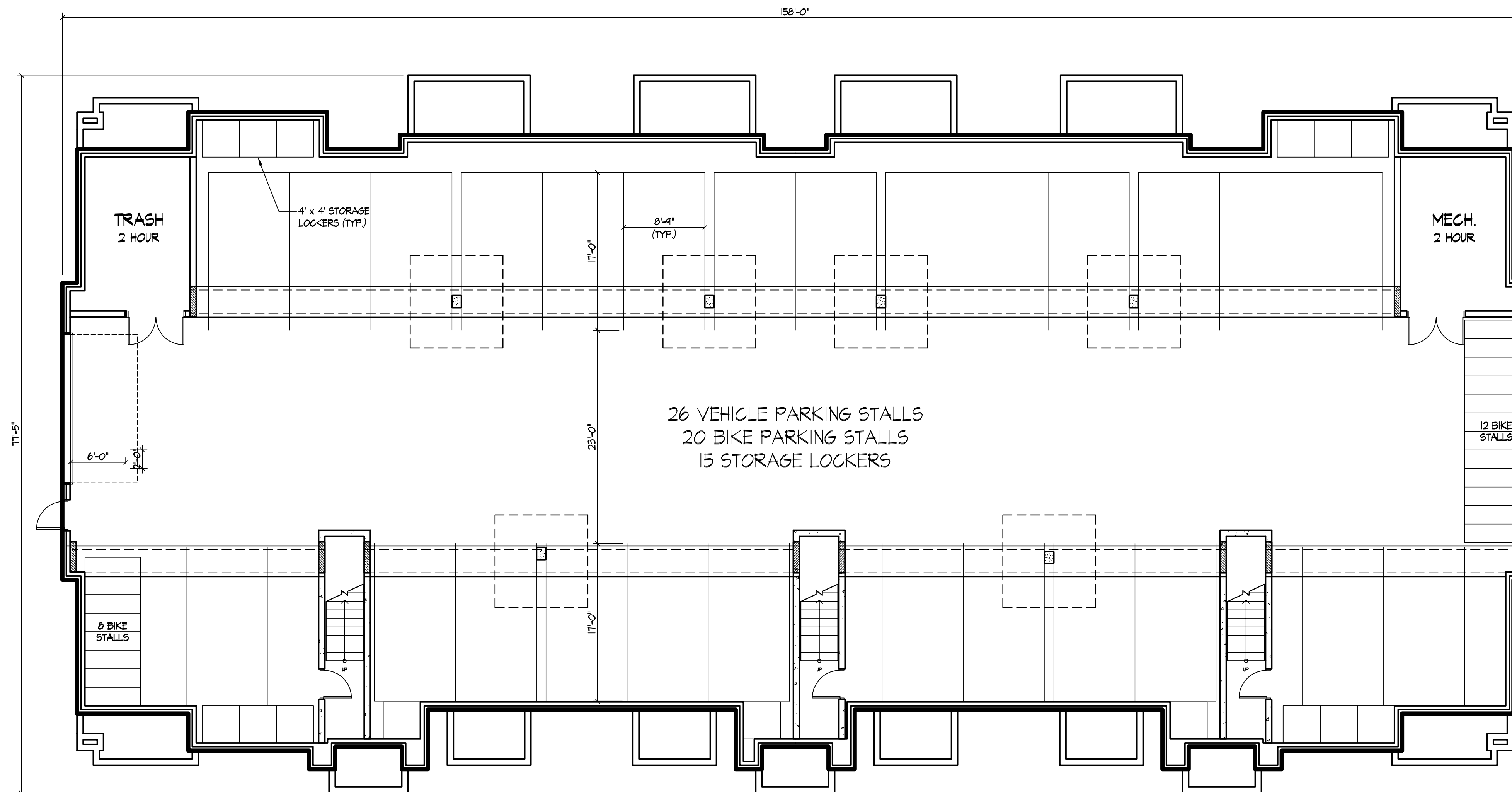
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Notes
Date



BASEMENT FLOOR PLAN
1/8" = 1'-0"
N

Revisions
GDP / SIP Submittal - July 16, 2008
UDC Initial Submittal - July 16, 2008
UDC Final Submittal - October 8, 2008

Project Title
**6901 Littlemore Drive
Apartments**

Drawing Title
**Building #1 - 24 Unit
Basement Plan**

Project No. Drawing No.

