



**CITY OF MADISON  
ZONING BOARD OF APPEALS  
VARIANCE APPLICATION**

**\$300 Filing Fee**

Ensure all information is typed or legibly printed using blue or black ink.

Address of Subject Property: 6698 ODANA ROAD

Name of Owner: RICH KLINKE - SJR ODANA, LLC

Address of Owner (if different than above): 4518 MONONA DRIVE  
MADISON, WI 53716

Daytime Phone: 608 222 6060 Evening Phone: 608 222 6060

Email Address: RICHARD@KLINKECLEANERS.COM

Name of Applicant (Owner's Representative): JOHN BIENO - TJK DESIGN BUILD

Address of Applicant: 634 WEST MAIN STREET  
MADISON, WI 53703

Daytime Phone: 608 257 1090 Evening Phone: 608 257 1090

Email Address: JBBIENO@TJKDESIGNBUILD.COM

Description of Requested Variance: BUILDING SET BACK

*(See reverse side for more instructions)*

FOR OFFICE USE ONLY	
Amount Paid: <u>\$300 -</u>	Hearing Date: <input checked="" type="checkbox"/> <u>6/13/13</u>
Receipt: <u>143143</u>	Published Date: <u>6/6/13</u>
Filing Date: <u>5/24/13</u>	Appeal Number: <u>061313-6</u>
Received By: <u>ESK</u>	GQ: <u>OK</u>
Parcel Number: <u>0708-252-0609-2</u>	Code Section(s): <u>28.068(3)(a)</u>
Zoning District: <u>CC</u>	
Alder District: <u>19</u>	

## Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

THE PROPERTY HAS RESTRICTIVE COVENANTS THAT MAKE OBTAINING  
THE ZONING STANDARDS UNOBTAINABLE.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

THE APPROACH TO THE PROJECT IS CONGRUENT WITH THE ZONING CODE  
WITH THE EXCEPTION OF THE SETBACK

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

OBTAINING A WAIVER REGARDING THE RESTRICTING COVENANTS WAS REQUESTED  
AND DENIED. COVENANT HOLDERS INFORMED US THAT THE SETBACKS  
WOULD NOT BE WAIVED UNDER ANY CIRCUMSTANCE.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

THE PROPERTY HAS COVENANTS PUT IN PLACE 30+ YEARS AGO FROM  
PARK TOWNE DEVELOPMENT.

5. The proposed variance shall not create substantial detriment to adjacent property.

THERE WILL BE NO DETRIMENT TO ADJACENT PROPERTIES.

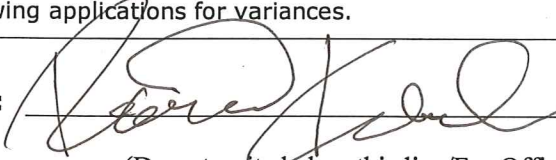
6. The proposed variance shall be compatible with the character of the immediate neighborhood.

THE VARIANCE WOULD MAKE THIS PROPERTY COMPATIBLE WITH  
ALL IMMEDIATE NEIGHBORS.

## Application Requirements

**Please provide the following Information** (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

<input checked="" type="checkbox"/>	<b>Pre-application meeting with staff:</b> Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. <b>Incomplete applications could result in referral or denial by the Zoning Board of Appeals.</b>
<input checked="" type="checkbox"/>	<b>Site plan</b> , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Lot lines</li> <li><input checked="" type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines</li> <li><input checked="" type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance</li> <li><input checked="" type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features</li> <li><input checked="" type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)</li> <li><input checked="" type="checkbox"/> North arrow</li> </ul>
<input checked="" type="checkbox"/>	<b>Elevations</b> from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input checked="" type="checkbox"/>	<b>Interior floor plan of existing and proposed structure</b> , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input checked="" type="checkbox"/>	<b>Front yard variance requests only.</b> Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input type="checkbox"/>	<b>Lakefront setback variance requests only.</b> Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	<b>Variance requests specifically involving slope, grade, or trees.</b> Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	<b>CHECK HERE.</b> I acknowledge any statements implied as fact require supporting evidence.
<input type="checkbox"/>	<b>CHECK HERE.</b> I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

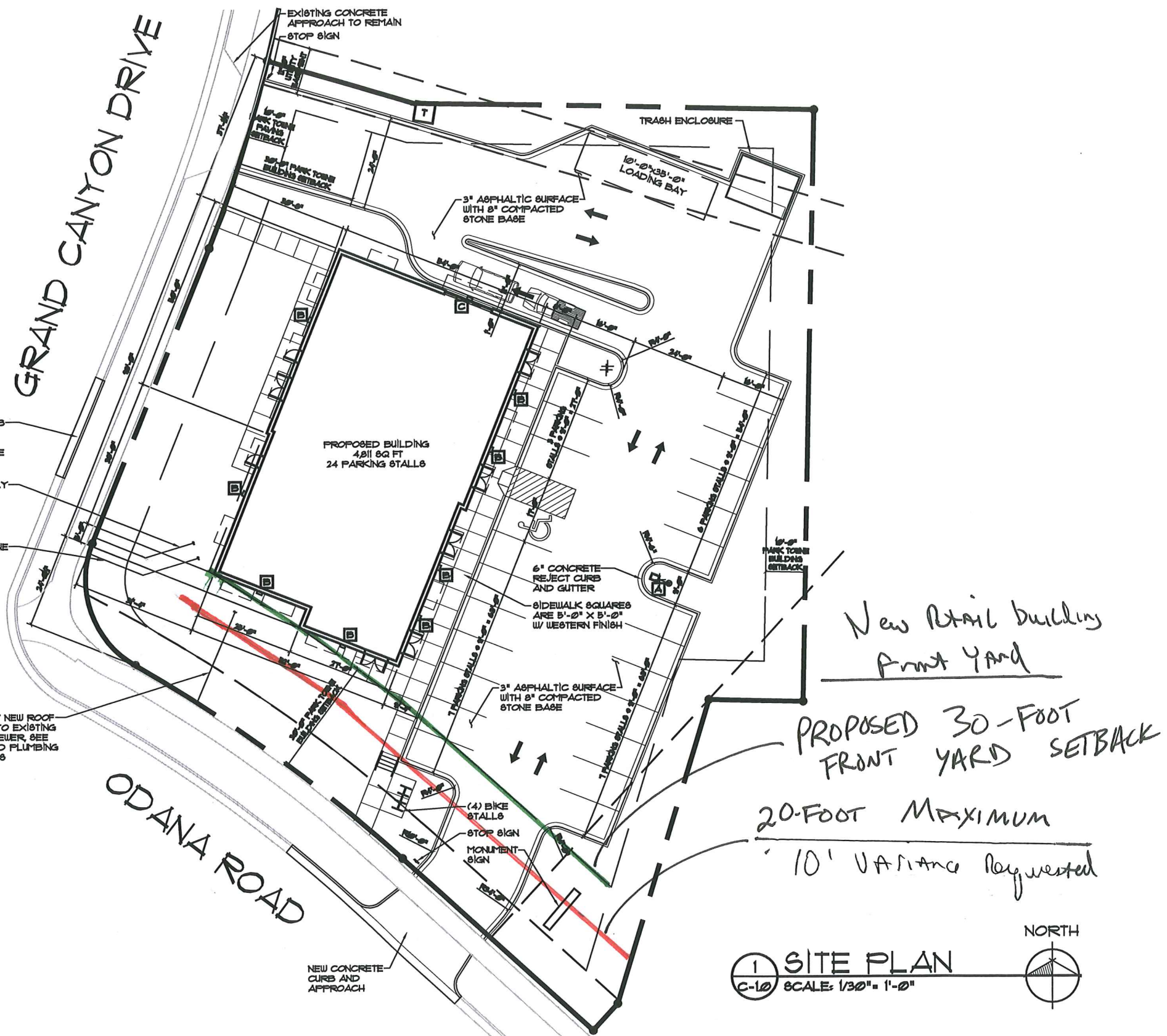
**Owner's Signature:**  **Date:** 5/22/13

