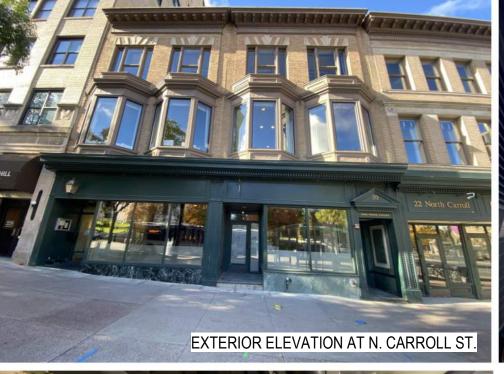
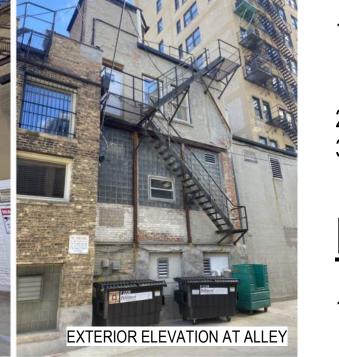


INTERIOR WALLS ARE CONSTRUCTED OF PLASTER AND LATHE





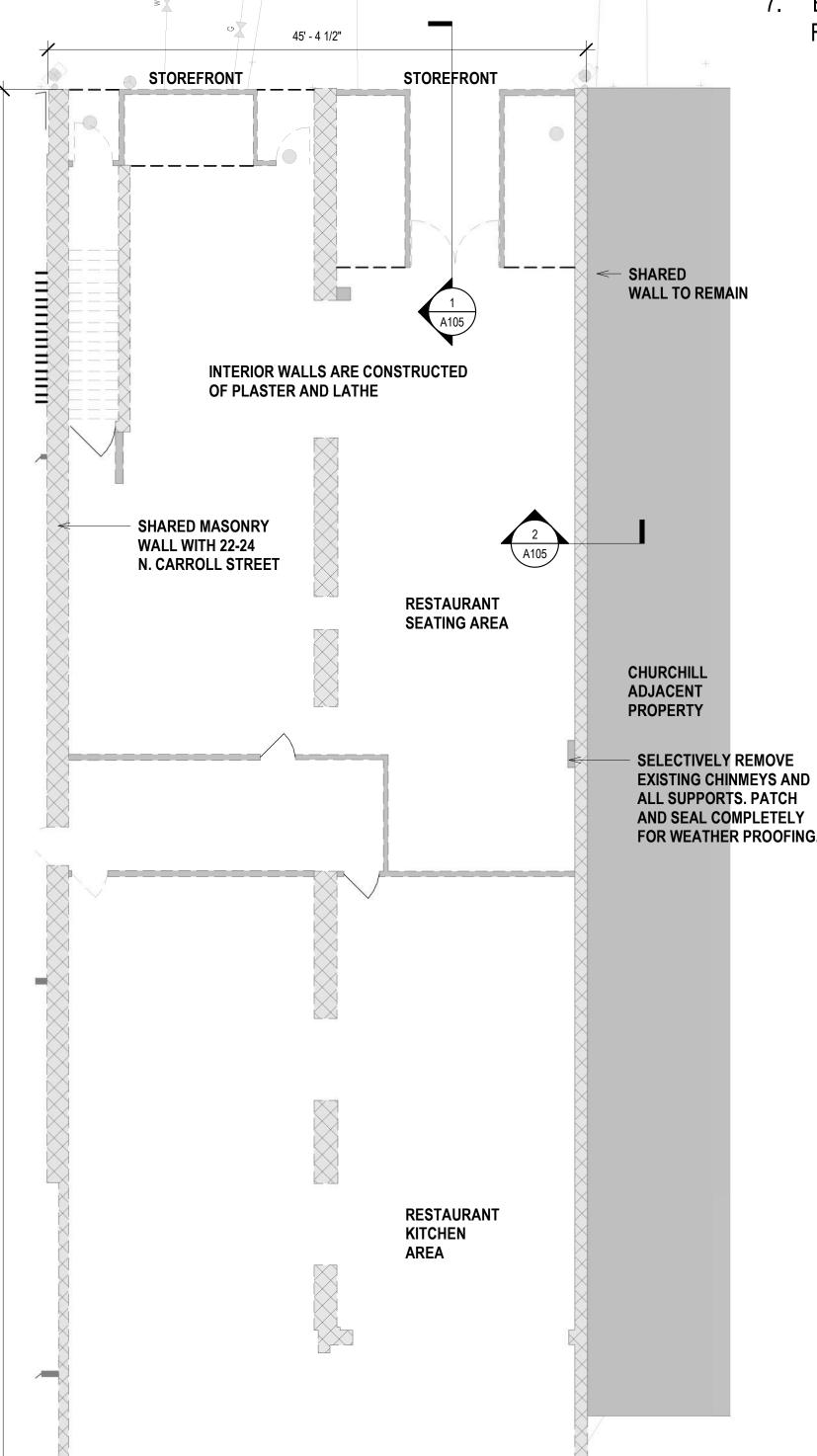












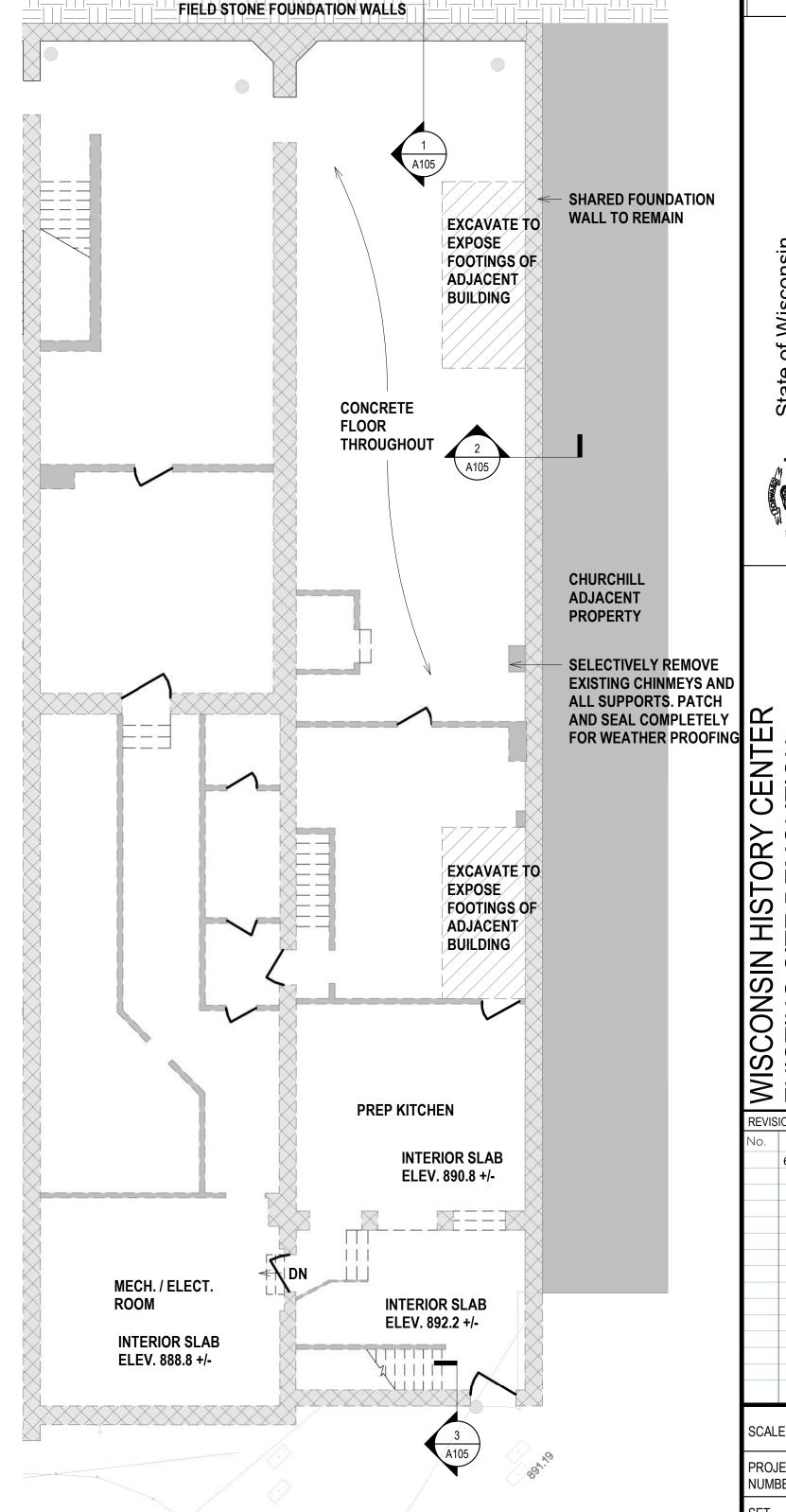
SIDEWALK

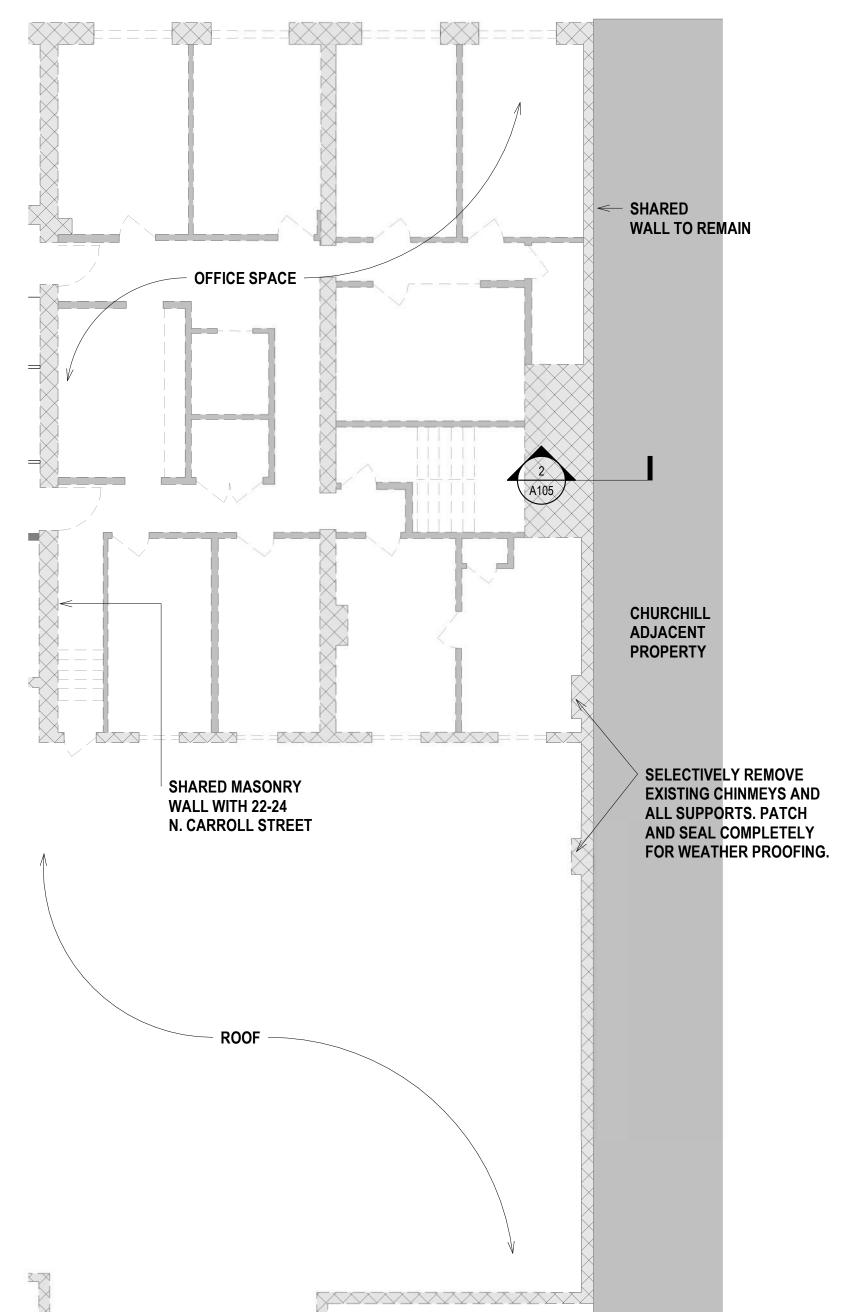
BUILDING 1: 18-20 N. CARROLL STREET

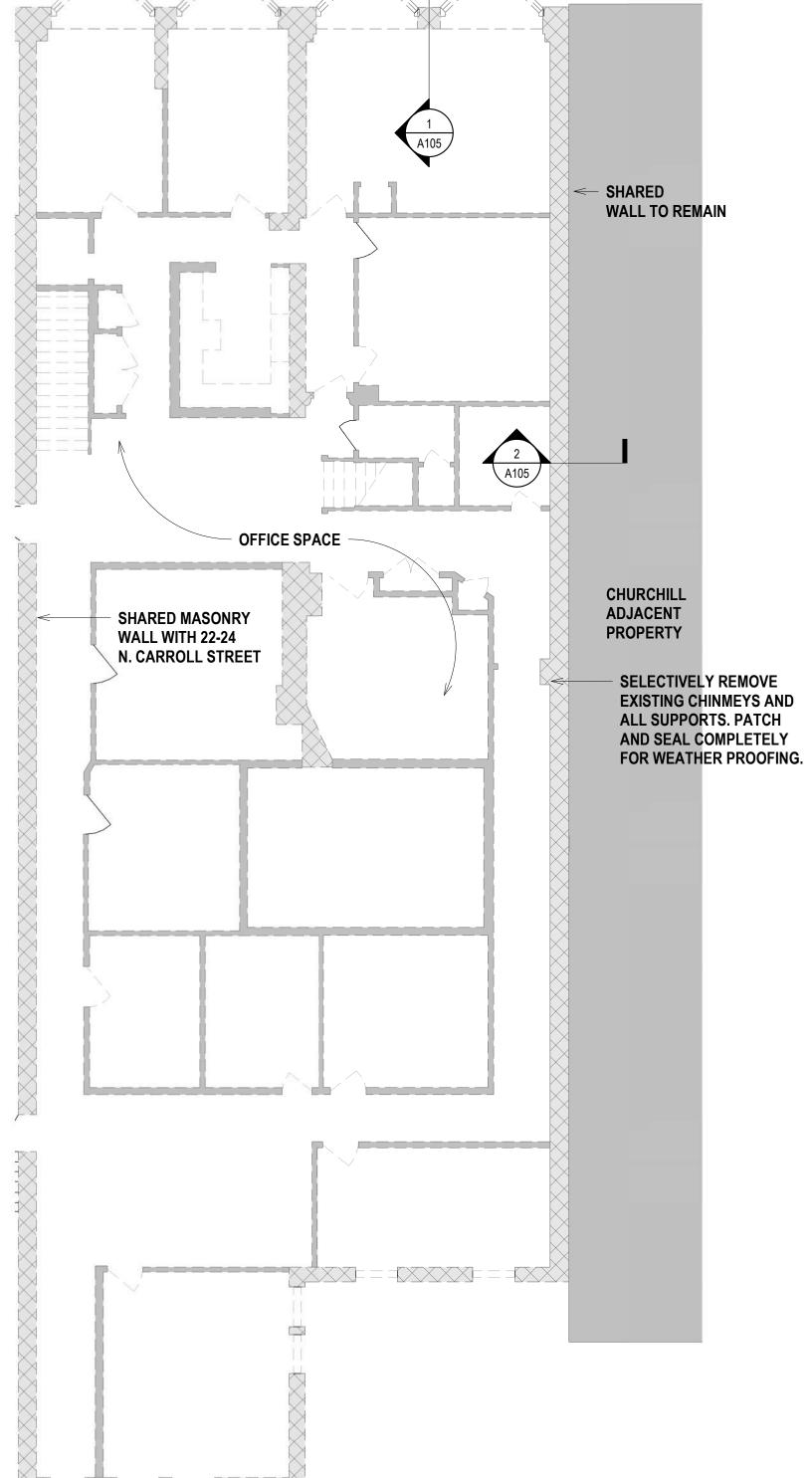
- CONSTRUCTION TYPE: RUBBLE STONE MASONRY FOUNDATION WALLS. EXTERIOR LOAD BEARING MASONRY WALLS. WOOD FRAME FLOOR AND ROOF CONSTRUCTION.
- **BUILDING HEIGHT: THREE STORY APROX 45 FEET**
- BUILDING USE: GROUND FLOOR RESTAURANT. SECOND AND THIRD FLOOR OFFICE. BASEMENT USED FOR RESTAURANT STORAGE, MEP AND PREP KITCHEN

DEMOLITION NOTES: BUILDING 1

- DEMOLISH ENTIRE BUILDING WHETHER SHOWN ON PLANS OR NOT, INCLUDING ALL PARTITIONS, FINISHES, CEILINGS, FURNISHINGS, EQUIPMENT, MEP DEVICES, WIRING, PIPING, ETC.
