

# URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Date Received 8-4-25 11:39 a.m.

Initial Submittal

Paid \_\_\_\_\_

Revised Submittal

Complete all sections of this application, including the desired meeting date and the action requested. If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.

Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.

Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.

## 1. Project Information 53 WEST TOWNE MALL

Address (list all addresses on the project site): [TBD] S. Gammon Rd, Madison, WI 53719  
(West Towne Mall)  
Title: Seven Brew Coffee (S Gammon Rd)

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested \_\_\_\_\_

☒ New development

Alteration to an existing or previously-approved development

Informational

☒ Initial Approval

☒ Final Approval

## 3. Project Type

Project in an Urban Design District

☒ Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)

Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)

Planned Development (PD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Multi-Use Site or Residential Building Complex

### Signage

Comprehensive Design Review (CDR)

Modifications of Height, Area, and Setback

Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

### Other

Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

Applicant name Mylena Oliveira Company Plaza Street Partners  
Street address 3400 College Blvd, Ste 200 City/State/Zip Leawood, KS 66211  
Telephone 816-406-2667 Email moliveira@plazastreetpartners.com  
Project contact person - It same as applicant Company \_\_\_\_\_  
Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Email \_\_\_\_\_  
Property owner (if not applicant) Madison WT Associates, LLC  
Street address 4500 Bissonnet St, Ste 200 City/State/Zip Bellaire, TX 77401  
Telephone 816-363-3545 Email FSpille@frp1td.com

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.



# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1" = 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- ✗ Locator Map
- ✗ Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- ✗ Contextual site information, including photographs and layout of adjacent buildings/structures
- ✗ Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- ✗ Landscape Plan and Plant List (*must be legible*)
- ✗ Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- ✗ PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- ✗ Grading Plan
- ✗ Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- ✗ Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- ✗ Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- ✗ PD text and Letter of Intent (if applicable)
- ✗ Samples of the exterior building materials
- ✗ Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit



**5. Required Submittal Materials****X Application Form**

- A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.

**X Letter of Intent**

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
- For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.

**X Development Plans** (Refer to checklist on Page 4 for plan details)**X Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)**X Electronic Submittal**

- Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCapplications@cityofmadison.com](mailto:UDCapplications@cityofmadison.com). The email must include the project address, project name, and applicant name.
- Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

**X Notification to the District Alder**

- Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jenny Kirchgatter, Jessica L Vaughn, Chris Wells on 11/14/2024.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Mylena Oliveira Relationship to property Project Coordinator

Authorizing signature of property owner  Date 07/30/25

*INSR* *Alan Hassenflu, Manager*

**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).

Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))

Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))

Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))

All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex



August 1, 2025

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**RE: 7-Brew – S Gammon Rd, Madison, WI 53719 – West Towne Mall (Parcel # 070826100996)**

To Whom it May Concern:

Please accept this Letter of Intent to apply for the proposed Seven Brew Coffee development.

## **A. Project Description**

7BMad1 LLC, doing business as Brew 4 You, LLC, and Plaza Street Partners, LLC are submitting a Land Use (LUA) Application, a CSM to split the developable area, and an Urban Design Commission (UDC) Application for a Site Plan ("SP") for a parcel of land containing approximately 0.9 acres (0.6 acres to be redeveloped) located at the west of S Gammon Rd (portion of Lot 1, CSM 15734) ("Site") in the city of Madison, Wisconsin ("City"). The property is situated in Part of the Southeast 1/4 of the Northeast 1/4 of Section 26, Township 7 North, Range 8 East, City of Madison, Dane County, Wisconsin 53719. It is bound on the north by Odana Rd at the Mall entrance, on the east by S Gammon Rd, on the south by a strip of landscaping, and to the west by the Mall parking lot. A vicinity map is included in Appendix A for reference.

The Site is currently vacant, being used as the West Towne Mall parking lot. The new proposed use comprises of a new Seven Brew Coffee with a double drive-thru and a dumpster enclosure. The main building structure is 2,267 sq. ft., being 1,505 sq. ft. on the main floor and 1,162 sq. ft. on the second floor (77% of the main area). The development includes a double drive-through covered by the second story, providing service with two menu boards for more efficient customer service, a dumpster enclosure, 4 parking spaces, being 1 ADA, and landscaped areas. The main car access is proposed from an internal Mall drive connected to Odana Rd, and sidewalks will provide connections to pedestrian and bike access from S Gammon Rd and to the Mall.

The proposed CSM will define the lot to be developed on the northern portion of the leased area with access and exit only on the western side of the parcel, while the remaining land—separated by a landscape buffer—will remain unchanged. The Shopping Mall will retain access to the southern parking area, which is important for its operations, with the primary entry point located on the south side.

## **B. Public Benefit**

The Site is located along the major corridor of the City of Madison and the proposed improvements will greatly improve the appearance and use of the property to better serve the surrounding community. The

development will incorporate high-quality materials and landscape design to accentuate the character of the City. The future business created by the proposed Site Plan will also result in the creation of a minimum of 40 jobs and sales tax benefits for the City.

Although 7 Brew is a national brand, they are owned and operated by a local franchisee. The brand also emphasizes the importance of kindness and community as a pillar of their mission. 7 Brew will participate with local charities and fundraisers to create awareness and promote community engagement and promote Fun Community Engagement & Promotional Marketing. More information can be found at <https://7brew.com/heroes/>.

### C. Operations

The proposed hours of operation are Sunday-Thursday 5:30am - 10pm; and Friday-Saturday 5:30am - 11pm. Peak Hours are in the morning from 7am-10am. The service time is a maximum of 4 minutes from order to pick up, and employees greet customers at their cars with iPads to take their orders for a friendlier service. Two drive-thru lanes and the ordering system create an efficient method of delivery and service to customer to prevent long wait times and reduces car stacking. Seven Brew will have a maximum number of 10-12 employees per shift for the first few months, and 5-8 once the team is fully trained.

### D. Project Compliance, Compatibility, and Impact

The Site is located in the Zoned RMX (Regional Mixed-Use), Wellhead Protection Overlay 16 (WP-16), and TOD (Transit Oriented Development) Overlay district. A link to this map is included in Appendix A for reference. The UDS establishes building standards “to assure the highest quality of design for all public and private projects in the City”; “to protect and to improve the general appearance of all buildings, structures, landscaping, and open areas in the City; to encourage the protection of economic values and proper use of properties”, and to “assure a functionally efficient and visually attractive City in the future”. The proposed Development aligns with the City’s objective by addressing all requirements for building and site plan standards, providing high-quality materials and design, sidewalk connections, and bike racks.

Even though the project is not located in an Urban Design District, it complies with the design requirements of the Regional Mixed-Use zone, the Wellhead Protection Overlay 16 (WP-16), and TOD (Transit Oriented Development) Overlay district.

- The proposal complies with the local regulations by improving the appearance of the major transportation corridor which constitutes a major entrance to the City of Madison by replacing a parking lot with a new Coffee Kiosk with sidewalk connectivity, bike racks, and landscaped areas.
- The property has frontage on S Gammon Rd.
- The proposed development shall be designed, erected, and maintained in compliance with the RMX, WP-16 and TOD criteria, all applicable federal and other state laws, and the Building Code, Zoning Ordinance, and other applicable codes of the City of Madison not in conflict with this ordinance.
- *Water*
  - The use will not threaten or degrade groundwater quality and will comply with the public health, safety, and general welfare of the City of Madison, established by the Wellhead Protection District.
- *Public Rights-of-Way*
  - The public right-of-way will be landscaped with the appropriate planting per the RMX’s requirements.
- *Off-Street Parking and Loading Areas*
  - The number of parking and service areas will conform to the provisions of Chapter 28 of the



Madison General Ordinances.

- No new parking space is more than 70 feet from a canopy tree of at least 2-1/2 - 3-inch caliper.
- The parking area is located at the rear of the building.
- *Signs*
  - The signs will conform to all provisions of Chapter 31 of the Madison General Ordinances.
  - The signs are integrated with the architecture of the building.
  - The signs and menu board will not alternate, change, fade in, fade out, or otherwise change more frequently than once every 1 hour, nor will change its level of illumination more than once every 1 hour.
- *Building Design*
  - The exterior building materials will be low maintenance and harmonious with those used on other buildings in the area, which include brick-like fiber cement panel siding and metal panels.
  - Mechanical elements mounted on the roof are screened from views.
  - All building elevations were carefully designed with no unbroken exterior facades.
- *Lighting*
  - Lighting is adequate and not excessive, as shown on the photometric plan included in the civil set.
  - Architectural lighting is free from glare and is of a type to complement the existing development in the district.
  - Security lighting shall provide necessary levels of illumination to ensure the safety of the property and its residents, while not reflecting direct rays of light into adjacent property.
- *Landscaping*
  - Plant materials will be local to this region and will be of sufficient size to have an immediate visual impact.
  - Plant materials will be well-maintained, especially during the year following their installation and any dead plant will be replaced during the next planting season.
- *Utility Service*
  - Underground lines are being proposed for utility connections, which will be accomplished during building development and construction.

#### Additional Compatibility and impact notes

It is not anticipated that the Site will have any adverse impacts on public facilities, including fire, police, sanitation, roads, parks, or schools.

There are no known water features, wetlands, or wildlife habitats located within the Site.

Brew 4 You and their development team will adhere to the City of Madison Land Use Code and specific requirements applicable to the subject applications. Brew 4 You and their development team intend to fully cooperate with city staff to ensure all comments are addressed for both the Site Plan and Building Plan review.

## **E. Development Plans and Timing**

Brew 4 You is anticipating starting construction upon permit approval by the City, which is currently being estimated in the second quarter of 2026. The total length of construction is estimated to be between 120 and 150 days, depending on the weather. The first phase of construction will be the grading of the site and underground utility connections. The second phase of construction will be the construction of new improvements, also noted in our Site Plan(s). The goal is to have the Site ready for 7-Brew opening in the

Winter of 2026.

## F. Summary

Brew 4 You and their development team are committed to providing a suitable development that upholds the vision and guidelines set forth in the City of Madison's Land Use Code. The proposed development is compatible with the surrounding community and the proposed improvements enhance the current state of the Site, as well as promote future employment opportunities and long-term economic growth.



References:

1. [City of Madison Land Use Code](#)
2. [Urban Design District](#)
3. [33.24 Urban Design Commission](#)
4. [Urban Design District Map - N/A](#)
5. [Wellhead Protection Plan Unit Well 16](#)

**APPENDIX A**

VICINITY MAP

SITE DATA SUMMARY TABLE

[City of Madison Urban Design Districts](#)

## APPENDIX A

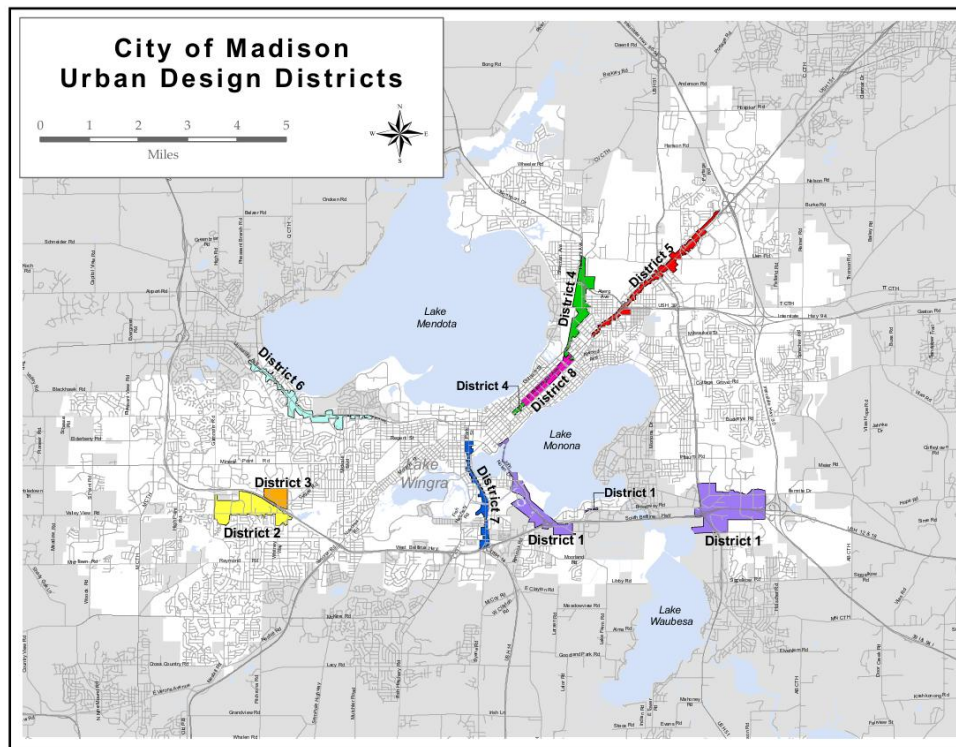
### VICINITY MAP



PROJECT LOCATION



NTS





## **APPENDIX A**

### SITE DATA SUMMARY TABLE

<b>CURRENT PROPERTY OWNER</b>	Madison WT Associates 4500 Bissonnet St, Suite 200, Bellaire, TX 77401 Att.: Ingrid Silfvast-Kaiser, John Clinkscales <a href="mailto:ISilfvast-Kaiser@frpltd.com">ISilfvast-Kaiser@frpltd.com</a> , <a href="mailto:jclinkscales@frpltd.com">jclinkscales@frpltd.com</a>
<b>ADDRESS</b>	S Gammon Rd, Madison, WI 53719 – West Towne Mall
<b>PARCEL ID</b>	070826100996
<b>SITE AREA</b>	0.9 acre
<b>ZONING</b>	RMX / Transit Oriented Development (TOD) Overlay District
<b>DEVELOPER/APPLICANT</b>	7BMad1 LLC / Plaza Street Partners, LLC 3400 College Blvd, Suite 200, Leawood, KS 66211 Attn: Mylena Oliveira (Senior Project Coordinator) <a href="mailto:moliveira@plazastreetpartners.com">moliveira@plazastreetpartners.com</a>

August 1, 2025

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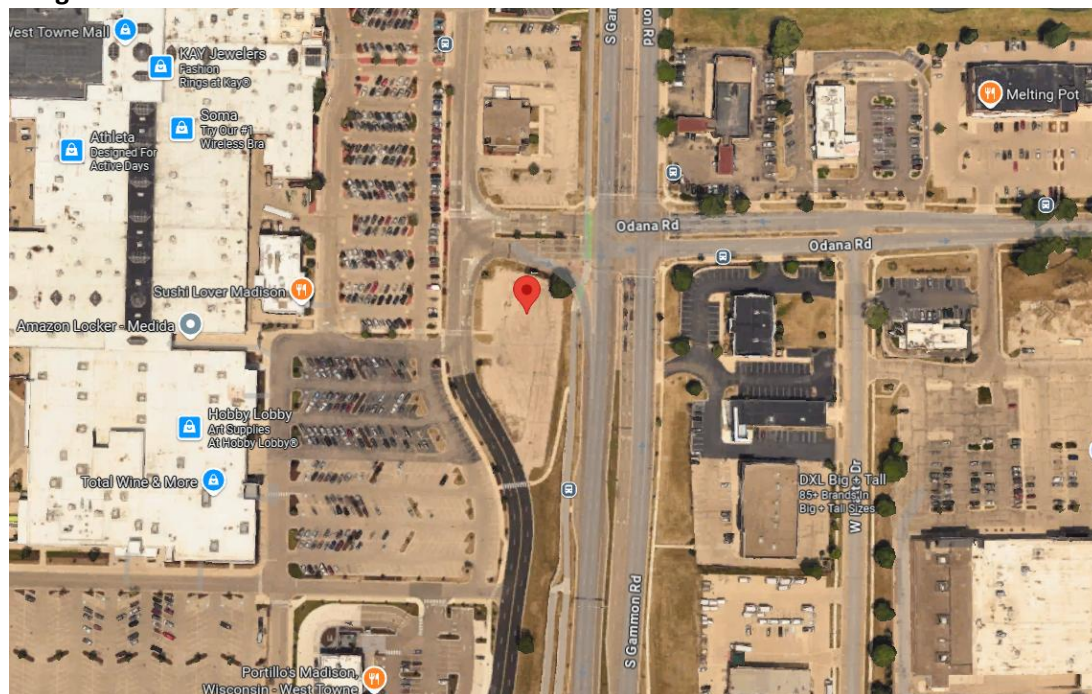
**RE: 7-Brew – S Gammon Rd, Madison, WI 53719 – West Towne Mall (Parcel # 070826100996)**

## A. Project Location

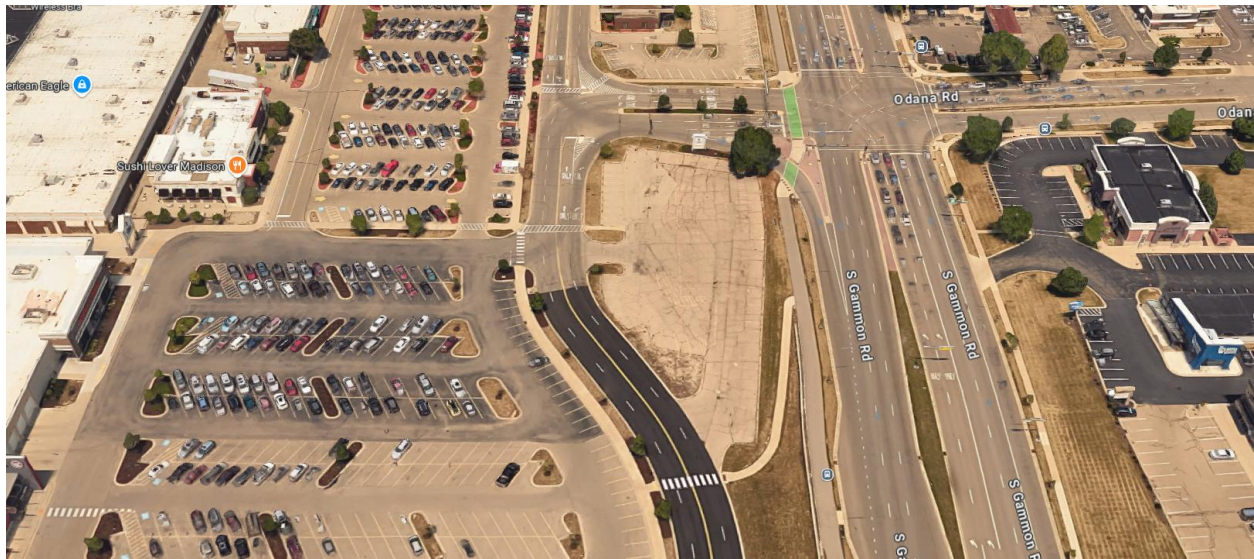
Parcel of land containing approximately 0.9 acres located at the west of S Gammon Rd (portion of Lot 1, CSM 15734) in the city of Madison, Wisconsin. The property is situated in Part of the Southeast 1/4 of the Northeast 1/4 of Section 26, Township 7 North, Range 8 East, City of Madison, Dane County, Wisconsin 53719. It is bound on the north by Odana Rd at the Mall entrance, on the east by S Gammon Rd, on the south by a strip of landscaping, and to the west by the Mall parking lot.

The Site is currently vacant and being used as the West Towne Mall parking lot. A new CSM will be recorded to reduce the developable area to 0.6 acres.