----- (Do not write below this line/For Office Use Only) -----

<b><u>DECISION</u></b>
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ <b>(is) (is not)</b> in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.
<b>The Zoning Board of Appeals:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved
<b>Zoning Board of Appeals Chair:</b>
<b>Date:</b>

**LEGEND:**

- PROPERTY CORNER
- — — — — PROPERTY LINE
- SAN — SANITARY SEWER
- STM — STORM SEWER
- W — WATER MAIN
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W/ LIGHT
- MANHOLE
- ⊕ WATER VALVE
- CURB INLET
- STORM SEWER ACCESS COVER
- ⊕ SPOT ELEVATION
- ⊕ MONITORING WELL



NEW CONCRETE CURB AND GUTTER TO MATCH EXISTING AT REMOVED CONCRETE APPROACH

NEW 2" WATER SUPPLY TO CONNECT TO EXISTING, SEE CIVIL AND PLUMBING DRAWINGS

NEW 4" SANITARY LINE TO CONNECT TO EXISTING, SEE CIVIL AND PLUMBING DRAWINGS

CONNECT NEW ROOF DRAINS TO EXISTING STORM SEWER, SEE CIVIL AND PLUMBING DRAWINGS

*New Retail building front yard*

*PROPOSED 30-FOOT FRONT YARD SETBACK*

*20-FOOT MAXIMUM*

*10' VARIANCE Requested*

1 SITE PLAN  
C-10 SCALE: 1/32" = 1'-0"



634 West Main Street  
Madison, WI 53703  
608-251-1090  
FAX 608-251-1092

REV DATE

UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AGENCIES.

PROPOSED FACILITY FOR:  
**MULTI-TENANT COMMERCIAL BUILDING**  
6698 ODANA ROAD  
MADISON, WISCONSIN

**C-10**

5.16.13

PROPOSED FACILITY FOR:

# MULTI-TENANT COMMERCIAL BUILDING

6698 ODANA ROAD  
MADISON, WISCONSIN

**TJK** TJK Design Build

634 West Main Street  
Madison, WI 53703

DESIGNBUILD

608-257-1090

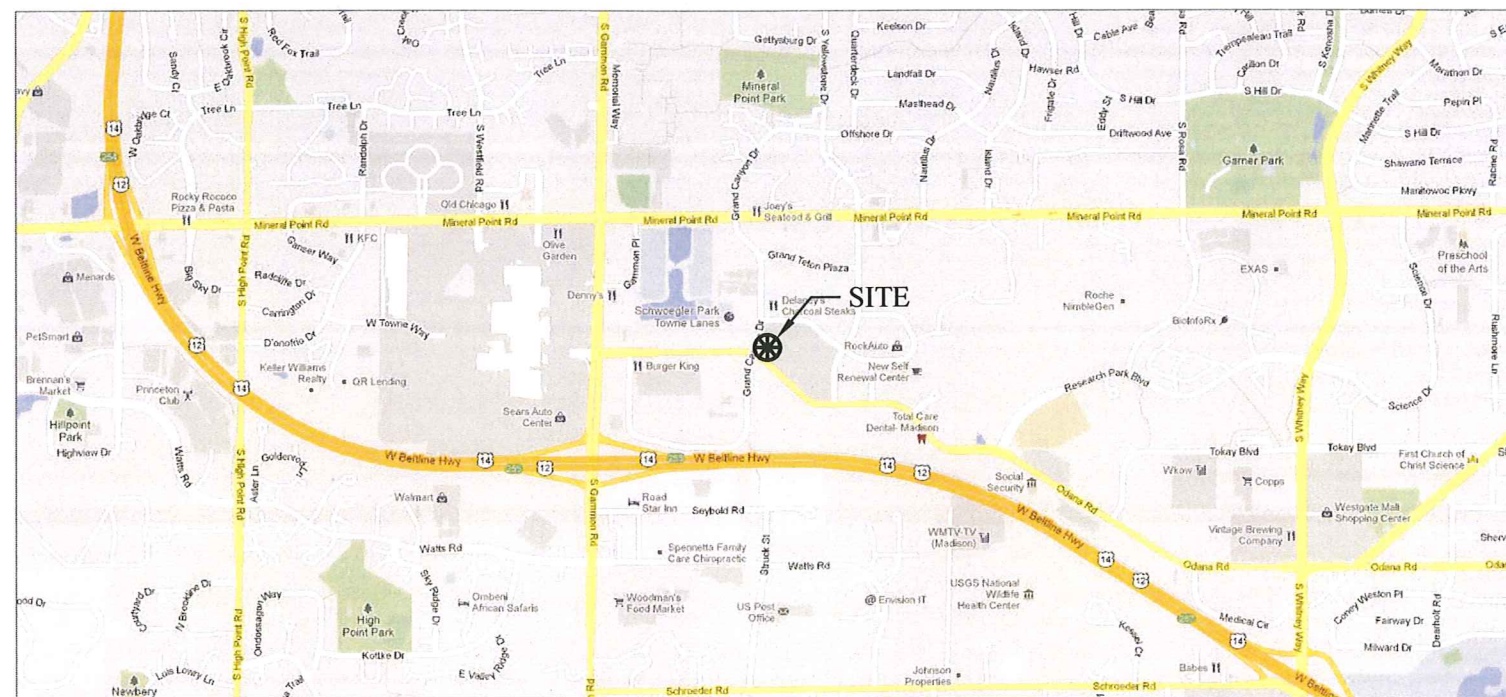
FAX 608-257-1092

INDEX OF DRAWINGS:

- C-1.0 SITE PLAN
- C-1.1 PROPOSED SITE PLAN
- C-1.2 CIVIL ENGINEERING
- A-1.1 FLOOR PLAN
- A-2.1 EXTERIOR ELEVATIONS



VIEW FROM ODANA ROAD



SITE LOCATION MAP

PROPOSED FACILITY FOR:  
MULTI-TENANT COMMERCIAL BUILDING  
6698 ODANA ROAD, MADISON, WI



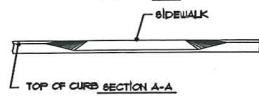
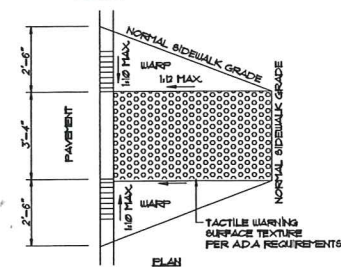
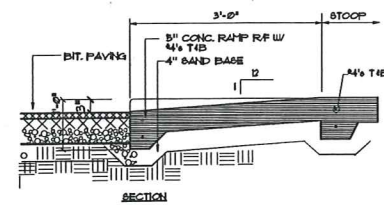
TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



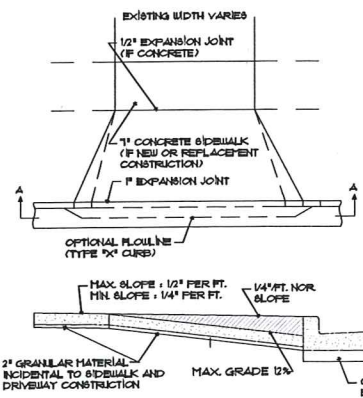
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
WIS STATUTE 182.015(1974)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

**LEGEND:**

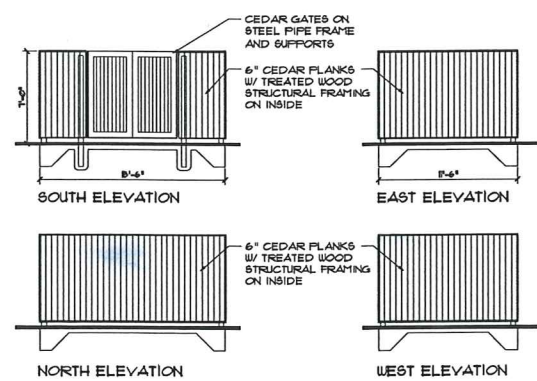
- PROPERTY CORNER
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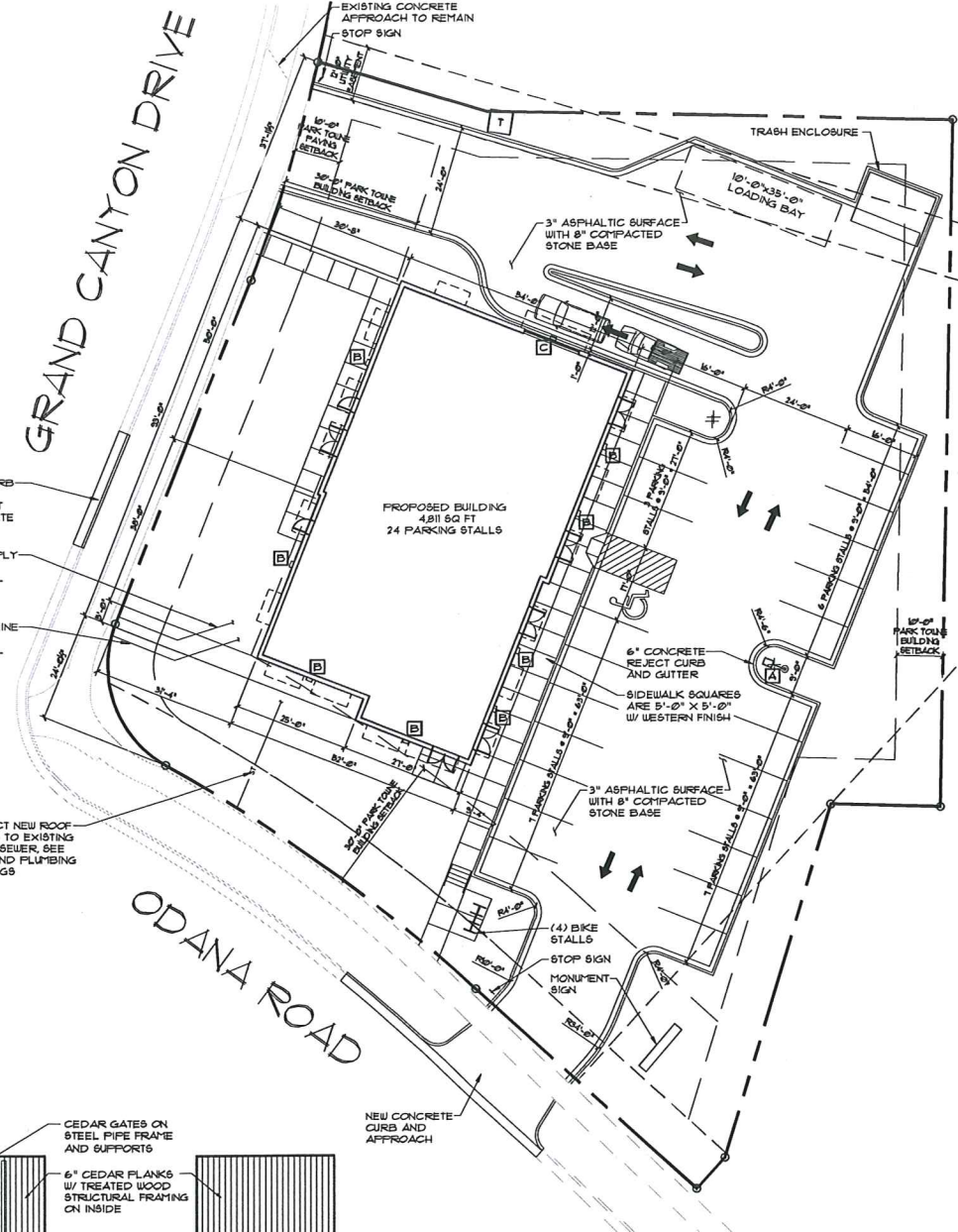
**TYPICAL CURB RAMP DETAIL**  
C-11 SCALE: N.T.S.