- 2. AREA OF HATCH INDICATES PARTIAL DEMOLITION OF EXISTING FOUNDATION WALLS. DEMOLISH EXISTING FOUNDATION WALLS TO 4'-0" BELOW ADJACENT GRADE. REMAINDER OF FOOTING AND FOUNDATION TO REMAIN FOR FUTURE REMOVAL. (SEE SECTIONS FOR EXACT EXTEND OF DEMOLITION AT GRADE).
- 3. SHORE EXISTING FOUNDATION WALLS WHERE ADJACENT TO PUBLIC SIDEWALKS TO PREVENT ANY DAMAGE OR LOSS OF SUPPORT TO SIDEWALK.
- ALL SPACES IN BUILDING CONTAIN FURNISHINGS, EQUIPMENT, AND PERSONAL BELONGINGS OF PREVIOUS OCCUPANTS. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REMOVAL AND PROPER DISPOSAL OF ALL SUCH MATERIALS. PHOTOGRAPHS OF INTERIOR SPACES ON THIS SHEET HAVE BEEN INCLUDED AS A GENERAL REFERENCE FOR APPROXIMATE EXTENT OF EXISTING MATERIAL. PHOTOGRAPHS DO NOT SHOW ALL SPACES OR ALL MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL MATERIAL THROUGHOUT ENTIRE BUILDING.
- 5. BREAK APART EXISTING CONCRETE BASEMENT FLOORS TO FACILITATE DRAINAGE.
- 6. SAWCUT FLOOR/ROOF STRUCTURE FLUSH WITH SHARED CHURCHILL EXTERIOR WALL.
- 7. EXPLORITORY EXCAVATION IN BASEMENT TO EXPOSE ADJACENT PROPERTY FOUNDATION FOOTINGS

