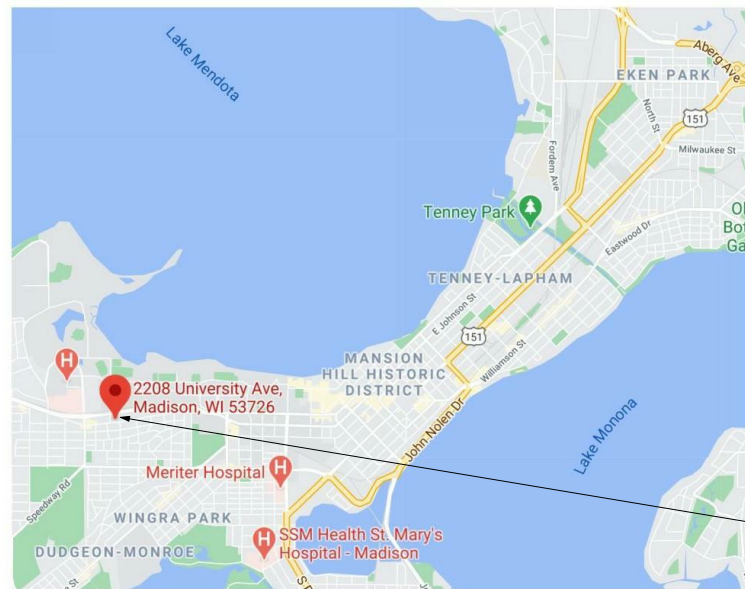


# MSP - University Heights

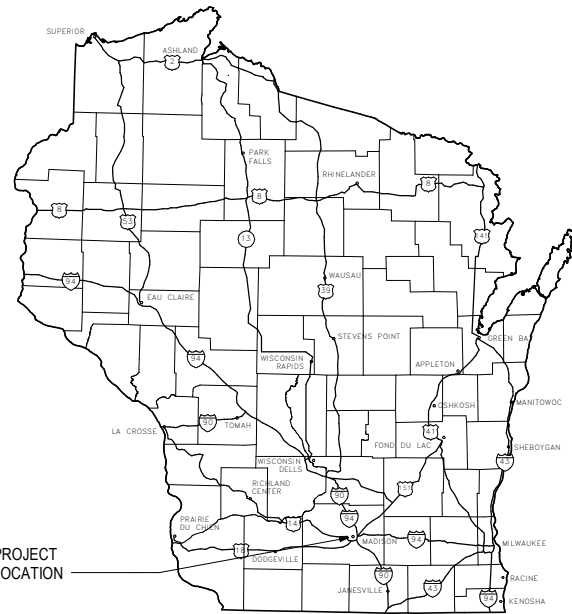
2208 UNIVERSITY AVE., MADISON, WI  
53726



3D View to NW from University Ave.



AREA MAP



STATE MAP

**Architecture :**

**Dimension IV - Madison Design Group**

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com

**Civil Engineering:**

**CJ Engineering**

9205 W. Center Street, Suite 214, Milwaukee, WI 53222  
p: 414.443.1312 www.cj-engineering.com

**Landscape Architect:**

**raSmith**

16745 West Bluemound Road, Brookfield, WI 53005  
p: 262.781.1000 www.rasmith.com

**PROJECT/BUILDING DATA**

NEW 6-STORY MIXED-USE RESIDENTIAL BUILDING  
ZONING DISTRICT: TSS (TRADITIONAL SHOPPING STREET)  
**BUILDING AREAS**  
TOTAL BUILDING AREA: 121,074 SQFT  
SUB-BASEMENT (PARKING LOWER LEVEL): 16,475 SQFT  
BASEMENT (PARKING UPPER LEVEL): 16,475 SQFT  
FIRST LEVEL: 14,252 SQFT COMMERCIAL AREA: 750 SQFT  
SECOND LEVEL: 15,345 SQFT  
THIRD LEVEL: 15,345 SQFT  
FOURTH LEVEL: 14,394 SQFT  
FIFTH LEVEL: 14,394 SQFT  
SIXTH LEVEL: 14,394 SQFT  
**UNIT COUNT**  
TOTAL UNITS: 79 UNITS  
1 BEDROOM: 39 UNITS  
2 BEDROOM: 27 UNITS  
3 BEDROOM: 13 UNITS (8 DUPLEXES)  
**PARKING COUNTS**  
TOTAL CAR PARKING STALLS: 81 STALLS (4 ADA STALLS)  
GARAGE: 79  
SURFACE: 2  
TOTAL BICYCLE PARKING STALLS: 97 STALLS  
COVERED: 87  
GROUND: 76  
VERTICAL: 16  
SURFACE: 10  
GUEST: 8  
SHORT-TERM: 1  
COMMERCIAL: 1  
**LOT COVERAGE**  
LOT AREA: 24,592 SQFT  
BUILDING FOOTPRINT: 14,252 SQFT (58% COVERAGE)  
**USABLE OPEN SPACE**  
REQUIRED: 3,160 SQFT  
PROVIDED: 4,440 SQFT

**LIST OF DRAWINGS**

**GENERAL**

- G0.1 COVER SHEET
- G0.2 EXISTING CONDITIONS PHOTOS AND AERIAL MAP

**CIVIL**

- AL-01 ALTA SURVEY
- C1.0 SITE PLAN
- C2.0 SITE GRADING PLAN
- C3.0 SITE UTILITY PLAN
- C5.0 DEMO PLAN
- FIRE ACCESS PLAN
- L1.0 PRELIMINARY LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS
- L2.1 LANDSCAPE SPECIFICATIONS
- SITE LIGHTING PLAN

**ARCHITECTURAL**

- A1.0 BASEMENT PLANS
- A1.1 PRELIMINARY SITE PLAN
- A1.2 2ND & 3RD FLOOR PLANS
- A1.3 4TH - 6TH & ROOF PLANS
- A2.0 BUILDING ELEVATIONS
- A2.1 BUILDING ELEVATIONS
- A2.2 BUILDING ELEVATIONS
- A2.3 3D VIEW

LIGHTING SPECIFICATION SHEETS

**LAND USE APPLICATION**

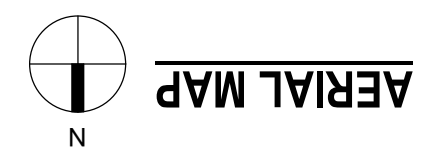
02/16/2021

PROJECT # 20105

**G0.1**



MSP - University Heights





LEGAL DESCRIPTION:

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 9 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE EAST LINE OF SECTION 21 AND THE CENTERLINE OF UNIVERSITY AVENUE; THENCE SOUTH 83°18' WEST, 125.84 FEET SAID CENTERLINE TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 83°18' WEST 100.50 FEET ALONG SAID CENTERLINE; THENCE NORTH 267.58 FEET PARALLEL TO THE EAST LINE OF SAID QUARTER-QUARTER; THENCE NORTH 70°16' EAST, 106.04 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY OF CAMPUS DRIVE; THENCE SOUTH 291.65 FEET PARALLEL TO THE EAST LINE OF SAID QUARTER-QUARTER TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

SCHEDULE B, PART II

10. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE EASEMENT RECORDED ON JUNE 03, 1919, AS DOCUMENT NO. 379604, SHOWN HEREON.

11. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN WARRANTY DEED RECORDED IN APRIL 16, 1956 IN VOLUME 647, PAGE 64 AS DOCUMENT NO. 916223 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). AFFIDAVIT OF INTEREST RECORDED JUNE 13, 1989 IN VOLUME 12937, PAGE 36 AS DOCUMENT NO. 2145442, SHOWN HEREON.

12. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN WARRANTY DEED RECORDED IN AUGUST 06, 1956 IN VOLUME 652, PAGE 478 AS DOCUMENT NO. 923476 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). AFFIDAVIT OF INTEREST RECORDED JUNE 13, 1989 IN VOLUME 12937, PAGE 36 AS DOCUMENT NO. 2145442, SHOWN HEREON.

13. INTERCEPTOR SANITARY SEWER EASEMENT TO MADISON METROPOLITAN SEWERAGE DISTRICT, DATED JUNE 24, 1958, RECORDED/FILED AUGUST 26, 1958 IN VOLUME 323, PAGE 561 AS DOCUMENT NO. 964219, SHOWN HEREON.

14. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE WARRANTY DEED (INCLUDING ACCESS RIGHTS AND LIMITED HIGHWAY EASEMENT) RECORDED ON OCTOBER 18, 1967 IN VOLUME 843, PAGE 13, AS DOCUMENT NO. 1198454, CORRECTIVE WARRANTY DEED (INCLUDING ACCESS RIGHTS AND LIMITED HIGHWAY EASEMENT) RECORDED JANUARY 20, 1969 IN VOLUME 92, PAGE 215 AS DOCUMENT NO. 1232644. SURVEYOR HAS INFORMATION THAT EASEMENT IS NO LONGER IN EFFECT. NOT SHOWN HEREON.

15. EASEMENT FOR PUBLIC STORM SEWER MAIN CONSTRUCTION GRANTED TO CITY OF MADISON, A WISCONSIN MUNICIPAL CORPORATION BY DONALD J. KALSCHER AND LUANA C. KALSCHER 2000 REVOCABLE TRUST RECORDED APRIL 05, 2013 AS DOCUMENT NO. 4978346. THE SURVEYOR HAS INFORMATION THAT EASEMENT IS NO LONGER IN EFFECT. NOT SHOWN HEREON.

SIGNIFICANT OBSERVATIONS:

THERE ARE NO SIGNIFICANT OBSERVATIONS AFFECTING SUBJECT PROPERTY EXCEPT AS FOLLOWS:

- A RAISED CONCRETE CORNER EXTENDS WEST OVER PROPERTY LINE WITH A DISTANCE OF 0.80 FEET. (AS SHOWN HEREON)
B BUILDING CORNER EXTENDS WEST OVER WEST PROPERTY LINE WITH A DISTANCE OF 0.29 FEET. (AS SHOWN HEREON)
C BUILDING CORNER EXTENDS WEST OVER WEST PROPERTY LINE WITH A DISTANCE OF 0.34 FEET. (AS SHOWN HEREON)
D CONCRETE CURB LINE WEST OF WEST PROPERTY LINE WITH A DISTANCE OF 0.34 FEET.(AS SHOWN HEREON)

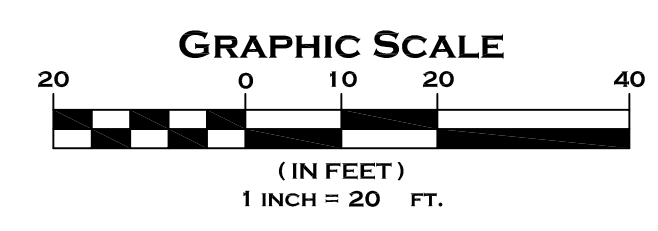
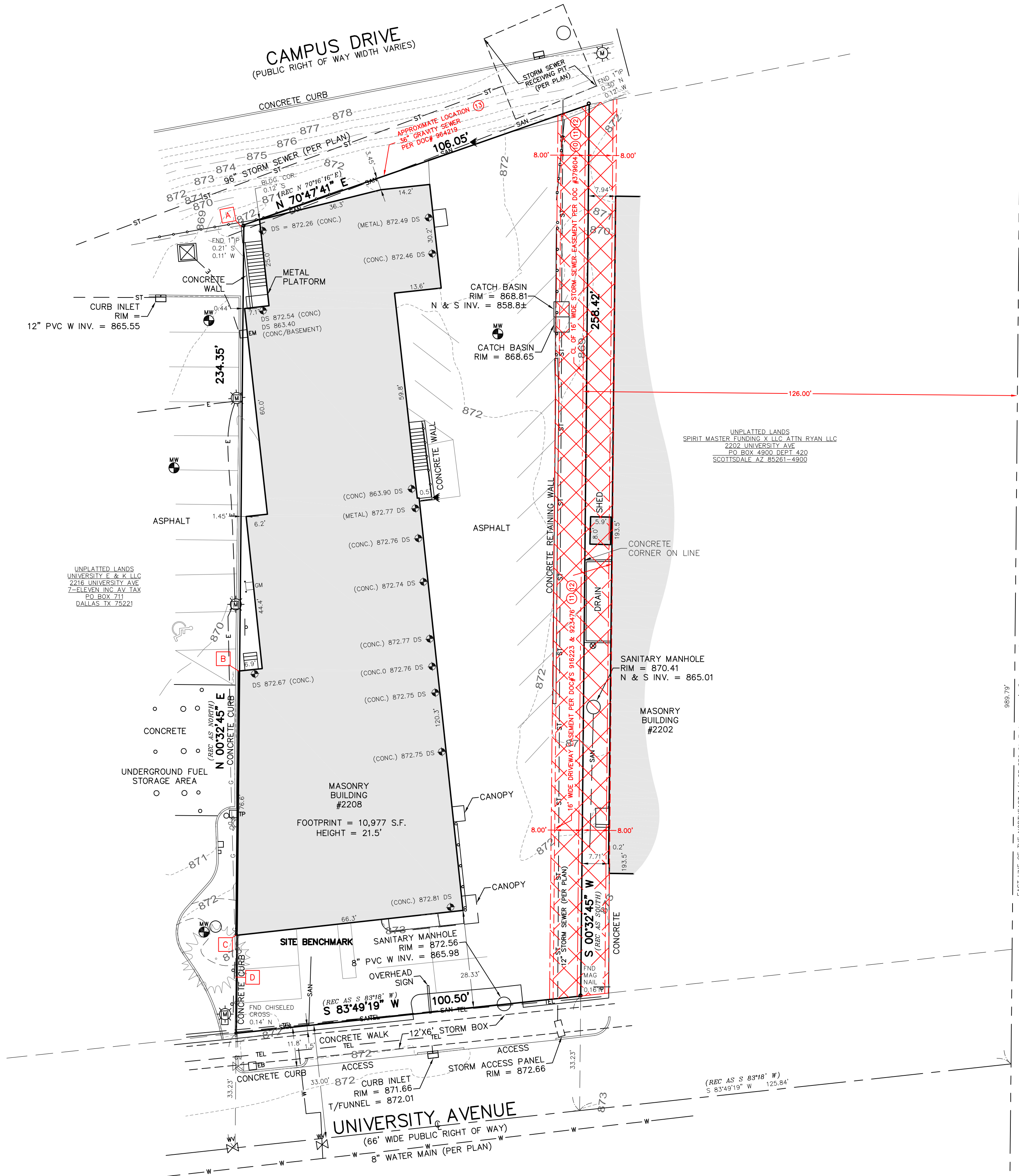
LEGEND table with symbols for SANITARY SEWER, STORM SEWER, WATER MAIN, BURIED GAS LINE, BURIED TELEPHONE LINE, BURIED ELECTRIC LINE, BURIED FIBER OPTIC LINE, OVERHEAD UTILITY LINES, COMBINATION SEWER, WOOD FENCE, METAL FENCE, EDGE OF TREES AND BRUSH, DOOR SILL ELEVATION, FIRE DEPARTMENT CONNECTION, ELECTRIC TRANSFORMER, ELECTRIC METER, ELECTRIC PEDESTAL, GAS VALVE, TELEPHONE BOX AT GRADE, TELEPHONE PEDestal, TV PEDestal, GAS METER, AIR CONDITIONER, UTILITY POLE, WOOD SIGN, METAL SIGN, FLAG POLE, BOLLARD, BOLLARD LIGHT, YARD LIGHT, HYDRANT, WATER VALVE, MANHOLE, STORM MANHOLE, CATCH BASIN, CURB INLET, METAL LIGHT POLE, CONCRETE LIGHT POLE, WOOD LIGHT POLE, MAIL BOX, FIBER OPTIC MARKER, GUY WIRE.