## B. Images

















# PROPOSED COFFEE SHOP FOR: 7-BREW MADISON MADISON, WI

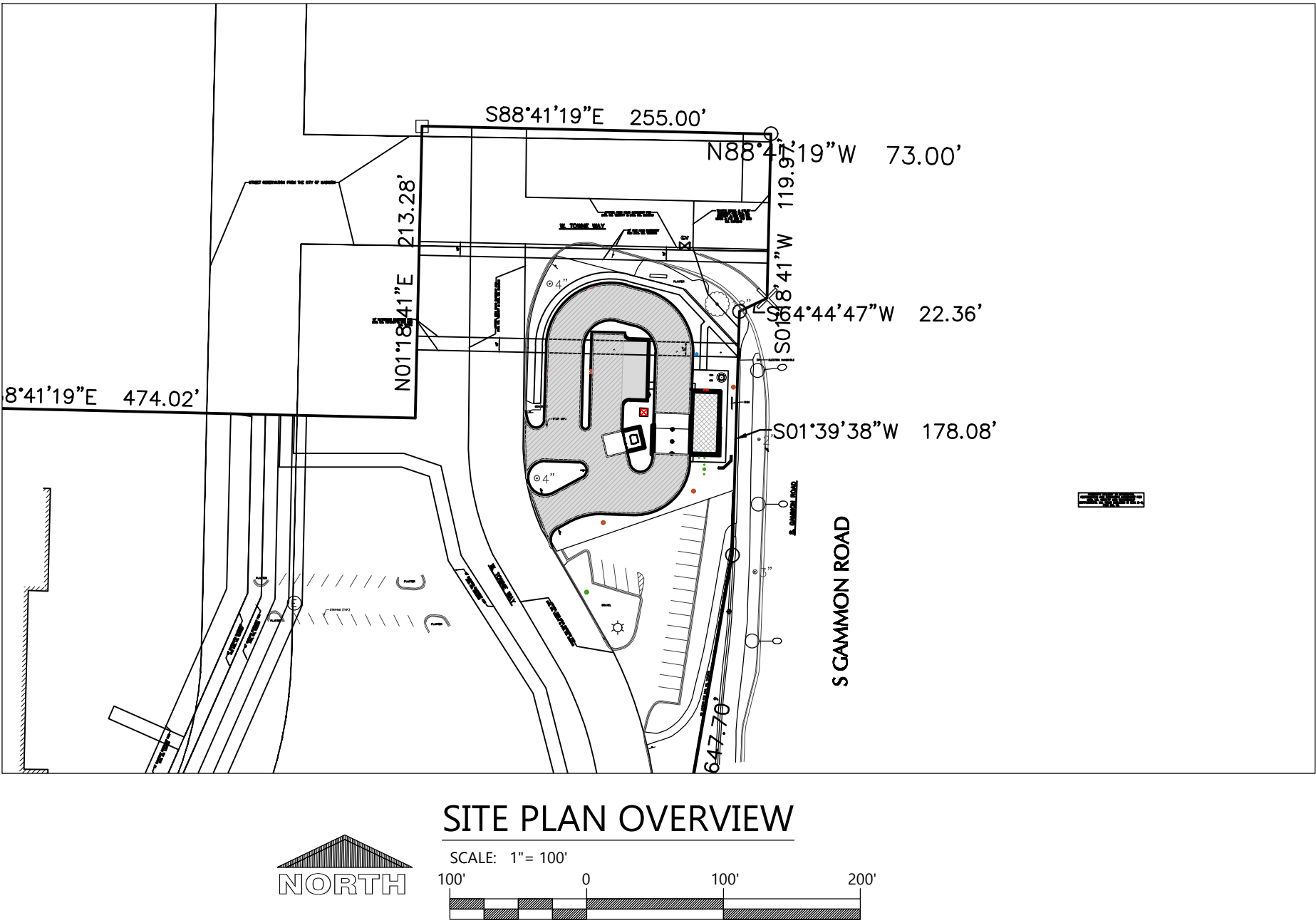


TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE  
1-800-242-8511

TOLL FREE TELEFAX (414) 259-0947  
TDD (FOR THE HEARING IMPAIRED)  
1-800 542-2289

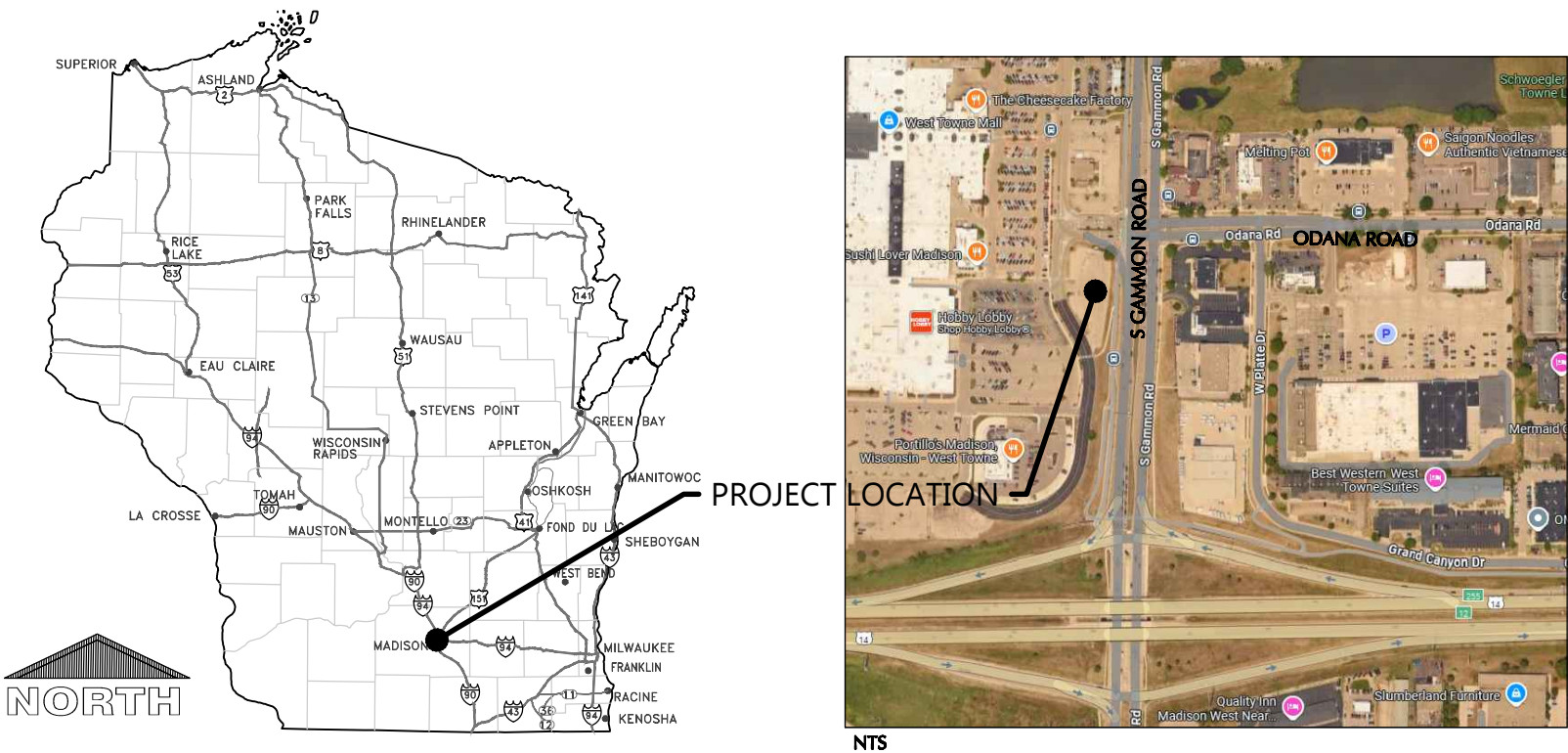
WISCONSIN STATUTE 182.0175 (1974)  
REQUIRES MINIMUM OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE



## PROJECT CONTACTS

<b>OWNER INFORMATION:</b> 7BMad1 LLC Kara Condie 1553 Autumn Birch Trail Eau Claire, WI 54703 Phone: (913) 299-5737 Email: kcondie@plazastreetpartners.com	<b>CIVIL:</b> EOR: Eric Drackowski, P.E. Contact: Alex Muhl Phone: (920)926-9800 E-mail: alex.muhl@excelengineer.com	<b>CITY PLANNER:</b> Heather Stouder Phone: (608) 266-4635 E-mail: hstouder@cityofmadison.com	<b>CITY ENGINEER:</b> Jim Wolfe Phone: (608) 266-4099 E-mail: jwolfo@cityofmadison.com	<b>CITY FIRE CHIEF:</b> Chris Carbon Phone: (608) 266-4420 E-mail: fire@cityofmadison.com	<b>CITY BUILDING INSPECTOR:</b> Charles Romines Phone: (608) 266-4551 E-mail: bldgininspect@cityofmadison.com	<b>CITY DIRECTOR OF PUBLIC WORKS:</b> Charles Romines E-mail: publicworks@cityofmadison.com
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## LOCATION MAP



## PROJECT NOTES

### GENERAL PROJECT NOTES

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- CONTRACTOR TO OBTAIN WRITTEN PERMISSION FROM PROPERTY OWNER PRIOR TO WORK ON NEIGHBORING PROPERTIES.

### CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

## SHEET INDEX

SHEETS BELOW INTENDED TO BE PRINTED IN: **COLOR**. REFER TO DIGITAL FORMAT DRAWINGS IF PRINTED GRayscale TO ENSURE SCOPE CLARITY.

NUMBER	SHEET NAME / DESCRIPTION
C0.1	CIVIL COVER SHEET
C0.2	CIVIL SPECIFICATIONS
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1A	SITE PLAN
C1.1B	STRIPING PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C2.1	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS

## LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM.	IDENTIFICATION	SYM.	IDENTIFICATION
<b>SPOT ELEVATIONS</b>			
• 1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	1000.00 TC 1000.00 FL	PROPOSED SPOT ELEVATIONS (TOP OF CURB, FLOWLINE OF CURB)
• 1000.00 EG • 1000.00 BG • 1000.00 FG	EXISTING GRADE SPOT ELEVATIONS PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL) BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	1000.00 TW 1000.00 BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK @ FLOWLINE)
<b>EXISTING SITE SYMBOLS</b>			
	EXISTING SIGN		EXISTING UTILITY POLE
	EXISTING HANDICAP PARKING STALL		EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING WATER VALVE IN BOX		EXISTING STREET LIGHT
	EXISTING WATER VALVE IN MANHOLE		EXISTING TELEPHONE PEDESTAL
	EXISTING WATER SERVICE VALVE		EXISTING ELECTRIC PEDESTAL
	EXISTING WELL		EXISTING ELECTRIC BOX
	EXISTING STORM CATCH BASIN		EXISTING FLOOD LIGHT
	EXISTING STORM CURB INLET		EXISTING TELEPHONE MANHOLE
	EXISTING SQUARE CATCH BASIN		EXISTING CABLE TV PEDESTAL
	EXISTING LIGHT POLE		EXISTING GAS VALVE
	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.		EXISTING HEDGE
	3/4" REBAR SET WEIGHING 1.50 LB/FT.		EXISTING WOODED AREA
	1-1/4" REBAR FOUND		EXISTING MARSH AREA
	3/4" REBAR FOUND		EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER
	2" IRON PIPE FOUND		EXISTING CONIFEROUS TREE
	1" IRON PIPE FOUND		EXISTING SHRUB
	SECTION CORNER		EXISTING STUMP
<b>PROPOSED SITE SYMBOLS</b>			
	PROPOSED SIGN		PROPOSED STORM FIELD INLET - ST FI
	PROPOSED HANDICAP PARKING STALL		PROPOSED LIGHT POLE
	PROPOSED WATER VALVE IN BOX		PROPOSED DRAINAGE FLOW
	PROPOSED WATER VALVE IN MANHOLE		PROPOSED APRON END SECTION
	PROPOSED WATER SERVICE VALVE		SOIL BORING
	PROPOSED WELL		CENTER LINE
	PROPOSED STORM CATCH BASIN - ST CB		PROPOSED CLEANOUT
	PROPOSED STORM CURB INLET - ST CI		PROPOSED DOWNSPOUT TO GRADE
			PROPOSED DOWNSPOUT TO RISER
<b>EXISTING LINETYPES</b>			
	EXISTING CHAINLINK FENCE		EXISTING POLISH SEWER AND MANHOLE
	EXISTING WOOD FENCE		EXISTING PROCESS SEWER AND MANHOLE
	EXISTING BARBED WIRE FENCE		EXISTING CLEAR WATER LINE
	EXISTING CURB AND GUTTER		EXISTING UNDERGROUND FIBER OPTIC LINE
	EXISTING GUARD RAIL		EXISTING UNDERGROUND ELECTRIC CABLE
	EXISTING GROUND CONTOUR		EXISTING UNDERGROUND TELEPHONE CABLE
	EXISTING STORM SEWER AND MANHOLE		EXISTING UNDERGROUND GAS LINE
	EXISTING SANITARY SEWER AND MANHOLE		EXISTING OVERHEAD UTILITY LINE
	EXISTING WATER LINE AND HYDRANT		RAILROAD TRACKS
	INTERIOR PROPERTY LINE		RIGHT-OF-WAY LINE
<b>PROPOSED LINETYPES</b>			
	PROPOSED CHAINLINK FENCE		PROPOSED POLISH SEWER AND MANHOLE
	PROPOSED WOOD FENCE		PROPOSED PROCESS SEWER AND MANHOLE
	PROPOSED BARBED WIRE FENCE		PROPOSED CLEAR WATER LINE
	PROPOSED CURB AND GUTTER		PROPOSED UNDERGROUND FIBER OPTIC LINE
	PROPOSED GUARD RAIL		PROPOSED UNDERGROUND ELECTRIC CABLE
	PROPOSED GROUND CONTOUR		PROPOSED UNDERGROUND TELEPHONE CABLE
	PROPOSED STORM SEWER AND MANHOLE - ST MH		PROPOSED UNDERGROUND GAS LINE
	PROPOSED SANITARY SEWER AND MANHOLE - SAN MH		PROPOSED OVERHEAD UTILITY LINE
	PROPOSED WATER LINE AND HYDRANT		MATCHLINE
	PROPOSED PROPERTY LINE		GRADING/SEEDING LIMITS



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PROFESSIONAL SEAL



08/01/25

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AUG. 1, 2025

REVISIONS


JOB NUMBER

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# CIVIL SPECIFICATIONS

## DIVISION 31 EARTH WORK

### 31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. CONTRACTOR TO FIELD TELEVIS ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVISION SHALL BE COMPLETED USING THE EXISTING LATERALS ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISION OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISION.
- C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

### 31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY "SOFT" POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS, UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
1. UNDER FOUNDATIONS - SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE - PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROVE-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS, PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- H. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- I. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

### 31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
2. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
3. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
4. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDING APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
5. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION ACTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
6. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
7. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
8. IF SITE Dewatering IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE Dewatering PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
9. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A SIMILAR EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1066 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.
- C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
- D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

## DIVISION 32 EXTERIOR IMPROVEMENTS

### 32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.
- STANDARD ASPHALT PAVING SECTION
- 1-1/2" SURFACE COURSE (5 LT 58-285)
- (WISDOT 455.2.5 TACK COAT (STAGED PAVING)
- 2" BINDER COURSE (4 LT 58-285)
- 6" OF 1-1/4" CRUSHED AGGREGATE
- HEAVY ASPHALT PAVING SECTION
- 1-1/2" SURFACE COURSE (5 LT 58-285)
- WISDOT 455.2.5 TACK COAT (STAGED PAVING)
- 2-1/2" BINDER COURSE (4 LT 58-285)
- 8" OF 1-1/4" CRUSHED AGGREGATE
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE AND ASPHALT PAVEMENT COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05" OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- D. SEE SHEET C1-18 FOR STRIPING PLAN OF PAVEMENT AREAS.

### 32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
1. SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONSTRUCTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOGED JOINT WHERE INDICATED ON THE PLANS.
2. DUMPSER PAD/APRON CONCRETE - 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.
- a. CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB.
- 1) TIE BARS AT ALL CONSTRUCTION JOINTS OF THE CONCRETE. TIE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30" O.C.
- b. DUMPSER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS:
- 1) CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT SHALL BE 2" IN DEPTH.
- 2) TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL PLACED AT 12" O.C. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENTREK 9" SPEED DOWEL TUBES SHALL BE USED.
- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
1. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK.
4. SLUMP SHALL BE 2.5" OR LESS FOR SUP-FORM CURB AND GUTTER.
5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SUP-FORMED CURB AND GUTTER.
6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.
7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W/1.4 X W/1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. CONCRETE SHALL BE PROVIDED ON 6" OF 3/4" CRUSHED AGGREGATE BASE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05" OF DESIGN SURFACE AND FLOWLINE GRADIES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #5 BARS, 60 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND SHALL BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DICING SALTS TO 0.45.
- M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

### 32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.
- TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROCKS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- B. SEED: LAWNMAINTENANCE
1. PERMANENT LAWN AREAS SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS./1,000 S.F.), STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ON SITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1,000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 13 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- C. SEEDD LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 75". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- D. EROSION MATTING:
1. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.
- E. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE, AND LOCATION.
- F. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS IN PIT WITH TOP OF PIT WITH TOP OF BALL. 1' ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- G. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
- H. RIVER ROCK: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM RIVER ROCK AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- I. PLASTIC EDGING: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

## DIVISION 33 UTILITIES

### 33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- B. CONTRACTOR TO FIELD TELEVIS ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVISION SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISION OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISION.
- C. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS. ALL PROPOSED CPVC PROCESS PIPING SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE.
- D. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A (4" OR 6") VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- E. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- G. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- H. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- I. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.
- J. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REQUIRED). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- K. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.
	2. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF DISCREPANCIES.
	3. PLACE ALL SILT FENCE AND INLET PROTECTION.
	4. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.
	5. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS.
	6. CONSTRUCT TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.
	7. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
2. CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED.
	2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. LOCATION BY OWNER. FINAL LOCATION BY CONTRACTOR. PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED.
	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.
	4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.
	5. DIG AND POUR ALL BUILDING FOOTINGS.
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES.
	7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.
	8. CONSTRUCT BUILDING.
	9. PAVE DRIVEWAYS AND PARKING AREAS.
	10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.

\*\*\*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.\*\*



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#### PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
66W TOWNE MALL • MADISON, WI 53719

PROFESSIONAL SEAL

#### SHEET DATA

SHEET ISSUE AUG. 1, 2025

#### REVISIONS


#### JOB NUMBER

240293100

#### SHEET NUMBER

C0.2





GENERAL NOTES:

- SEE SHEET C0.2 FOR PLAN SPECIFICATIONS AND REQUIREMENTS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION; NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs/cfm)

NOTE: SURFACE INDICATIONS OF UTILITIES ON THE SURVEYED PARCEL HAVE BEEN SHOWN. DIGGER'S HOTLINE WAS NOT NOTIFIED AS PART OF THIS SURVEY. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

KEYNOTES

A	REMOVE SIGN
B	REMOVE LIGHT POLE
C	SAWCUT (AS NECESSARY) AND REMOVE PAVEMENT AND CURB AND GUTTER FOR CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS
D	SAWCUT (AS NECESSARY) AND REMOVE CURB AND GUTTER
E	SAWCUT (AS NECESSARY) AND REMOVE PAVEMENT FOR UTILITY CONSTRUCTION. REPLACE TO MATCH.
F	REMOVE INLET AND STORM PIPE FOR NEW STORM CONNECTION
G	PROTECT SIGN
H	PROTECT TREE
I	PROTECT UTILITY
J	FIELD VERIFY DEPTH, LOCATION, AND SIZE OF EXISTING SANITARY LATERAL DRAWN PER PREVIOUSLY PROPOSED PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.