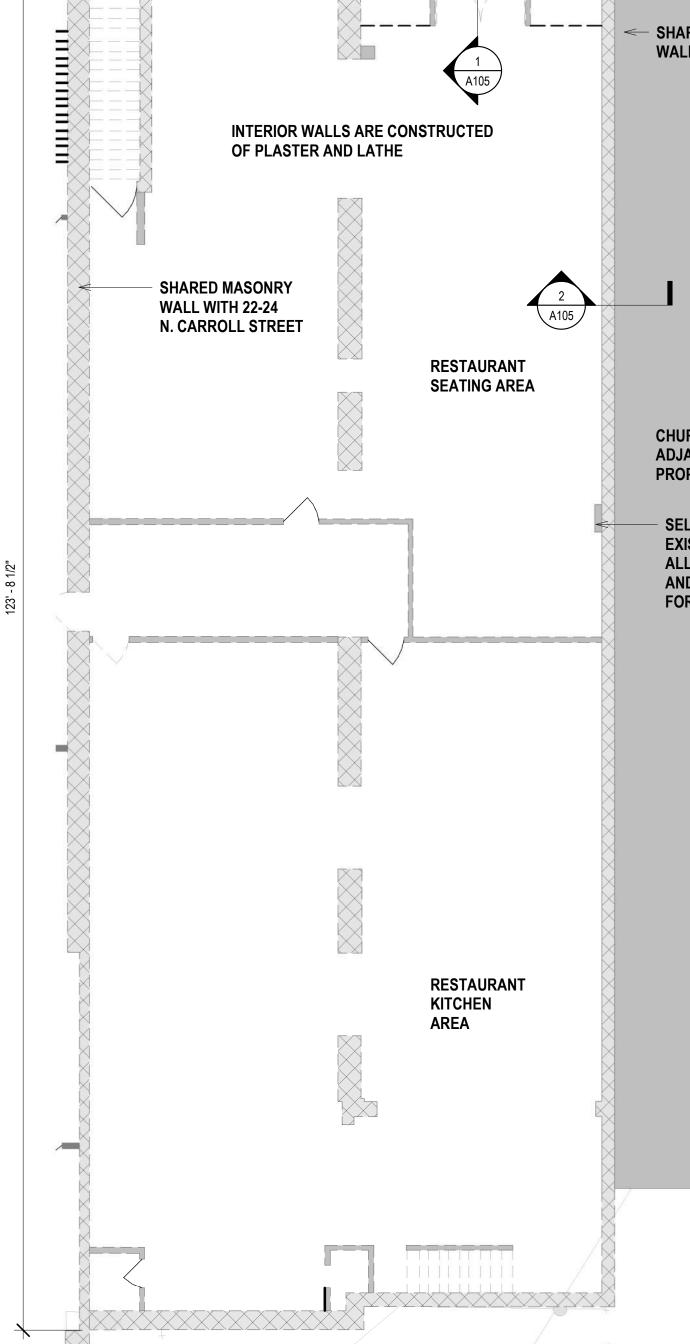






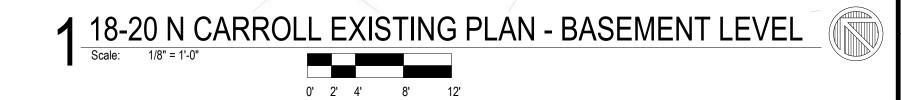
INTERIOR WALLS ARE CONSTRUCTED

OF PLASTER AND LATHE









ALLEYWAY

414.220.9640 751 N Jefferson St. Suite 200

Milwaukee, WI 53202 **SMITHGROUP**

44 E Mifflin St. Suite 500 Madison, WI 53703 608.251.1177

CONSULTANT:

smithgroup.com

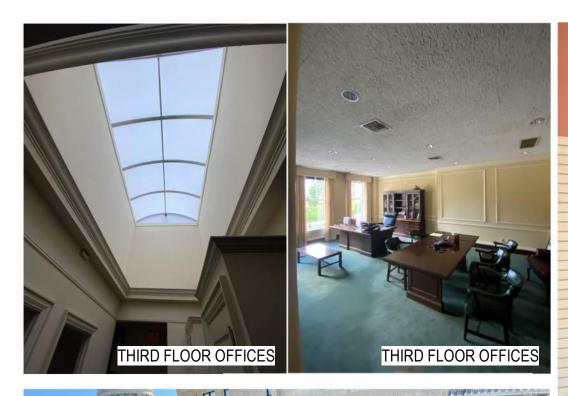
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Demolition Supplemen