TO: MSP REAL ESTATE, INC., KALBRO INVESTMENTS, LLC, A WISCONSIN LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY.

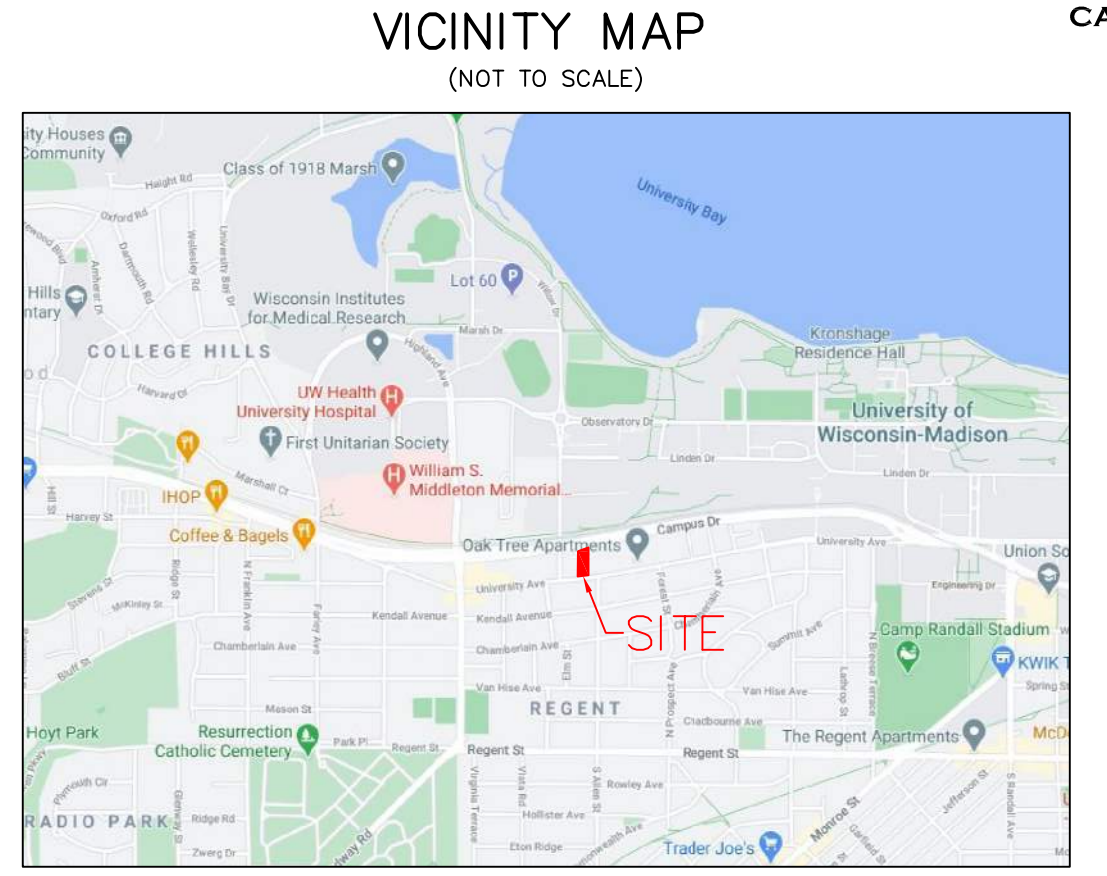
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7a, 7b, 7c, 8, 9, 11, 13, 16, 17, AND 18 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

NOVEMBER 20, 2020 DATE

MICHAEL J. BERRY R.L.S. REGISTERED LAND SURVEYOR S-2545



www.DiggersHotline.com DIGGERS HOTLINE DIAL 811 OR (800) 242-8511



CSE CAPITOL SURVEY ENTERPRISES 220 REGENCY CT, STE. 210 BROOKFIELD, WI 53005 PH: (262) 786-6600 FAX: (414) 786-6608 WWW.CAPITOLSURVEY.COM

MISCELLANEOUS NOTES

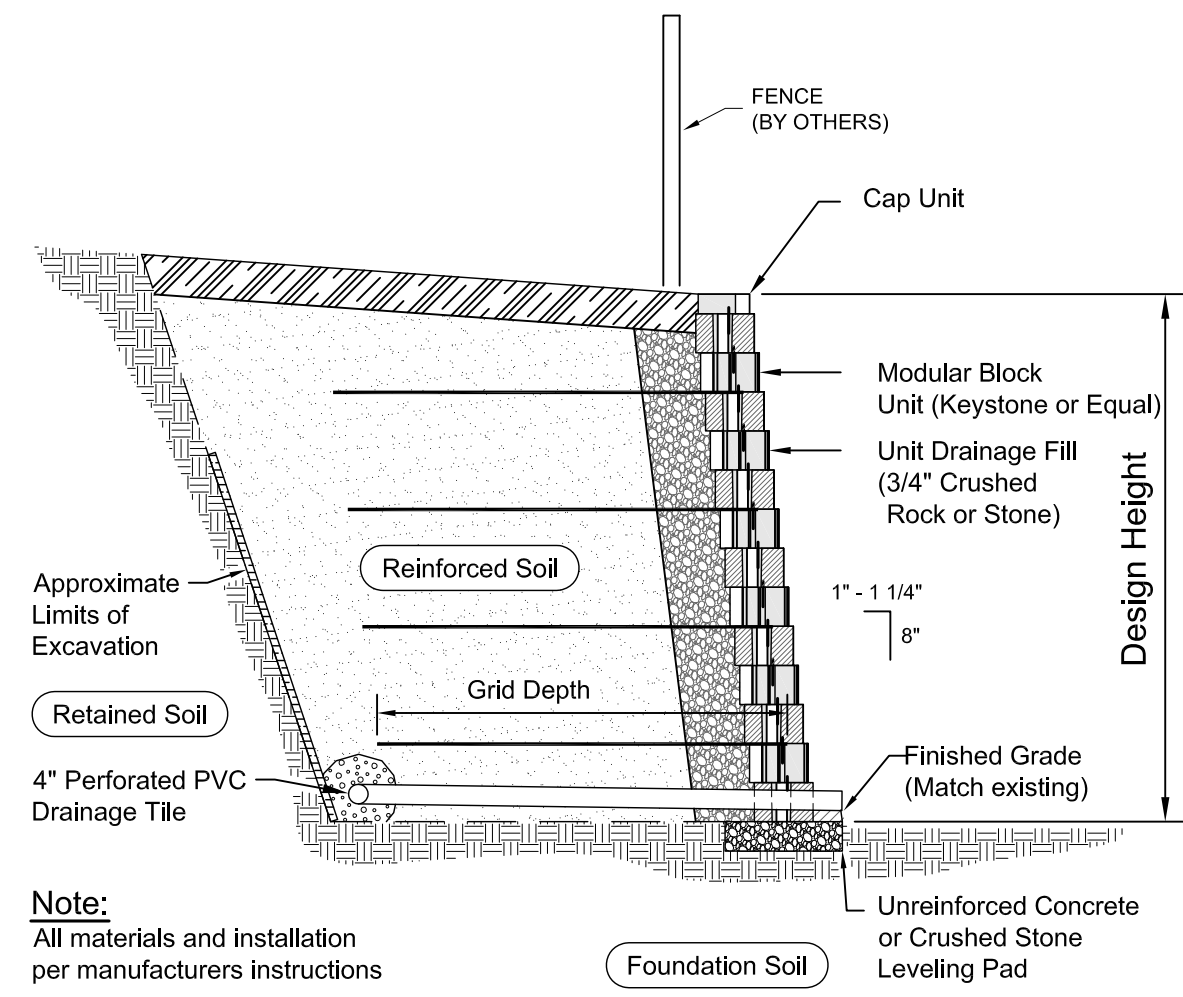
- 1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY...
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES...
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 24592 SQ. FT. OR 0.5646 ACRES.
6. THE ADDRESS OF THE ABOVE DESCRIBED PROPERTY, 2208 AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY.
7. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
8. SUBJECT PROPERTY HAS DIRECT ACCESS TO UNIVERSITY AVENUE, A DEDICATED PUBLIC STREET OR HIGHWAY.
9. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 23, OF WHICH 23 ARE REGULAR PARKING SPACES AND 0 ARE DESIGNATED ADA COMPLIANT SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
10. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55025C0408G, WITH A DATE OF IDENTIFICATION OF 01/02/2009, IN COMMUNITY NO. 550083, CITY OF MADISON, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
11. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
12. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF MADISON REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
13. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
14. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
15. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
16. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
17. ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 21-7-9 WHICH BEARS N 00°32'45" E.
18. THERE IS NO EVIDENCE OF CEMETERIES, GRAVESITES, OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.
19. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)). NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88(2012)), USING THE WISCONSIN CONTINUALLY OPERATING REFERENCE STATIONS (WISORS & GEOD 12A).