**COMMERCIAL DRIVEWAY DETAIL**  
C-11 SCALE: N.T.S.



**TRASH ENCLOSURE DETAIL**  
C-11 SCALE: N.T.S.



**1 SITE PLAN**  
C-11 SCALE: 1/16" = 1'-0"

**PARKING LOT PLAN SITE INFORMATION BLOCK**

SITE ACREAGE (TOTAL)	30232 SQ FT • 0.69 ACRES
PROPOSED IMPERVIOUS SURFACE	18651 SQ FT
PROPOSED PARKING AND PAVEMENT	12272 SQ FT
NUMBER OF BUILDING STORIES (ABOVE GRADE)	1
BUILDING HEIGHT	20'-4" ABOVE GRADE
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS)	BB, NON-SPRINKLED
TOTAL SQUARE FOOTAGE OF BUILDING	4811 SQ FT
USE OF PROPERTY	B
NUMBER OF PARKING STALLS	24
NUMBER OF LANDSCAPE POINTS REQUIRED	318

**SITE INFORMATION**

SITE SIZE	30232 SQ FT
BLDG AREA (FOOTPRINT)	4811 SQ FT
FLOOR AREA RATIO	15.9%
PARKING AND WALKS	13840 SQ FT
IMPERVIOUS SURFACE AREA	18651 SQ FT
IMPERVIOUS SURFACE RATIO	61.2%
PARKING RATIO	1.200 SQ FT
ZONING	CC

**GENERAL NOTES:**

- ALL PAINT STRIPPING SHALL BE 4" WIDE, WHITE
- H.C. CURB CUTS AND RAMPS PER ADA SEC. 411 MAX. SLOPE TO BE 1/2" MIN. WIDTH TO BE 3:1, TRUNCATED DOMES ARE TO BE INSTALLED ON EACH SIDE, DIAMOND MESH SURFACE FULL WIDTH AND DEPTH OF RAMP.
- ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
- BITUMINOUS PAVING IS 3" SURFACE COURSE ON 8" COMPACTED STONE BASE. (APPROXIMATE ASPHALTIC AREA: 10203 SQ FT)
- ALL EXTERIOR CONCRETE SIDEWALKS TO BE 6" BAG MIX WITH WESTERN FINISH 5" THICK W/ W/F REINFORCING ON 6" COMPACTED FILL. (AREA OF SIDEWALKS: 1193 SQ FT)
- WATER SERVICE MATERIAL SHALL BE 1 1/2" COPPER
- SEWER AND WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION.
- DRIVEWAY APRON CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARDS.
- EXISTING WATERMAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION.
- SLOPES GREATER THAN 3:1 SHALL BE LINED WITH EROSION MATTING.
- TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY OF MADISON.
- ACCESSIBLE SIGNAGE AT THE HEAD OF STALLS SHALL BE A MINIMUM OF 60" INCHES BETWEEN THE BOTTOM OF THE SIGN AND THE GROUND.
- INSTALL "STOP" SIGN AT A HEIGHT OF 1'-0" ABOVE GRADE AT DRIVEWAY APPROACH ON OWNER'S PROPERTY.

**LIGHT FIXTURE KEY**

- A STREETWORKS, RIDGEVIEW LED SINGLE HEAD PARKING LOT LIGHT FIXTURE MODEL # RDG-B21-LED-E-U-RWG-BZ 18'-0" X 18'-0" 50 STEEL POLE ON 3'-0" CONC. BASE (18'-0" FROM GRADE)
- B COOPER LIGHTING, MCGRAW-EDISON IMPACT ELITE SMALL-LED CATALOG #ST-B21-LED-EI-52U-BZ-ULG MOUNTING HEIGHT = 9'-0" ABOVE GRADE
- C COOPER LIGHTING, MCGRAW-EDISON IMPACT ELITE SMALL-LED CATALOG #ST-B21-LED-EI-52U-BZ-ULG MOUNTING HEIGHT = 11'-0" ABOVE GRADE



**SITE MAP**



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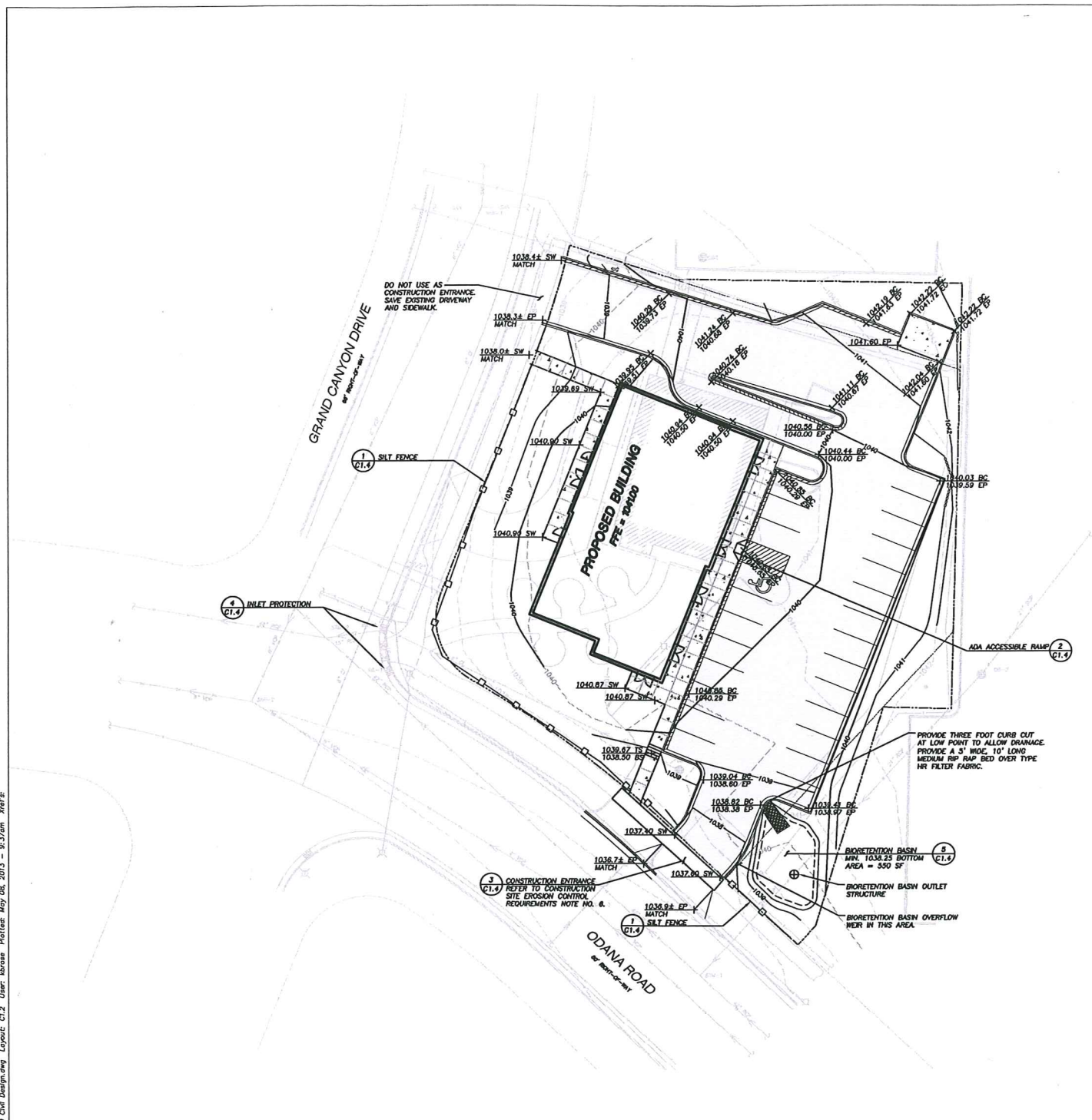
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PROPOSED FACILITY FOR:  
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MADISON, WISCONSIN