PROJECT NUMBER

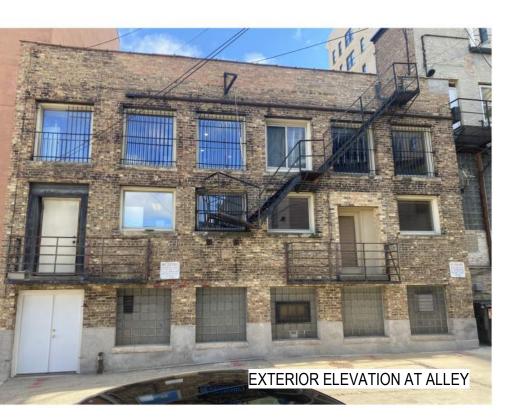
JUNE 02, 2023 ISSUED

SHEET A101

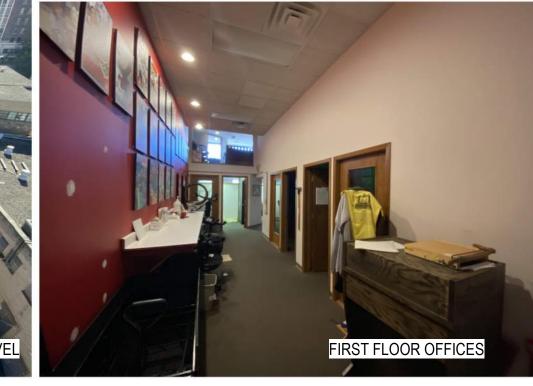




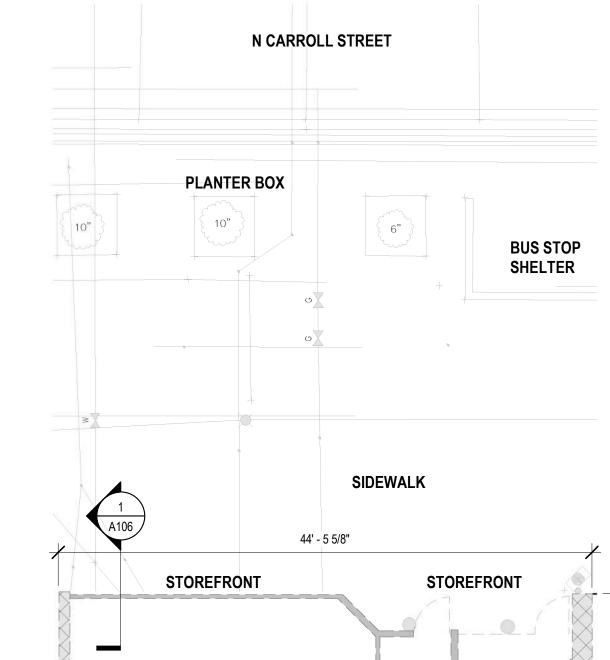


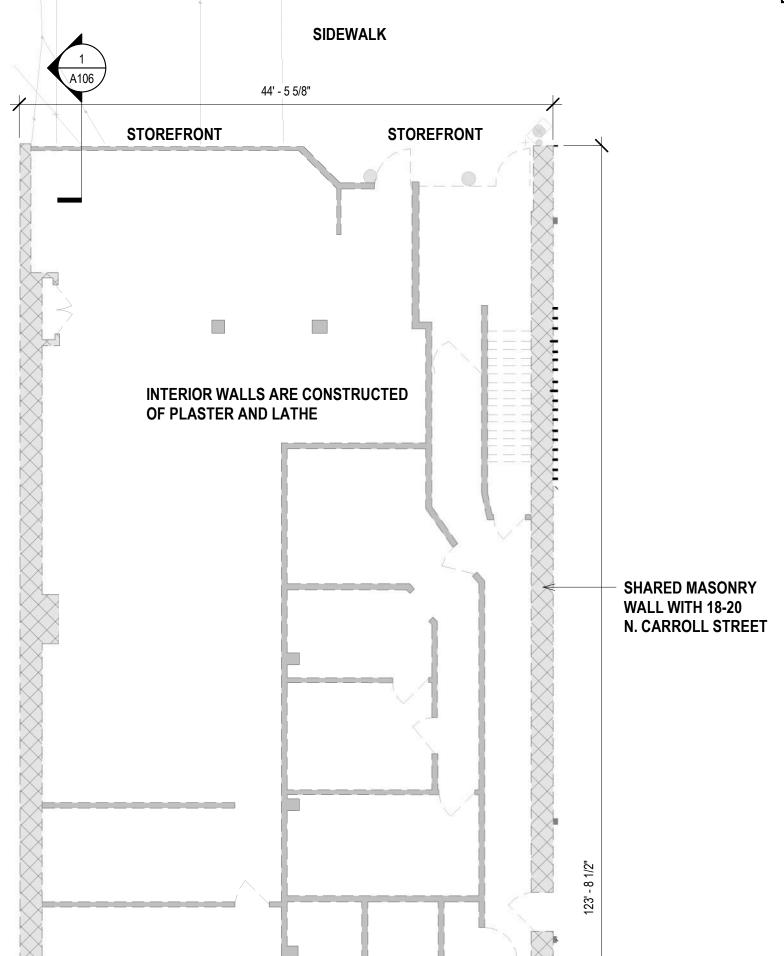










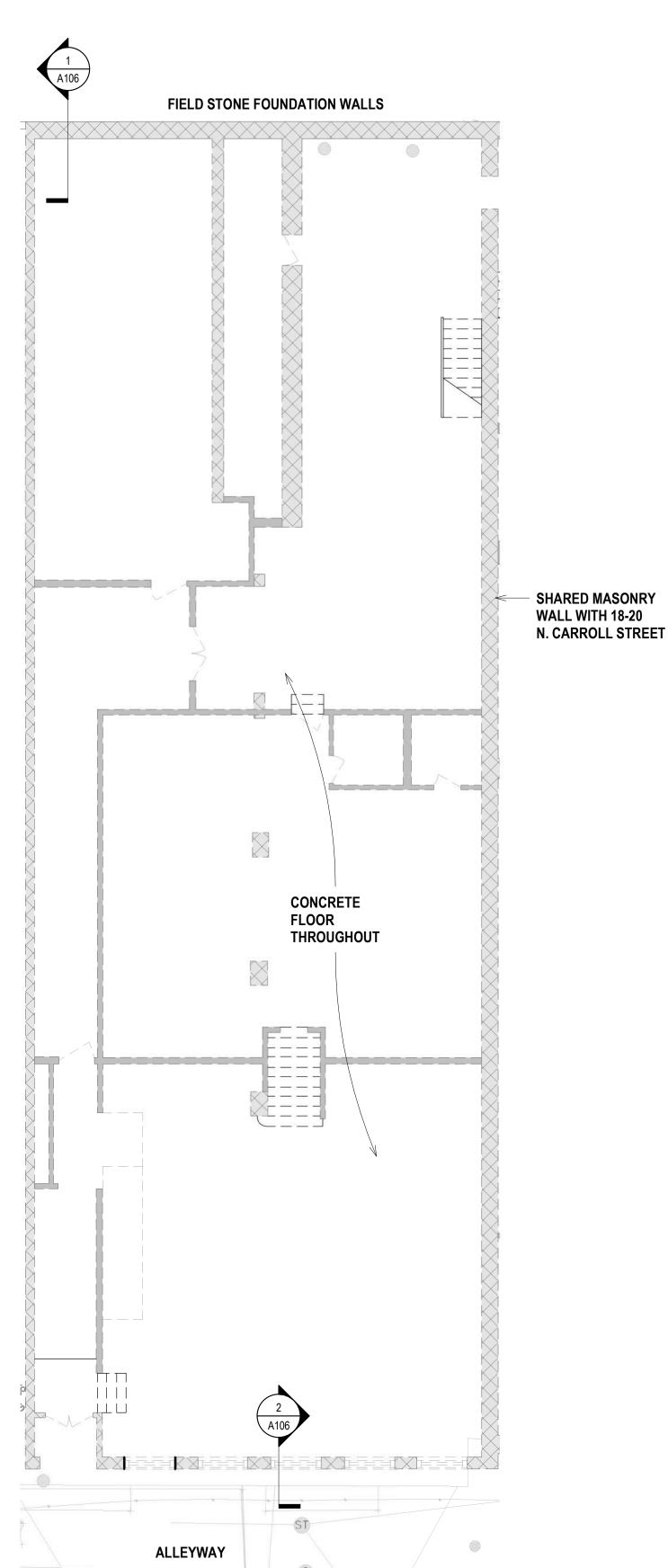


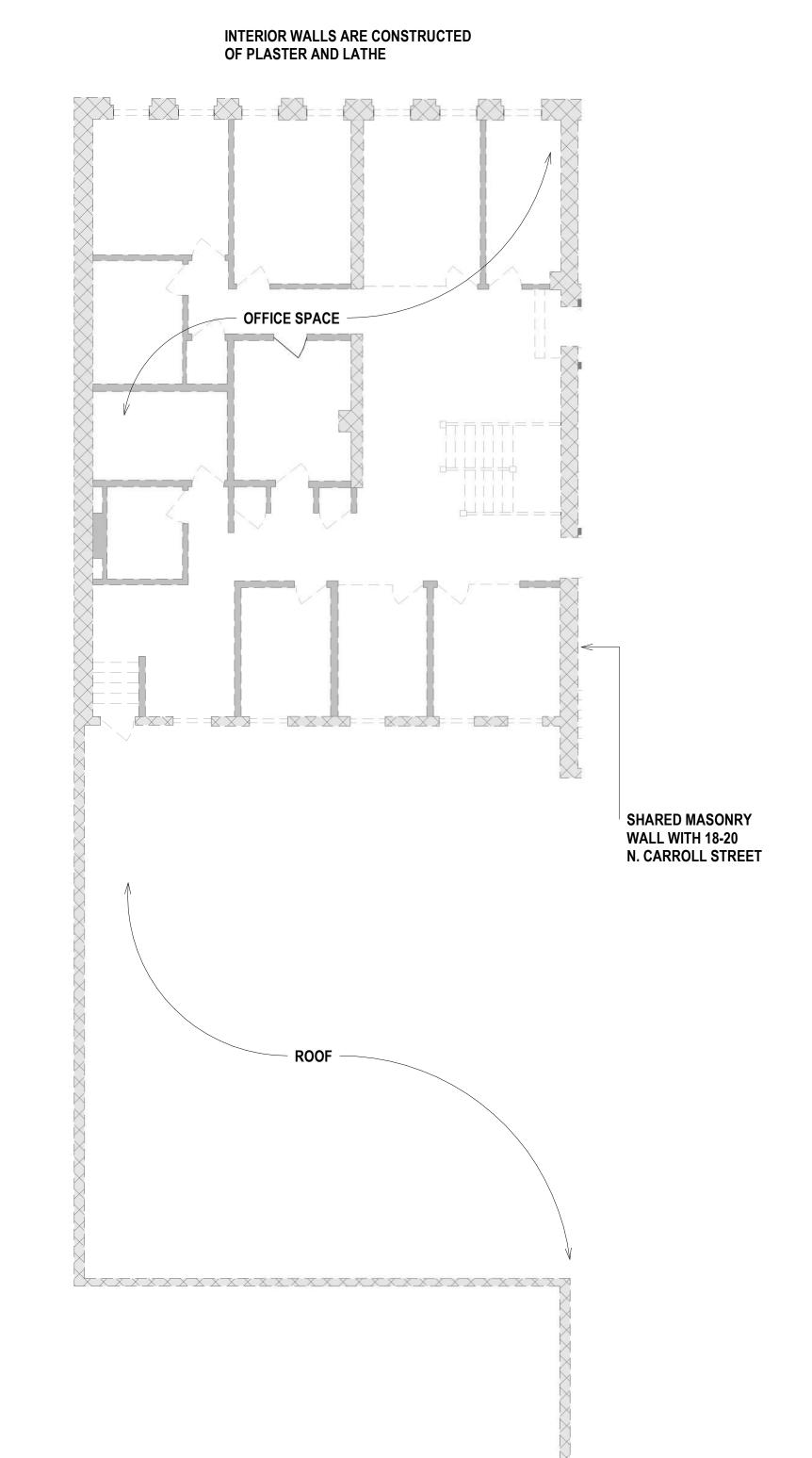
BUILDING 2: 22-24 N. CARROLL STREET

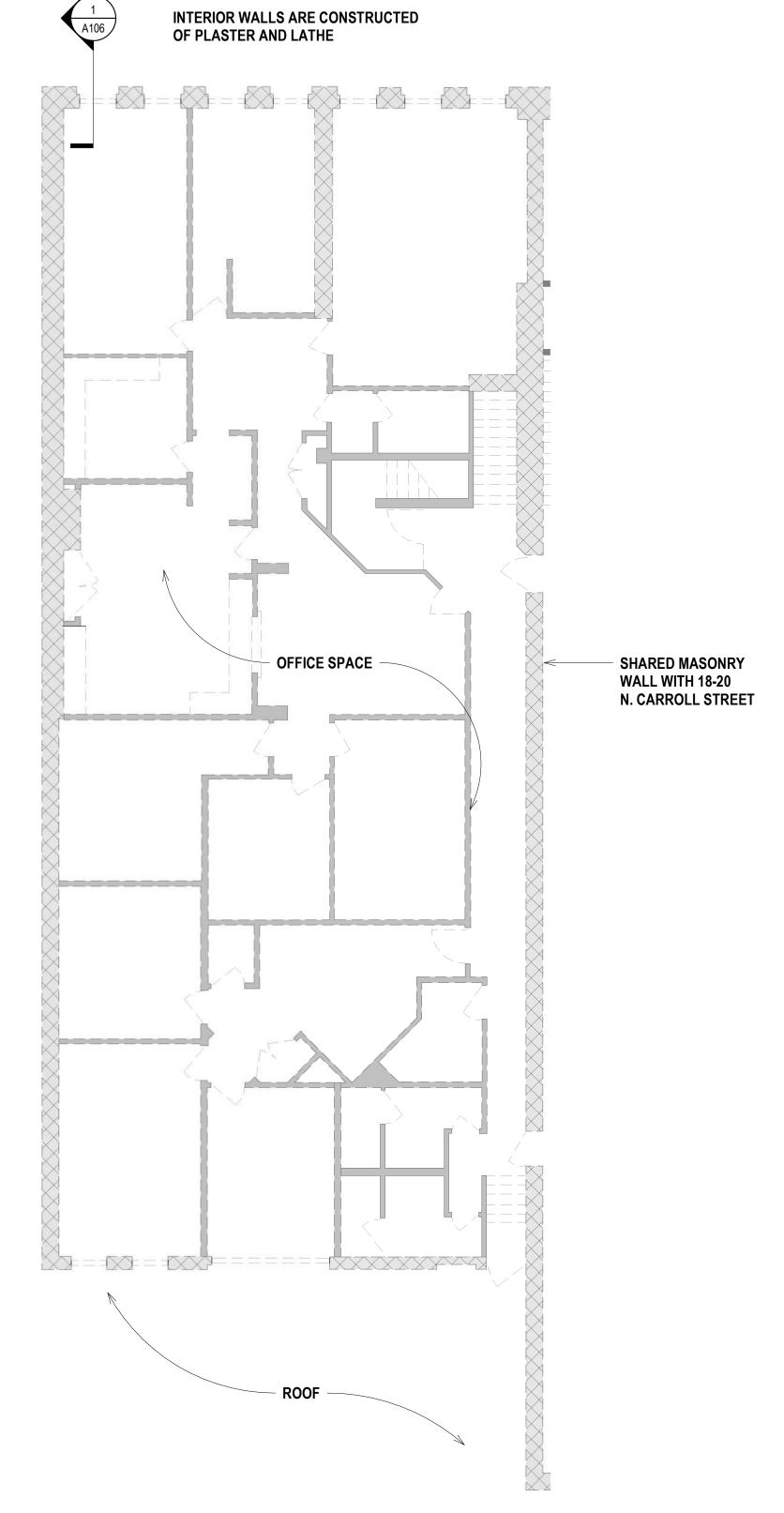
- 1. CONSTRUCTION TYPE: RUBBLE STONE MASONRY FOUNDATION WALLS. EXTERIOR LOAD BEARING MASONRY WALLS. WOOD FRAME FLOOR AND ROOF CONSTRUCTION.
- 2. BUILDING HEIGHT: THREE STORY APROX 45 FEET
- 3. BUILDING USE: GROUND FLOOR RETAIL. SECOND AND THIRD FLOOR OFFICE. BASEMENT USED FOR STORAGE AND MEP.

DEMOLITION NOTES: BUILDING 2

- 1. DEMOLISH ENTIRE BUILDING WHETHER SHOWN ON PLANS OR NOT, INCLUDING ALL PARTITIONS, FINISHES, CEILINGS, FURNISHINGS, EQUIPMENT, MEP DEVICES, WIRING, PIPING, ETC.
- 2. AREA OF HATCH INDICATES PARTIAL DEMOLITION OF EXISTING FOUNDATION WALLS. DEMOLISH EXISTING FOUNDATION WALLS TO 4'-0" BELOW ADJACENT GRADE. REMAINDER OF FOOTING AND FOUNDATION TO REMAIN FOR FUTURE REMOVAL. (SEE SECTIONS FOR EXACT EXTEND OF DEMOLITION AT GRADE).