ALTA/NSPS LAND TITLE SURVEY FOR

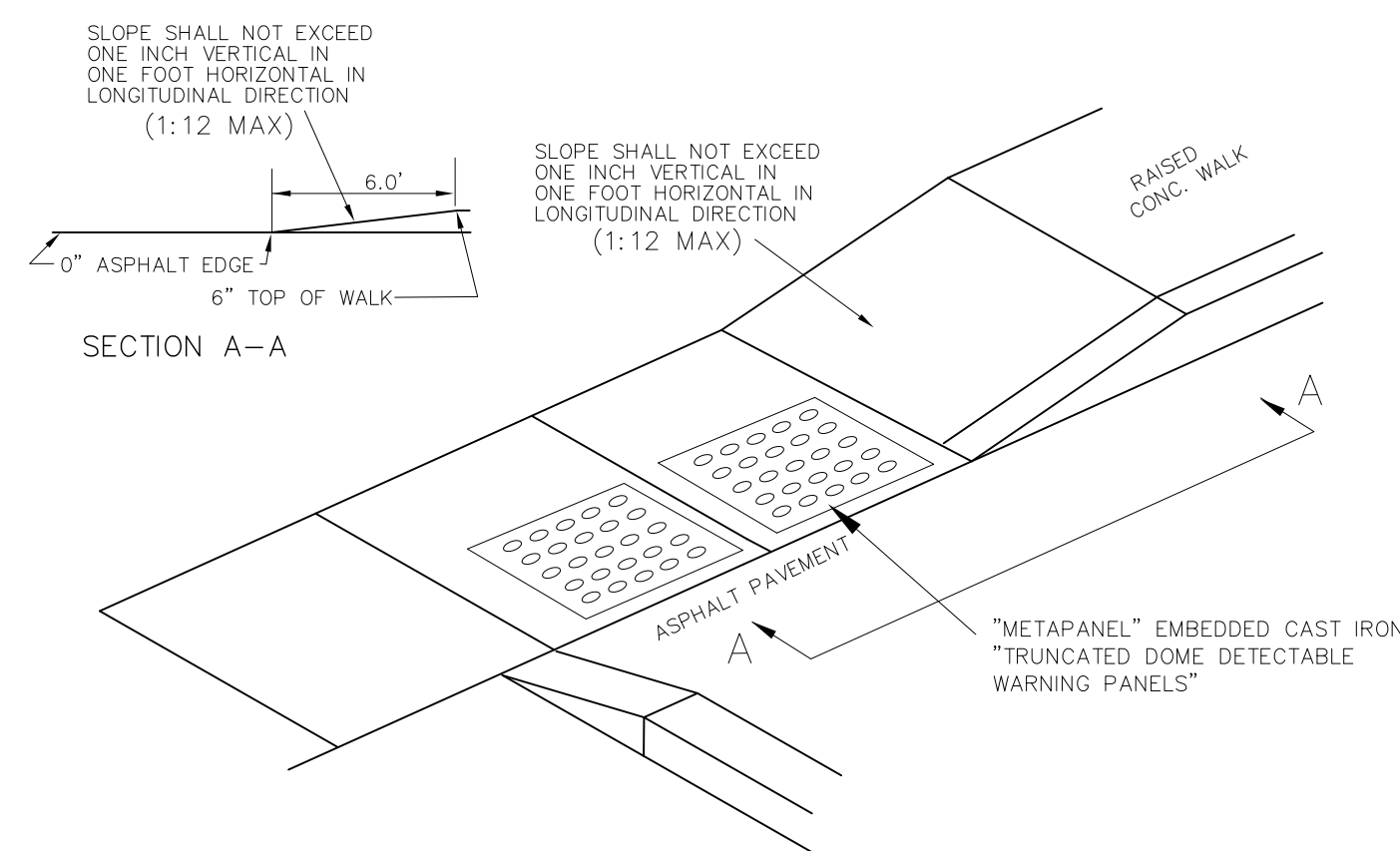
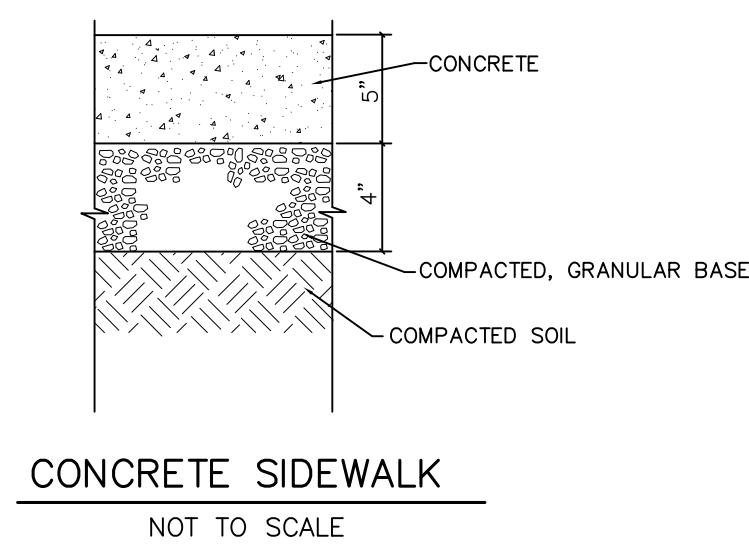
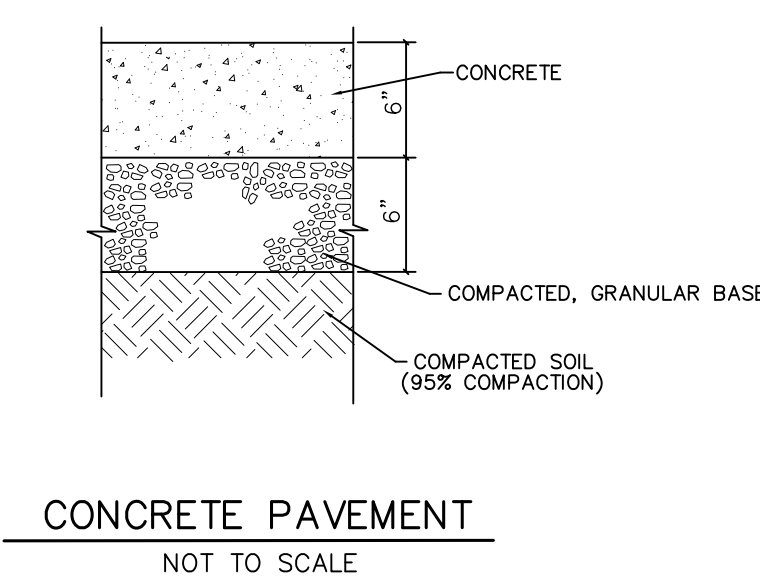
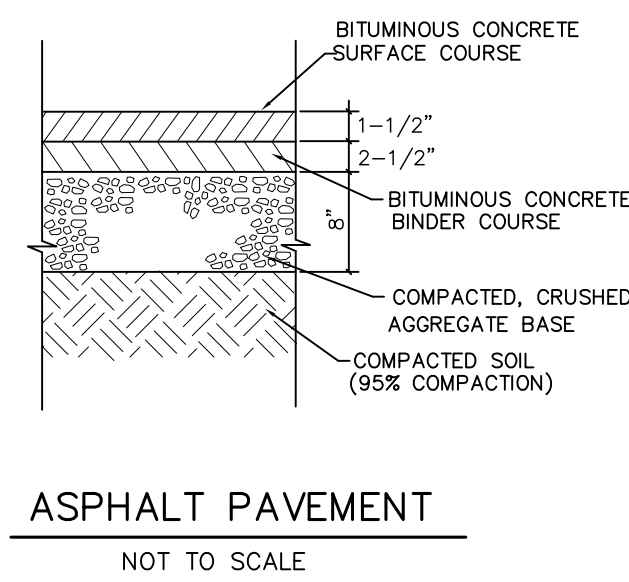
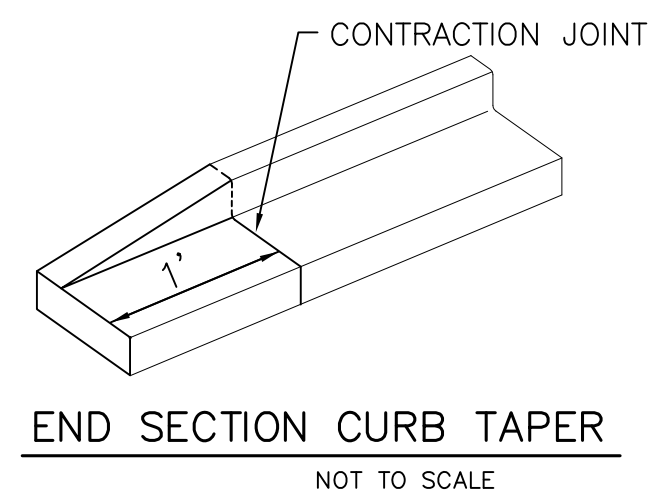
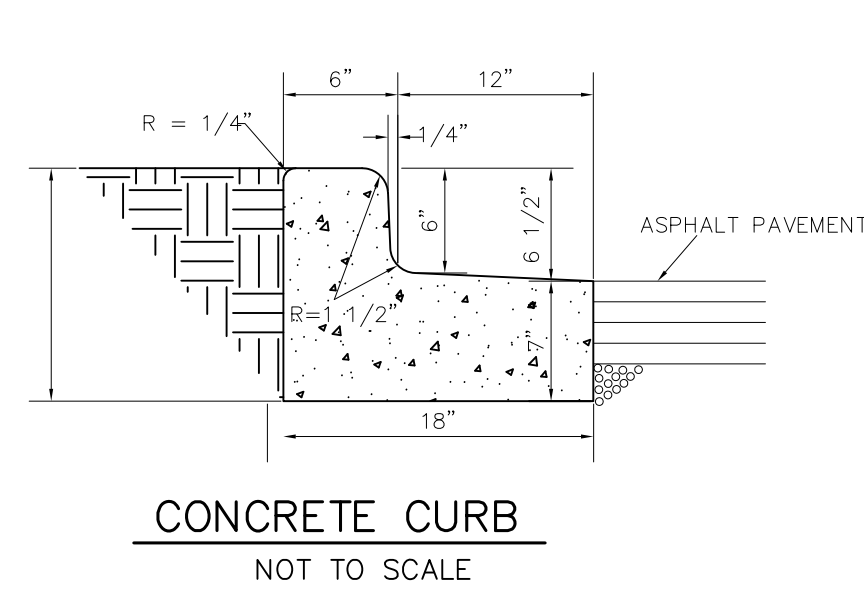
MSP - UNIVERSITY AVE 2208 UNIVERSITY AVE MADISON, WI

Table with columns: DRAWN BY: RAP, CHECKED BY: MJB, CSE Job No.: 20-111, DATE: 11/20/2020, DRAWING No.: AL-0, SHEET 1 OF 1

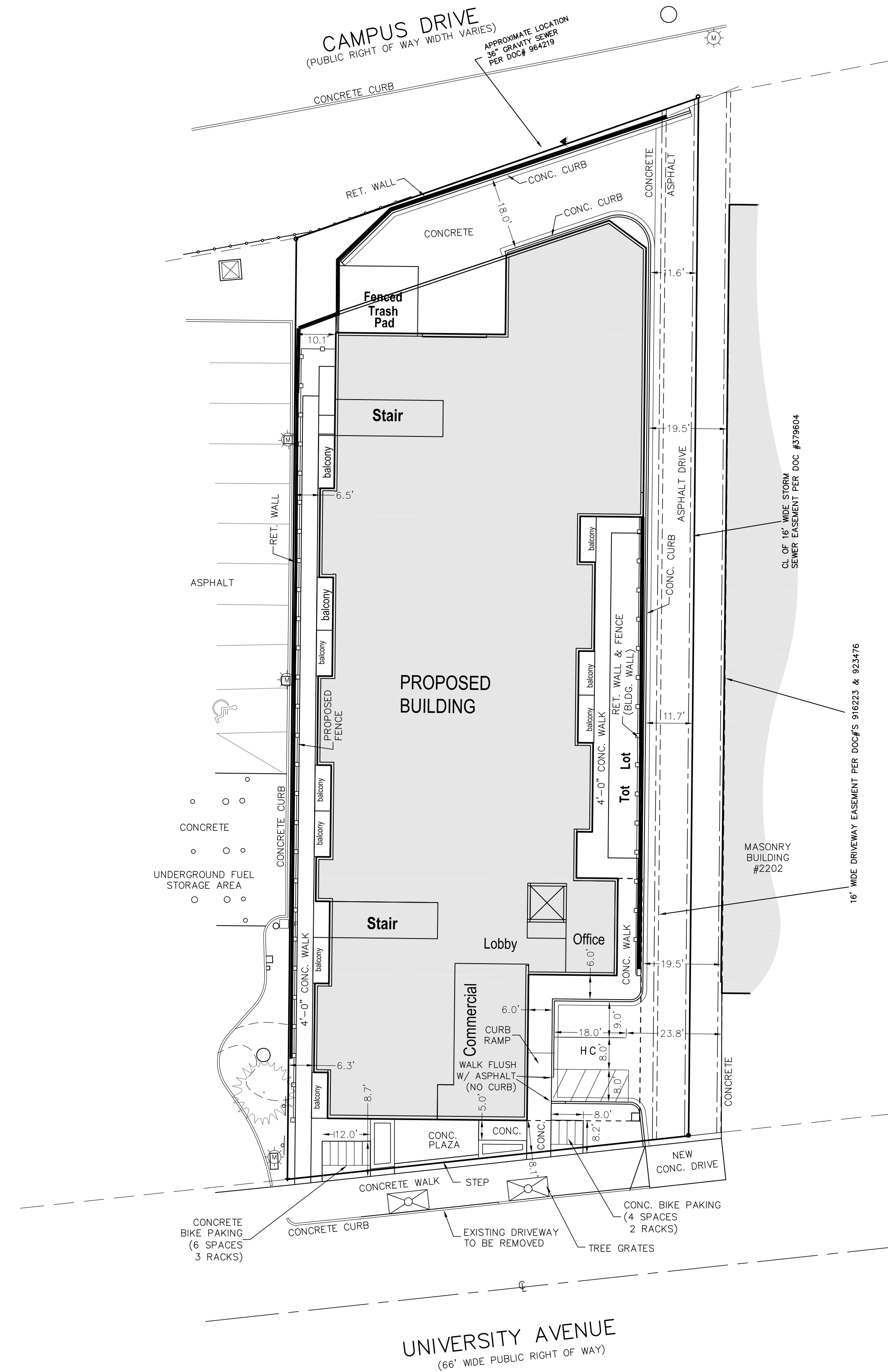




**Typical Retaining Wall Section**  
 NTS



- NOTES:**
1. DISTURBED AREA / SITE AREA = 24,592 S.F. (0.56 ACRES)
  2. THIS REDEVELOPMENT WILL RESULT IN A REDUCTION OF IMPERVIOUS AREA AS COMPARED TO THE EXISTING PRE CONDITIONS.
  3. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.



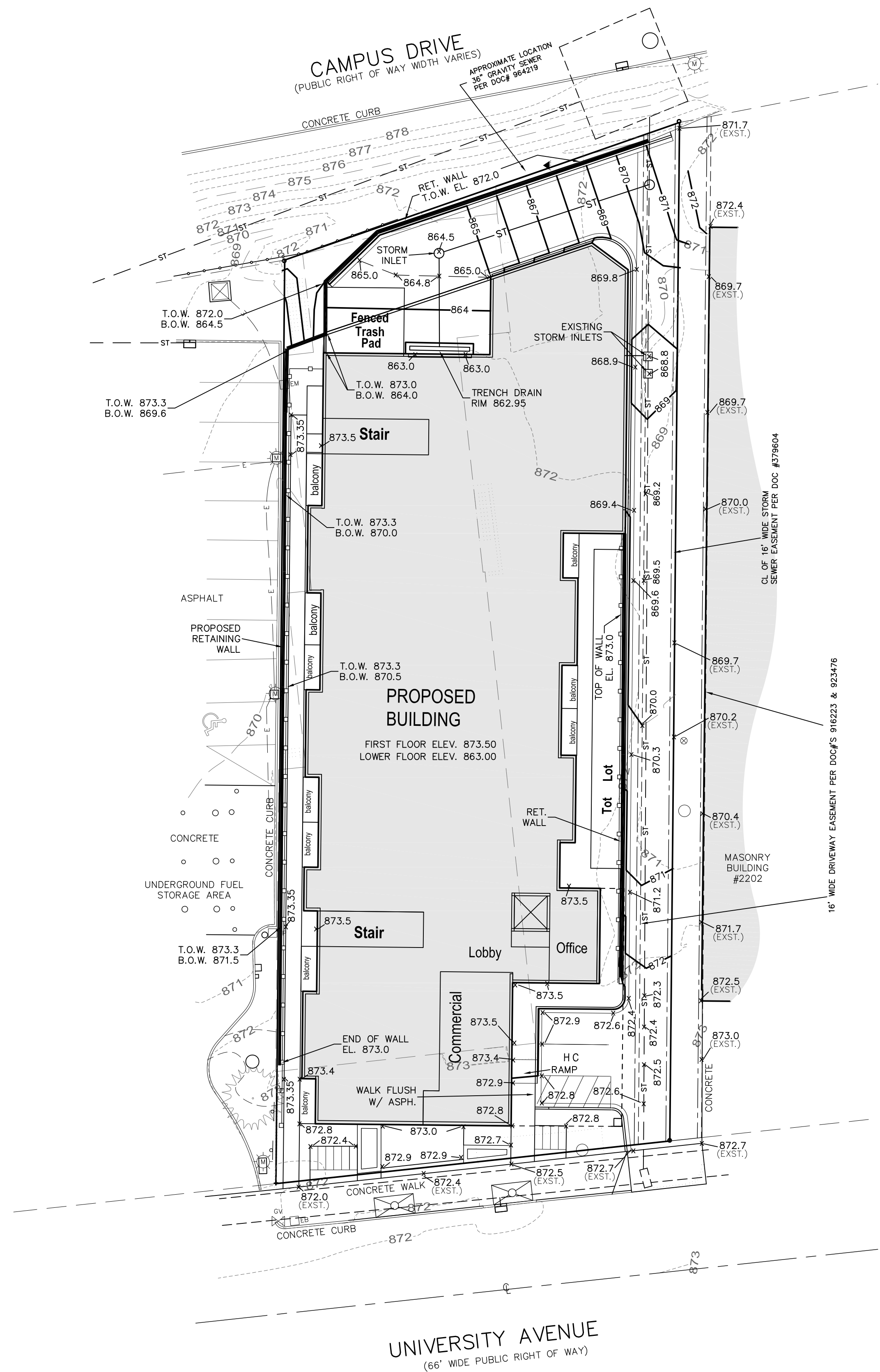
**MSP - UNIVERSITY AVE. APARTMENTS**  
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

CJE NO.: 1950R2  
 FEBRUARY 17, 2021





**MSP - UNIVERSITY AVE. APARTMENTS**  
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

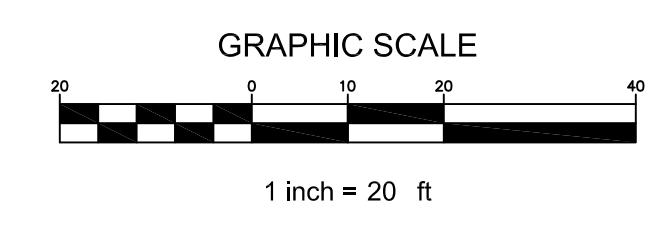


**NOTES:**

1. DISTURBED AREA = 24,592 S.F. (0.56 ACRES)
2. ALL PROPOSED SPOT GRADES SHOWN ALONG THE CURB ARE AT BOTTOM OF CURB.
3. ALL CONCRETE WALKS UNLESS OTHERWISE SHOWN SHALL BE AT A MAX. 1:20 SLOPES WITH A MAX. CROSS SLOPE OF 2%.
4. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.