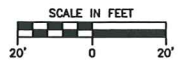
**C-1.1**

5.16.13

File: I:\2013\15620\DWG\15620 Civil Design.dwg Layout: C1.2 User: kboose Plotfile: May 08, 2013 - 9:37am .xref:



**1 GRADING & EROSION CONTROL PLAN**  
 C-1.2 SCALE: 1" = 20'



**LEGEND (PROPOSED)**

---	PROPERTY LINE
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	BUILDING LINE
□	SILT FENCE
---	EDGE OF CONCRETE
---	18" CONCRETE CURB & GUTTER
---	18" REJECT CONCRETE CURB & GUTTER
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED ASPHALT PAVEMENT
---	SPOT ELEVATION
SW	SIDEWALK
FG	FINISHED GRADE
TW	TOP OF WALL GRADE
BW	BOTTOM OF WALL GRADE
EP	EDGE OF PAVEMENT
BC	BACK OF CURB

- GENERAL NOTES**
- REFER TO THE TOPOGRAPHIC & UTILITY MAP FOR EXISTING CONDITIONS NOTES AND LEGEND.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS (STANDARD SPECIFICATIONS).
  - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - USD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OF ALL REGULATORY AGENCIES.
  - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
  - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO DNR TECHNICAL STANDARDS.
  - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
  - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
  - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. EXISTING GRAVEL MAY BE USED IF IT IS CLEAN AND FUNCTIONS TO PREVENT TRACKING OF MUD ONTO THE ADJACENT STREET. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
  - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
  - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
    - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
    - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE Dewatering TECHNICAL STANDARD NO. 1081 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
  - INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION. REFER TO WISDOT FDM FOR RESPECTIVE DETAILS.
  - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
  - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
  - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO DNR TECHNICAL STANDARD 1068.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
  - ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES HAVE SLOPE ALL AREAS GRADN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND SITE HAS BEEN STABILIZED.
  - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
  - CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.



634 West Main Street  
 Madison, WI 53703  
 608-257-1090  
 FAX 608-257-1092

REV	DATE

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**JSD** Professional Services, Inc.  
 Engineers • Surveyors • Planners  
 161 HORIZON DRIVE, SUITE 101  
 VERONA, WISCONSIN 53593  
 PHONE: (608)946-9000