0817

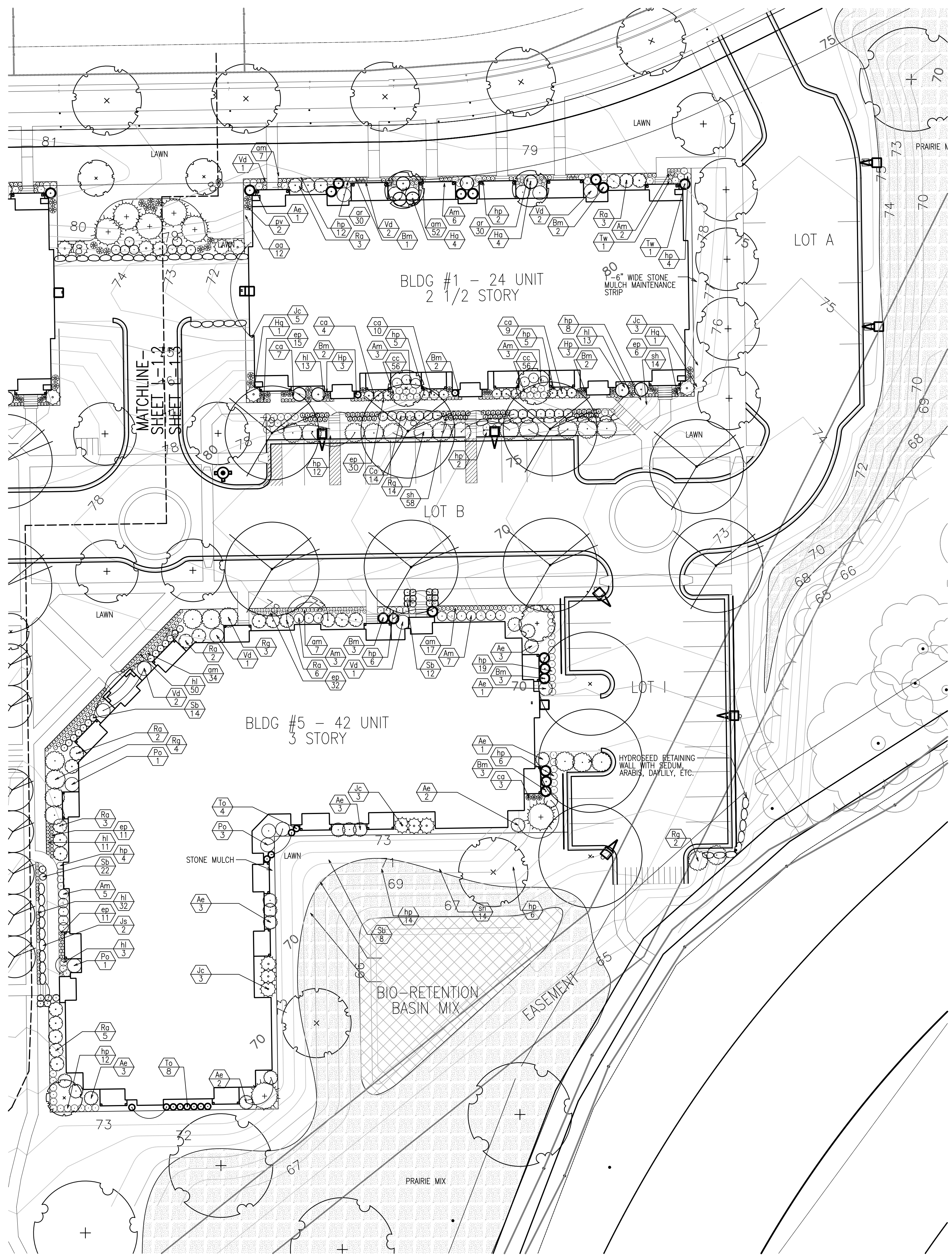
Consultant

Notes