LEGEND	
----- 856 -----	EXISTING CONTOUR
----- 860 -----	PROPOSED CONTOUR
x 858.5	PROPOSED ELEVATION
----- ST -----	PROPOSED STORM SEWER



CJE NO.: 2059R2  
 FEBRUARY 17, 2021

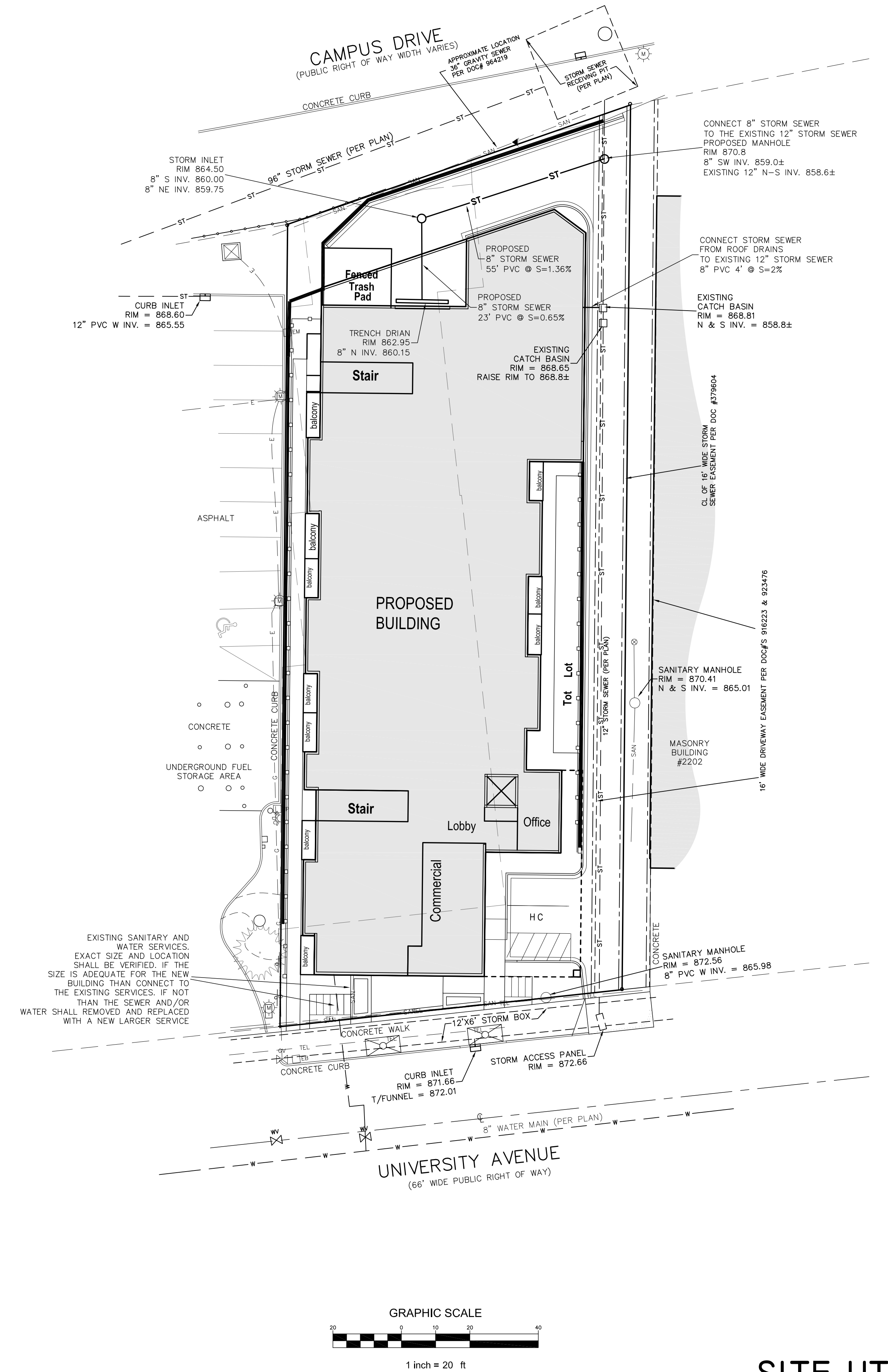
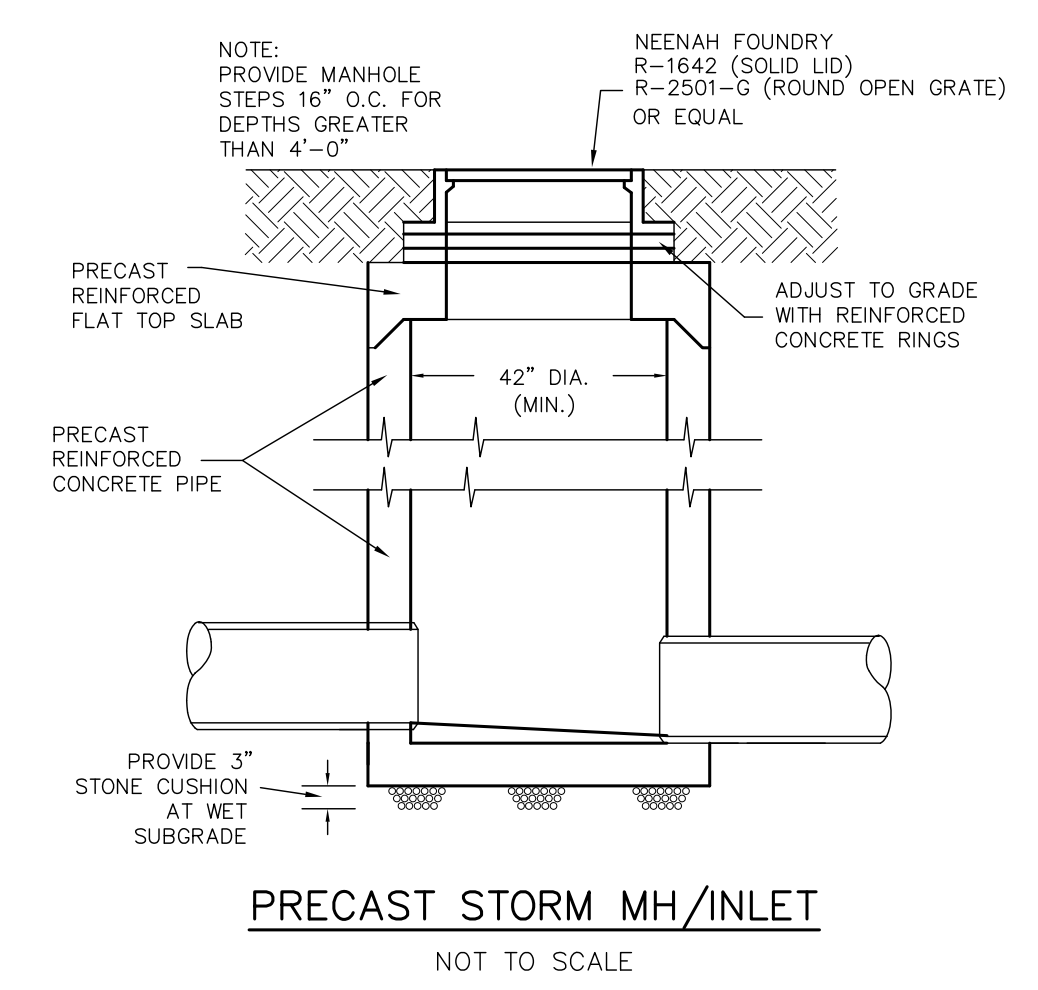
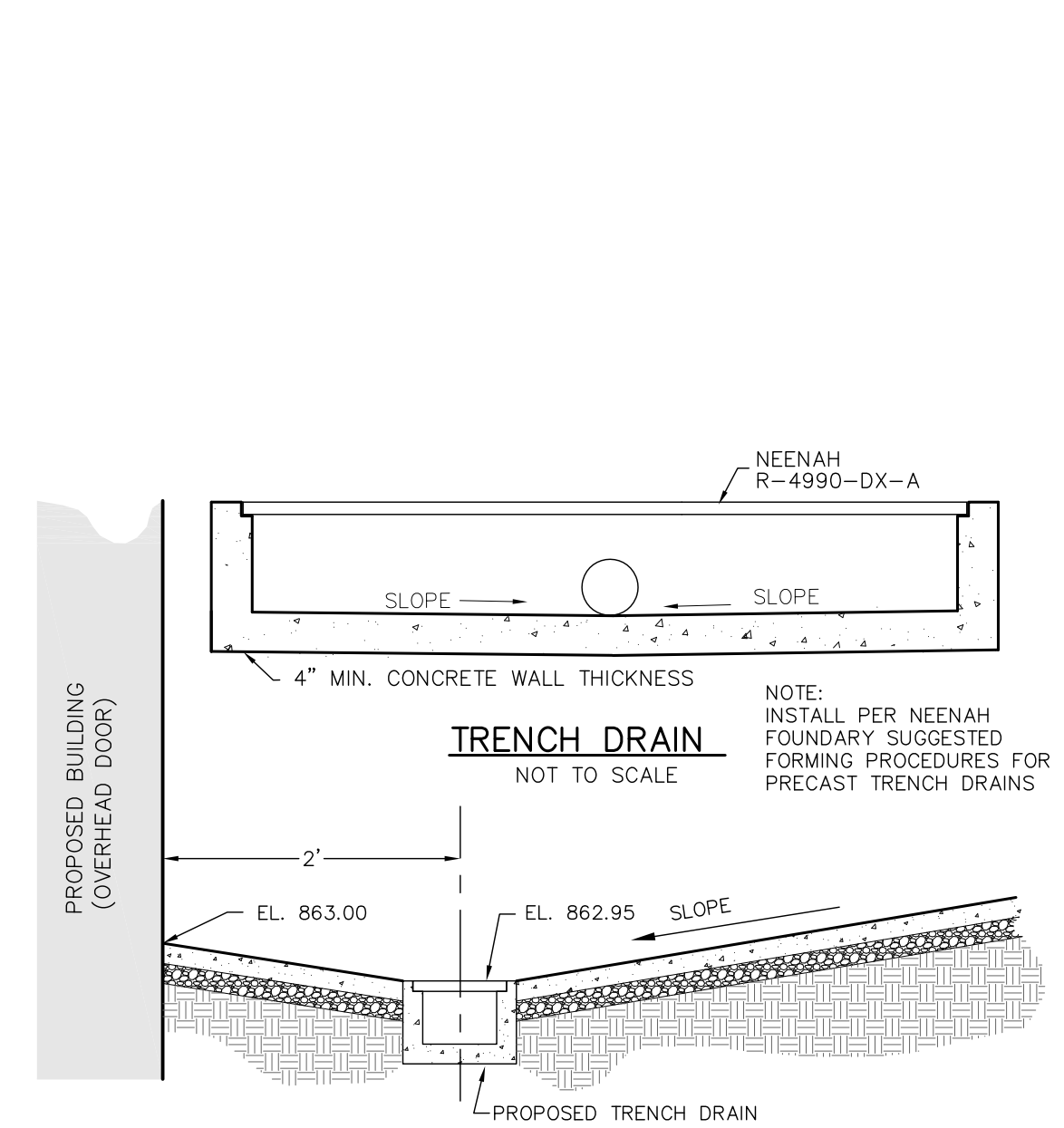




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 2208 UNIVERSITY AVE.

CJE NO.: 2059R2  
 FEBRUARY 17, 2021

**C3.0**  
 SHEET 3 OF 3



- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MADISON REQUIREMENTS.
  2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
  3. EXACT SIZE AND LOCATION OF STORM, SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS TO BE VERIFIED BY PLUMBING CONSULTANT/CONTRACTOR. CONTACT CJ ENGINEERING WITH ANY DISCREPANCIES.
  4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
  5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
  6. ALL DAMAGE TO THE PAVEMENT IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA. ALL CURB AND GUTTER AND SIDEWALK THAT ABUTS THE PROPERTY THAT IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE TO CITY REQUIREMENTS AND SPECIFICATIONS.
  7. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  8. THE TRENCH DRAIN AT THE ENTRANCE TO THE UNDERGROUND PARKING HAS BEEN SIZED FOR THE 100-YEAR STORM EVENT.
  9. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY CONTRACTOR.