PROPOSED FACILITY FOR:  
**MULTI-TENANT COMMERCIAL BUILDING**  
 6698 ODANA ROAD  
 MADISON, WISCONSIN

C-1.2  
 4.17.13



**GENERAL NOTES**

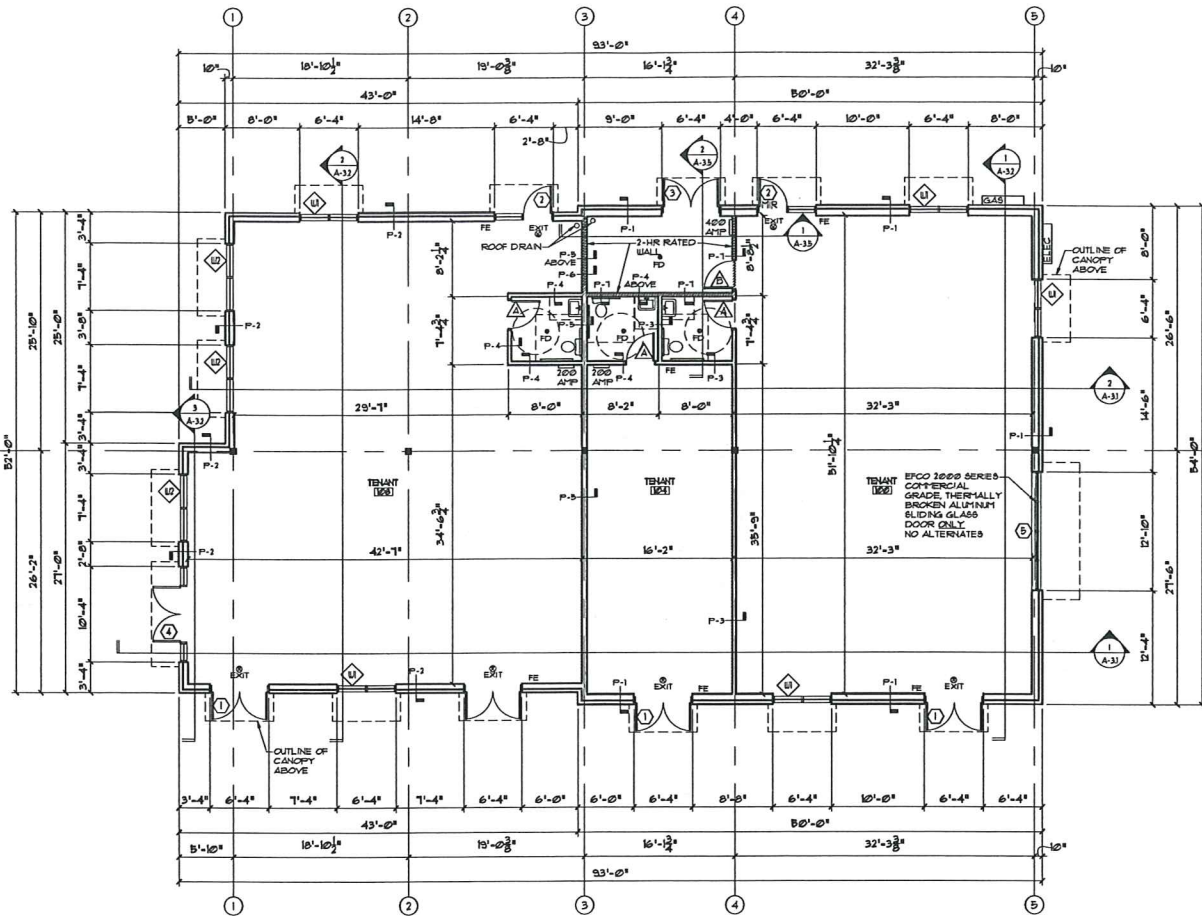
- MASON TO USE COLORED MORTAR TO MATCH ADJACENT BLOCK COLOR. VERIFY COLOR WITH ARCHITECT PRIOR TO INSTALL.
- ALL GLAZING WITHIN A 2'-0" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 2'-0" ABOVE THE WALKING SURFACE ARE TO BE TEMPERED SAFETY GLASS (TYPICAL)
- ELECTRICIAN TO PROVIDE (2) SIGN CIRCUITS WITH PHOTO CELL ON / TYPED OFF WIRED TO THE INDIVIDUAL SUITE PANELS. JUNCTION BOX FOR SIGN AND LIGHTING TO BE FLUSH MOUNTED ON BUILDING. (NOT SURFACE MOUNTED)
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES.
- PROVIDE AN EMERGENCY ILLUMINATION POWER ALONG EGRESS PATHS IN ACCORDANCE WITH ICC ELECTRICAL CODE. ILLUMINATION IS TO LAST FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES (INTERIOR & EXTERIOR)
- PAINTING CONTRACTOR TO STAIN AND SEAL ALL INTERIOR WOOD DOORS AND PAINT ALL HOLLOW METAL FRAMES.
- FLOORING CONTRACTOR TO PROVIDE VINYL BASE THRU-OUT TENANT SPACE.
- PROVIDE STAINED AND POLISHED CONCRETE FLOOR (COLOR BY TENANT)
- ELECTRICIAN TO PROVIDE (2) SIGN CIRCUITS PER TENANT SUITE WITH PHOTO CELL ON / TYPED OFF WIRED TO THE INDIVIDUAL SUITE PANELS. JUNCTION BOX FOR SIGN AND LIGHTING TO BE FLUSH MOUNTED ON BUILDING. (NOT SURFACE MOUNTED)
- ELECTRIC CONTRACTOR TO PROVIDE DUPLEX OUTLETS BASED ON ONE OUTLET PER 60 SQ. FT.
- ELECTRIC CONTRACTOR TO PROVIDE PROBATIC LENS, FLUORESCENT, 2 TUBE, LAY-IN LIGHT FIXTURES BASED ON 1 FIXTURE PER 50 SQ. FT.
- EACH FUTURE TENANT SPACE IS TO HAVE AN ACCESSIBLE WATER BOTTLE DRINKING FOUNTAIN WITH INDIVIDUAL DRINKING CUPS FURNISHED BY TENANT (NO PLUMBING)
- ELECTRICIAN TO PROVIDE OUTLET FOR COOLER
- PROVIDE AND INSTALL STANDARD 3' x 4' CEILING TILE IN STANDARD GRID AT 10'-0" AND ALL DUCTWORK AND DIFFUSERS.
- PROVIDE AND INSTALL DUCTWORK, FLEX AND DIFFUSERS INTO CEILING GRID FOR STANDARD "WHITE-BOX"
- (1) PHONE / DATA CONNECTION PER SUITE WITH END CONNECTIONS AND CABLING
- FLOOR FINISH TO BE SEALED CONCRETE.
- ROOF TRUSS DESIGNER TO ADD 5 POUNDS PER SQUARE FOOT TO BOTTOM CHORD OF ROOF TRUSSES FOR TENANT ISB.

**PARTITION TYPES**

- P-1 MASONRY OR BRICK VENEER TO 10'-0" EF'S ABOVE. (SEE ELEVATIONS) 1" AIR SPACE, AIR INFILTRATION BARRIER, 5/8" DENSGLASS SHEATHING, 3/4" WOOD STUDS AT 16" O.C. WITH R-15 FIBERGLASS BATT INSULATION IN STUD CAVITIES, VAPOR BARRIER, 5/8" GYPSUM WALLBOARD TO 10'-0" (UNLESS NOTED OTHERWISE) FINISH TO 10'-0" READY FOR PAINT
- P-2 MASONRY OR BRICK VENEER TO 10'-0" EF'S ABOVE. (SEE ELEVATIONS) 1" AIR SPACE, AIR INFILTRATION BARRIER, 5/8" DENSGLASS SHEATHING, 3/4" WOOD STUDS AT 16" O.C. WITH R-15 FIBERGLASS BATT INSULATION IN STUD CAVITIES, VAPOR BARRIER, 5/8" GYPSUM WALLBOARD TO 10'-0" (UNLESS NOTED OTHERWISE) FINISH TO 10'-0" READY FOR PAINT
- P-3 3/4" WOOD STUD PARTITION WALL AT 16" O.C. WITH 5/8" GYPSUM WALLBOARD EACH SIDE TO DECK TAPED & FINISHED TO 10'-0"
- P-4 3/4" WOOD STUD WALL AT 24" O.C. TO 10'-0" AFF. WITH 5/8" GYPSUM WALLBOARD EACH SIDE
- P-5 3/4" WOOD STUD PARTITION WALL AT 16" O.C. WITH 5/8" GYPSUM WALLBOARD EACH SIDE TO DECK TAPED & FINISHED TO 10'-0"
- P-6 3/4" WOOD STUD PARTITION WALL AT 16" O.C. WITH (2) LAYERS OF 5/8" GYPSUM WALLBOARD EACH SIDE TO 10'-0" REFERENCE U.I. DESIGN NUMBER - U01
- P-7 3/4" WOOD STUD PARTITION WALL AT 16" O.C. WITH (2) LAYERS OF 5/8" GYPSUM WALLBOARD EACH SIDE TO 10'-0" REFERENCE U.I. DESIGN NUMBER - U01