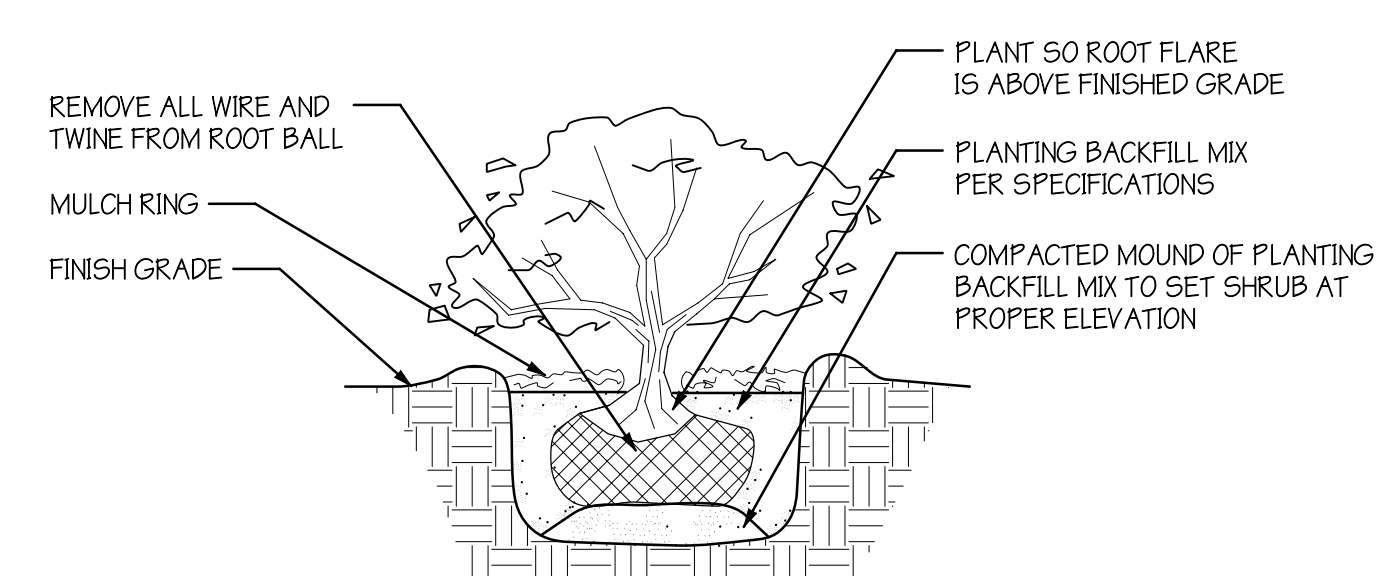
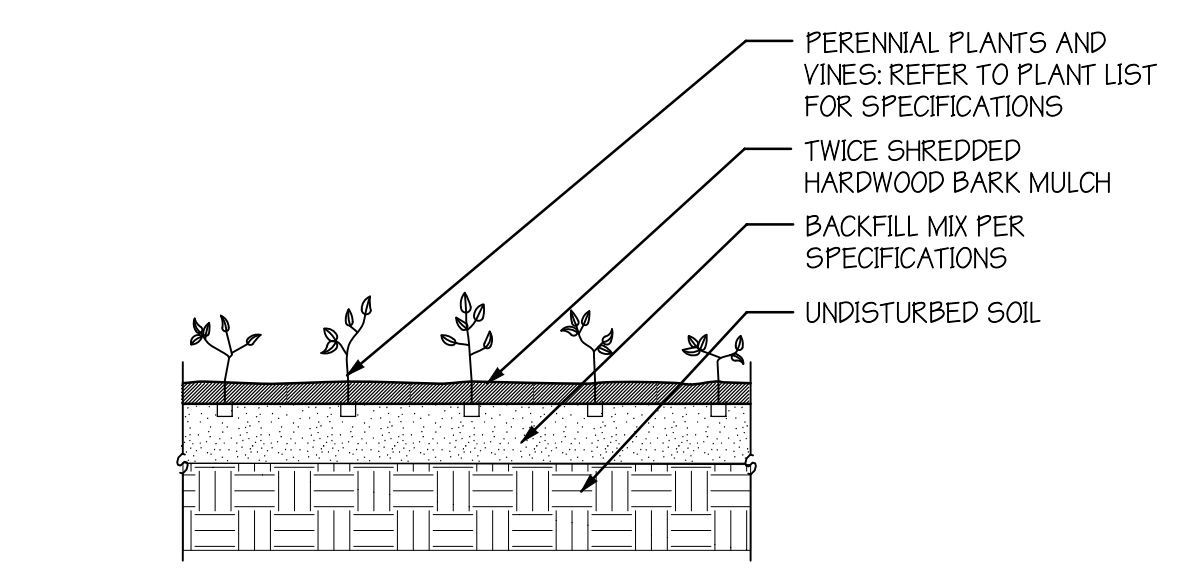