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**LEGEND**

— ST —	EXISTING STORM SEWER
— ST —	PROPOSED STORM SEWER
— SAN —	EXISTING SANITARY SEWER
— SAN —	PROPOSED SANITARY SEWER
— W —	EXISTING WATER MAIN
— W —	PROPOSED WATER MAIN
— G —	BURIED GAS MAIN
— // —	OVER HEAD WIRE
— E —	BURIED ELECTRIC
— U —	UTILITY POLE

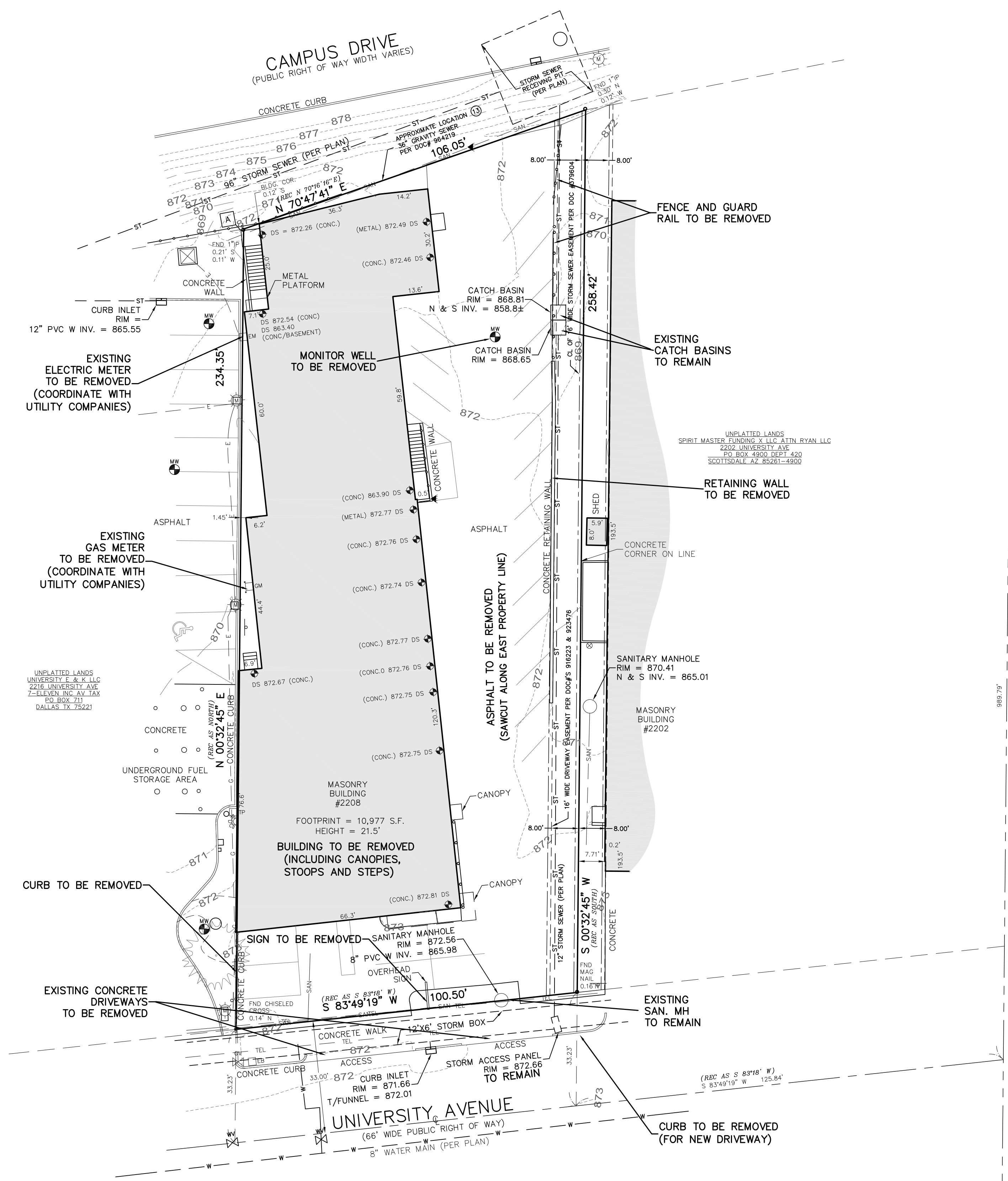
**SITE UTILITY PLAN**



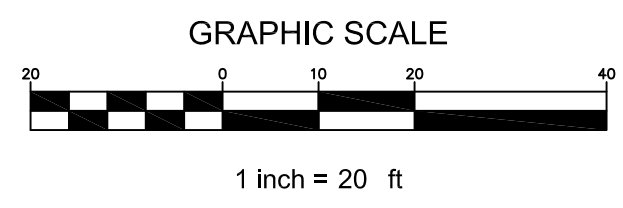


**MSP - UNIVERSITY AVE. APARTMENTS**  
 MADISON, WISCONSIN  
 2208 UNIVERSITY AVE.

CJE NO.: 1950R2  
 FEBRUARY 17, 2021



- NOTES:
1. EROSION CONTROL PRACTICES SHALL BE IN PLACE BEFORE ANY DEMOLITION THAT RESULTS IN LAND DISTURBANCE.
  2. ALL DAMAGE TO THE PAVEMENT IN THE PUBLIC RIGHT-OF-WAY ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA. ALL CURB AND GUTTER AND SIDEWALK THAT ADJUTS THE PROPERTY THAT IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE TO CITY REQUIREMENTS AND SPECIFICATIONS.
  3. ALL THE WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  4. THE CONTRACTOR (OR OWNER'S REPRESENTATIVE) SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES THE EXISTING BUILDING BEING DEMOLISHED. PERMIT APPLICATION AND FEES ARE REQUIRED FOR EACH LATERAL TO BE PLUGGED.
  5. DEMO CONTRACTOR TO CREATE AND PROVIDE A RECYCLING PLAN TO THE CITY FOR REVIEW AND APPROVAL.

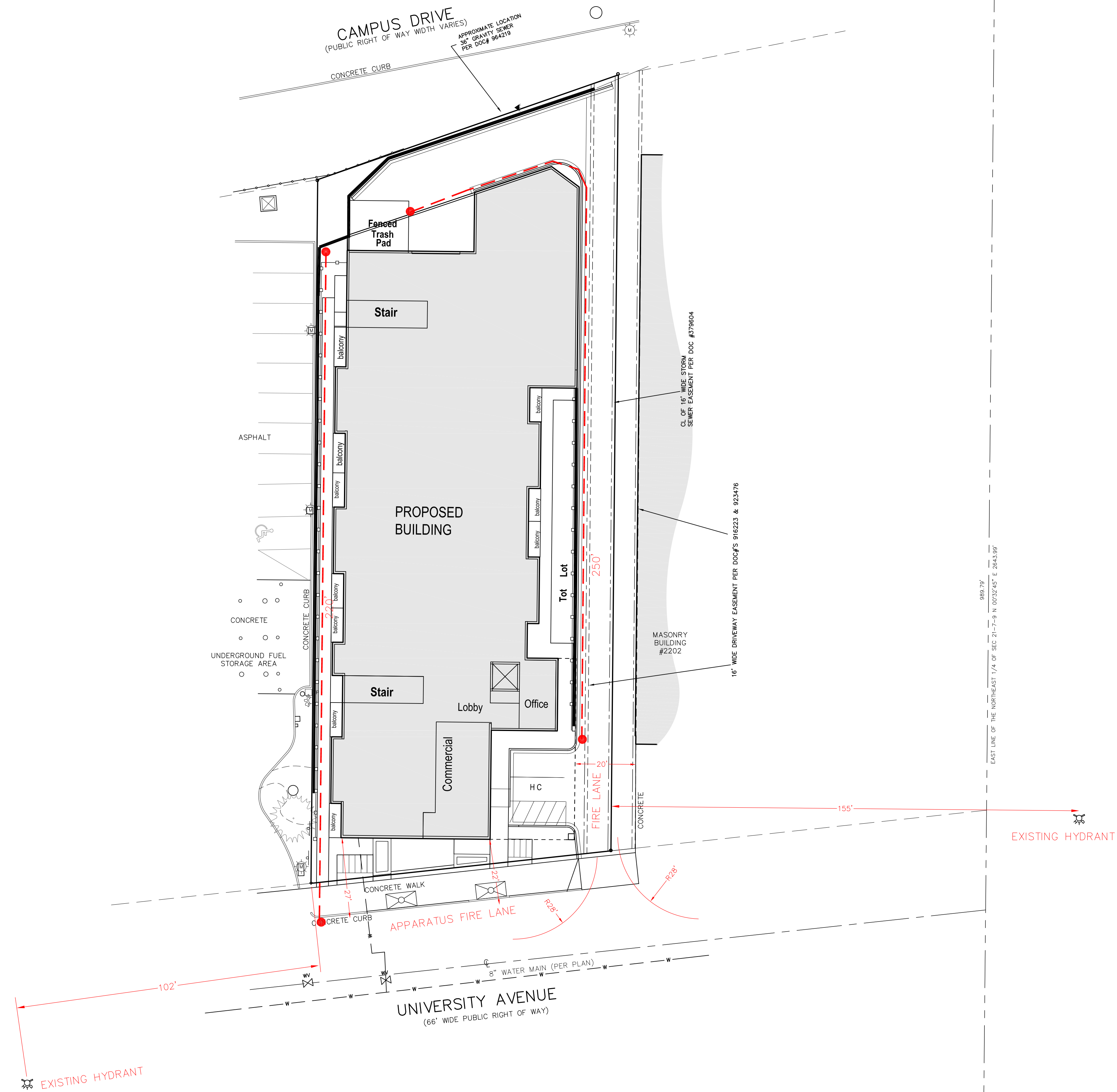






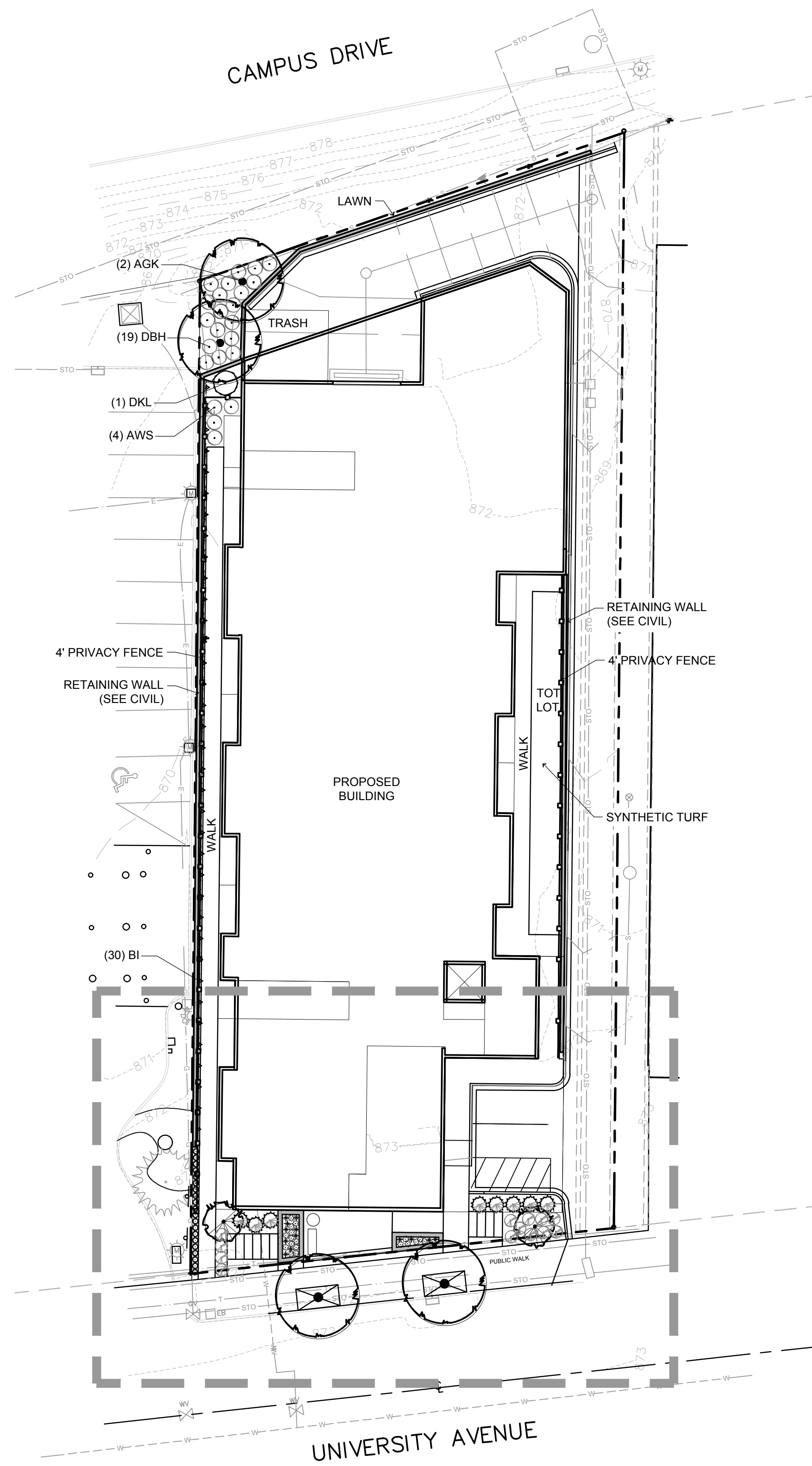
**MSP - UNIVERSITY AVE. APARTMENTS**  
 2208 UNIVERSITY AVE. MADISON, WISCONSIN

CJE NO.: I950R2  
 FEBRUARY 17, 2021



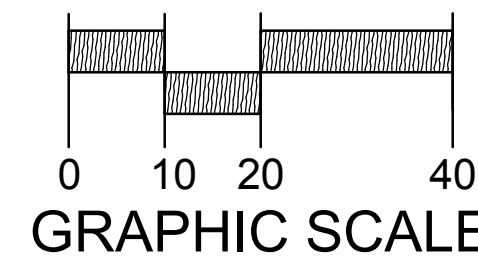
**FIRE ACCESS PLAN**





OVERALL PLAN

1" = 20'



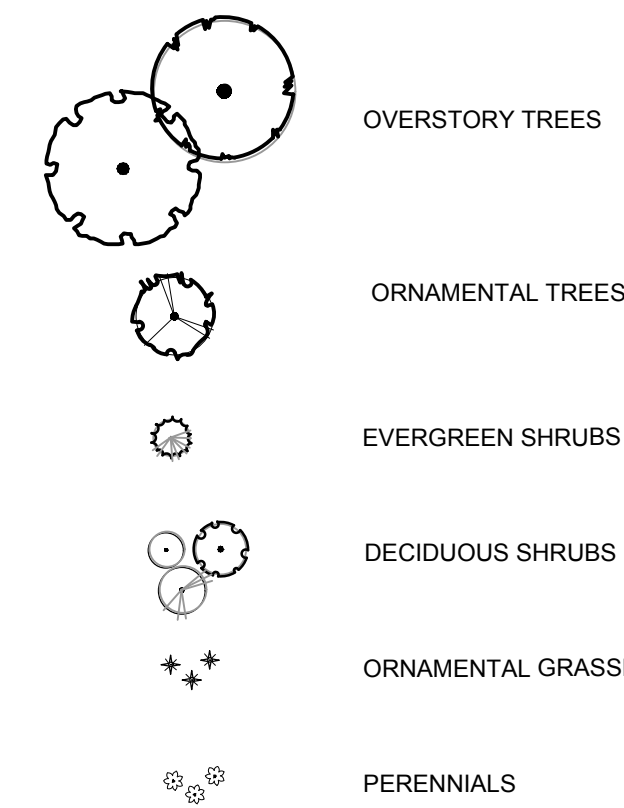
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PLANT SCHEDULE