CIVIL EXISTING SITE AND DEMOLITION PLAN



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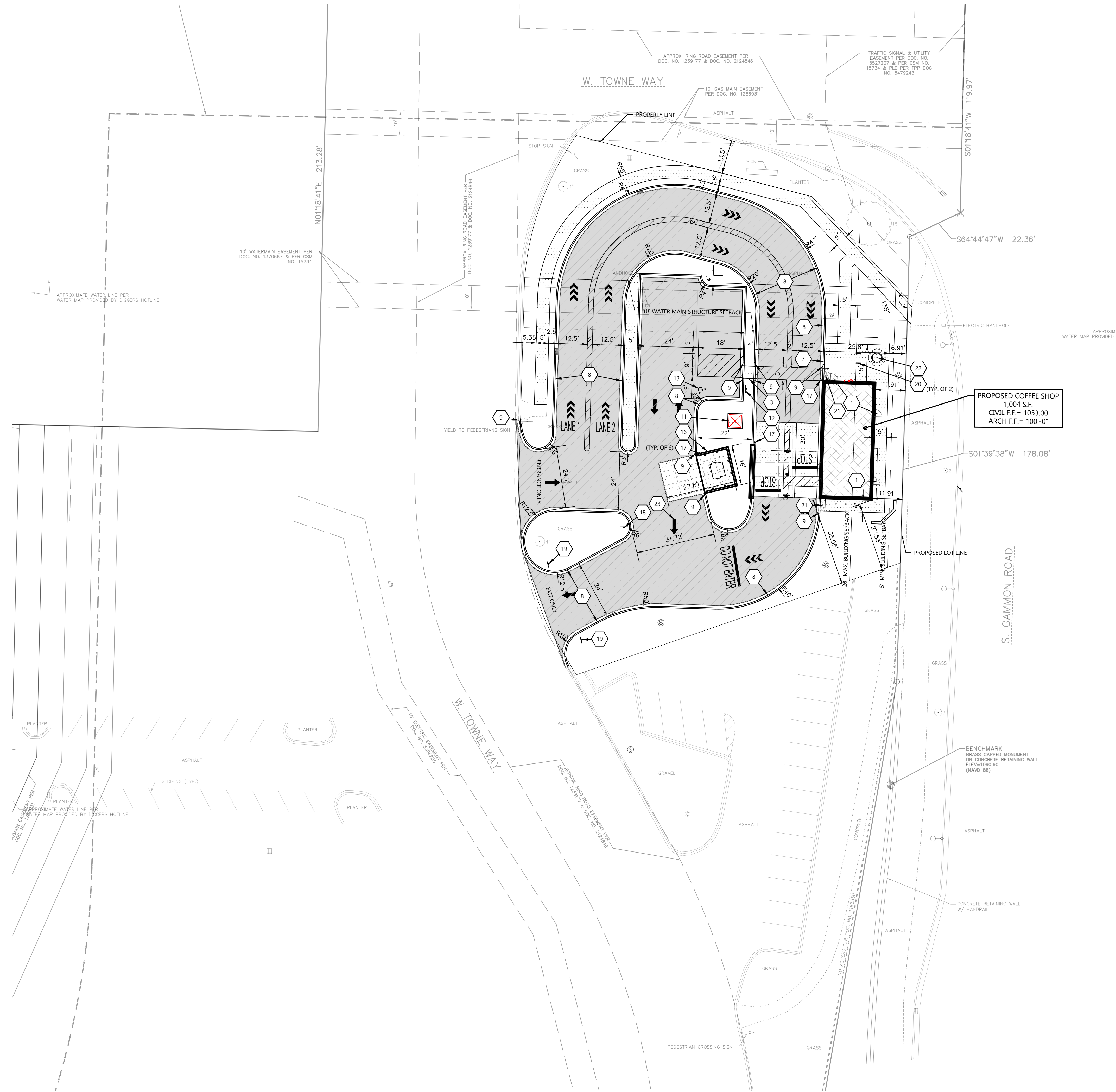
JOB NUMBER

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SHEET NUMBER

C1.0





LEGEND:	
HATCH	PAVEMENT SECTION
	STANDARD ASPHALT
	HEAVY DUTY ASPHALT
	SIDEWALK CONCRETE
	DUMPSTER PAD / APRON CONCRETE
	INVERTED CURB & GUTTER

SITE INFORMATION:

EXISTING ZONING: REGIONAL MIXED USE (RMX) WITH WELLHEAD PROTECTION (WP16) AND TRANSIT ORIENTED DEVELOPMENT (TOD) OVERLAY DISTRICTS

PROPOSED ZONING: REGIONAL MIXED USE (RMX) WITH WELLHEAD PROTECTION (WP16) AND TRANSIT ORIENTED DEVELOPMENT (TOD) OVERLAY DISTRICTS

PROPOSED USE: COFFEE SHOP W/ DRIVE THRU

SETBACKS:  
BUILDING: FRONT MIN = 5'  
FRONT MAX = 20'  
SIDE = NONE  
REAR = NONE

PAVEMENT: FRONT = NONE  
SIDE = NONE  
REAR = NONE

PROPOSED BUILDING HEIGHT: 22' (MAX. HEIGHT ALLOWED: 116')

BUILDING AREA REQUIRED IN SETBACK: 30% (302 S.F.)

BUILDING AREA IN SET BACK: 37% (376 S.F.)

PARKING REQUIRED: NO MINIMUM UNLESS WITHIN 300' OF ANOTHER RESTAURANT, TAVERN, OR BREW PUB

PARKING PROVIDED: 4 SPACES (1 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

AREA OF REDEVELOPMENT LAND DISTURBANCE: 9,989 S.F.

AREA OF RESURFACING: 15,343 S.F.

EXISTING SITE DATA

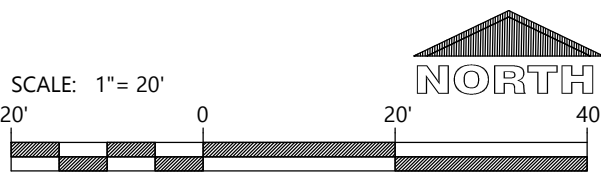
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.52	22,673	86.1%
TOTAL IMPERVIOUS	0.52	22,673	86.1%
LANDSCAPE/ OPEN SPACE	0.08	3,662	13.9%
PROJECT SITE	0.60	26,335	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.02	1,004	3.8%
PAVEMENT (ASP. & CONC.)	0.41	17,697	67.2%
TOTAL IMPERVIOUS	0.43	18,701	71.0%
LANDSCAPE/ OPEN SPACE	0.18	7,634	29.0%
PROJECT SITE	0.60	26,335	100.0%

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
3	FLUSH WALK (SEE DETAIL)
7	18" MOUNTABLE CURB & GUTTER (SEE DETAIL)
8	18" CURB & GUTTER (SEE DETAIL)
9	CURB TAPER (SEE DETAIL)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
17	6" CONCRETE BOLLARDS (TYP.)
18	YIELD SIGN
19	DO NOT ENTER SIGN
20	BIKE RACK (TYP.) (TYPE & COLOR BY OWNER)
21	DETECTABLE WARNING PLATE PER STATE CODE
22	PICNIC TABLE (SEE DETAIL)



CIVIL SITE PLAN

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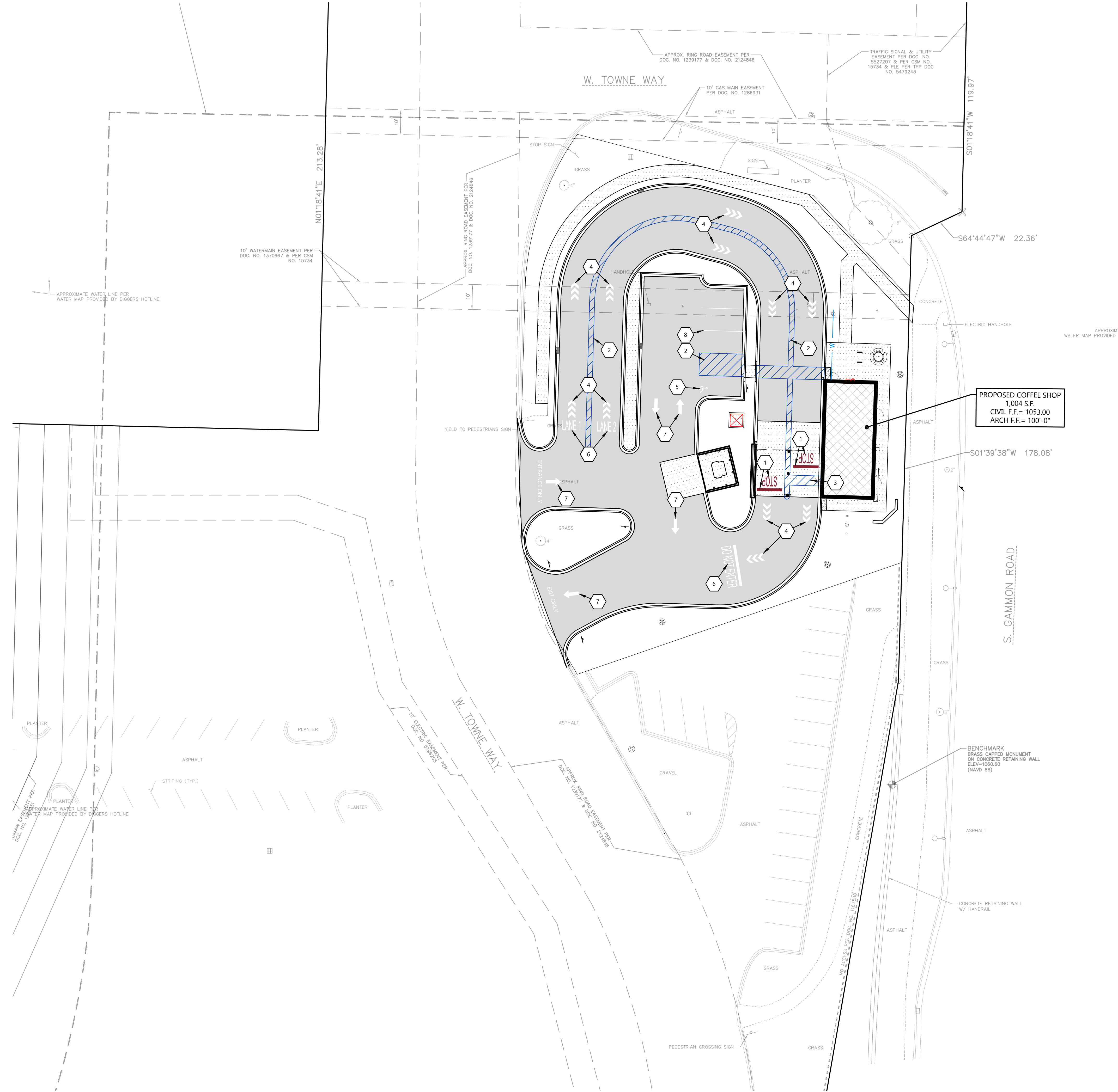
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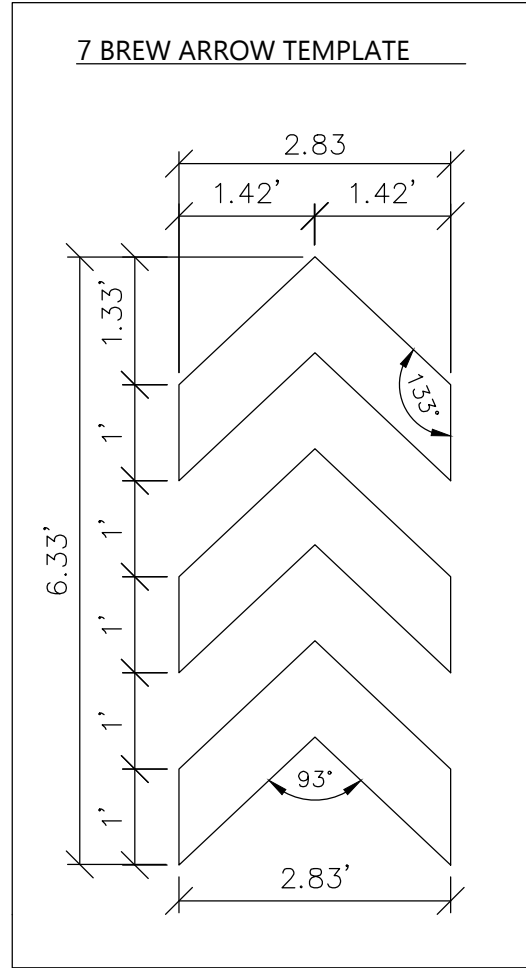
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GENERAL NOTES:

- 



STRIPING PAINT COLORS:

SUBSTITUTION TO COLORS MUST BE APPROVED BY 7 BREW

PMS 000C  
C: 0%  
M: 0%  
Y: 0%  
K: 0%

R: 255  
G: 255  
B: 255

HEX: FFFFFFFF

PMS 293  
C: 100%  
M: 63%  
Y: 0%  
K: 35%

R: 0  
G: 61  
B: 165

HEX: 003DA5

PMS 202  
C: 29.54%  
M: 95.11%  
Y: 74.72%  
K: 29.59%

R: 138  
G: 36  
B: 50

HEX: 8A2432

PAINT TYPE:

SHERWIN - WILLIAMS PRO PARK, SETFAST, HOTLINE OR AN APPROVED EQUAL.

STRIPING PLAN KEYNOTES

1	12" TALL RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED
2	4" SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACED AT 24" O.C.
3	ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING
4	SOLID WHITE TRIPLE ARROW PAVEMENT MARKER (SEE DETAIL)
5	WHITE PAINTED ADA ACCESSIBLE PARKING SYMBOL
6	48-INCH TALL "LANE #" PAINTED IN WHITE
7	SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING
8	4" SOLID WHITE PAVEMENT MARKER, TYPICAL



CIVIL STRIPING PLAN



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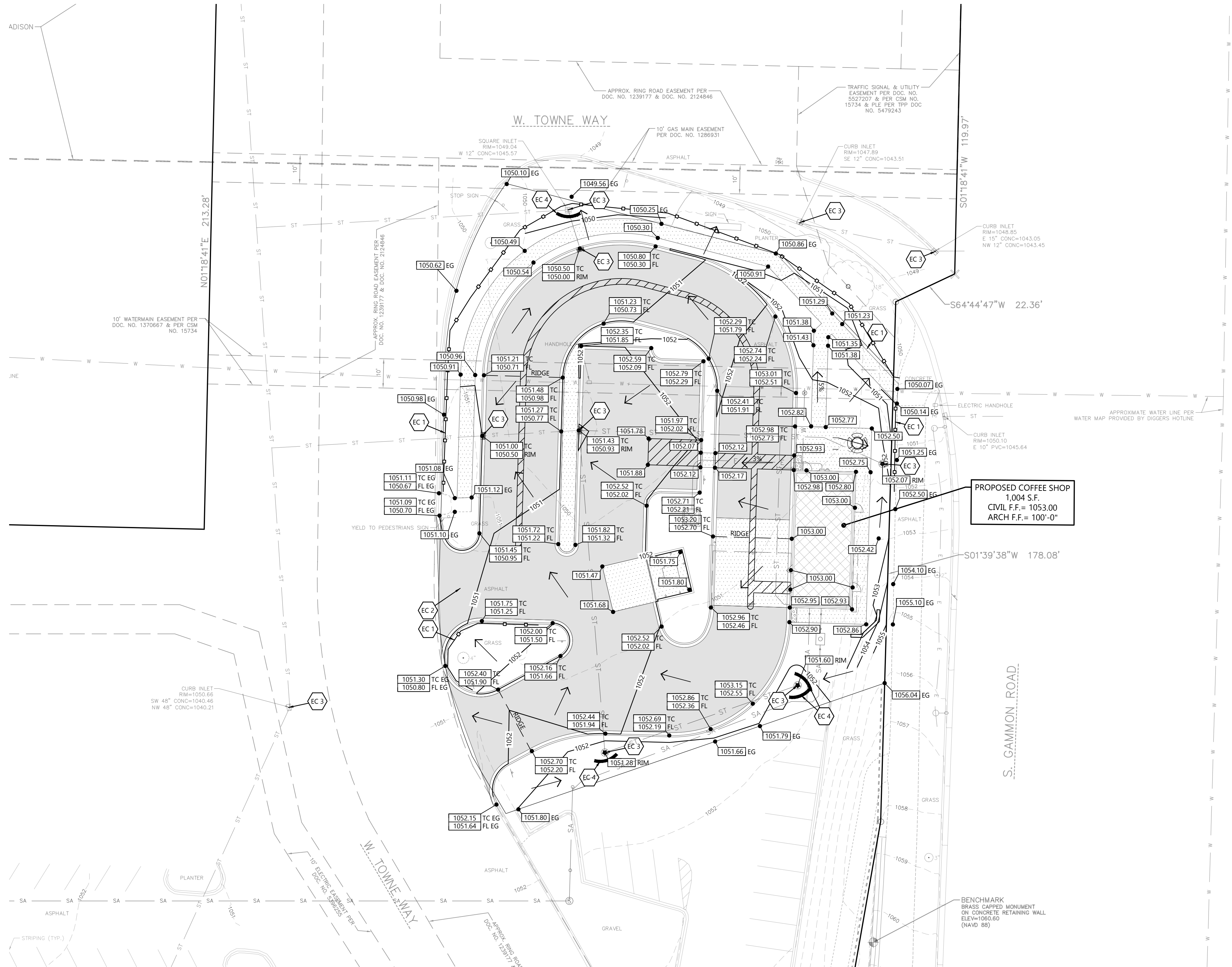
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- GENERAL NOTES:**
- ALL SPOT ELEVATIONS NOTED AS "EG-FV" ARE EXISTING GRADES TO BE FIELD VERIFIED. GRADES BY OTHERS IN COORDINATION WITH ADJACENT LOT REDEVELOPMENT.
  - HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
  - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.
  - CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
  - CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
  - CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.
  - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATIONS/ PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
  - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
  - COMPLETE WEEKLY SELF-INSPECTIONS OF THE EROSION CONTROL PRACTICES AND POST THESE INSPECTIONS TO THE CITY OF MADISON WEBSITE - AS REQUIRED BY CHAPTER 37 OF THE MADISON GENERAL ORDINANCE.

KEYNOTES	
EC 1	SILT FENCE
EC 2	STABILIZED CONSTRUCTION ENTRANCE
EC 3	INLET PROTECTION
EC 4	SEDIMENT LOG



CIVIL GRADING AND EROSION CONTROL PLAN



**Excel**

Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
66 W TOWNE MALL • MADISON, WI 53719

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	AUG. 1, 2025
REVISIONS	

JOB NUMBER  
240293100

SHEET NUMBER

C1.2

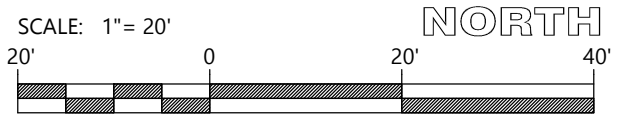




66 W TOWNE MALL • MADISON, WI 53719

## C1.3








- CONTRACTOR TO PROVIDE GAS SERVICE TO BUILDING. FINAL ROUTE BY UTILITY COMPANY. CONTRACTOR TO COMPLETE PERMITTING, FIELD VERIFY ROUTE, AND NOTIFY ENGINEER OF ANY CONFLICTS.