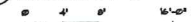
**TOILET ROOM NOTES:**

- BATHROOM LIGHTING TO BE A SINGLE TWO - TUBE SURFACE MOUNTED URAP FIXTURE
- BATHROOM LIGHTING TO BE CT, WITH 6" CT. BASE
- BATHROOM DOORS TO BE 3'-0" x 7'-0" SOLID CORE OAK DOOR IN HOLLOW METAL FRAMES WITH 1" SERIES PRIVACY LOCK (DOORS TO BE STAINED / FRAMES TO BE PAINTED)
- BATHROOMS TO HAVE EXHAUST FANS VENTED THRU ROOF BY HVAC CONTRACTOR
- PLUMBING CONTRACTOR TO PROVIDE (1) - 6 GALLON ELECTRIC WATER HEATER MOUNTED ABOVE ROOF ON PLUMBING PLATFORM
- 2 x 4 VINYL COATED SHEETROCK CEILING AT 8'-0"



**1 FLOOR PLAN**

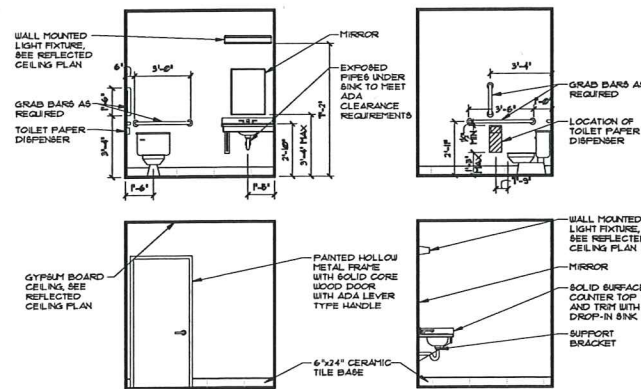
A-1/1 SCALE: 1/8" = 1' - 0"



SCALE: 1/8" = 1' - 0"

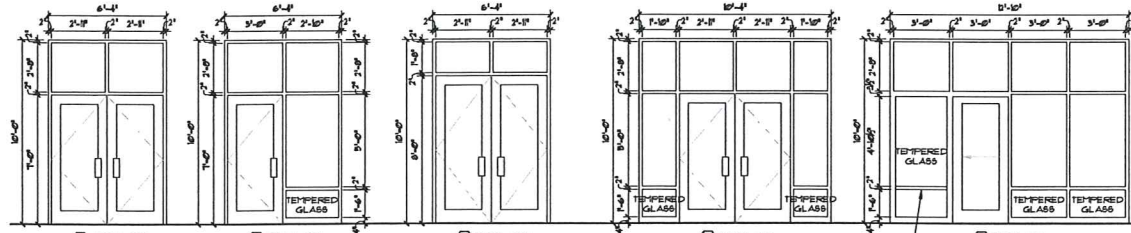
**FLOOR PLAN NOTES:**

- FE = WALL MOUNTED FIRE EXTINGUISHER
- ◇ = WINDOW TYPE
- = EXTERIOR DOOR TYPE
- △ = INTERIOR DOOR TYPE



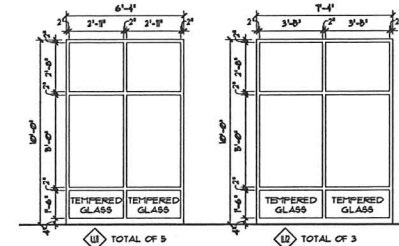
**2 TYPICAL RESTROOM ELEVATIONS**

A-1/1 SCALE: 1/4" = 1' - 0"



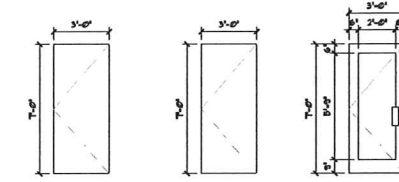
**3 EXTERIOR DOOR FRAME ELEVATIONS**

A-1/1 SCALE: 1/4" = 1' - 0"



**4 WINDOW ELEVATIONS**

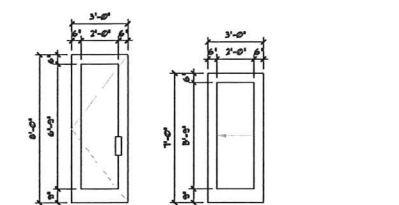
A-1/1 SCALE: 1/4" = 1' - 0"



**DOOR TYPE A**  
PRE-FINISHED SOLID CORE OAK

**DOOR TYPE B**  
PRE-FINISHED HOLLOW METAL, 2-HOUR RATED

**DOOR TYPE C**  
PRE-FINISHED THERMALLY BROKEN ALUMINUM STOREFRONT WITH 1" LOW-E GLASS

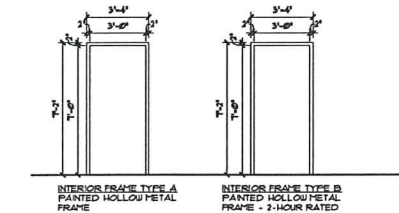


**DOOR TYPE D**  
PRE-FINISHED THERMALLY BROKEN ALUMINUM STOREFRONT WITH 1" LOW-E GLASS

**DOOR TYPE E**  
PRE-FINISHED THERMALLY BROKEN ALUMINUM STOREFRONT WITH 1" LOW-E GLASS

**5 DOOR ELEVATIONS**

A-1/1 SCALE: 1/4" = 1' - 0"



**6 INTERIOR DOOR FRAME ELEVATIONS**

A-1/1 SCALE: 1/4" = 1' - 0"



634 West Main Street  
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REV DATE

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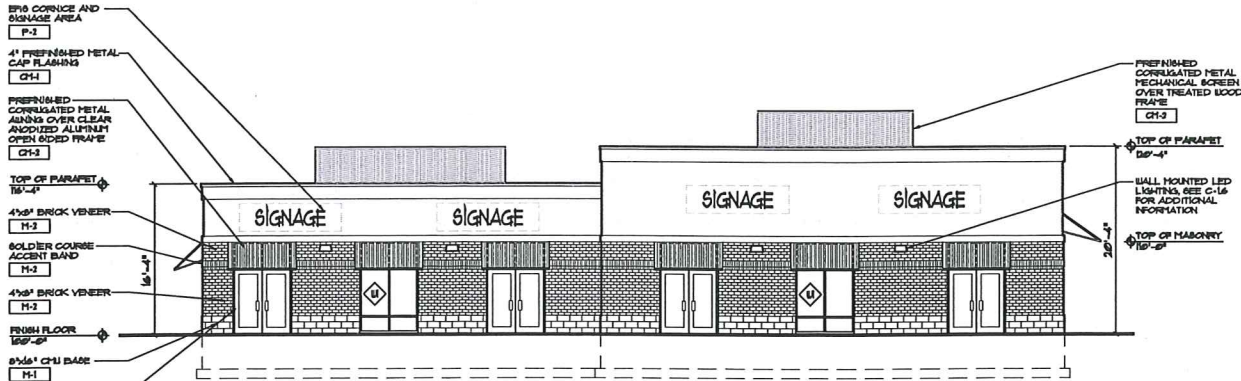
PROPOSED FACILITY FOR:  
**MULTI-TENANT COMMERCIAL BUILDING**  
6699 ODANA ROAD  
MADISON, WISCONSIN