- 3. SHORE EXISTING FOUNDATION WALLS WHERE ADJACENT TO PUBLIC SIDEWALKS TO PREVENT ANY DAMAGE OR LOSS OF SUPPORT TO SIDEWALK.
- 4. ALL SPACES IN BUILDING CONTAIN FURNISHINGS, EQUIPMENT, AND PERSONAL BELONGINGS OF PREVIOUS OCCUPANTS. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REMOVAL AND PROPER DISPOSAL OF ALL SUCH MATERIALS. PHOTOGRAPHS OF INTERIOR SPACES ON THIS SHEET HAVE BEEN INCLUDED AS A GENERAL REFERENCE FOR APPROXIMATE EXTENT OF EXISTING MATERIAL. PHOTOGRAPHS DO NOT SHOW ALL SPACES OR ALL MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL MATERIAL THROUGHOUT ENTIRE BUILDING.
- 5. BREAK APART EXISTING CONCRETE BASEMENT FLOORS TO FACILITATE DRAINAGE.







22-24 N CARROLL EXISTING PLAN - LEVEL 01

T 414.220.9640 751 N Jefferson St. Suite 200

Milwaukee, WI 53202

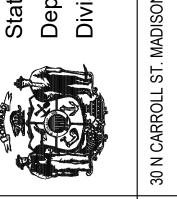
SMITHGROUP 44 E Mifflin St. Suite 500 Madison, WI 53703

CONSULTANT:

smithgroup.com

608.251.1177

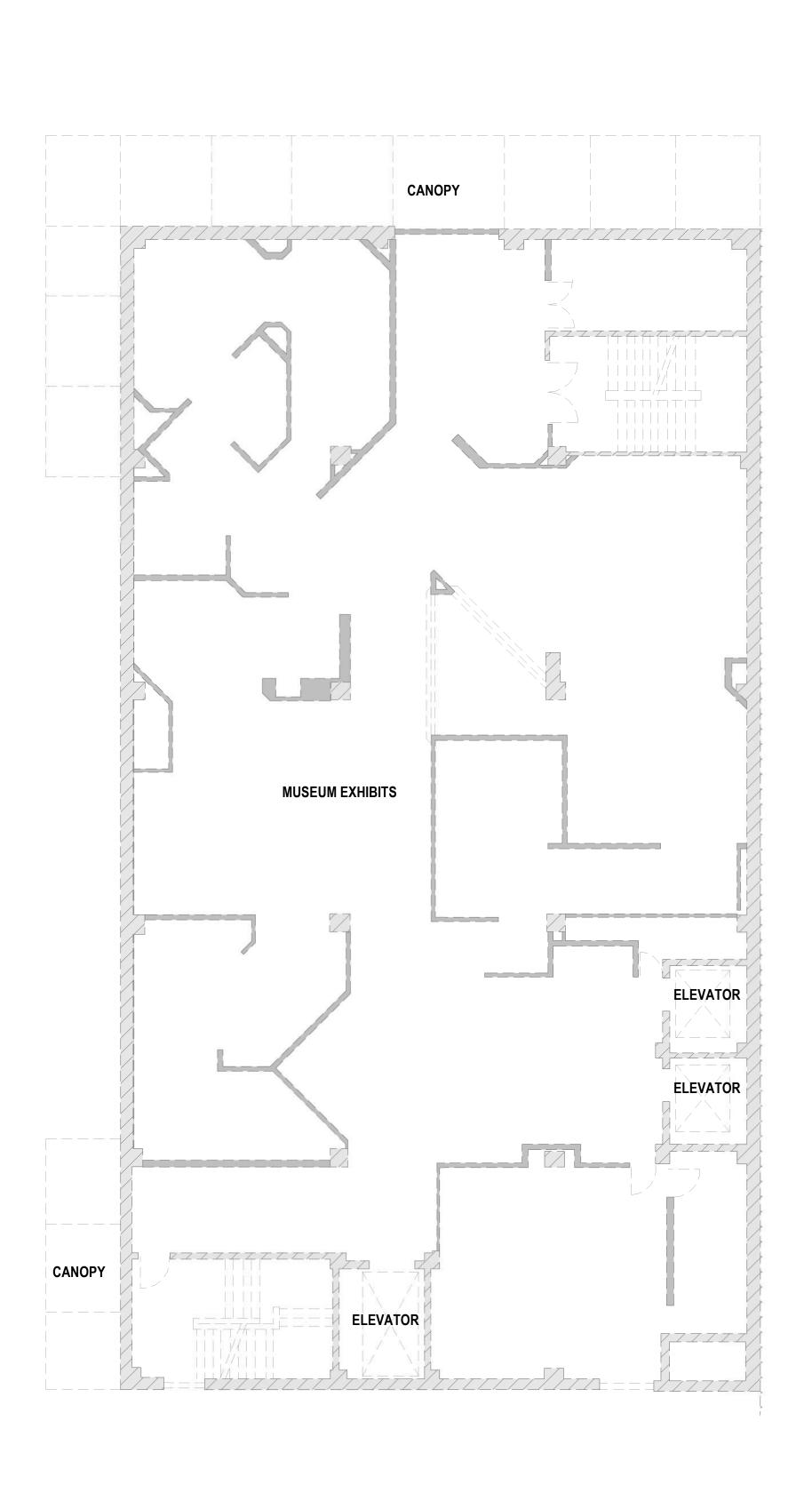
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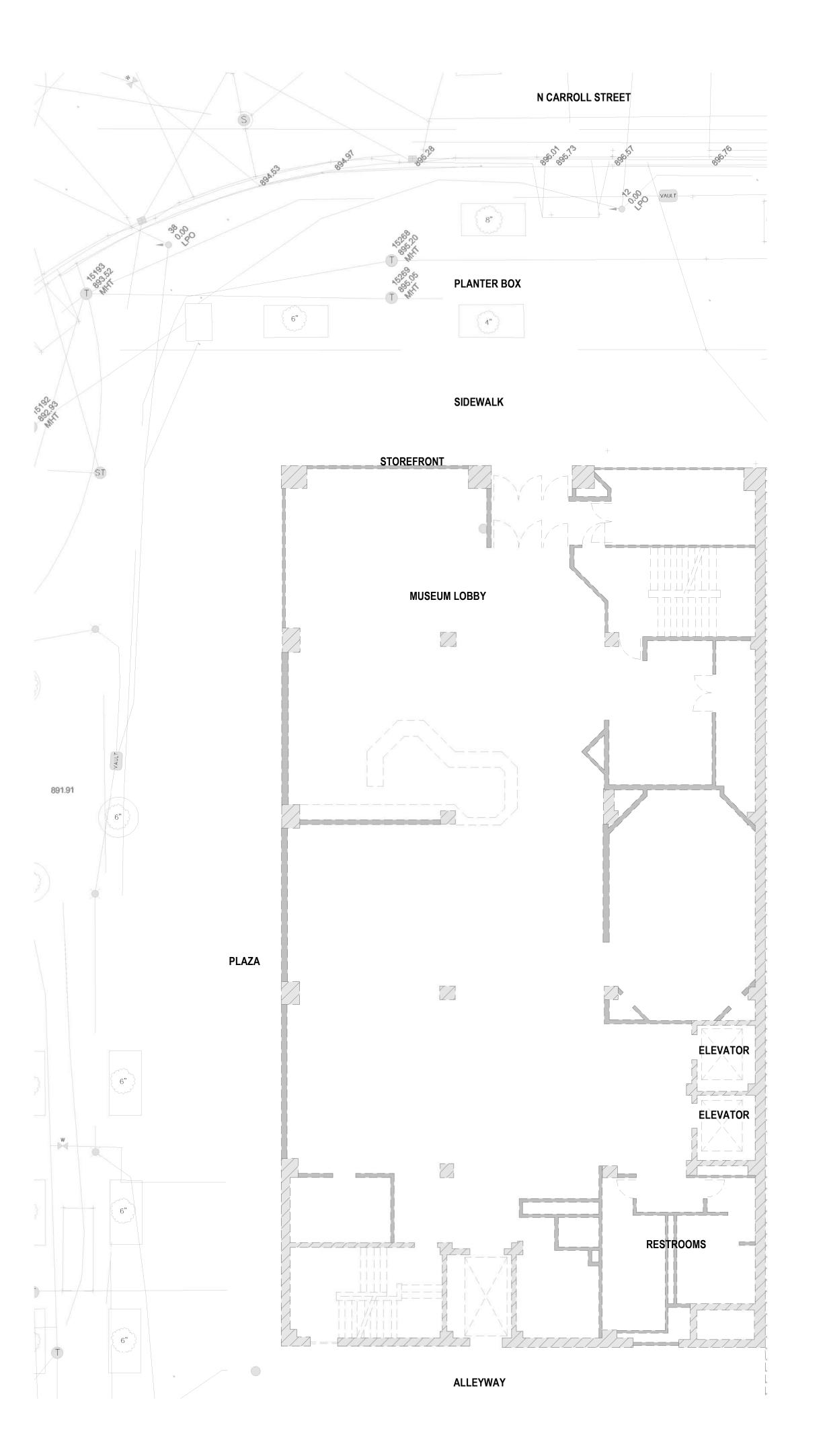