CIVIL UTILITY PLAN



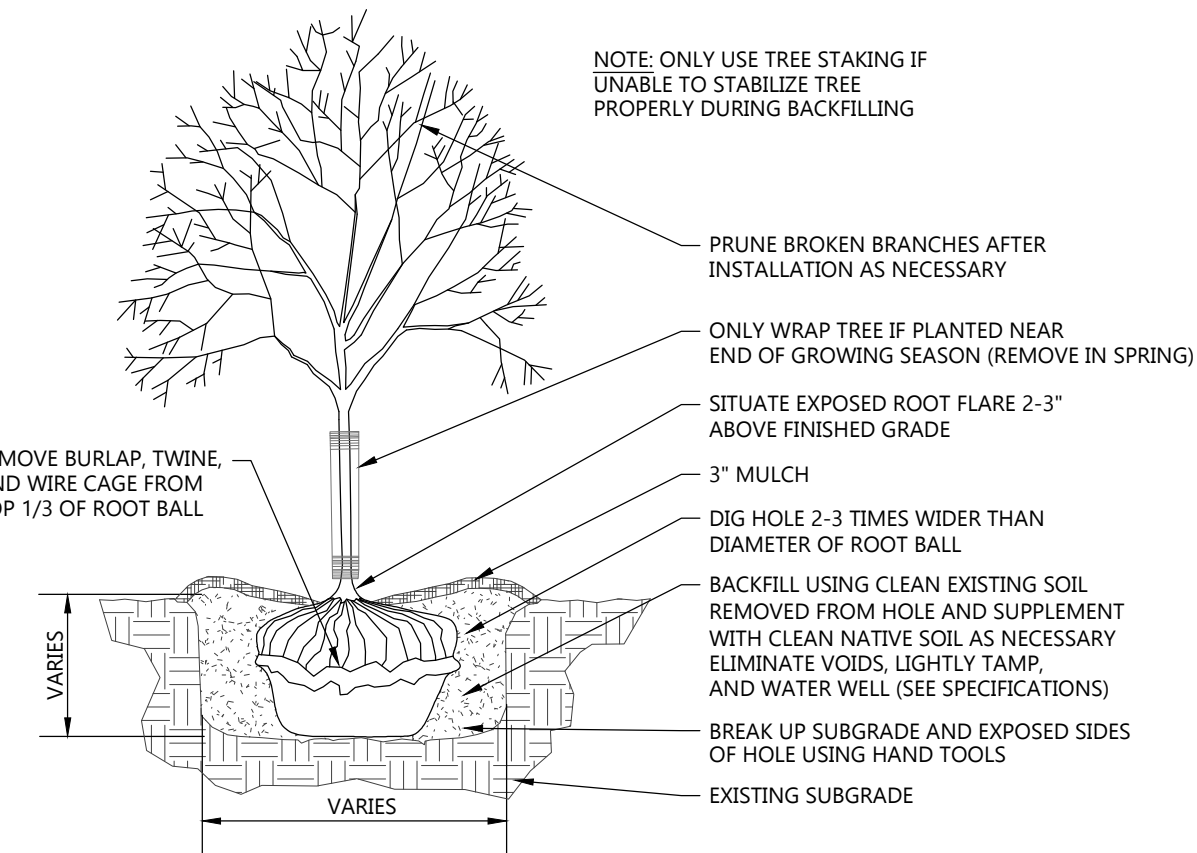


LANDSCAPE PLANT SCHEDULE										
ABBREVIATION	SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	ROOT	HEIGHT	SPREAD	QUANTITY	POINTS	
EXISTING TREES										
		Existing Maple	Acer spp.					2	56	
							POINTS IN THIS SECTION		112	
OVERSTORY TREES										
SGM		Sienna Glen Maple	Acer x freemanii 'Sienna'	2 1/2" CAL.	B&B	40-50'	35-40'	1	35	
HKB		Hackberry	Celtis occidentalis	2 1/2" CAL.	B&B	40-60'	40-60'	1	35	
AGG		Autumn Gold Ginkgo	Ginkgo biloba 'Autum Gold'	2 1/2" CAL.	B&B	40-50'	25-30'	1	35	
SKH		Street Keeper Honeylocust	Gleditsia triacanthos 'Draves'	2 1/2" CAL.	B&B	45'	20'	1	35	
RLN		Redmond Linden	Tilia americana 'Redmond'	2 1/2" CAL.	B&B	40-60'	25'	1	35	
							POINTS IN THIS SECTION		175	
DECIDUOUS SHRUBS										
KOD		Kodiak Orange Diervilla	Diervilla x 'G2X88544'	18" HT.	CONT.	3-4'	3-4'	8	3	
LQH		Little Quickfire Hydrangea	Hydrangea paniculata 'SMHPLQF'	18" HT.	CONT.	3-5'	3-5'	8	3	
FSA		Fritsch Spirea	Spirea fritschiana	18" HT.	CONT.	2-3'	2-3'	15	3	
							POINTS IN THIS SECTION		93	
EVERGREEN SHRUBS										
GVB		Green Velvet Boxwood	Buxus 'Green Velvet'	18" HT.	CONT.	3-4'	4-5'	16	4	
GOJ		Grey Owl Juniper	Juniperus virginiana 'Grey Owl'	18" HT.	CONT.	4-5'	6-8'	6	4	
							POINTS IN THIS SECTION		88	
PERENNIALS/ORNAMENTAL GRASSES										
KFG		Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL.	POT.	4-5'	2'	10	2	
SDO		Stella De Oro Daylily	Hemerocallis 'Stella De Oro'	1 GAL.	POT.	12-18"	16-24"	18	2	
							POINTS IN THIS SECTION		56	
							TOTAL POINTS		524	

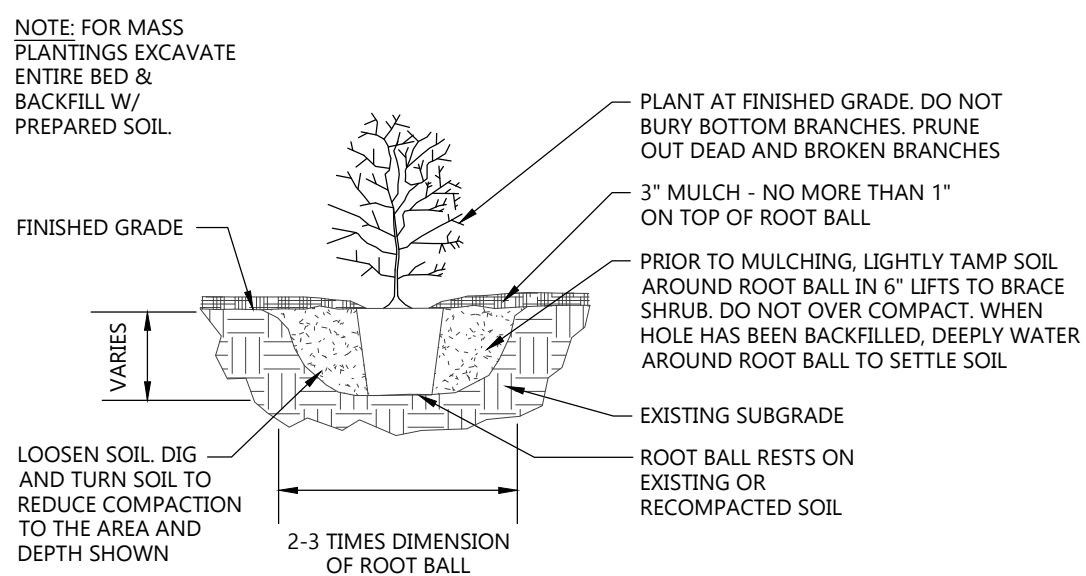
HATCH KEY:	
HATCH	LANDSCAPE MATERIAL
	ORGANIC MULCH
	SEEDED LAWN

LANDSCAPING CALCULATIONS		
ZONE	REQUIRED PLANTS	PLANTS PROVIDED
FRONTAGE	98' OF FRONTAGE AREA OUTSIDE OF SIDEWALKS 1 OVERSTORY TREE AND 5 SHRUBS PER 30' REQUIRED: 3.3 OVERSTORY TREES / 16 SHRUBS	PROVIDED: 3 OVERSTORY TREES / 16 SHRUBS POINTS FOR THIS SECTION: 167
INTERIOR PARKING LOT LANDSCAPE	13,555 SF x 5% = 677.75 SF REQ. LANDSCAPE AREA 1 TREE PER 160 SF OF REQ. LANDSCAPE AREA REQUIRED: 677.75 SF/160 SF = 4.23 TREES	PROVIDED: 4 OVERSTORY TREES (2 EXISTING) / 175 POINTS OF UNDERSTORY LANDSCAPING 891 SF LANDSCAPE AREA POINTS FOR THIS SECTION: 357
LANDSCAPE POINT CALCULATIONS	17,227 SF OF DEVELOPED AREA 5 LANDSCAPE POINTS REQ. PER 300 SF 17,227 SF/300 SF X 5 POINTS REQUIRED: 287.12 POINTS	TOTAL PROVIDED: 524 POINTS

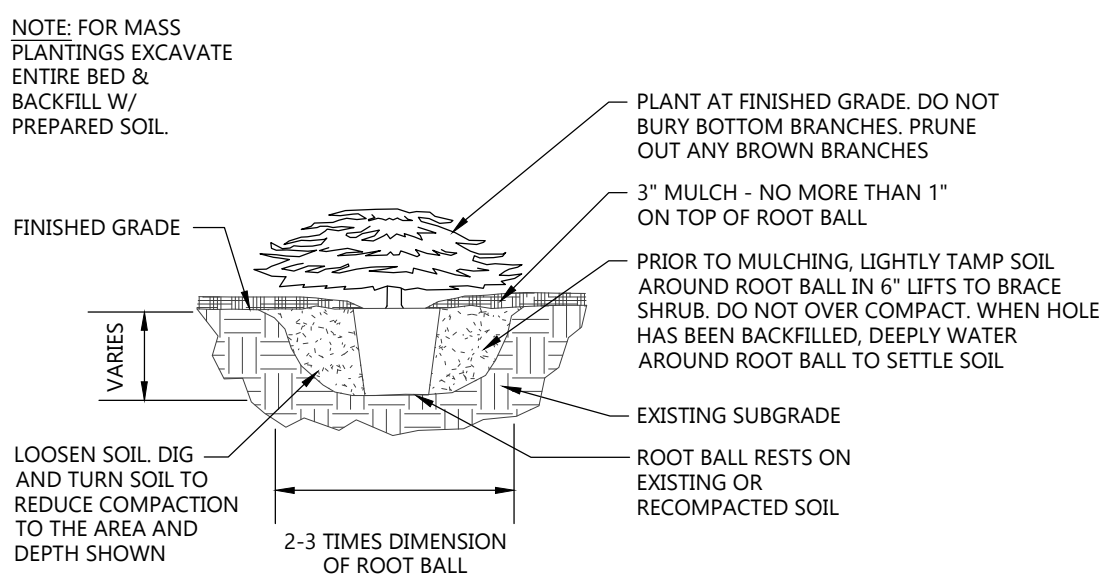
- GENERAL NOTES:**
- PLANTS ARE SHOWN AT 60% MATURITY
  - CANOPY TREE DIVERSITY AT 20% PER SPECIES
  - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
  - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
  - STREET TREE PROTECTION FENCING SHALL BE ERCTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
  - STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608)266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.



DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



DECIDUOUS SHRUB PLANTING DETAIL  
NOT TO SCALE



EVERGREEN SHRUB PLANTING DETAIL  
NOT TO SCALE



PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
66 W TOWNE MALL • MADISON, WI 53719



PRELIMINARY DATES

AUG. 1, 2025

JOB NUMBER

240293100

SHEET NUMBER

**C1.4**



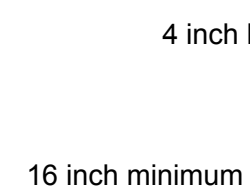
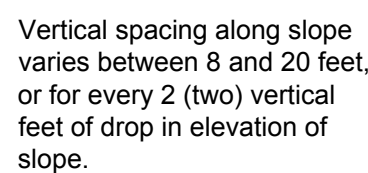
PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
66 W TOWNE MALL • MADISON, WI

## C2.0

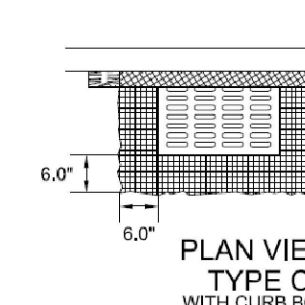
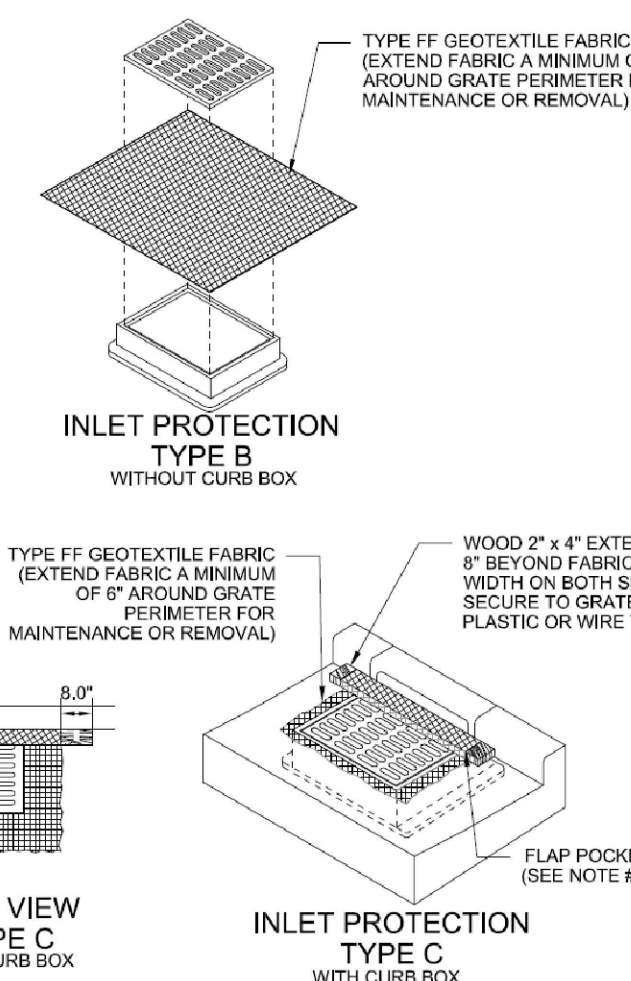
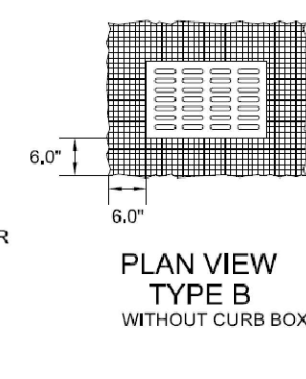
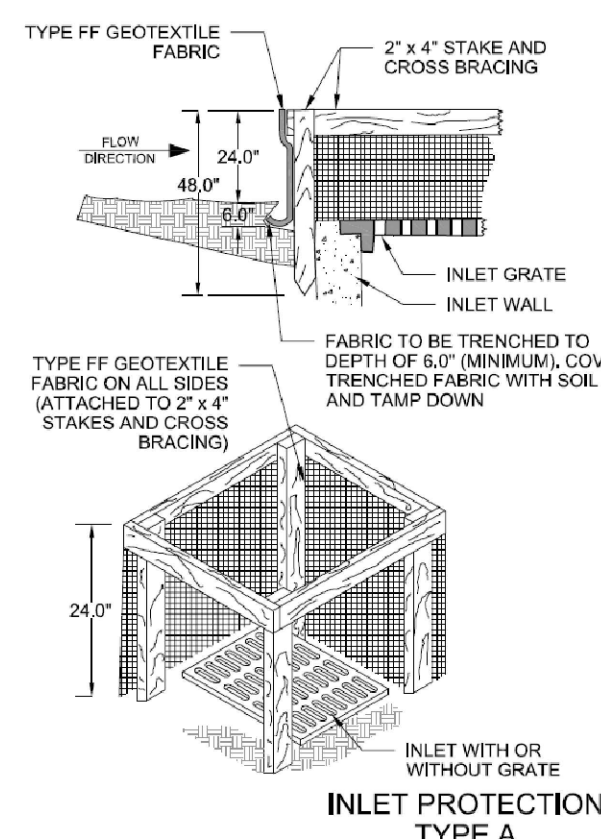


## CIVIL DETAILS





NOT TO SCALE



NOTES

1. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES

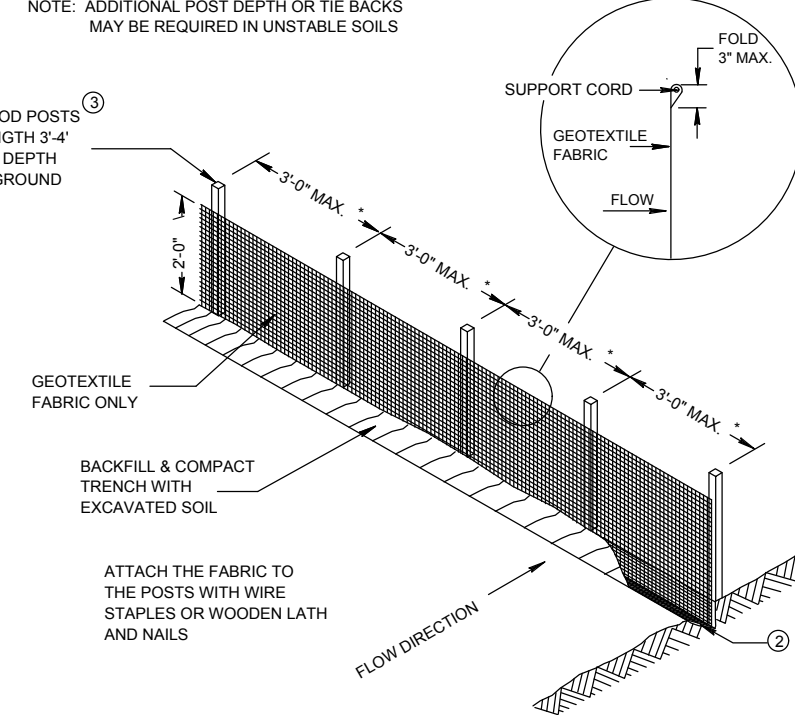
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



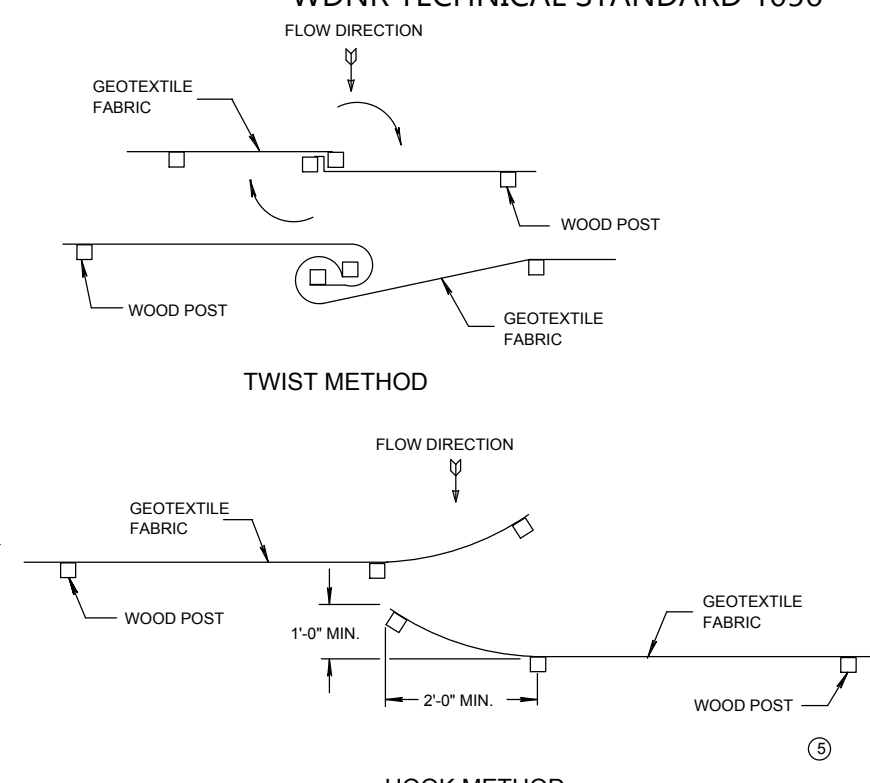
1060
TECHNICAL STANDARD No.
12/2021
REVISION DATE
NOT TO SCALE



INSTALL IN ACCORDANCE WITH  
WDNR TECHNICAL STANDARD 1056



\* NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED



## JOINING TWO LENGTHS OF SILT FENCE

GENERAL NOTES

- ① HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- ② TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FILL MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ③ WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.
- ④ SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- ⑤ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO VOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE AT LEAST 180 DEGREES; B) HOOK THE END OF EACH SILT FENCE LENGTH.

This drawing based on Wisconsin  
Department of Transportation  
Standard Detail Drawing 8 E 9-6.

SILT FENCE

**SILT FENCE - INSTALLATION DETAIL**  
NOT TO SCALE





OVERVIEW	
Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

## QUICK LINKS

Ordering Guide      Performance      Photometrics      Dimensions

### FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip Finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic shell delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RCS.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral lower (IL) and integral half lower (IH) options available for enhanced backlight control.

## Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit, and thermal protection. Custom luminance and wattage packages available.
- 0-10V dimming (100% - 100% standard)
- Standard Universal Voltage (120-277 Vac); Input Voltage: 120-277 Vac
- 100% Dimming or optional High Voltage (347-480 Vac)
- L80 Calculated Life: 100,000 Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -20°C to +50°C (-40°F to +122°F). 42L and 48L, luminance packages rated for +50°C. SSL luminance packages rated for +35°C.
- Power factor > 90
- Input power stays constant over life.
- Field replaceable UVIO surge protection device meets a minimum Category C Low operation (ANSI/MIEEE C62.42).
- High-efficiency LEDs mounted to metal-core PCBs to minimize heat dissipation.
- Components are fully encapsured in potting material for moisture resistance. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/  
(see controls section for more details).






## Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 gage wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

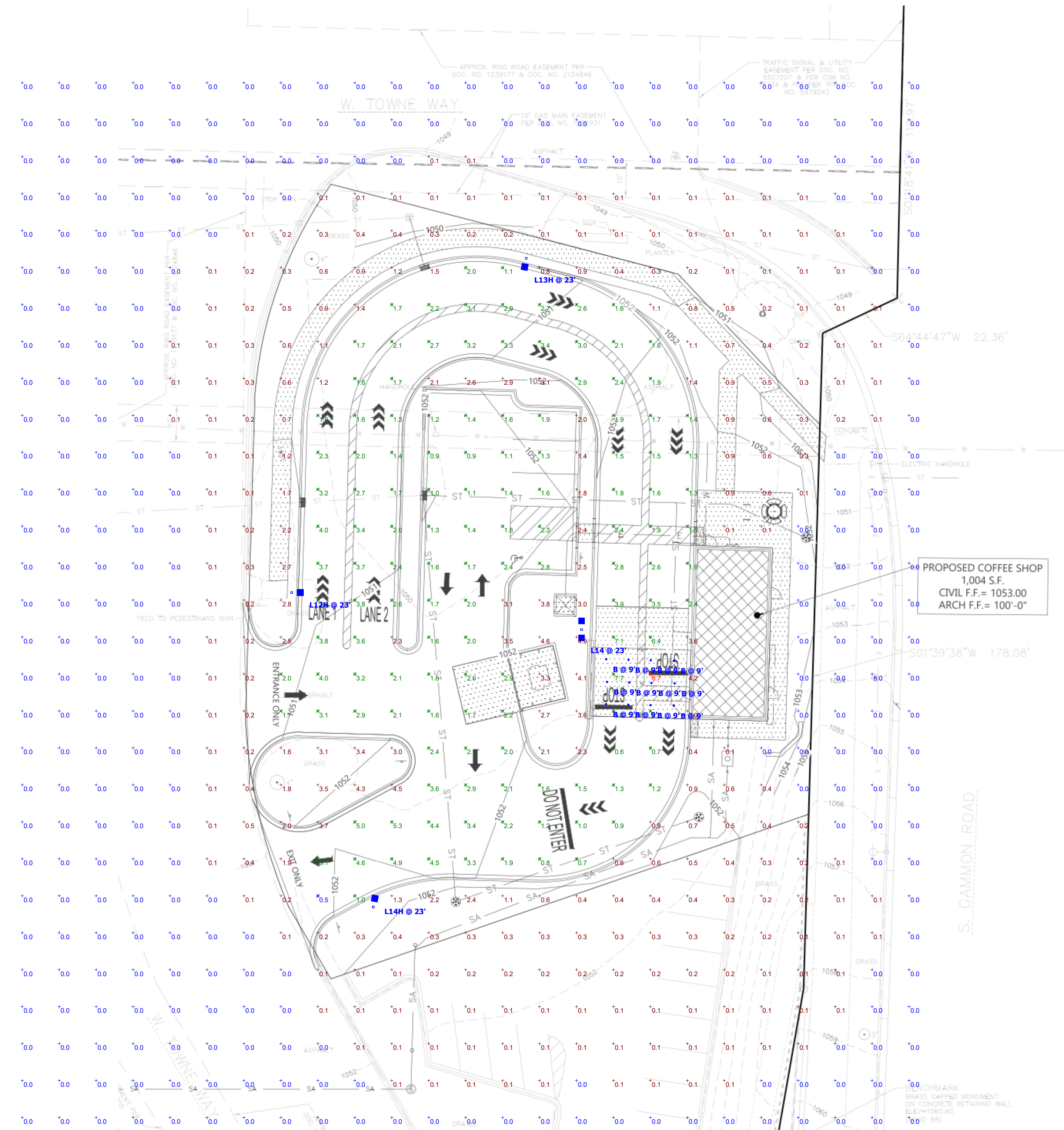
### Warranty

- LSI LED Fixtures carry a 5-year warranty.
- ### Listings
- Listed to UL 1598 and UL 8750.
  - Meets Bay Area American Act requirements
  - Dark Sky compliant; with 3000K color temperature selection.
  - Title 24 Compliant; see local ordinance for qualification information.
  - RoHS compliant
  - Suitable for wet Locations.
  - IP65 LED Luminaires per IEC 60598.
  - 3G rated for ANSI C136.31 high vibration applications are qualified.
  - DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DesignLights Consortium List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.
  - Patented Silicone Optics (US Patent NO. 10,816,165)
  - IK08 rated luminaire per IEC 60662



Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	<b>B</b>	12	Juno Lighting	6RLD G4 10LM 27K 90CRI 120 FRPC WWH M6	1	1043	0.8	11.7
	<b>L12H</b>	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-2-30-70CRI-IH	1	9788	1	85
	<b>L14</b>	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-4-30-70CRI	1	12231	1	170
	<b>L13H</b>	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-3-30-70CRI-IL	1	9143	1	85
	<b>L14H</b>	1	LSI INDUSTRIES, INC.	MRM-LED-12L-SIL-AM-30-70CRI-IL	1	8502	1	85

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	8.7 fc	0.0 fc	N/A	N/A
PARKING LOT	X	2.4 fc	8.7 fc	0.5 fc	17.4:1	4.8:1



CIVIL SITE PHOTOMETRIC PLAN &amp; DETAILS



100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

<b>PROJECT INFORMATION</b>
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PROPOSED COFFEE SHOP FOR:  
**7-BREW MADISON**  
66 W TOWNE MALL • MADISON, WI 53719

PROFESSIONAL SEAL

SHEET DATES	
1	2

SHEET ISSUE AUG. 1, 2025

## REVISIONS

[illegible]

JOB NUMBER
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240293100

SHEET NUMBER

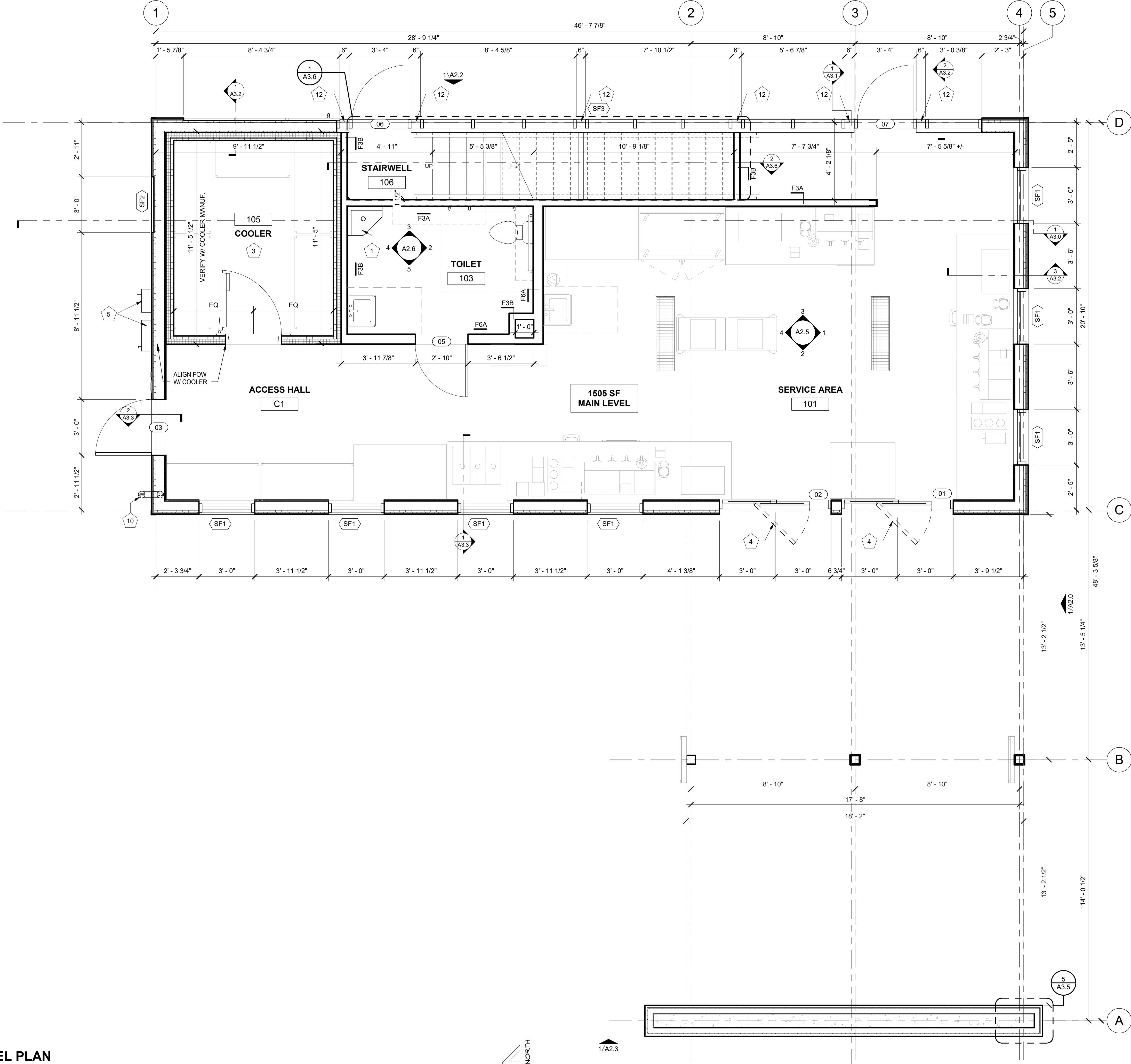
## C3.1



FLOOR PLAN KEYNOTES	
Note Number	Note Text
1	MOP SINK; REF PLUMBING
2	STEP, CENTER ON DOOR
3	PREFABRICATED COOLER; COORD LOCATION & SPECS WITH ARCH/MEP
4	SLIDING DOOR IS ADA AUTO/MANUAL EGRESS CAPABLE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
7	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
8	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
9	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
10	DOWNSPOUT OUTLET - STORMWATER CONNECTION; REF CIVIL
11	EXTERIOR WALLS BUILT UP FOR MECHANICAL SCREENING
12	STUD PACK; RE STRUCTURAL

ZONING AREAS COMPARISON			
LEVEL 1	1505 SF	(100%)	
LEVEL 2	1162 SF	( 77%)	

1 MAIN LEVEL PLAN  
3/8" = 1'-0"



707 n. 6th street  
kansas city, ks 66101  
www.veritas-ad.com  
913.308.1460  
consulting engineer:

7 BREW DRIVE THRU - MADISON WI - GAMMON RD

7BMAD1, LLC

66 WEST TOWNE MALL, MADISON, WISCONSIN 53719

REVISIONS		
No.	Description	Date

sheet issue date:  
08/04/2025

project no.:  
23.26.05

sheet contents:  
FLOOR PLAN - MAIN  
LEVEL

sheet no.:

A1.1

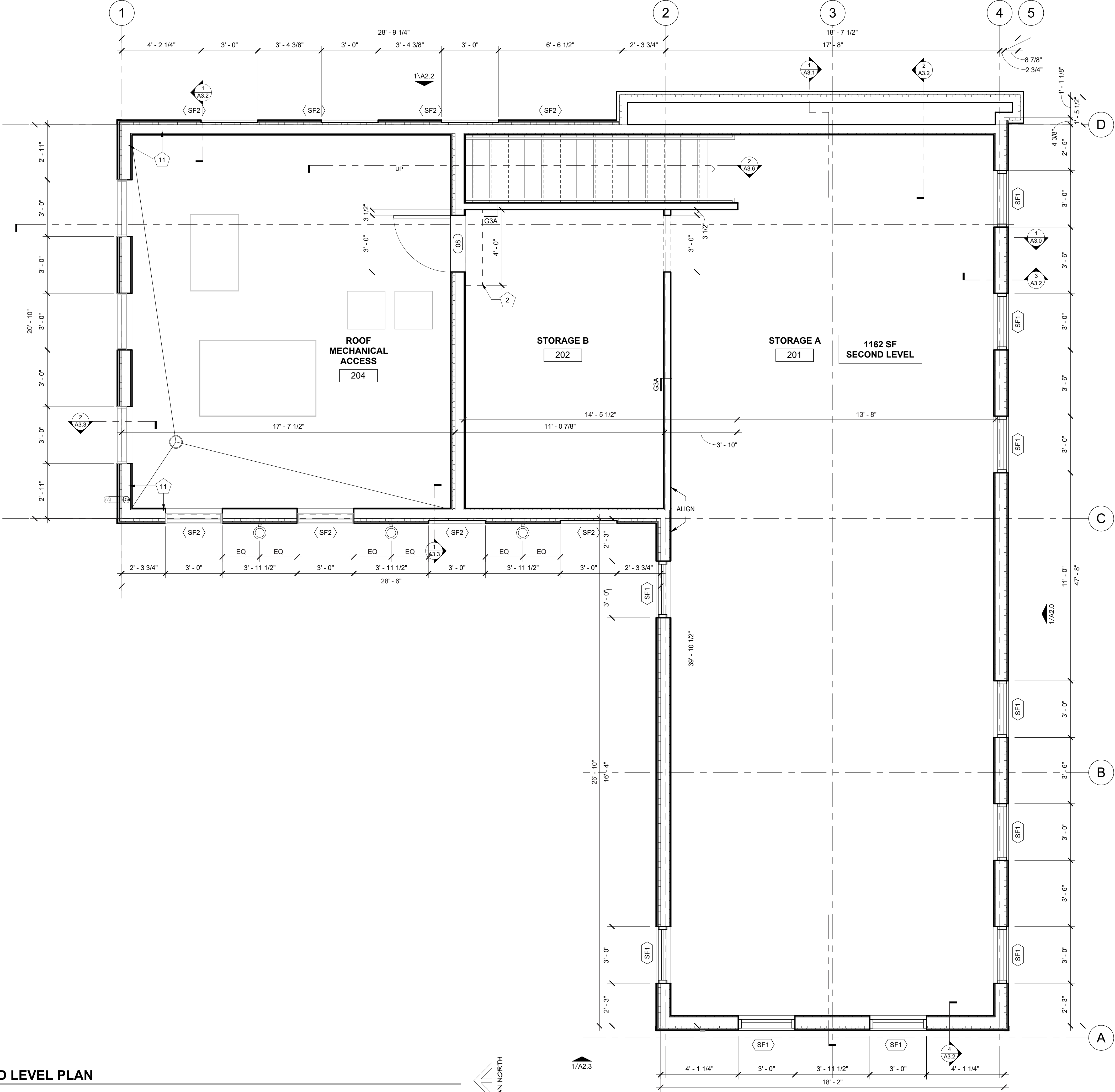
FLOOR PLAN KEYNOTES

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ZONING AREAS COMPARISON

LEVEL 1	1505 SF	(100%)
LEVEL 2	1162 SF	( 77%)

1 SECOND LEVEL PLAN  
3/8" = 1'-0"



707 n. 6th street  
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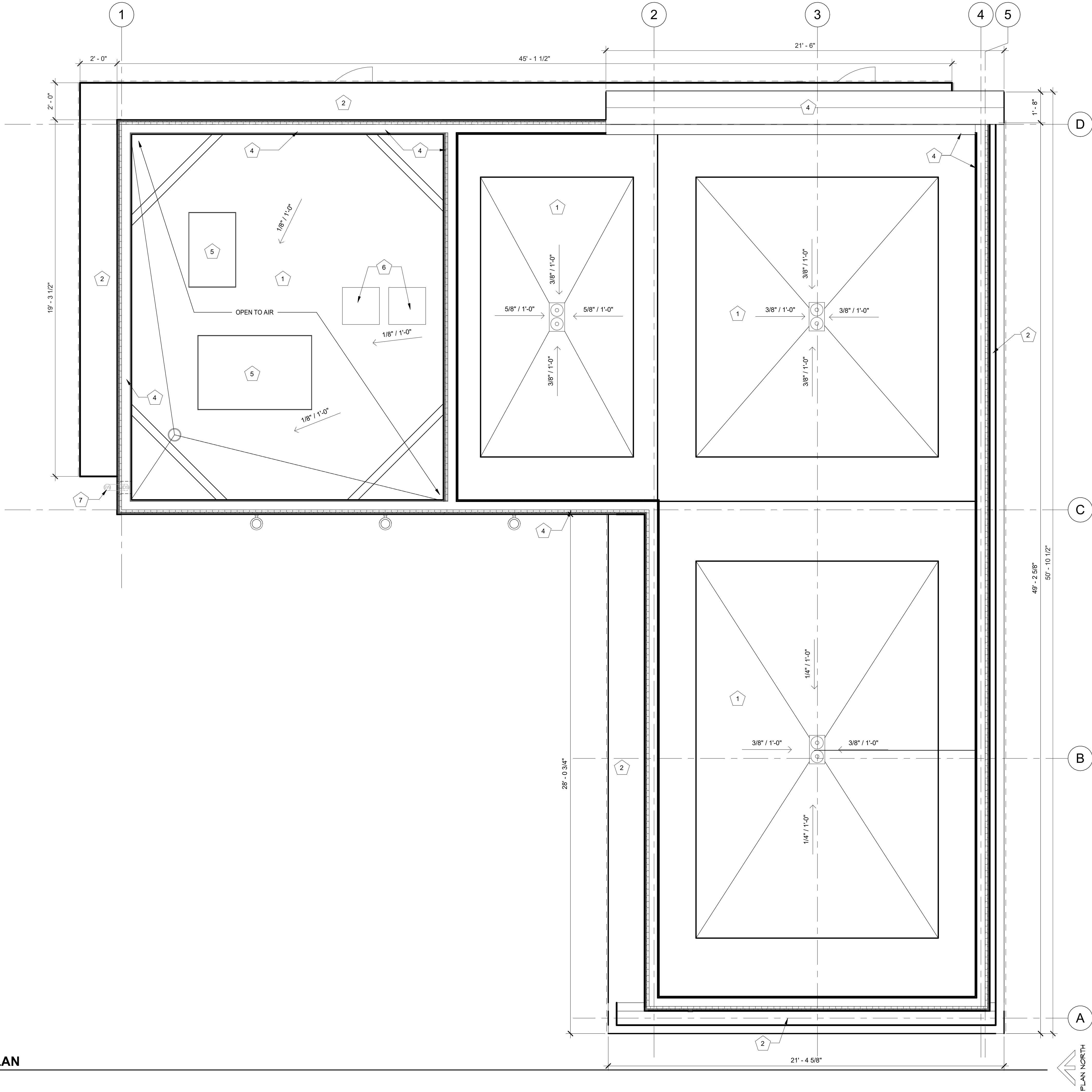
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SECOND LEVEL