**A-1.1**

5.16.13

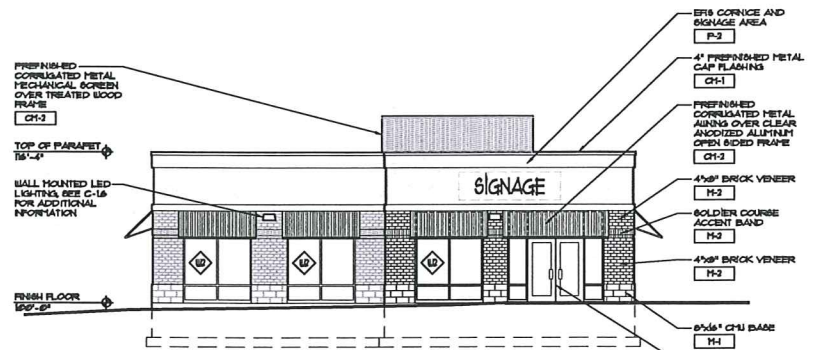
**EXTERIOR FINISH MATERIAL SCHEDULE**

TAG	MANUFACTURER	PRODUCT NUMBER	COLOR	DESCRIPTION/REMARKS
CH-1	COATED METALS GROUP	--	ROYAL BLUE	PARAPET CAP FLASHING
CH-2	COATED METALS GROUP	--	ROYAL BLUE	CORRUGATED METAL AWNING AND TECH. SCREENS
CH-3	COATED METALS GROUP	--	DARK BRONZE	PREFINISHED METAL WINDOW SILL FLASHING
M-1	COUNTY MATERIAL CORP.	COUNTY MATERIALS	TU-BLENDED	8 1/2" CHU SPLIT FACE FINISH W/ 8" RETURNS COLORED MORTAR TO MATCH
M-2	GLEN-GERY BRICK	EXTRUDED SERIES	BLACKSTONE	4" x 8" POLARIS FACE BRICK, COLORED MORTAR TO MATCH
P-1	TOTAL WALL	--	6244 KHAKI	EXTERIOR FINISH AND AWNING
MF-1	EFCO	3000 SERIES	DARK BRONZE	THERMALLY BROKEN STORE FRONT WINDOWS AND DOORS W/ INSULATED LOW-E GLASS



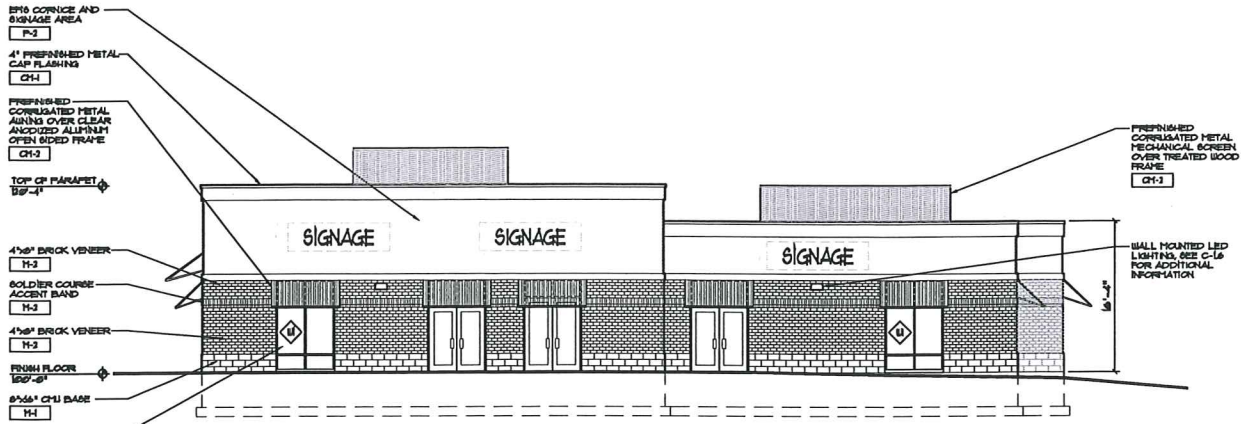
**1 EAST ELEVATION**  
A-2/1 SCALE: 1/8" = 1' - 0"

NOTE: SIGNAGE IS FOR GRAPHIC PURPOSES ONLY. FINAL LAYOUT DESIGN AND QUANTITY IS TO BE DETERMINED.



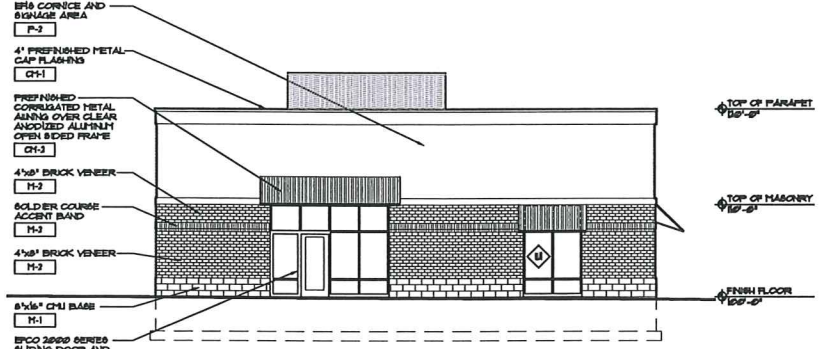
**2 SOUTH ELEVATION**  
A-2/1 SCALE: 1/8" = 1' - 0"

NOTE: SIGNAGE IS FOR GRAPHIC PURPOSES ONLY. FINAL LAYOUT DESIGN AND QUANTITY IS TO BE DETERMINED.



**3 WEST ELEVATION**  
A-2/1 SCALE: 1/8" = 1' - 0"

NOTE: SIGNAGE IS FOR GRAPHIC PURPOSES ONLY. FINAL LAYOUT DESIGN AND QUANTITY IS TO BE DETERMINED.



**4 NORTH ELEVATION**  
A-2/1 SCALE: 1/8" = 1' - 0"

NOTE: SIGNAGE IS FOR GRAPHIC PURPOSES ONLY. FINAL LAYOUT DESIGN AND QUANTITY IS TO BE DETERMINED.