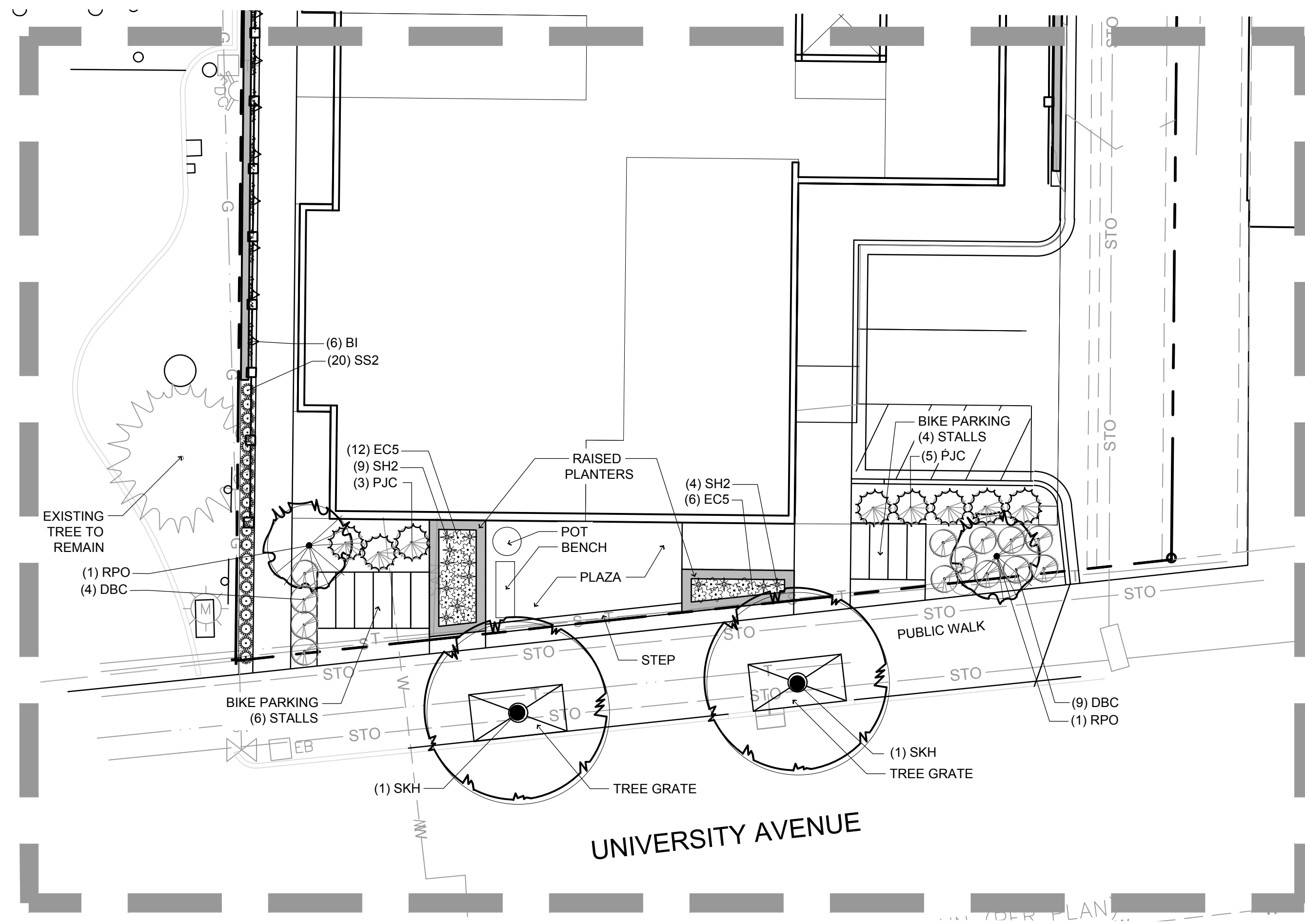
TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AGK	2	'Autumn Gold' Ginkgo	Ginkgo biloba 'Autumn Gold' TM	2" CAL	B&B	Full, matching heads
SKH	2	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2" CAL	B&B	Full, matching heads
RPO	2	Regal Prince English Oak	Quercus robur x bicolor 'Long'	2" CAL	B&B	Full, matching heads
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DBH	19	Dwarf Bush Honeysuckle	Diervilla lonicera	24" HT	CONT.	Full and evenly branched
DBC	13	Cool Splash Bush Honeysuckle	Diervilla sessilifolia 'Cool Splash'	24" HT	CONT.	Full and evenly branched
AWS	4	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	24" HT	CONT.	Full and evenly branched
DKL	1	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	30" HT	CONT.	
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	8	Kalloy Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" HT	CONT.	48" Spacing
VINES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
BI	36	Boston Ivy	Parthenocissus tricuspidata	1" GAL	POT	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SS2	20	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	1 GAL	POT	18" Spacing
SH2	13	Tara Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	18" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
EC5	18	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High' TM	4 1/2"	POT	18" Spacing

PLANT SYMBOL KEY



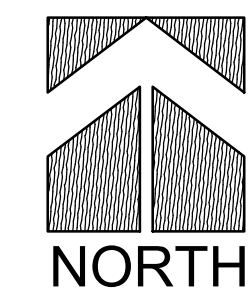
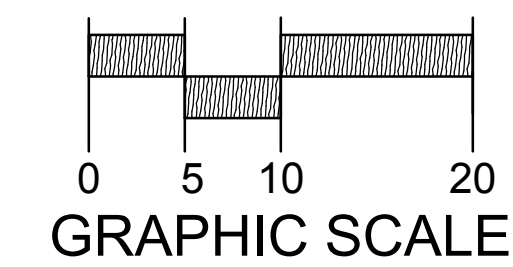
NOTE: CONTRACTOR SHALL CONTACT CITY FORESTRY 608-266-4816 AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE INSPECTING THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATION WITH THE LANDSCAPER.

SEE SHEET L2.1 FOR LANDSCAPE WORKSHEET



DETAILED PLAN

1" = 10'



Know what's below. Call before you dig.

UNIVERSITY AVE. APARTMENTS  
2208 UNIVERSITY AVE, MADISON, WI

PRELIMINARY  
LANDSCAPE PLAN

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

DESCRIPTION

DATE

--	--	--	--	--	--	--	--	--	--

© COPYRIGHT 2021 R.A. Smith, Inc.
DATE: 02/17/2021
SCALE: PER PLAN
JOB NO. 3200311
PROJECT MANAGER: LUKE HAAS, PLA
DESIGNED BY: LJH/NJW
CHECKED BY: LJH
<b>SHEET NUMBER</b>

L1.0








**GENERAL LANDSCAPE NOTES**

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing and approved by the general contractor or owner's representative prior to installation. All plants must be installed as per sizes shown on plant material schedule, unless approved by general contractor or owner's representative.
- All seeded areas and planting beds require topsoil to be placed within 3" of finish grade during rough grading operations. All parking lot islands require topsoil placed to a minimum depth of 18" to insure long term plant health. These requirements should be coordinated between the general contractor, grading contractor and landscape contractor.
- The landscape contractor to be responsible for placing a minimum depth of 3" of blended, prepared and non-compacted topsoil in all seeded areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade. Finished landscaped areas to be smooth, uniform and provide positive drainage away from all structures and pavement.
- Tree planting (see planting detail):  
Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 80% existing soil removed from excavation and 20% plant starter mix blended prior to backfilling holes. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.  
  
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Stake trees according to the staking detail.
- Shrub planting: all shrubs to be pocket planted with a 50/50 mix of plant starter and topsoil. Install topsoil into all plant beds as needed to achieve proper grade and replace undesirable soil (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not enviro-mulch). All perennial planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Plant bed preparation: all perennial, ornamental grass, annual and groundcover areas are required to receive a blend of organic soil amendments prior to installation. Rototill the following materials, at the ratio given, into the required 18" of topsoil to a depth of approx. 8" -  
  
Per every 100 square feet of bed area add:  
2 cu. ft. bale of peat moss  
2 lbs. of 5-10-5 slow release fertilizer  
1/4 cu. yard of composted manure
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed uniformly and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum depth of 3" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.  
  
An acceptable quality turf is defined as having no more than 10% of the total area with bare spots larger than 1 square foot and uniform coverage throughout all turf areas
- Seed mix for lawn areas - use only a premium quality seed mix installed at recommended rates. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% perennial rye applied at 5 lbs per 1,000 SF. Provide seed specifications to general contractor prior to installation.
- Synthetic turf shall be installed by a qualified contractor with experience in synthetic turf installation. Final construction drawings and specifications to be submitted to general contractor and owner prior to construction.
- Paving: Refer to civil plans for paving details and specifications.
- Site Furnishings: Table/Chairs and bench selections shall be coordinated through the general contractor and approved by the owner.
- 4' Cedar Fence: Fence shall be installed by a qualified contractor. Final construction drawings and specifications to be submitted to general contractor and owner prior to construction.
- Tree Grates: Neenah Foundary, Metropolitan Collection, Series No. R-8823. Install per manufacturer's specifications.
- The landscape contractor shall provide a design / build irrigation construction plan to the owner and municipality (if required) that complies with State and local code requirements for review and approval prior to construction. The Irrigation designer shall be certified by The Irrigation Association as a Commercial Irrigation Designer and have at least 5 years' experience designing irrigation systems of similar size and scope. The Irrigation system shall be metered to meet the requirements of the State and local codes; be fully automatic utilizing a weather based controller with rain/moisture sensors; zoned to water the turf and shrubs separately with minimum over throw on hardscapes, buildings and other structures; coverage of all plant / turf areas with head to head watering and be operational from a domestic water source provided by the owner. Turf areas shall be irrigated with pop-up rotary heads and all shrub / perennial beds shall be irrigated with a drip system. Contractor may use the following approved manufacturers Hunter, Rainbird or Toro. Provide first year wintertization and following spring startup. Landscape contractor shall provide a complete set of "As-Built" plans of the installed irrigation system to the owner on reproducible vellum.
- Warranty and replacements: Trees, evergreens, and shrubs to be guaranteed (100% replacement) for a minimum of one (1) year from the date of substantial project completion. Perennials, groundcovers, and ornamental grasses to be guaranteed for a minimum of one growing season from the date of substantial project completion. Perennials, groundcovers, and ornamental grasses planted after September 1st shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses and turf grass. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and insure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

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**CITY OF MADISON LANDSCAPE WORKSHEET**



**CITY OF MADISON  
LANDSCAPE WORKSHEET**  
Section 28.142 Madison General Ordinance

Project Location / Address 2208 University Ave.  
 Name of Project University Ave Apartments  
 Owner / Contact MSP Real Estate, Inc.  
 Contact Phone 414-259-2108 Contact Email mhammond@msphousing.com

**\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\***

**Applicability**  
 The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- No demolition of a principal building is involved.
- Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**  
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.  
 Total square footage of developed area 11,261 SF  
 Total landscape points required 188
- For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.  
 Total square footage of developed area \_\_\_\_\_  
 Five (5) acres = 217,800 square feet  
 First five (5) developed acres = 3,630 points  
 Remainder of developed area \_\_\_\_\_  
 Total landscape points required \_\_\_\_\_
- For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.  
 Total square footage of developed area \_\_\_\_\_  
 Total landscape points required \_\_\_\_\_

10/2013 1


**Tabulation of Points and Credits**  
 Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35			6	210
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			37	111
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			8	32
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			87	174
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
<b>Sub Totals</b>				0		527

**Total Number of Points Provided 527**

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

10/2013 2

DESCRIPTION									
DATE									
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com  CREATIVITY BEYOND ENGINEERING Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA									
UNIVERSITY AVE. APARTMENTS 2208 UNIVERSITY AVE, MADISON, WI					LANDSCAPE SPECIFICATIONS				
© COPYRIGHT 2021 R.A. Smith, Inc. DATE: 02/17/2021 SCALE: NTS JOB NO. 3200311 PROJECT MANAGER: LUKE HAAS, PLA DESIGNED BY: LJH/NJW CHECKED BY: LJH SHEET NUMBER L2.1									