PROJECT NUMBER

Demolition Supplemen

JUNE 02, 2023 ISSUED SHEET A102





3 30 N CARROLL EXISTING PLAN - LEVEL 02 Scale: 1/8" = 1'-0"

0' 2' 4' 8' 12'

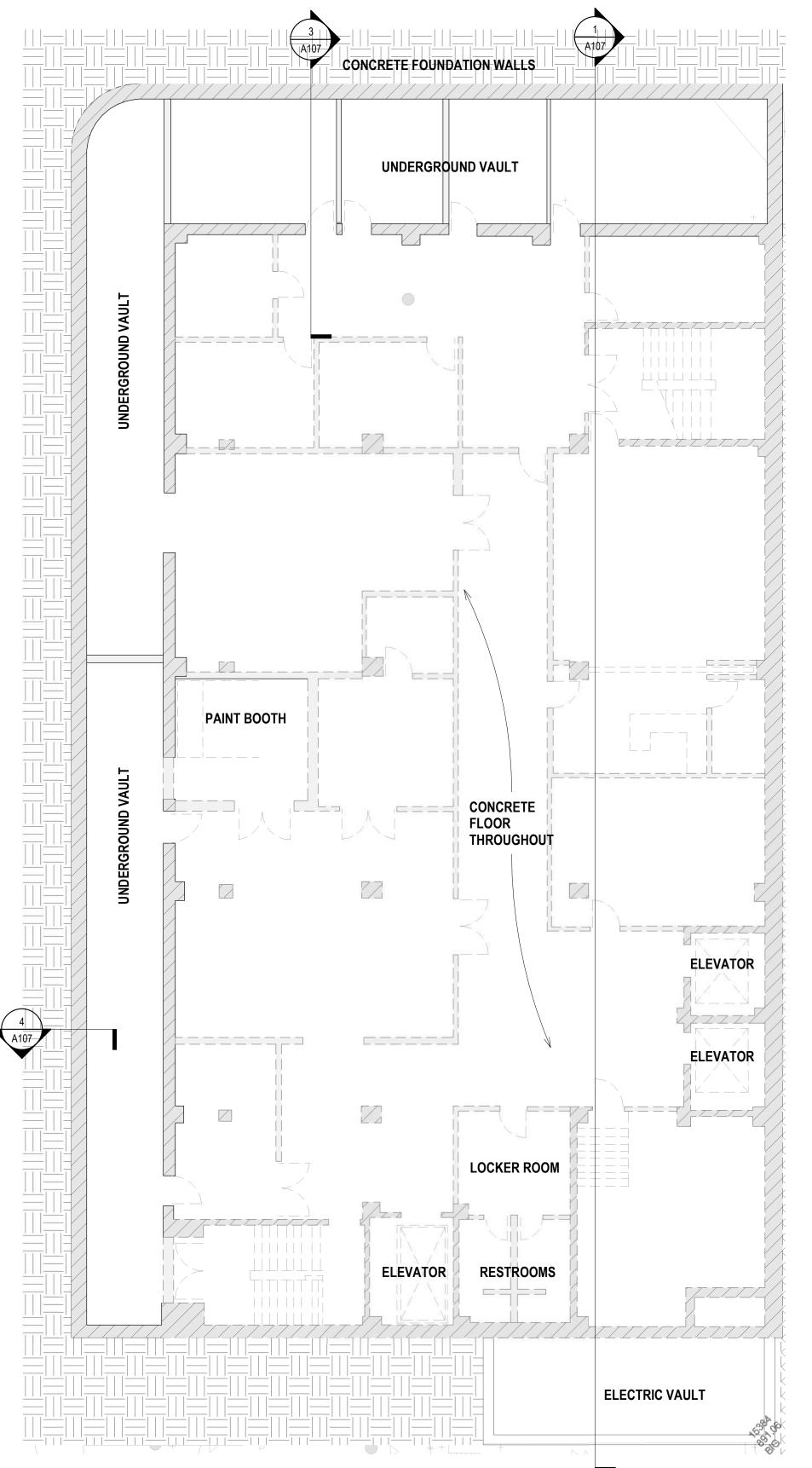
0' 2' 4' 8' 12'

BUILDING 3: 30 N. CARROLL STREET

- 1. CONSTRUCTION TYPE: CONCRETE FOUNDATION WALLS. CAST CONCRETE FLOORS AND ROOF CONSTRUCTION WITH ONE-WAY JOIST SYSTEM EXTERIOR MASONRY WALLS CLAD WITH CERAMIC TILE PANEL SYSTEM.
- 2. BUILDING HEIGHT: FOUR STORY APROX 58 FEET
- 3. BUILDING USE: WISCONSIN HISTORY MUSEUM

DEMOLITION NOTES: BUILDING 3

- 1. DEMOLISH ENTIRE BUILDING WHETHER SHOWN ON PLANS OR NOT, INCLUDING ALL PARTITIONS, FINISHES, CEILINGS, FURNISHINGS, EQUIPMENT, MEP DEVICES, WIRING, PIPING, ETC.
- 2. AREA OF HATCH INDICATES PARTIAL DEMOLITION OF EXISTING FOUNDATION WALLS. DEMOLISH EXISTING FOUNDATION WALLS TO 4'-0" BELOW ADJACENT GRADE. REMAINDER OF FOOTING AND FOUNDATION TO REMAIN FOR FUTURE REMOVAL. (SEE SECTIONS FOR EXACT EXTEND OF DEMOLITION AT GRADE).
- SHORE EXISTING FOUNDATION WALLS WHERE ADJACENT TO PUBLIC SIDEWALKS TO PREVENT ANY DAMAGE OR LOSS OF SUPPORT TO SIDEWALK.
- 4. ALL SPACES IN BUILDING CONTAIN FURNISHINGS, EQUIPMENT, AND PERSONAL BELONGINGS OF PREVIOUS OCCUPANTS. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REMOVAL AND PROPER DISPOSAL OF ALL SUCH MATERIALS. PHOTOGRAPHS OF INTERIOR SPACES ON THIS SHEET HAVE BEEN INCLUDED AS A GENERAL REFERENCE FOR APPROXIMATE EXTENT OF EXISTING MATERIAL. PHOTOGRAPHS DO NOT SHOW ALL SPACES OR ALL MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL MATERIAL THROUGHOUT ENTIRE BUILDING.
- 5. BREAK APART EXISTING CONCRETE BASEMENT FLOORS TO FACILITATE DRAINAGE.