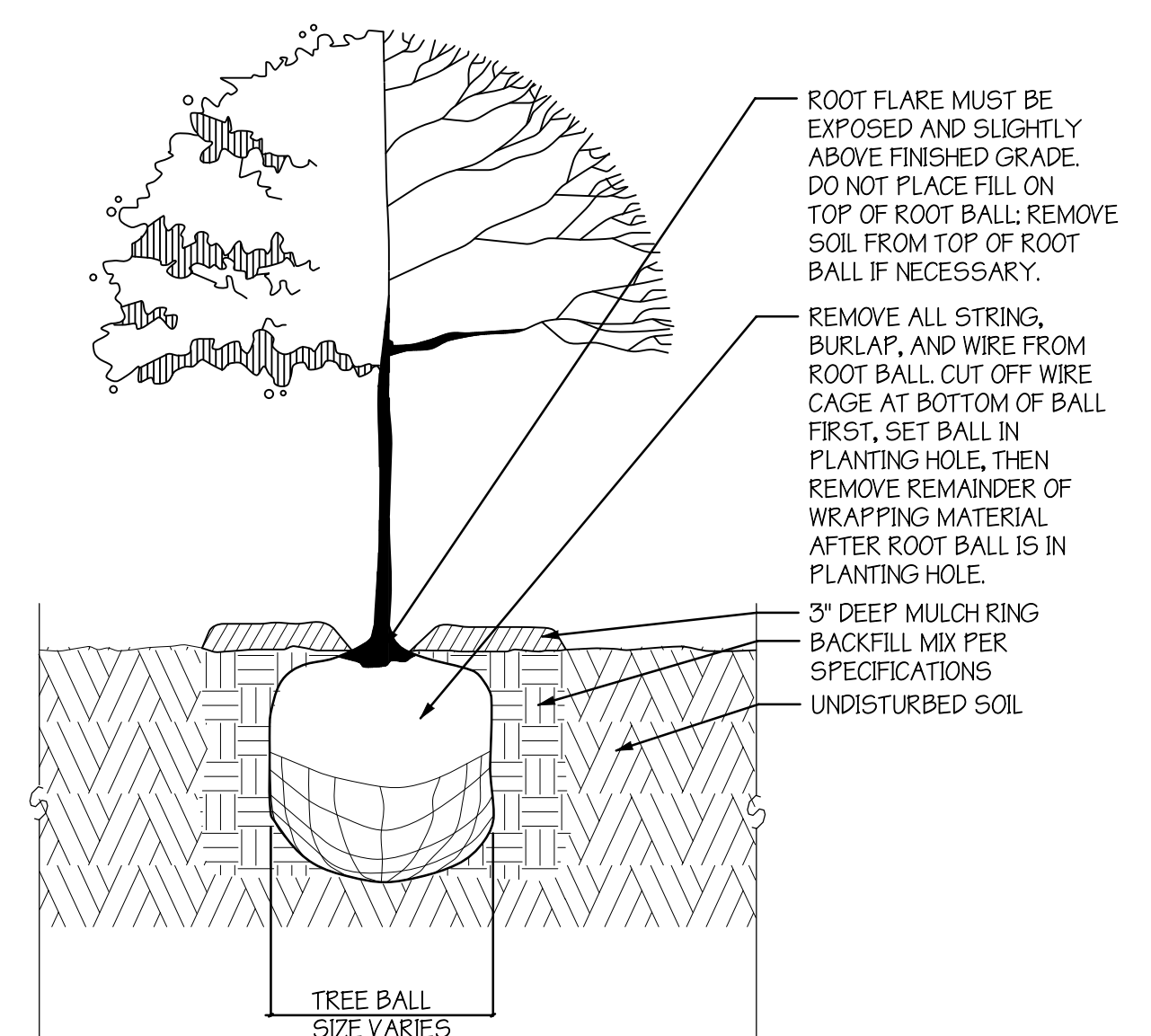
October 8, 2008