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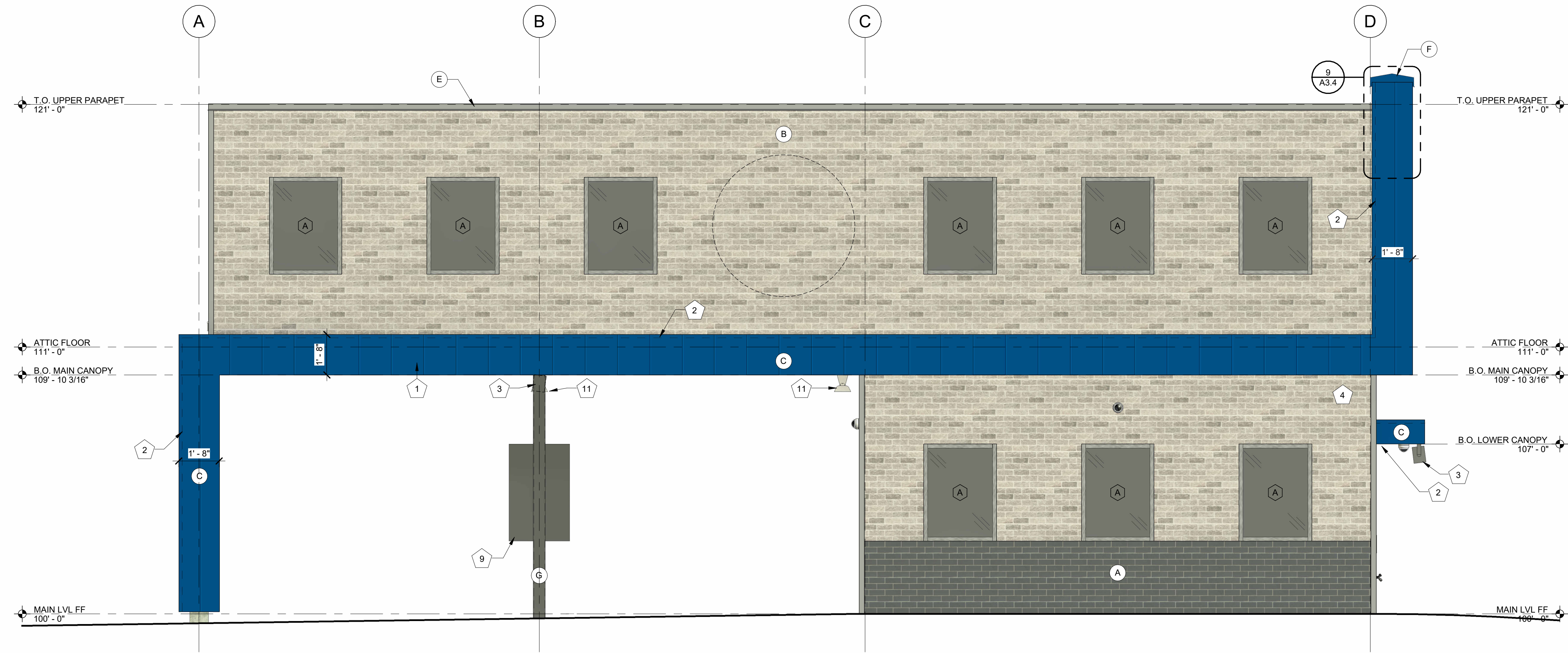


ROOF PLAN KEYNOTES	
Note Number	Note Text
1	TAPERED INSULATION ROOF SYSTEM
2	PRE-ENGINEERED CANOPY AND FRAMING; REF STRUCTURAL DRAWINGS
3	8" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYMENT
4	BRAKE METAL CAP; REF ELEVATIONS
5	HVAC EQUIPMENT
6	ICE MACHINE CONDENSERS; SITE CONTRACTOR TO DETERMINE FINAL LOCATION
7	IN-WALL ROOF DRAIN W/ ABOVE-GRADE OUTLET CONNECTED TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL



## 1 ROOF PLAN





**1** EXTERIOR ELEVATION - SOUTH  
3/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY GC; REF STRUCTURAL
2	SHIELDED SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH-WALL OVERFLOW ROOF SCUPPER; TYP
9	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
10	OUTLINE OF MECHANICAL UNIT BEYOND
11	CANOPY HEATER
12	KNOX BOX
13	LIGHT PER ELECTRICAL DRAWINGS
14	IN-WALL DOWNSPOUT OUTLET - STORMWATER CONNECTION; REF CIVIL

EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
C	BRAKE METAL FASCIA (MP-2)
D	STANDING SEAM ROOF PANELS (MP-2)
E	METAL BRAKE CAP (MP-3)
F	METAL BRAKE CAP (MP-2)
G	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4
H	LOUVERS FOR MECH EQUIP AIRFLOW

KEYNOTE LEGEND

- GLAZING PER WINDOW SCHEDULE
- EXTERIOR ELEVATION MATERIALS DESIGNATION
- EXTERIOR ELEVATION KEYNOTES



707 n. 6th street  
kansas city, ks 66101  
www.veritas-ad.com  
913.308.1460  
consulting engineer:

7 BREW DRIVE THRU - MADISON WI - GAMMON RD

7BMAD1, LLC

66 WEST TOWNE MALL, MADISON, WISCONSIN 53719

REVISIONS

No.	Description	Date
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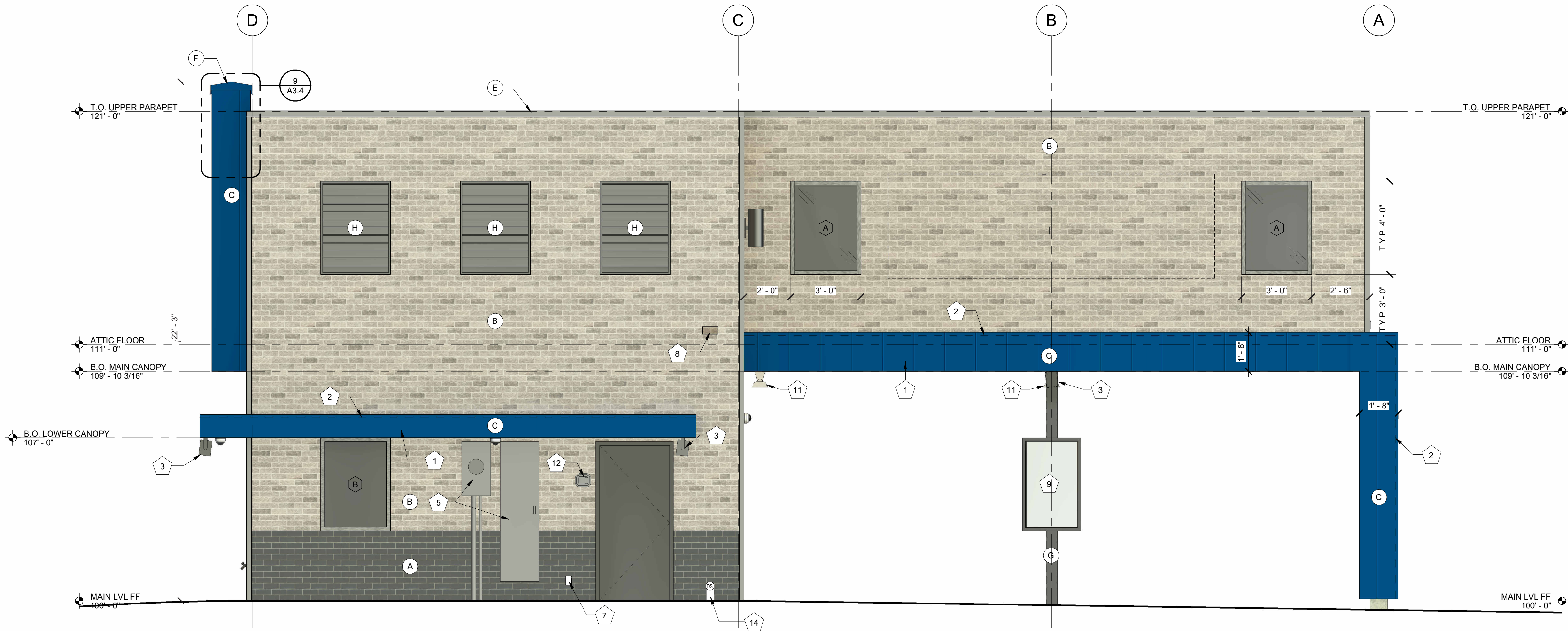
sheet issue date:  
08/04/2025

project no.:  
23.26.05

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:  
A2.0





**1** EXTERIOR ELEVATION - NORTH  
3/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY GC; REF STRUCTURAL
2	SHIELDED SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH-WALL OVERFLOW ROOF SCUPPER; TYP
9	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
10	OUTLINE OF MECHANICAL UNIT BEYOND
11	CANOPY HEATER
12	KNOX BOX
13	LIGHT PER ELECTRICAL DRAWINGS
14	IN-WALL DOWNSPOUT OUTLET - STORMWATER CONNECTION; REF CIVIL

EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
C	BRAKE METAL FASCIA (MP-2)
D	STANDING SEAM ROOF PANELS (MP-2)
E	METAL BRAKE CAP (MP-3)
F	METAL BRAKE CAP (MP-2)
G	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4
H	LOUVERS FOR MECH EQUIP AIRFLOW

KEYNOTE LEGEND

- GLAZING PER WINDOW SCHEDULE
- EXTERIOR ELEVATION MATERIALS DESIGNATION
- EXTERIOR ELEVATION KEYNOTES

REVISIONS

No.	Description	Date
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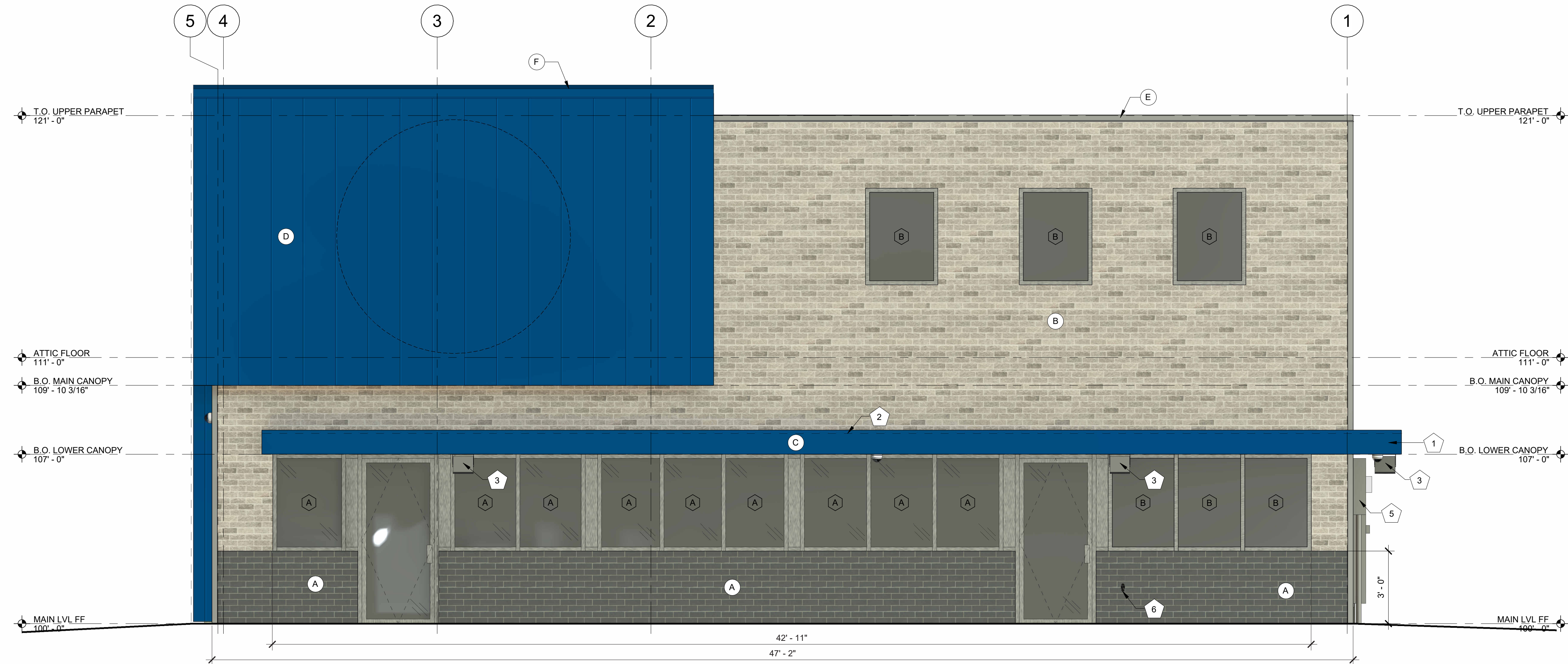
sheet issue date:  
08/04/2025

project no.:  
23.26.05

sheet contents:  
EXTERIOR ELEVATIONS

sheet no.:  
A2.1





**1 EXTERIOR ELEVATION - EAST**  
3/8" = 1'-0"




### EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY GC; REF STRUCTURAL
2	SHIELDED SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
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### EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
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B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
C	BRAKE METAL FASCIA (MP-2)
D	STANDING SEAM ROOF PANELS (MP-2)
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G	STRUCTURAL COLUMN; REF CIVIL; PAINT TO MATCH MP-4
H	LOUVERS FOR MECH EQUIP AIRFLOW

#### KEYNOTE LEGEND

-  GLAZING PER WINDOW SCHEDULE
-  EXTERIOR ELEVATION MATERIALS DESIGNATION
-  EXTERIOR ELEVATION KEYNOTES

#### LEVEL 1 PRIMARY FACADE GLAZING

LENGTH REQUIREMENT (60% REQUIRED)	
47.2 FT OVERALL FACADE LENGTH	(100%)
42.9 FT GLAZED LENGTH	( 91%)
AREA REQUIREMENT (40% REQUIRED)	
464 SF OVERALL LEVEL 1 FACADE	(100%)
192 SF GLAZED AREA	( 41%)

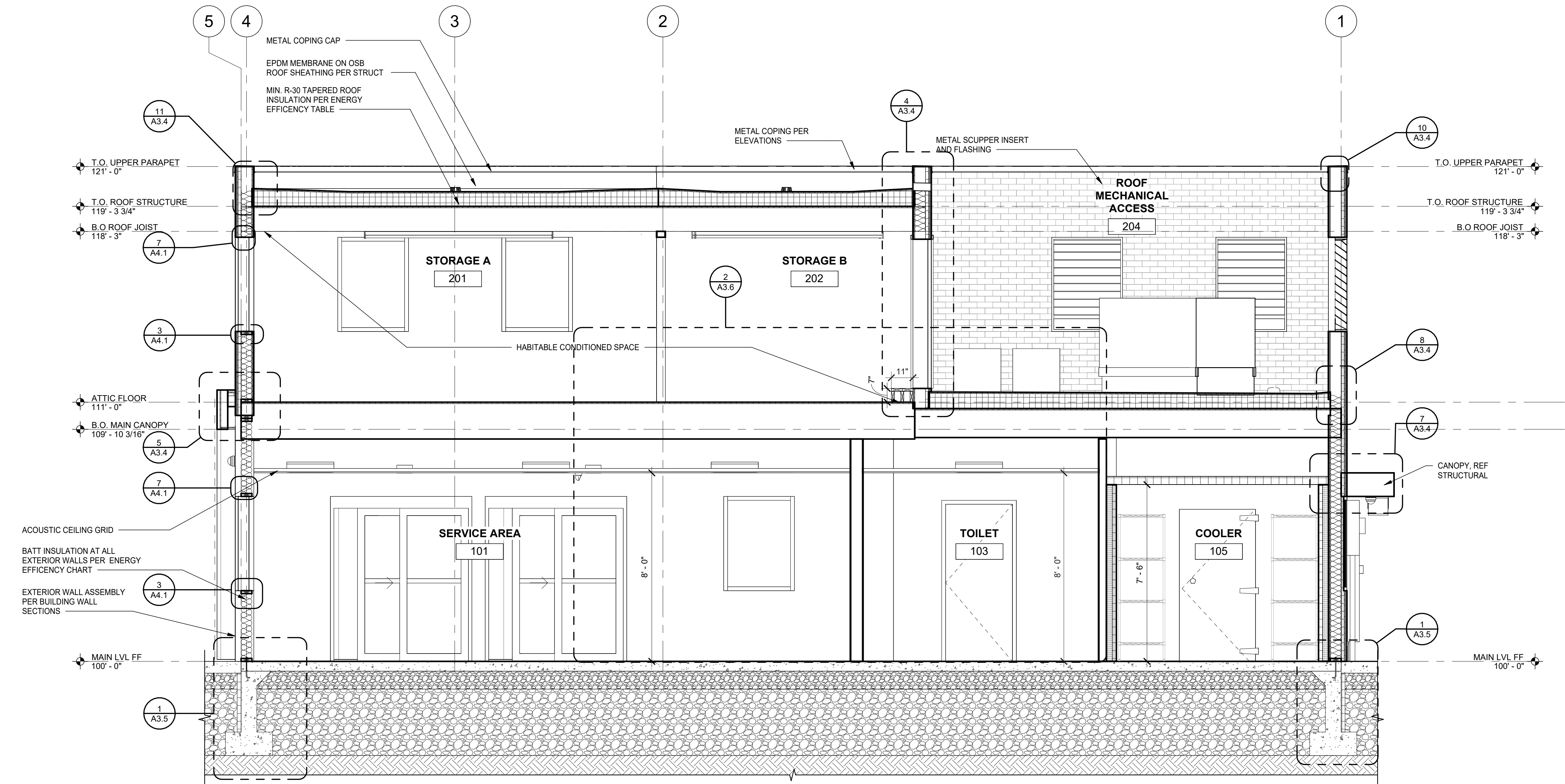




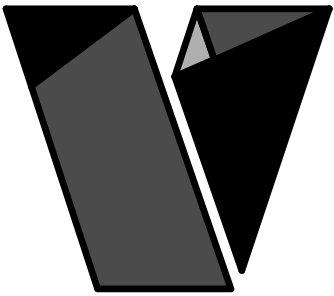


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7 Brew Template V2.0 Mirrored This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. © 2023



**1 BUILDING SECTION**  
3/8" = 1'-0"



veritas  
architecture + design

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7 BREW DRIVE THRU - MADISON WI - GAMMON RD

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REVISIONS  
No. Description Date

sheet issue date:  
08/04/2025

project no.:  
23.26.05

sheet contents:  
BUILDING SECTION

sheet no.:

A3.0





BLUE METAL PANEL MP-2  
BRAND: BERRIDGE  
COLOR: ROYAL BLUE  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3  
BRAND: BERRIDGE  
COLOR: ZINC GREY  
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



FIBER CEMENT PANEL SIDING - BRK-1  
BRAND: NICHHA  
COLOR: MIDNIGHT  
FINISH: MODERN BRICK



FIBER CEMENT PANEL SIDING - BRK-2  
BRAND: NICHHA  
COLOR: SHALE BROWN  
FINISH: CANYON BRICK

23.26.05  
7 BREW DRIVE THRU -  
MADISON WI -  
GAMMON RD  
08/04/2025

MATERIAL COLOR  
BOARD





23.26.05  
7 BREW DRIVE THRU -  
MADISON WI -  
GAMMON RD  
08/04/2025

RENDERINGS





23.26.05  
7 BREW DRIVE THRU -  
MADISON WI -  
GAMMON RD  
08/04/2025

RENDERINGS





CITY OF MADISON  
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address [TBD] S Gammon Rd, Madison, WI 53719 (West Towne Mall)

Name of Project Seven Brew Coffee (S Gammon Rd)

Owner / Contact Mylena Oliveira

Contact Phone (816) 406-2667 Contact Email moliveira@plazastreetpartners.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size  
MUST be prepared by a registered landscape architect. \*\***

**Applicability**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 15,343

Total landscape points required 287

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area

Total landscape points required

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area

Total landscape points required



**Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			5	175
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			31	93
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			22	88
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			28	56
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	2	112		
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals				112		412