1 30 N CARROLL EXISTING PLAN - BASEMENT LEVEL 0' 2' 4' 8' 12'



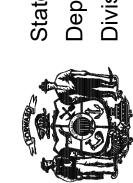
SMITHGROUP

44 E Mifflin St. Suite 500 Madison, WI 53703 608.251.1177

smithgroup.com

CONSULTANT:

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Demolition Supplement

SCALE PROJECT NUMBER

TYPE JUNE 02, 2023 ISSUED

SHEET A103















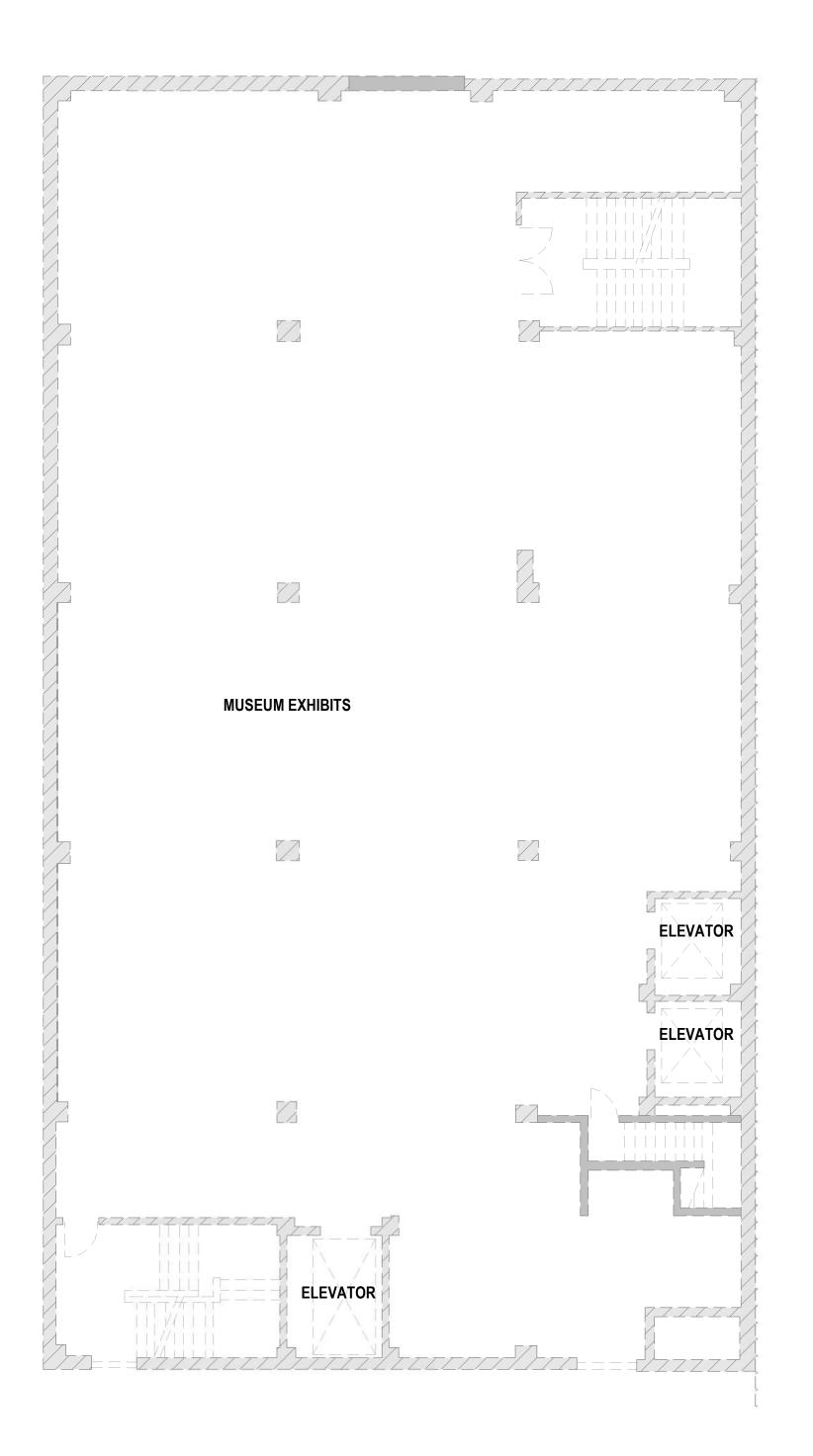






ELEVATOR **ENCLOSED PENTHOUSE** ELEVATOR 777777





2 30 N CARROLL EXISTING PLAN - LEVEL 04

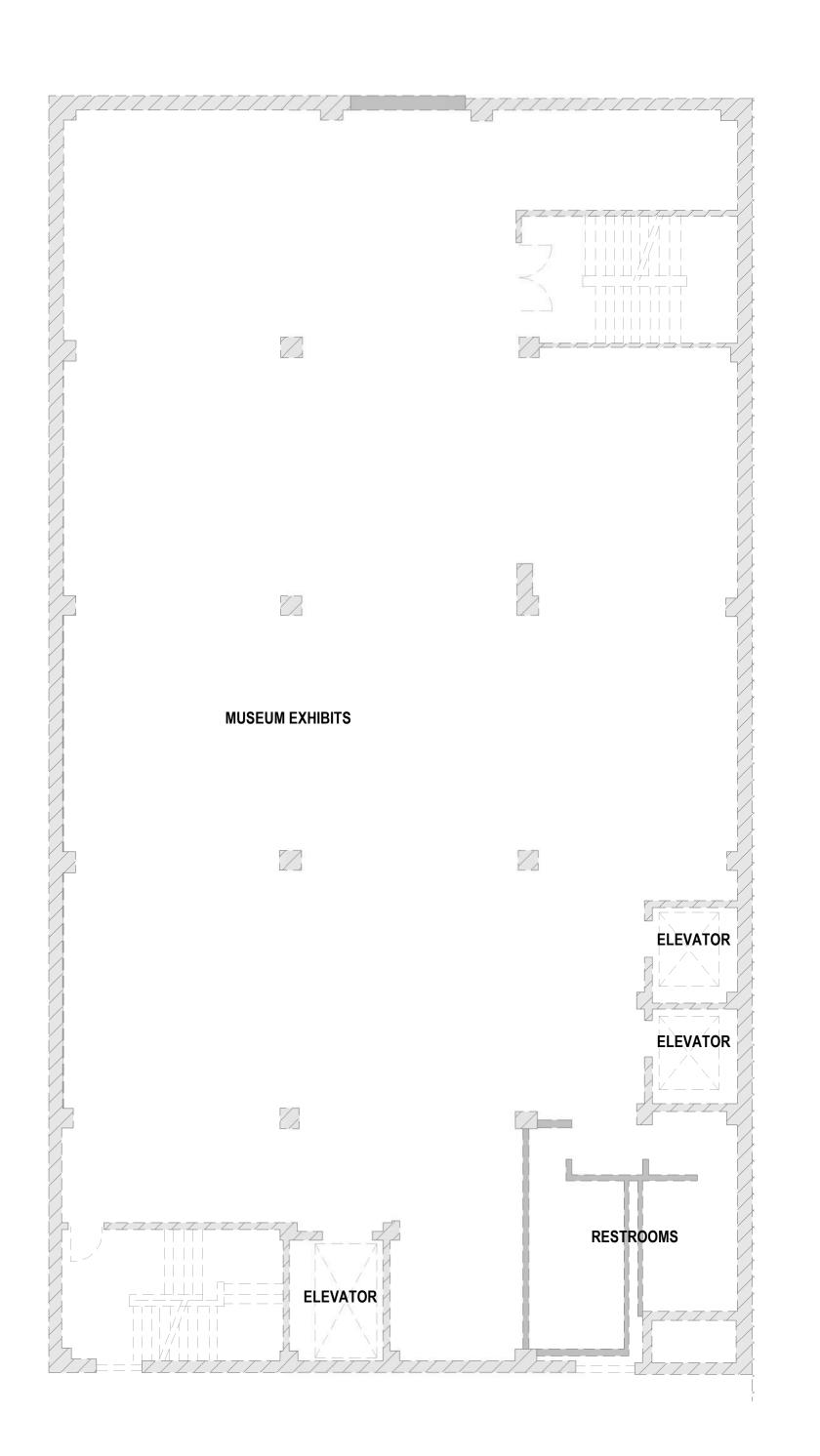
0' 2' 4' 8' 12'

BUILDING 3: 30 N. CARROLL STREET

- 1. CONSTRUCTION TYPE: CONCRETE FOUNDATION WALLS. CAST CONCRETE FLOORS AND ROOF CONSTRUCTION WITH ONE-WAY JOIST SYSTEM EXTERIOR MASONRY WALLS CLAD WITH CERAMIC TILE PANEL SYSTEM.
- 2. BUILDING HEIGHT: FOUR STORY APROX 58 FEET
- 3. BUILDING USE: WISCONSIN HISTORY MUSEUM