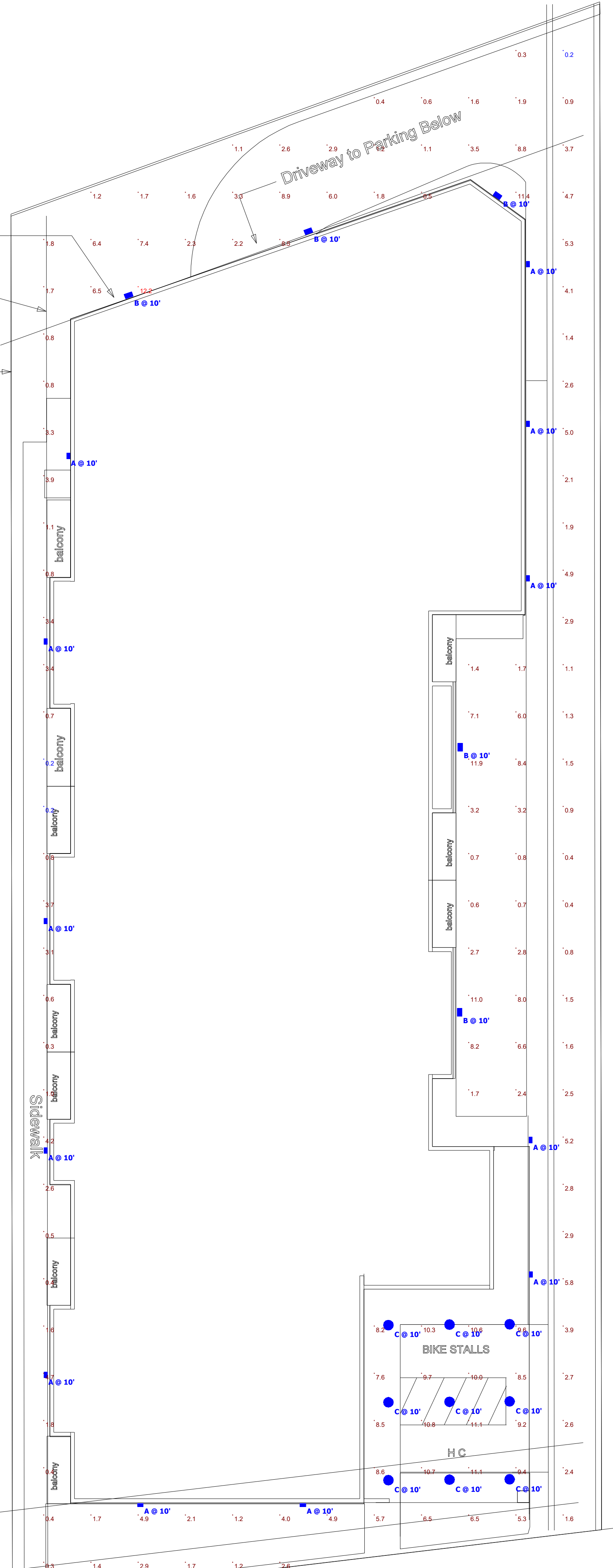






20' Rearyard Setback  
 6' Sideyard Setback  
 Fence Along Property Line

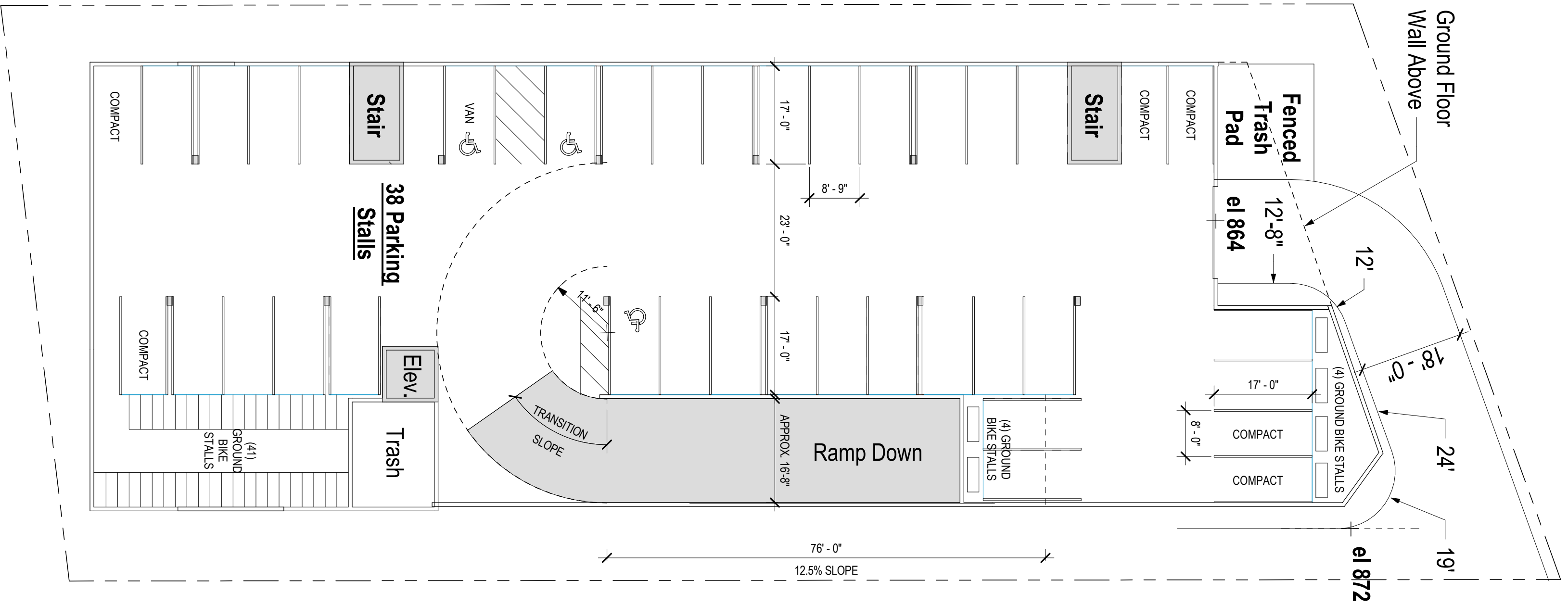
15' Residential Neighborhood Plan Setback  
 5' Commercial Neighborhood Plan Setback



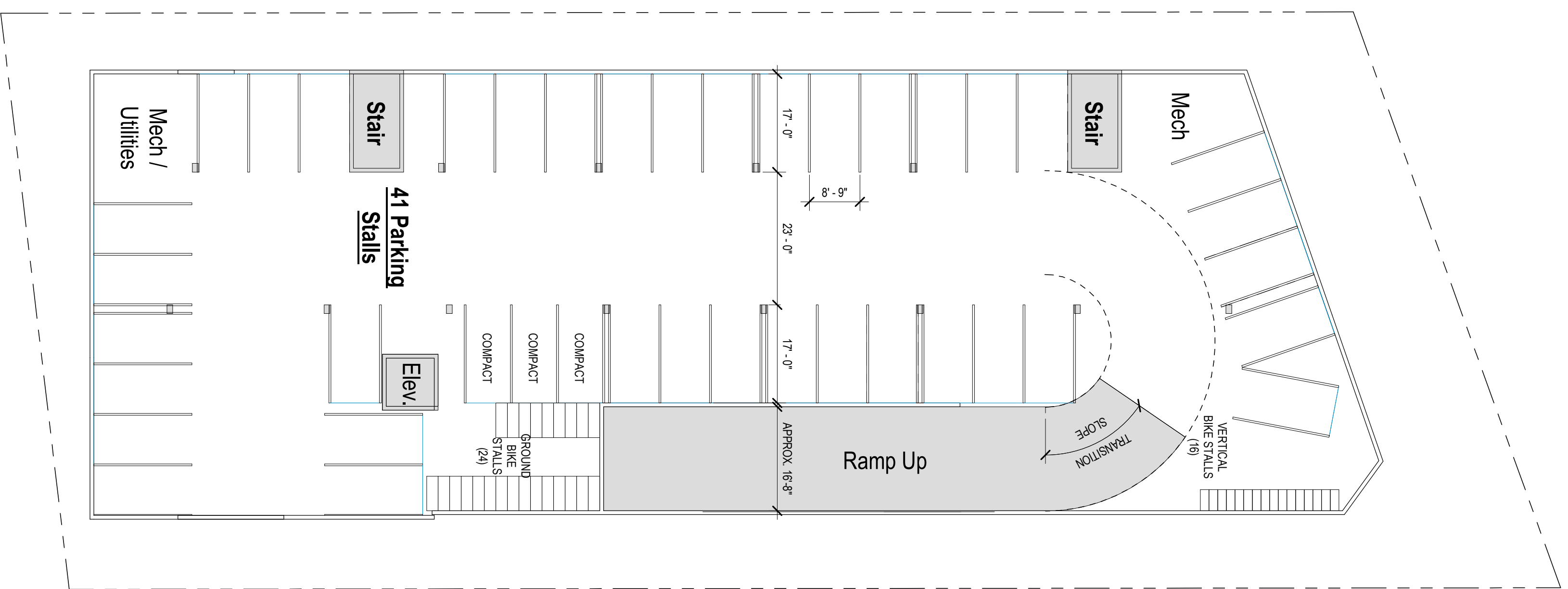
Plan View  
 Scale - 1" = 12ft

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
□	A	12	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	1163	10.0002
□	B	5	Lithonia Lighting	WDGE2 LED P3 30K 80CRI VW	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	3092	22.55
○	C	9	RAB LIGHTING INC.		CR1015229FAUNVW 8in Commercial downlight	1	1611	15.0301



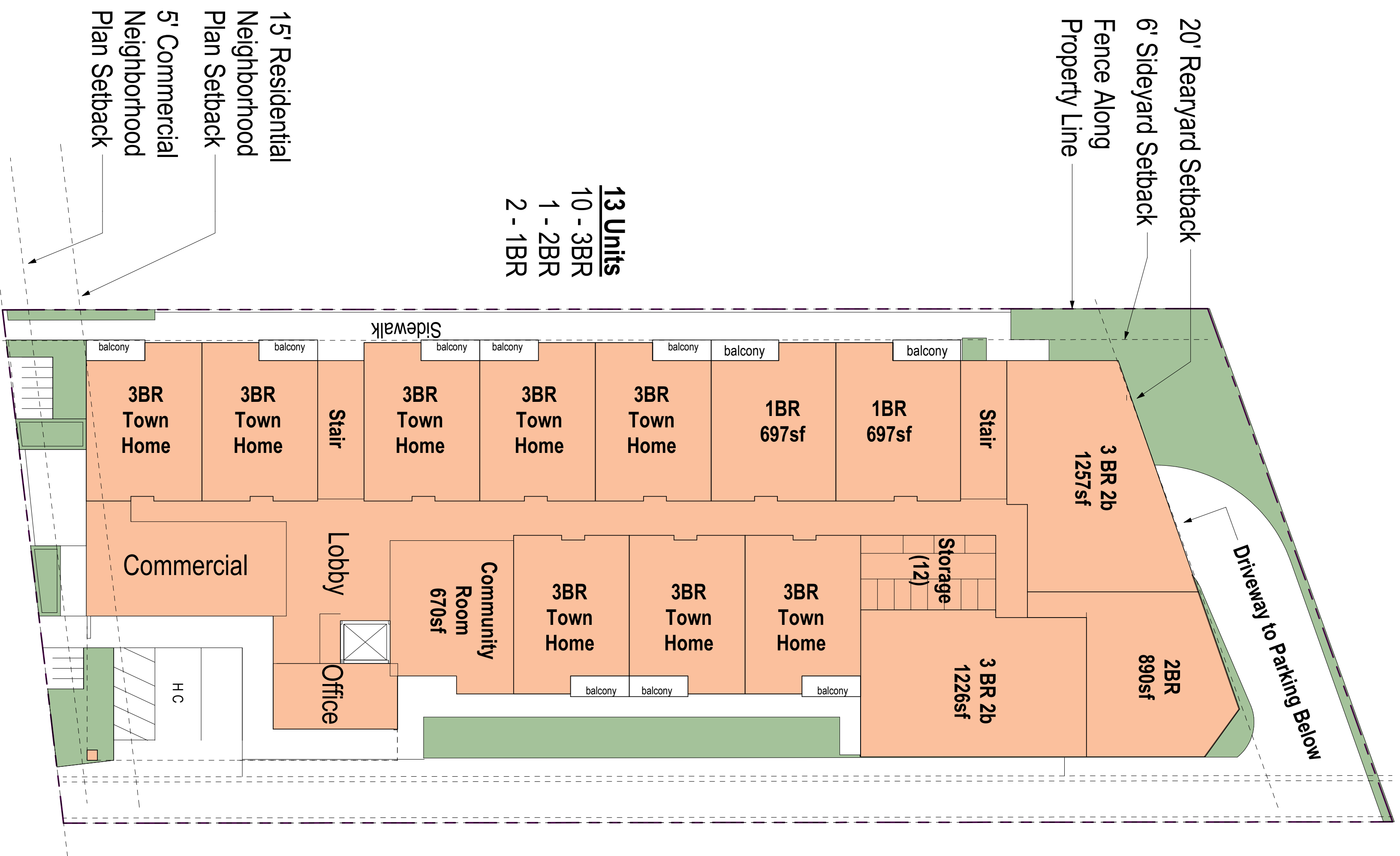


1 PARKING PLAN - UPPER LEVEL  
1/16" = 1'-0"



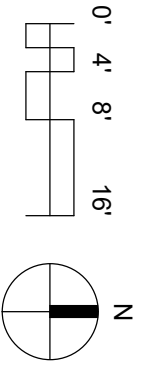
2 PARKING PLAN - LOWER LEVEL  
1/16" = 1'-0"