**Total Number of Points Provided** 524

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

**Total Developed Area**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

**Development Frontage Landscaping**

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

**Interior Parking Lot Landscaping**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

**Foundation Plantings**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

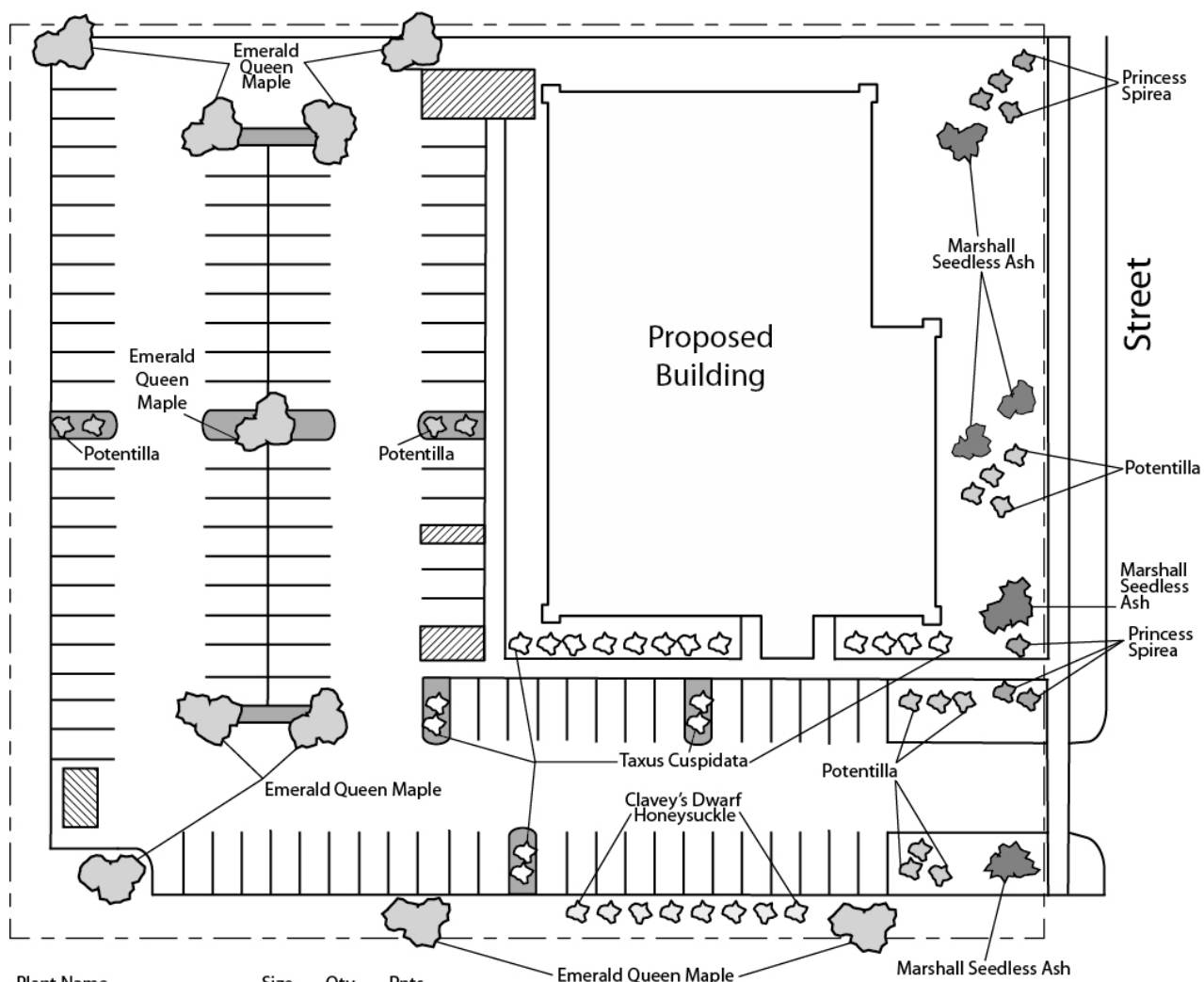
**Screening Along District Boundaries**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

**Screening of Other Site Elements**

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

**Example Landscape Plan**



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honelysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
TOTAL			585

Call City Zoning, 266-4551, with your questions about this type of plan



## LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

### **Applicability.**

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

### **Landscape Plan and Design Standards.**

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
  - 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
  - 2. Site amenities, including bike racks, benches, trash receptacles, etc.
  - 3. Storage areas including trash and loading.
  - 4. Lighting (landscape, pedestrian or parking area).
  - 5. Irrigation.
  - 6. Hard surface materials.
  - 7. Labeling of mulching, edging and curbing.
  - 8. Areas of seeding or sodding.
  - 9. Areas to remain undisturbed and limits of land disturbance.
  - 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
  - 11. Existing trees eight (8) inches or more in diameter.
  - 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

### **Landscape Calculations and Distribution.**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
  - 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
  - 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
  - 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

### **Development Frontage Landscaping.**

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:



- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

### **Interior Parking Lot Landscaping.**

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

### **Foundation Plantings.**

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

### **Screening Along District Boundaries.**

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

### **Screening of Other Site Elements.**

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

### **Maintenance.**

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.





Catalog Number
Notes
Type

Contractor Select™

# 6RLD

## 6" LED Retrofit Trim Modules

With Juno® RLD Series™ LED Retrofit 6RLD 6-inch trim modules, upgrading your existing 6-inch recessed fixture is inexpensive and nearly as simple as replacing an incandescent lamp. The 6RLD LED retrofit outputs up to 700 or 1000 lumens of high-quality light, providing energy savings of as much as 85%. Modules feature a white aluminum baffle with a built-in flange. A deeply regressed diffusing lens conceals the LEDs from direct view and provides uniform aperture luminance. Trims are ENERGY STAR® certified and can be used to comply with Title 24, JA8 high efficacy light source requirements, Wet location listed (Indoor covered ceilings only) and include a 5-year limited warranty.

### FEATURES:

- Rated for use in IC or non-IC housings, including IC23 LEDT24 and IC23R LEDT24
- 2700K or 3000K color temperatures, 90+ CRI
- Dimmable to 5% with many incandescent, magnetic low voltage or electronic low voltage box dimmers



Catalog Number	UPC	Description	Replaces Up To	Lumens	Input Watts	CCT	CRI	Voltage	Finish	Dimming Protocol	Pallet qty.
6RLD G4 07LM 27K 90CRI 120 FRPC WWH M6	194994892953	6" RLD Series™ Downlight LED Retrofit Trim	65W Incandescent	700	8W	2700K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 07LM 30K 90CRI 120 FRPC WWH M6	194994892991	6" RLD Series™ Downlight LED Retrofit Trim	65W Incandescent	700	8W	3000K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 10LM 27K 90CRI 120 FRPC WWH M6	194994893011	6" RLD Series™ Downlight LED Retrofit Trim	75W Incandescent	1000	12W	2700K	90	120V	White	Forward & Reverse Phase Cut	264
6RLD G4 10LM 30K 90CRI 120 FRPC WWH M6	194994893035	6" RLD Series™ Downlight LED Retrofit Trim	75W Incandescent	1000	12W	3000K	90	120V	White	Forward & Reverse Phase Cut	264



## Specifications

### LED RETROFIT DOWNLIGHT TRIM:

Cast aluminum trim with white baffle and flange • All-in-one design where LED light engine mounts directly to trim for ease of installation into existing 6" recessed housings with medium base sockets • Provided with torsion springs.

### LED LIGHT ENGINE:

LEDs are mounted directly to cast aluminum housing providing superior thermal management to ensure long life • 2700K and 3000K LED color temperature • 90 CRI minimum • Accommodates 120 volts AC at 60Hz • Dimmable with most standard incandescent, magnetic low voltage and electronic low voltage dimmers • For a list of compatible dimmers, see [JUNORETROBASICS-DIM](#).

### ELECTRICAL CONNECTIONS:

Trim features quick connect plug installed as standard for installation into IC23 LEDT24 and IC23R LEDT24 housings with mating connector • Trim ships with a medium base socket adapter whip for installation into 6" incandescent housings with medium base sockets.

### TRIM:

Cast aluminum baffle trim with white finish • Diffusing lens conceals the LEDs from direct view and provides uniform aperture luminance.

### LIFE:

Rated for 50,000 hours at 70% lumen maintenance.

### LABELS:

ENERGY STAR® Certified • Can be used to comply with 2019 Title 24, Part 6, JA8 high efficacy LED light source requirements • UL and cUL classified for use with most standard UL listed 6" recessed incandescent housings and Juno IC23 LEDT24 and IC23R LEDT24; see below for specific compatibility requirements • Damp location • Suitable for wet locations (indoor covered ceilings).

### TESTING:

All reports are based on published industry procedures; field performance may differ from laboratory performance.

### COMPATIBLE HOUSINGS:

The 6RLD retrofit module is compatible with most 6" recessed housings measuring at least 4" high with an inside diameter between 5-3/4" and 7". Removal of the housing socket plate or socket mounting bracket may be required in order for the trim to fit properly.

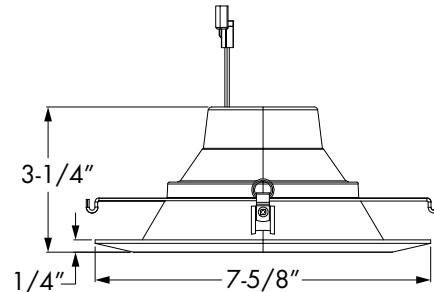
### WARRANTY:

5-year limited warranty. Complete warranty terms located at:

[www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

## Dimensions







# Mirada Medium (MRM)

## Outdoor LED Area Light



IP66 IK08



### OVERVIEW

Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALS04 BRZ IL							
Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>2</sup>	Voltage	Driver
MRM - Mirada Medium Area Light	LED	7L - 7,000 lms, 48W	SIL - Silicone	2 - Type 2	(blank) - standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)
		9L - 9,000 lms, 62W		3 - Type 3			
12L - 12,000 lms, 85W		4 - Type 4					
18L - 18,000 lms, 135W		5W - Type 5 Wide					
		24L - 24,000 lms, 176W		FT - Forward Throw			
		30L - 30,000 lms, 232W		FTA - Forward Throw Automotive			
		36L - 36,000 lms, 288W		AM - Automotive Merchandise			
		42L - 42,000 lms, 314W		LC - Left Corner			
		48L - 48,000 lms, 401W		RC - Right Corner			
		55L - 55,000 lms, 438W					
		Custom Lumen Packages <sup>1</sup>					
Color Temp		Color Rendering	Finish		Options		
50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber <sup>8</sup>		70CRI - 70 CRI	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite	MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	(Blank) - None  IH - Integral Half Louver (Moderate Spill Light Cutoff) <sup>2</sup> IL - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup>		

### Controls (Choose One)

(Blank) - None

#### Wireless Controls System

- ALSC - AirLink Synapse Control System<sup>9</sup>
- ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor<sup>9</sup>
- ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor<sup>9</sup>
- ALBMR1LR - AirLink Blue Long Range Wireless Motion & Photo Sensor Controller (8-24' mounting height)<sup>3,9</sup>
- ALBMR2LR - AirLink Blue Long Range Wireless Motion & Photo Sensor Controller (25-40' mounting height)<sup>3,9</sup>

#### Stand-Alone Controls

- EXT - 0-10V Dimming leads extended to housing exterior
- CR7P - 7 Pin Control Receptacle ANSI C136.41<sup>4</sup>
- IMSBT1L - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>3,9</sup>
- IMSBT2L - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>3,9</sup>

#### Button Type Photocells

- PC120 - 120V
- PC1208-277 - 208 - 277V
- PC1347 - 347V



**Need more information?**  
Click here for our glossary

**Have additional questions?**  
Call us at (800) 436-7800



## ACCESSORY ORDERING INFORMATION<sup>5</sup>

CONTROLS ACCESSORIES	
Description	Order Number
PC120 Photocell for use with CR7P option (120V) <sup>6</sup>	122514
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>6</sup>	122515
Twist Lock Photocell (347V) for use with CR7P <sup>6</sup>	122516
Twist Lock Photocell (480V) for use with CR7P <sup>6</sup>	1225180
AirLink 5 Pin Twist Lock Controller (120-277V Only) <sup>6</sup>	661409
AirLink 7 Pin Twist Lock Controller (120-277V Only) <sup>6</sup>	661410
AirLink 7 Pin Twist Lock Controller (347-480V) <sup>6</sup>	679948
Shorting Cap for use with CR7P <sup>6</sup>	149328

FUSING OPTIONS <sup>7</sup>	
Single Fusing (120V)	<a href="#">See Fusing Accessory Guide</a>
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

EXTERNAL SHIELDING OPTIONS	
3" External Shield	<a href="#">See Shielding Guide</a>
6" External Shield	

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.  
2. Not available with SW distribution. IL not available with LC/RC distributions.  
3. Motion sensors are field configurable via an app that can be downloaded from your smartphone's native app store. See controls section for more details.  
4. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

5. Accessories are shipped separately and field installed.  
6. Factory installed CR7P option required. See Options.  
7. Fusing must be located in hand hole of pole. See Fusing Accessory Guide for compatibility.  
8. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.  
9. Not available with 55L Lumen Package when 347-480V is specified.











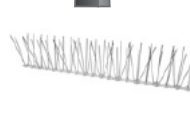




# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

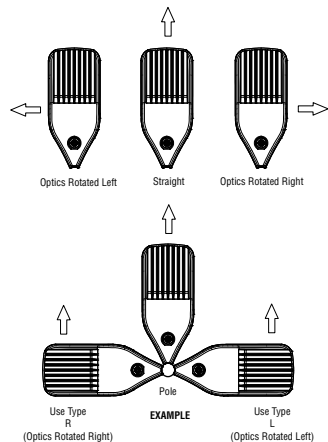
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## ACCESSORIES

MOUNTING ACCESSORIES			SHIELDING, POLES & MISC. ACCESSORIES		
Side Arm	<b>Universal Mounting Bracket</b> Mounts to ≥ 3" square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5"		Shielding	<b>Integral Louver</b> Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs	
	<b>Part Number: BKA UMB CLR</b>			<b>Integral Half Louver</b> Field Install Integral Half Louver provides great backlight control without impacting front side distribution.	
	<b>Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6"	<b>Part Number: BKS PQM B3B5 XX CLR</b>		<b>External Shield</b> External shield blocks view of light source from anyside of luminaire, additional shielding configurations available	
Tenon / Slipfitter	<b>15° Tilt Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6"		<b>Part Number: 783607BLK (3") / 776538BLK (6")</b>		
	<b>Adjustable Slipfitter</b> Mounts onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal)		<b>Square Poles</b> 14 - 39" steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction	<b>Part Number: 45Q/55Q/65Q</b>	
	<b>Part Number: BKA ASF CLR</b>		<b>Round Poles</b> 10 - 30" steel and aluminum poles in 4" and 5" sizes for retrofit and new construction	<b>Part Number: 4RP/5RP</b>	
<b>Square Tenon Top</b> Mounts onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires	<b>Part Number: BKA XNM *</b>	<b>Tapered Poles</b> 20' - 39" steel and aluminum poles for retrofit and new construction	<b>Part Number: RTP</b>		
Wall Mount/ Wood Pole	<b>Square Internal Slipfitter</b> Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires		<b>Bird Spikes</b> 10' linear bird spike (3' recommended per luminaire) silicone adhesive (covers approximately 25' linear fee of bird spike) and application tool		
	<b>Part Number: BKA X_ISF * CLR</b>		<b>Spike Part Number: 751631</b> <b>Adhesive Part Number: 751632</b> <b>Caulk Gun Part Number: 751636</b>		
	<b>Wall Mount Bracket</b> Mounts onto vertical wall surface ( hardware/anchors not included)	<b>Part Number: BKS XBO WM CLR</b>	Replace CLR with paint finish description Replace X with: 3 Replace XX with SQ for square pole or RD for round pole (≥3" OD) Replace * with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad) Replace _ with 4 (4" square pole) or 5 (5" square pole)		
	<b>Wood Pole Bracket</b> Mounts onto wooden poles (6" minimum OD, hardware/anchors not included)				
	<b>Part Number: BKS XBO WP CLR</b>				

## OPTICS ROTATION

Top View



## ACCESSORIES/OPTIONS

### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



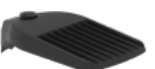
Luminaire Shown with IMSBTL Option



### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
9L	2	70	9853	159	B2-U0-G2	9853	159	B2-U0-G2	9853	159	B2-U0-G2	62
	3		9926	160	B2-U0-G2	9926	160	B2-U0-G2	9926	160	B2-U0-G2	
	4		9178	148	B2-U0-G3	9713	157	B2-U0-G3	9498	153	B2-U0-G3	
	5W		9504	153	B3-U0-G2	9504	153	B3-U0-G2	9504	153	B3-U0-G2	
	FT		9856	159	B2-U0-G3	9856	159	B2-U0-G3	9856	159	B2-U0-G3	
	FTA		9900	160	B2-U0-G2	9900	160	B2-U0-G2	9900	160	B2-U0-G2	
	AM		10019	162	B2-U0-G1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	
	LC/RC		9008	145	B2-U0-G3	9533	154	B2-U0-G3	9321	150	B2-U0-G3	
12L	2	70	13135	155	B3-U0-G2	13135	155	B3-U0-G2	13135	155	B3-U0-G2	85
	3		13232	156	B2-U0-G2	13232	156	B2-U0-G2	13232	156	B2-U0-G2	
	4		12223	144	B2-U0-G3	12935	152	B2-U0-G4	12648	149	B2-U0-G4	
	5W		12669	149	B4-U0-G2	12669	149	B4-U0-G2	12669	149	B4-U0-G2	
	FT		13138	155	B2-U0-G3	13138	155	B2-U0-G3	13138	155	B2-U0-G3	
	FTA		13196	155	B2-U0-G2	13196	155	B2-U0-G2	13196	155	B2-U0-G2	
	AM		13355	157	B2-U0-G2	13355	157	B2-U0-G2	13355	157	B2-U0-G2	
	LC/RC		11996	141	B2-U0-G3	12695	149	B2-U0-G3	12414	146	B2-U0-G3	
18L	2	70	19318	143	B3-U0-G3	19318	143	B3-U0-G3	19318	143	B3-U0-G3	135
	3		19461	144	B3-U0-G3	19461	144	B3-U0-G3	19461	144	B3-U0-G3	
	4		18013	133	B2-U0-G4	19063	141	B3-U0-G5	18640	138	B3-U0-G5	
	5W		18633	138	B4-U0-G2	18633	138	B4-U0-G2	18633	138	B4-U0-G2	
	FT		19324	143	B3-U0-G3	19324	143	B3-U0-G3	19324	143	B3-U0-G3	
	FTA		19408	144	B3-U0-G3	19408	144	B3-U0-G3	19408	144	B3-U0-G3	
	AM		19641	145	B3-U0-G2	19641	145	B3-U0-G2	19641	145	B3-U0-G2	
	LC/RC		17679	131	B2-U0-G3	18710	139	B2-U0-G3	18295	136	B2-U0-G3	
24L	2	70	24142	147	B4-U0-G3	25957	147	B4-U0-G3	25957	147	B4-U0-G3	176
	3		25001	149	B3-U0-G3	26149	149	B3-U0-G3	26149	149	B3-U0-G3	
	4		24396	152	B3-U0-G5	25600	160	B3-U0-G5	25457	159	B3-U0-G5	
	5W		24327	142	B5-U0-G3	25037	142	B5-U0-G3	25037	142	B5-U0-G3	
	FT		24994	148	B3-U0-G3	25964	148	B3-U0-G3	25964	148	B3-U0-G3	
	FTA		24171	148	B3-U0-G3	26077	148	B4-U0-G3	26077	148	B4-U0-G3	
	AM		24939	150	B3-U0-G2	26393	150	B3-U0-G2	26393	150	B3-U0-G2	
	LC/RC		25884	162	B3-U0-G4	25884	162	B3-U0-G4	25310	158	B3-U0-G4	
30L	2	70	30171	140	B4-U0-G3	32417	140	B4-U0-G3	32417	140	B4-U0-G3	232
	3		31243	141	B3-U0-G4	32656	141	B3-U0-G4	32656	141	B3-U0-G4	
	4		30631	144	B3-U0-G5	32141	151	B3-U0-G5	31961	150	B3-U0-G5	
	5W		30402	135	B5-U0-G3	31267	135	B5-U0-G3	31267	135	B5-U0-G3	
	FT		31233	140	B4-U0-G4	32424	140	B4-U0-G4	32424	140	B4-U0-G4	
	FTA		30207	140	B4-U0-G4	32566	140	B4-U0-G4	32566	140	B4-U0-G4	
	AM		3116	142	B4-U0-G3	32960	142	B4-U0-G3	32960	142	B4-U0-G3	
	LC/RC		32498	153	B3-U0-G5	32498	153	B3-U0-G5	31777	149	B3-U0-G5	

\*LEDs are frequently updated therefore values are nominal.



Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

PERFORMANCE (CONT.)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
36L	2	70	35357	133	B4-U0-G3	38275	133	B4-U0-G3	38275	133	B4-U0-G3	288
	3		36614	134	B4-U0-G4	38557	134	B4-U0-G4	38557	134	B4-U0-G4	
	4		35402	139	B3-U0-G5	37148	146	B4-U0-G5	36940	145	B4-U0-G5	
	5W		35627	128	B5-U0-G4	36917	128	B5-U0-G4	36917	128	B5-U0-G4	
	FT		36602	133	B4-U0-G4	38283	133	B4-U0-G4	38283	133	B4-U0-G4	
	FTA		35399	134	B4-U0-G4	38450	134	B4-U0-G4	38450	134	B4-U0-G4	
	AM		36524	135	B4-U0-G3	38916	135	B4-U0-G3	38916	135	B4-U0-G3	
	LC/RC		37561	147	B3-U0-G5	37561	147	B3-U0-G5	36727	144	B3-U0-G5	
42L	2	70	41035	131	B5-U0-G4	42602	136	B5-U0-G4	42542	135	B5-U0-G4	314
	3		42493	135	B4-U0-G5	44115	140	B4-U0-G5	44053	140	B4-U0-G5	
	4		41453	132	B4-U0-G5	43497	138	B4-U0-G5	43254	138	B4-U0-G5	
	5W		41349	132	B5-U0-G4	42927	134	B5-U0-G4	42866	137	B5-U0-G4	
	FT		42481	135	B4-U0-G4	44103	140	B4-U0-G4	44040	140	B4-U0-G4	
	FTA		41083	131	B4-U0-G4	42652	136	B5-U0-G4	42591	136	B5-U0-G4	
	AM		42389	135	B4-U0-G3	44007	140	B4-U0-G3	43944	140	B4-U0-G3	
	LC/RC		43980	140	B3-U0-G5	43980	140	B3-U0-G5	43004	137	B3-U0-G5	
48L	2	70	45133	123	B5-U0-G4	46856	128	B5-U0-G4	46789	128	B5-U0-G4	401
	3		46737	128	B4-U0-G5	48521	133	B4-U0-G5	48452	132	B4-U0-G5	
	4		46006	126	B4-U0-G5	48275	132	B4-U0-G5	48005	131	B4-U0-G5	
	5W		45478	124	B5-U0-G4	47214	129	B5-U0-G4	47147	129	B5-U0-G4	
	FT		46723	128	B4-U0-G5	48507	133	B4-U0-G5	48438	132	B4-U0-G5	
	FTA		45187	123	B5-U0-G4	46912	128	B5-U0-G4	46845	128	B5-U0-G4	
	AM		4662	127	B4-U0-G3	48402	132	B4-U0-G3	48333	132	B4-U0-G3	
	LC/RC		48811	133	B4-U0-G5	48811	133	B4-U0-G5	47728	130	B4-U0-G5	
55L	2	70	50179	115	B5-U0-G4	52095	119	B5-U0-G4	52021	119	B5-U0-G4	438
	3		51963	119	B4-U0-G5	53947	123	B4-U0-G5	53870	123	B4-U0-G5	
	4		51635	119	B4-U0-G5	54181	125	B4-U0-G5	53878	124	B4-U0-G5	
	5W		50563	115	B5-U0-G4	52493	120	B5-U0-G4	52418	120	B5-U0-G4	
	FT		50539	115	B4-U0-G5	52468	120	B4-U0-G5	52394	120	B4-U0-G5	
	FTA		50239	115	B5-U0-G4	52157	119	B5-U0-G4	52082	119	B5-U0-G4	
	AM		52223	119	B4-U0-G3	54216	124	B4-U0-G3	54139	124	B4-U0-G3	
	LC/RC		54113	124	B4-U0-G5	54113	124	B4-U0-G5	52912	121	B4-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

PERFORMANCE (CONT.)

ELECTRICAL DATA (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.52	0.30	0.26	0.22	0.18	0.13
12L	0.71	0.41	0.35	0.31	0.24	0.18
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.33	0.77	0.67	0.58	0.46	0.33
30L	1.78	1.02	0.89	0.77	0.61	0.44
36L	2.12	1.22	1.06	0.92	0.73	0.53
42L	2.62	1.51	1.31	1.13	0.90	0.65
48L	3.05	1.76	1.53	1.32	1.05	0.76
55L	3.65	2.11	1.83	1.58	1.26	0.91

RECOMMENDED LUMEN MAINTENANCE¹ (0-25°C)					
Ambient	Initial²	25h²	50hr²	75hr²	100hr²
9L - 18L	100%	97%	93%	90%	86%
24L - 48L	100%	95%	89%	84%	79%
55L	100%	91%	82%	74%	67%

RECOMMENDED LUMEN MAINTENANCE¹ (40°C)					
Ambient	Initial²	25h²	50hr²	75hr²	100hr²
9L - 18L	100%	97%	92%	88%	84%
24L - 48L	100%	94%	87%	80%	74%

RECOMMENDED LUMEN MAINTENANCE¹ (50°C)					
Ambient	Initial²	25h²	50hr²	75hr²	100hr²
9L - 18L C	100%	96%	91%	87%	83%

\*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

1. Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
2. In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
3. In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen Package	Distribution	Phosphor Converted Amber (Peak 610nm)			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
9L	2	5848	80	B2-U0-G2	74
	3	6018	82	B1-U0-G2	
	5W	5471	74	B3-U0-G1	
	FT	5801	79	B1-U0-G2	
	FTA	5924	81	B1-U0-G1	
	AM	5995	81	B1-U0-G1	
12L	2	7530	74	B2-U0-G2	102
	3	7749	76	B1-U0-G2	
	5W	7045	69	B3-U0-G2	
	FT	7470	73	B2-U0-G2	
	FTA	7628	75	B2-U0-G2	
	AM	7720	76	B1-U0-G1	
18L	2	9311	69	B2-U0-G2	135
	3	9582	71	B2-U0-G2	
	5W	8712	65	B3-U0-G2	
	FT	9237	68	B2-U0-G2	
	FTA	9433	70	B2-U0-G2	
	AM	9546	71	B2-U0-G1	
24L	2	10955	63	B2-U0-G2	175
	3	11273	64	B2-U0-G2	
	5W	10249	59	B3-U0-G2	
	FT	10867	62	B2-U0-G2	
	FTA	11097	63	B2-U0-G2	
	AM	11230	64	B2-U0-G1	

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.62	0.36	0.31	0.27	0.21	0.15
12L	0.85	0.50	0.43	0.38	0.30	0.22
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.47	0.85	0.73	0.64	0.51	0.37

\*LEDs are frequently updated therefore values are nominal.



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

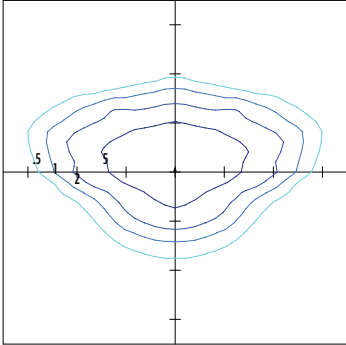
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

Luminaire Data	
Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,416
Watts	232
Efficacy	140
IES Type	Type II - Short
BUG Rating	B4-U0-G3

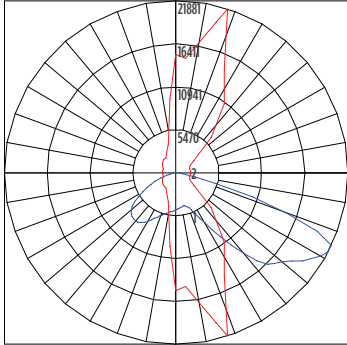
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	4796	15%
Medium (30-60°)	19811	61%
High (60-80°)	7474	23%
Very High (80-90°)	335	1%
Uplight (90-180°)	0	0%
Total Flux	32416	100%

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



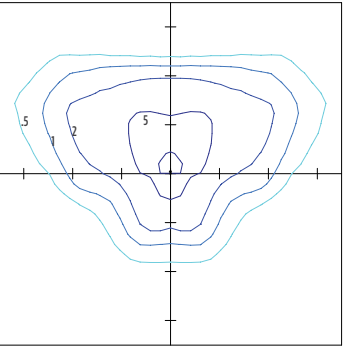
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-3-40-70CRI

Luminaire Data	
Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,656
Watts	232
Efficacy	141
IES Type	Type III - Short
BUG Rating	B3-U0-G4

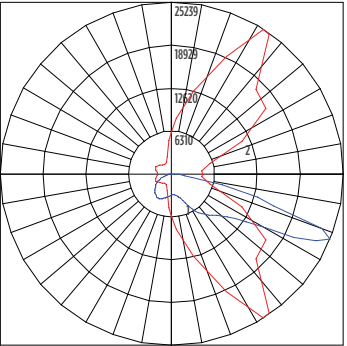
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3385	10%
Medium (30-60°)	16250	50%
High (60-80°)	12430	38%
Very High (80-90°)	591	2%
Uplight (90-180°)	0	0%
Total Flux	32656	100%

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



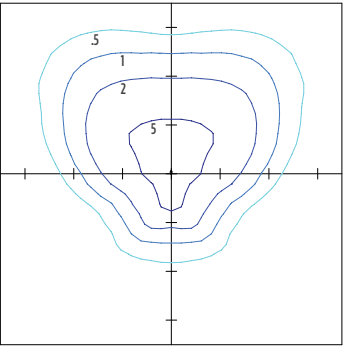
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-FT-40-70CRI

Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,424
Watts	232
Efficacy	140
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

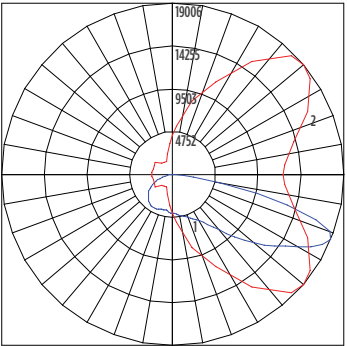
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3952	12%
Medium (30-60°)	15505	48%
High (60-80°)	12279	38%
Very High (80-90°)	688	2%
Uplight (90-180°)	0	0%
Total Flux	32424	100%

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



■ Vertical Plane ■ Horizontal Cone

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

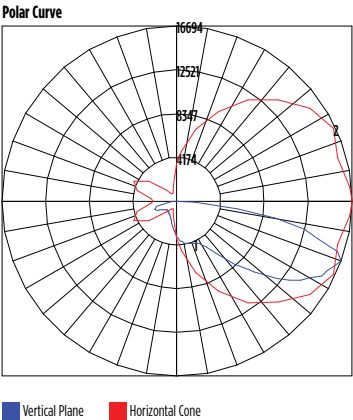
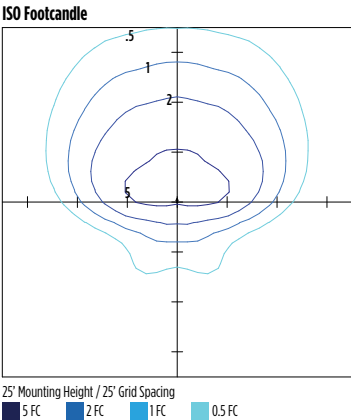
 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-4-40-70CRI

Luminaire Data	
Type 4 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,141
Watts	213
Efficacy	151
IES Type	Type IV - Very Short
BUG Rating	B3-U0-G5

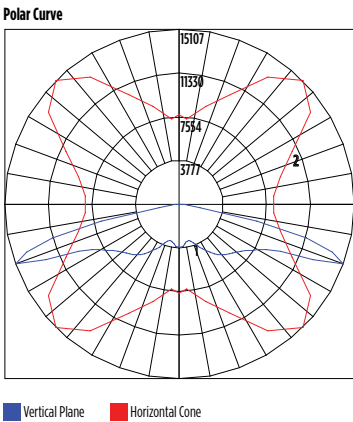
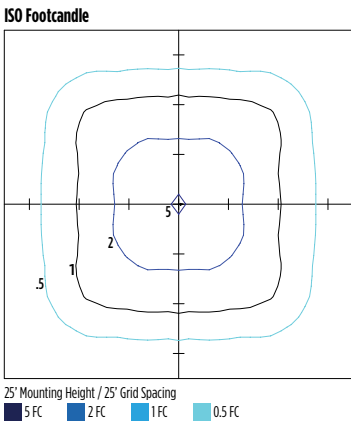
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3119	10%
Medium (30-60°)	13569	42%
High (60-80°)	13649	42%
Very High (80-90°)	1804	6%
Uplight (90-180°)	0	0%
Total Flux	32141	100%



### MRM-LED-30L-SIL-5W-40-70CRI

Luminaire Data	
Type 5W Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,267
Watts	232
Efficacy	135
IES Type	Type VS - Short
BUG Rating	B5-U0-G3

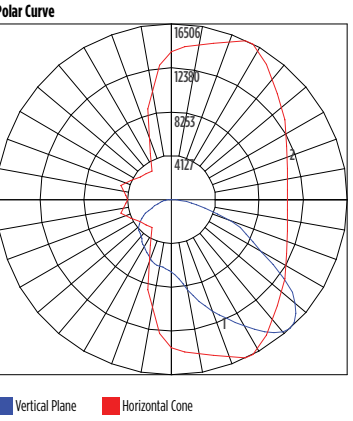
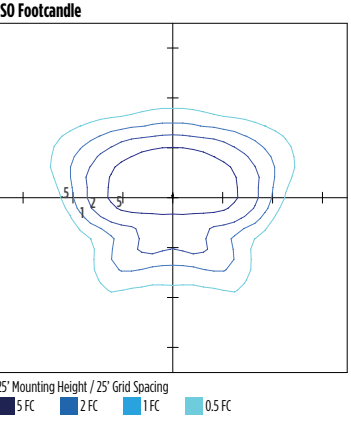
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3138	10%
Medium (30-60°)	13193	42%
High (60-80°)	14641	47%
Very High (80-90°)	296	1%
Uplight (90-180°)	0	0%
Total Flux	31267	100%



### MRM-LED-30L-SIL-FTA-40-70CRI

Luminaire Data	
Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,566
Watts	232
Efficacy	140
IES Type	Type VS - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6986	21%
Medium (30-60°)	19172	59%
High (60-80°)	5875	18%
Very High (80-90°)	534	2%
Uplight (90-180°)	0	0%
Total Flux	32566	100%





# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PHOTOMETRICS (CONT)

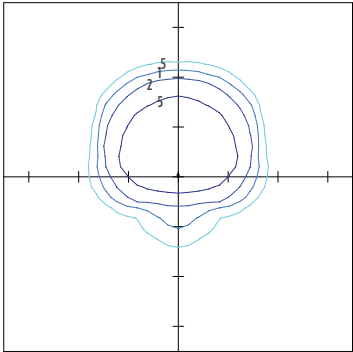
[Back to Quick Links](#)

### MRM-LED-30L-SIL-AM-40-70CRI

Luminaire Data	
Type AM Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,960
Watts	232
Efficacy	142
IES Type	Type III - Very Short
BUG Rating	B3-U0-G3

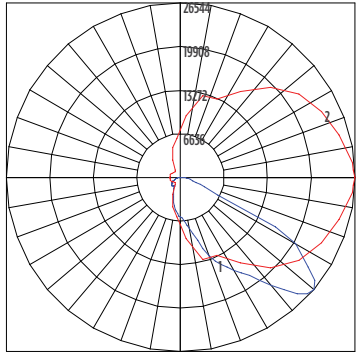
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6363	19%
Medium (30-60°)	22026	67%
High (60-80°)	4192	13%
Very High (80-90°)	379	1%
Uplight (90-180°)	0	0%
Total Flux	32960	100%

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



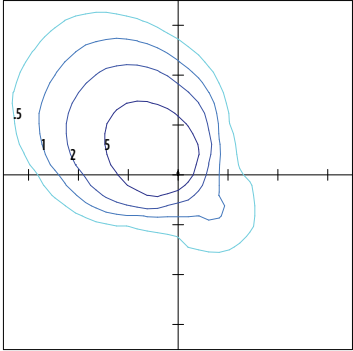
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-LC-40-70CRI

Luminaire Data	
Left Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

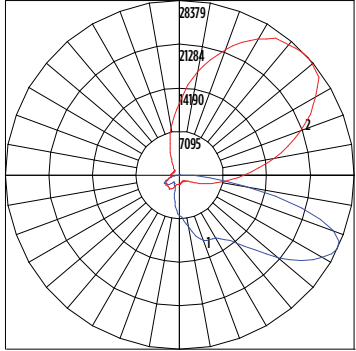
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
Total Flux	32498	100%

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



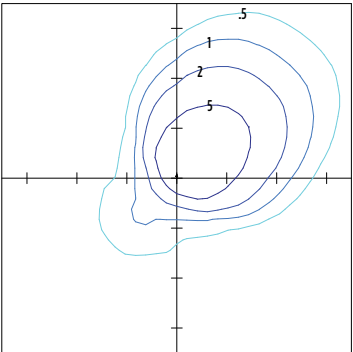
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-RC-40-70CRI

Luminaire Data	
Right Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

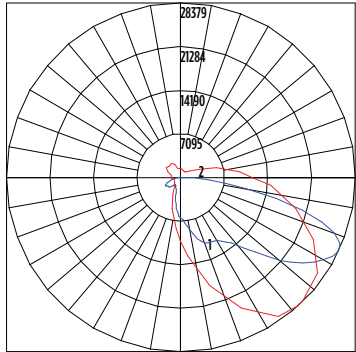
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
Total Flux	32498	100%

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



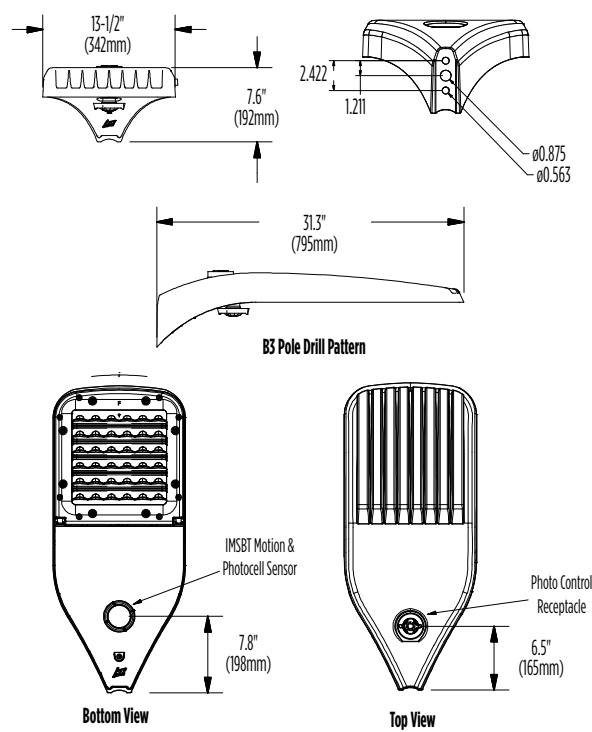
■ Vertical Plane ■ Horizontal Cone







# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PRODUCT DIMENSIONS




Luminaire EPA Chart					
Tilt Degree		0°	15°	30°	45°
	Single	0.5	1.0	1.5	1.9
	D180°	1.0	2.0	2.6	3.4
	D90°	0.8	2.0	2.6	3.4
	T90°	1.0	2.2	2.8	3.4
	TN120°	1.0	2.5	3.6	4.4
	Q90°	1.0	2.2	2.8	3.4



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## CONTROLS

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBT](#)



LEVITON App



Apple



Android

### AirLink Blue (ALBMRxLR, ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/ Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

### Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBTxL/IMSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
OMS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
On Event	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
Off Event	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
On Light Level	The light level that the fixtures will turn on to when ON EVENT occurs.
Dim Light Level	The light level that the fixtures will dim down to when no motion is detected.
Delay to Dim	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
Delay to Off	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
Sensitivity	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.