LANDSCAPE CONSULTANTS



Plant List Key	Botanical Name	Common Name	Quantity	Install Size	Full-grown Size height	Full-grown Size width	Comments
Deciduous Trees							
AF	<i>Acer x freemanii</i> 'Sienna'	Sienna Glen Maple	9	3" B&B	60'	40'	
CO	<i>Celtis occidentalis</i> 'Windy City'	Windy City Hackberry	10	3" B&B	50-75'	50'	
CA	<i>Cornus alternifolia</i>	Pagoda Dogwood	5	5" ht. B&B	15-20'	20-25'	
GB	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	16	3" B&B	45'	35'	
GT	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Honeylocust	4	3" B&B	50-60'	30-35'	
GD	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	18	3" B&B	50-60'	40-50'	
MT	<i>Malus</i> 'Thunderchild'	Thunderchild Crab	17	2" B&B	15-20'	15'	
PC	<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Callery Pear	28	3" B&B	35'	20'	
QM	<i>Quercus macrocarpa</i>	Bur Oak	9	2" B&B	60-80'	60-80'	
Evergreen Trees							
PB	<i>Picea pungens</i> 'Bison Blue'	Bison Blue Colorado Spruce	10	5" ht. B&B	20-25'	10-15'	
TB	<i>Thuja occidentalis</i> 'BailJohn'	Technito Arborvitae	16	4" ht. B&B	6-8'	2-3'	
Deciduous Shrubs							
Am	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Black Chokeberry	109	18" ht. cont.	2-3'	3-4'	
Ae	<i>Aronia melanocarpa</i> var. 'Elata'	Black Chokeberry	40	3" ht. cont.	4-6'	4-6'	
Ca	<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	33	18" spd./#3 cont.	2-3'	3-4'	
Ha	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	20	#3 cont.	3-4'	4-6'	treat as herbaceous perennial
Hq	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	25	3" ht. cont.	6-8'	4-6'	
Hq	<i>Hydrangea quercifolia</i> 'Alice'	Oakleaf Hydrangea	10	2" ht. cont.	6-8'	6-8'	
Po	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Eastern Ninebark	24	2" ht. cont.	4-6'	4-6'	
Rg	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	23	18" spd. cont.	1.5-2'	6-8'	
Ra	<i>Ribes alpinum</i> 'Europa'	European Alpine Currant	70	18" ht. cont.	4-6'	4-6'	
Sb	<i>Spiraea betulifolia</i> 'Tor'	Birchleaf Spirea	173	18" ht. cont.	2-3'	2-3'	
Vd	<i>Viburnum dentatum</i> 'Christom'	Blue Muffin Viburnum	31	3" ht. cont.	4-6'	4-6'	
Evergreen Shrubs							
Bm	<i>Buxus microphylla</i> 'Wintergreen'	Wintergreen Boxwood	33	#3 cont.	2-4'	3-5'	
Jc	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	45	18" spd. cont.	4-6'	6-8'	
Js	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	20	12" spd. Cont.	2'	4'	
To	<i>Thuja occidentalis</i> 'Hetz Midget'	Hetz Midget Arborvitae	61	18" spd./#3 cont.	2-3'	2-3'	
Tw	<i>Thuja occidentalis</i> 'Woodwardii'	Woodward Globe Arborvitae	2	24" spd/#3 cont.	3-5'	3-5'	
Perennials/Grasses/Groundcovers							
ar	<i>Ajuga reptans</i> 'Catlin's Giant'	Catlin's Giant Carpet Bugle	180	1 qt. pot	8-12"	1-1.5'	
am	<i>Alchemilla mollis</i>	Lady's Mantle	272	1 qt. pot	1-1.5'	1.5-2'	
aa	<i>Aster novae angliae</i> 'Vibrant Dome'	Vibrant Dome New England Aster	70	1 qt. pot	1.5'	2.5-3'	
ca	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	160	1 qt. pot	3-6"	2-3'	
cc	<i>Campanula carpatica</i> 'White Clips'	White Clips Carpathian Harebell	403	1 qt. pot	6-8"	3-6"	shear after first bloom
ep	<i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	269	1 qt. pot	2-3'	1-1.5'	
hl	<i>Hemerocallis</i> 'Lavender Tonic'	Lavender Tonic Daylily	210	1 qt. pot	1-1.5'	1-1.5'	
hp	<i>Hemerocallis</i> 'Preppy Pink'	Preppy Pink Daylily	377	1 qt. pot	2-3'	2-3'	
pv	<i>Panicum virgatum</i> 'Northwind'	Northwind Switch Grass	21	1 qt. pot	4-6"	2-3'	
sm	<i>Salvia nemorosa</i> 'May Night'	May Night Salvia	141	1 qt. pot	1.5-2'	1.5-2'	deadhead to encourage re-bloom
sh	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	201	1 qt. pot	2-3'	1.5-2'	



Revisions

S.J.P. Submittal - July 16, 2008
Submittal - October 8, 2008

Project Title
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Drawing Title

Project No. Drawing No.

0817