DEMOLITION NOTES: BUILDING 3

- DEMOLISH ENTIRE BUILDING WHETHER SHOWN ON PLANS OR NOT, INCLUDING ALL PARTITIONS, FINISHES, CEILINGS, FURNISHINGS, EQUIPMENT, MEP DEVICES, WIRING, PIPING, ETC.
- 2. AREA OF HATCH INDICATES PARTIAL DEMOLITION OF EXISTING FOUNDATION WALLS. DEMOLISH EXISTING FOUNDATION WALLS TO 4'-0" BELOW ADJACENT GRADE. REMAINDER OF FOOTING AND FOUNDATION TO REMAIN FOR FUTURE REMOVAL. (SEE SECTIONS FOR EXACT EXTEND OF DEMOLITION AT GRADE).
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- ALL SPACES IN BUILDING CONTAIN FURNISHINGS, EQUIPMENT, AND PERSONAL BELONGINGS OF PREVIOUS OCCUPANTS. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REMOVAL AND PROPER DISPOSAL OF ALL SUCH MATERIALS. PHOTOGRAPHS OF INTERIOR SPACES ON THIS SHEET HAVE BEEN INCLUDED AS A GENERAL REFERENCE FOR APPROXIMATE EXTENT OF EXISTING MATERIAL. PHOTOGRAPHS DO NOT SHOW ALL SPACES OR ALL MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL MATERIAL THROUGHOUT ENTIRE BUILDING.
- 5. BREAK APART EXISTING CONCRETE BASEMENT FLOORS TO FACILITATE DRAINAGE.



30 N CARROLL EXISTING PLAN - LEVEL 03

Scale: 1/8" = 1'-0"

0' 2' 4' 8' 12'



Suite 200 Milwaukee, WI 53202

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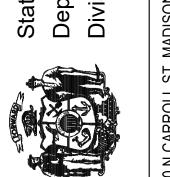
608.251.1177

CONSULTANT:

smithgroup.com

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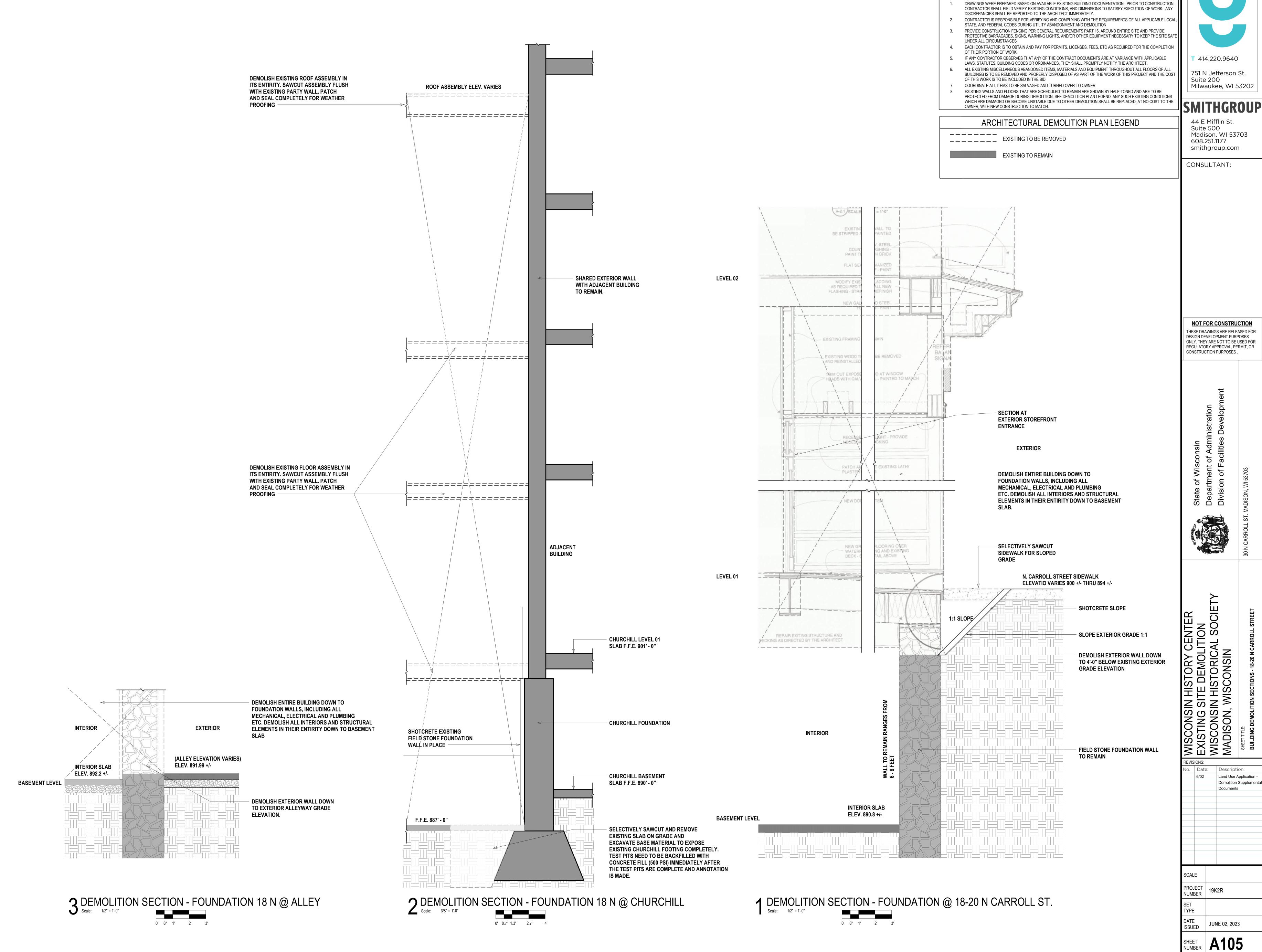
CONSTRUCTION PURPOSES.



Land Use Application Demolition Supplementa Documents

SCALE PROJECT NUMBER

JUNE 02, 2023 ISSUED SHEET A104



GENERAL DEMOLITION NOTES TO CONTRACTOR

751 N Jefferson St. Milwaukee, WI 53202

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Description: Land Use Application Demolition Supplementa Documents

JUNE 02, 2023

LEVEL 02

NEW 5/8" GYPSUM BOARD CEILING OVER EXISTING LATH / PLASTER

2 DEMOLITION SECTION - FOUNDATION 22 N @ ALLEY
Scale: 1/2" = 1'-0"

DEMOLITION SECTION - FOUNDATION @ 22-24 N CARROLL ST.

Scale: 1/2" = 1'-0"

0' 6" 1' 2' 3'

ONS:	
Date:	Description:
6/02	Land Use Application -
	Demolition Supplementa
	Documents

PROJECT NUMBER

DATE ISSUED JUNE 02, 2023

SHEET A106

T 414.220.9640

751 N Jefferson St. Suite 200

GENERAL DEMOLITION NOTES TO CONTRACTOR

3. PROVIDE CONSTRUCTION FENCING PER GENERAL REQUIREMENTS PART 16, AROUND ENTIRE SITE AND PROVIDE

5. IF ANY CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE AT VARIANCE WITH APPLICABLE

LAWS, STATUTES, BUILDING CODES OR ORDINANCES, THEY SHALL PROMPTLY NOTIFY THE ARCHITECT. 6. ALL EXISTING MISCELLANEOUS ABANDONED ITEMS, MATERIALS AND EQUIPMENT THROUGHOUT ALL FLOORS OF ALL

8 EXISTING WALLS AND FLOORS THAT ARE SCHEDULED TO REMAIN ARE SHOWN BY HALF-TONED AND ARE TO BE

ARCHITECTURAL DEMOLITION PLAN LEGEND

DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

7 COORDINATE ALL ITEMS TO BE SALVAGED AND TURNED OVER TO OWNER

EXISTING TO REMAIN

UNDER ALL CIRCUMSTANCES.

OF THEIR PORTION OF WORK

EXTERIOR

OF THIS WORK IS TO BE INCLUDED IN THE BID.

OWNER, WITH NEW CONSTRUCTION TO MATCH.

____ EXISTING TO BE REMOVED

STATE, AND FEDERAL CODES DURING UTILITY ABANDONMENT AND DEMOLITION

1. DRAWINGS WERE PREPARED BASED ON AVAILABLE EXISTING BUILDING DOCUMENTATION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS, AND DIMENSIONS TO SATISFY EXECUTION OF WORK. ANY

2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COMPLYING WITH THE REQUIREMENTS OF ALL APPLICABLE LOCAL,

4. EACH CONTRACTOR IS TO OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC AS REQUIRED FOR THE COMPLETION

PROTECTIVE BARRACADES, SIGNS, WARNING LIGHTS, AND/OR OTHER EQUIPMENT NECESSARY TO KEEP THE SITE SAFE

BUILDINGS IS TO BE REMOVED AND PROPERLY DISPOSED OF AS PART OF THE WORK OF THIS PROJECT AND THE COST

PROTECTED FROM DAMAGE DURING DEMOLITION. SEE DEMOLITION PLAN LEGEND. ANY SUCH EXISTING CONDITIONS WHICH ARE DAMAGED OR BECOME UNSTABLE DUE TO OTHER DEMOLITION SHALL BE REPLACED, AT NO COST TO THE Milwaukee, WI 53202

SMITHGROUP 44 E Mifflin St.

Madison, WI 53703 608.251.1177 smithgroup.com

Suite 500

CONSULTANT:

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