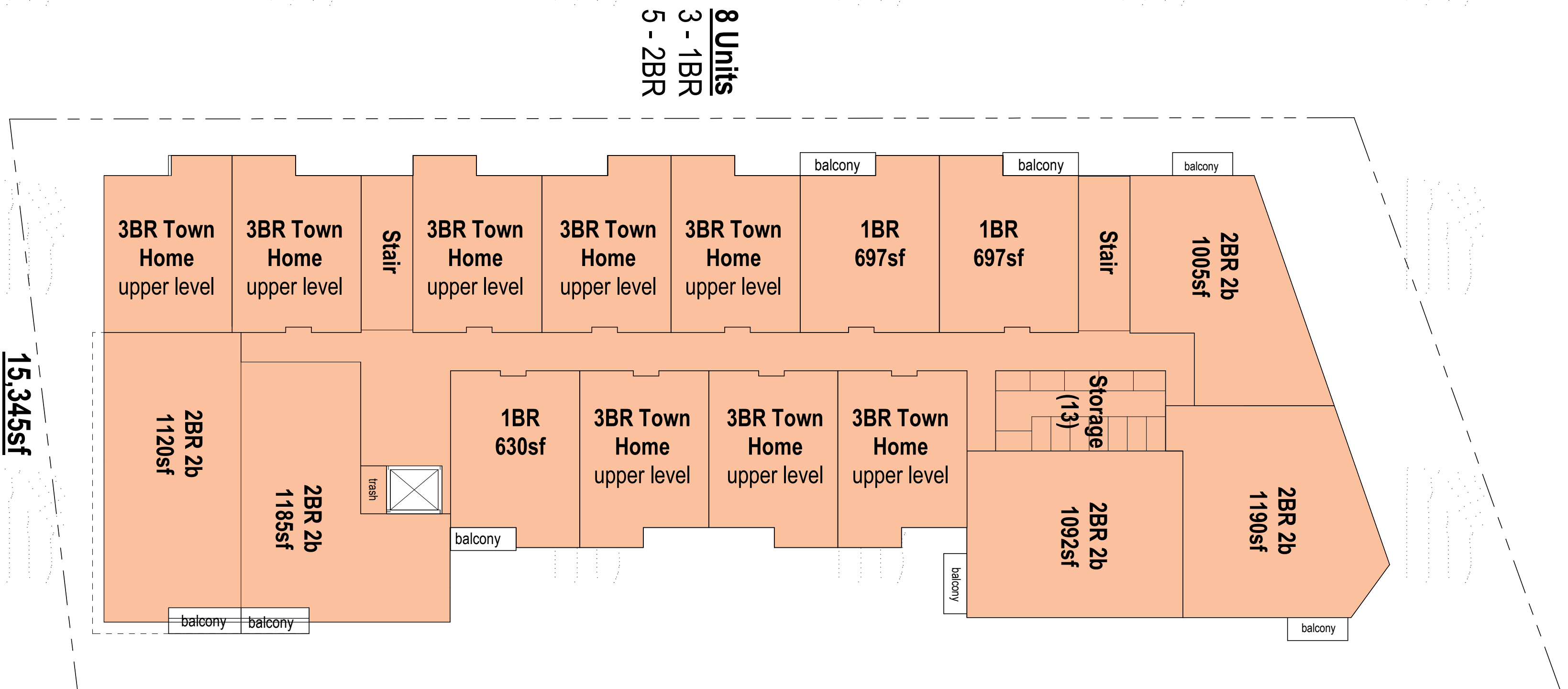


**13 Units**  
 10 - 3BR  
 1 - 2BR  
 2 - 1BR

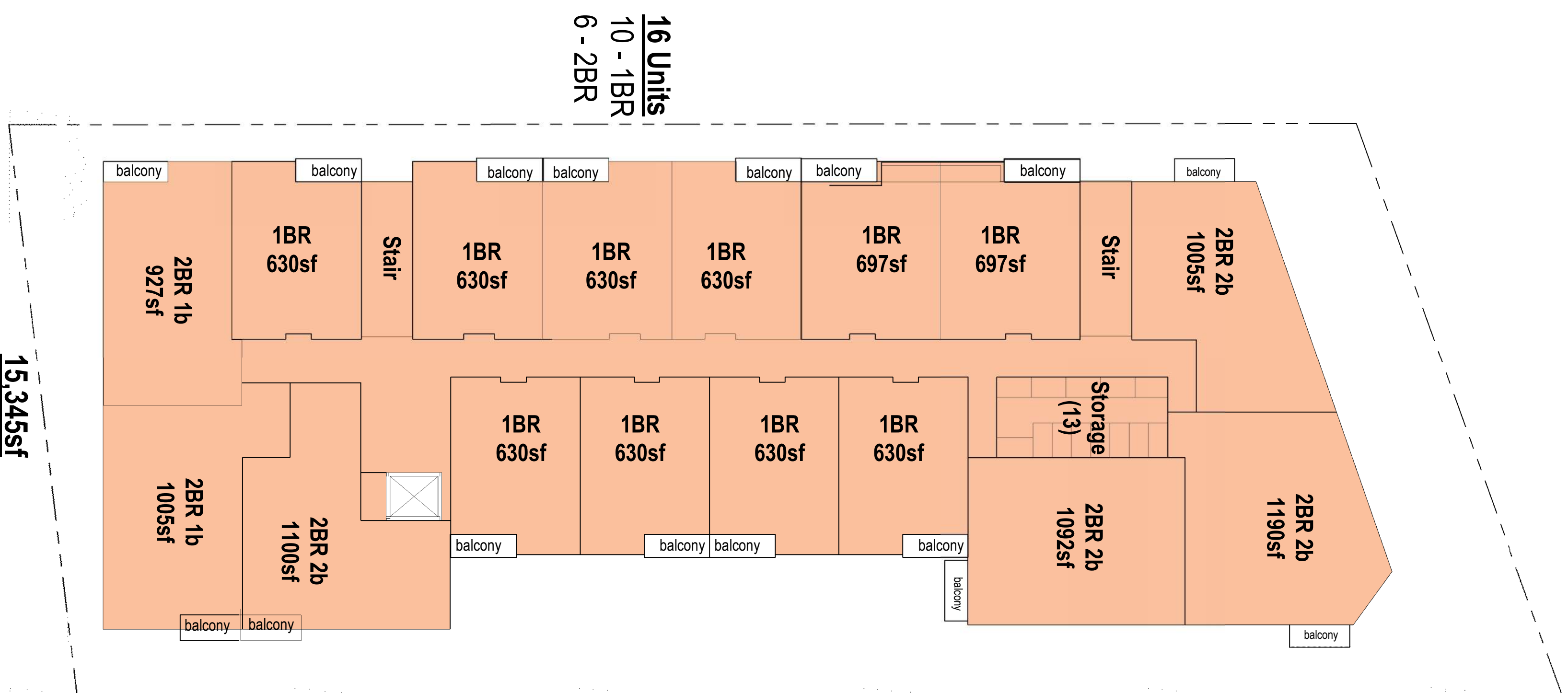
**GROUND FLOOR FOOTPRINT = 14,252sf**  
**79 UG Parking**  
**79 Units Total**  
 39 - 1BR  
 27 - 2BR  
 13 - 3BR





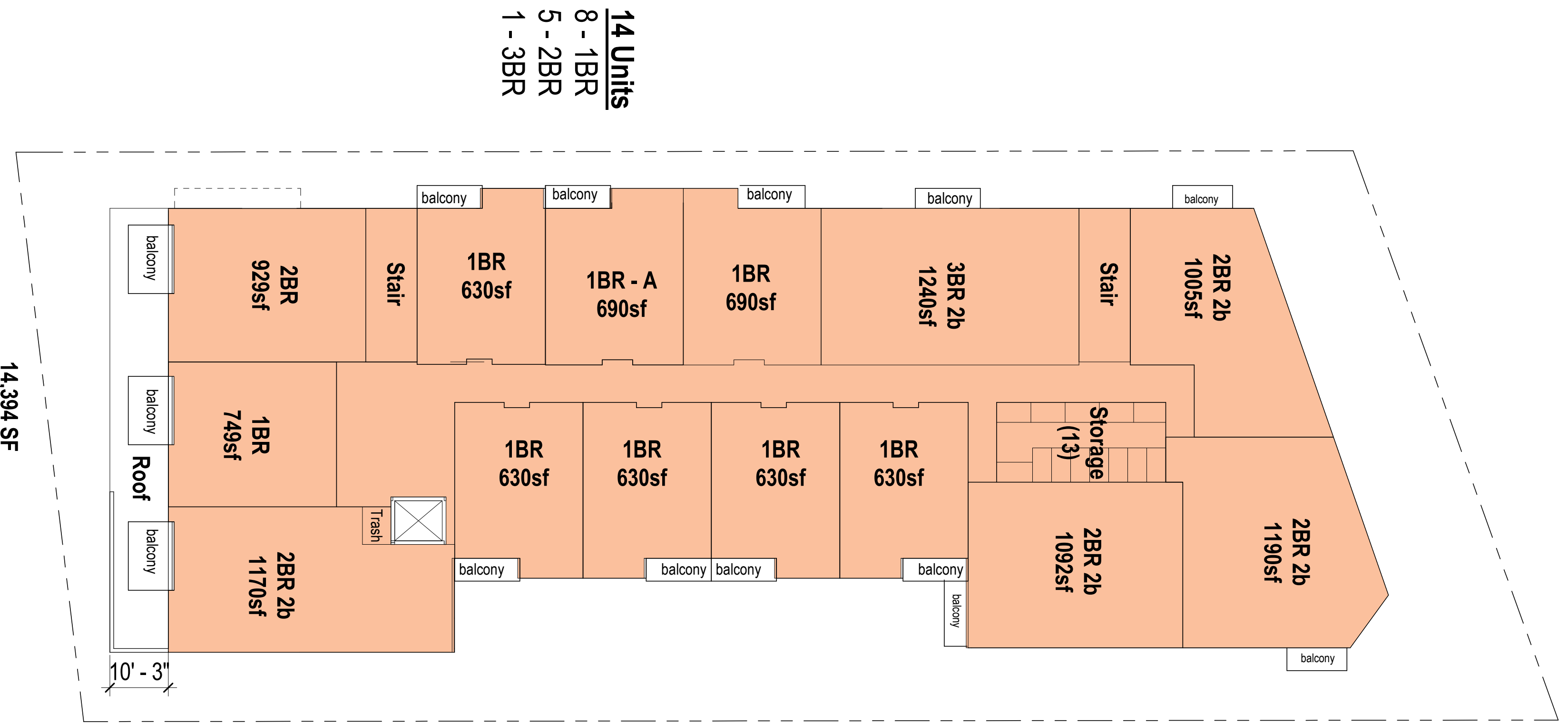


1 SECOND FLOOR PLAN  
 1/16" = 1'-0"

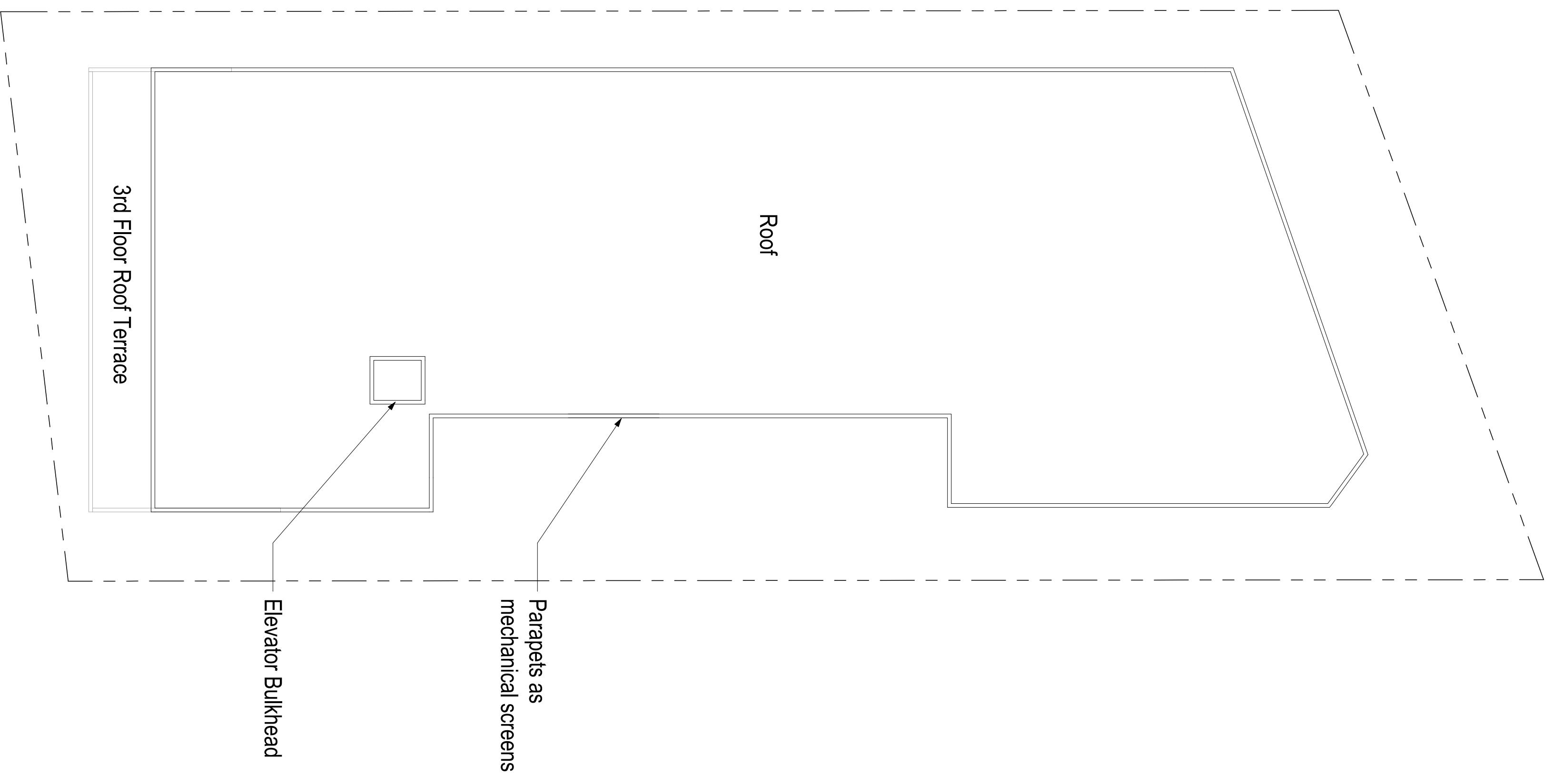


2 THIRD FLOOR PLAN  
 1/16" = 1'-0"

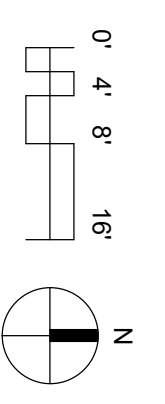




1 **4TH-6TH FLOOR.**  
 1/16" = 1'-0"



2 **ROOF PLAN**  
 1/16" = 1'-0"

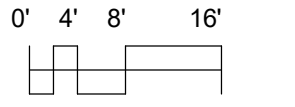






.East Elevation

A2.0







.North Elevation



.South Elevation





.West Elevation

**A2.1**  
0' 2' 4' 8'





A2.3

.Perspective View





# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

**Project Address:** 2208 UNIVERSITY AVE.

**Contact Name & Phone #:**

## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?</b> <b>If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A

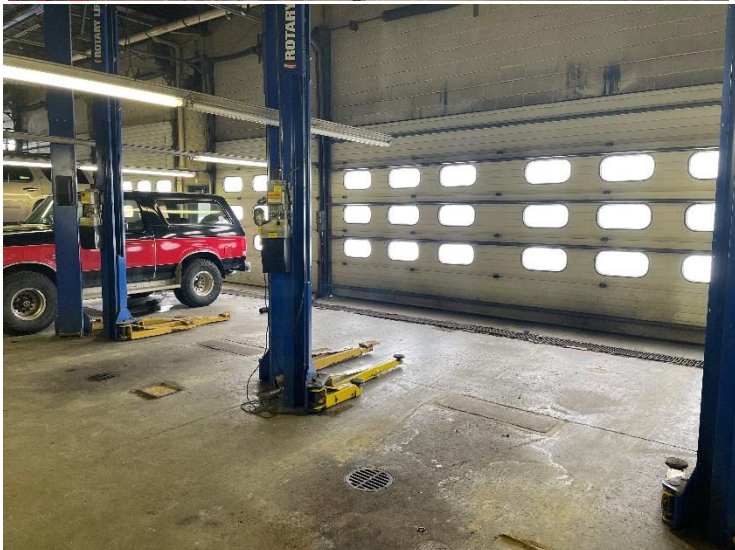
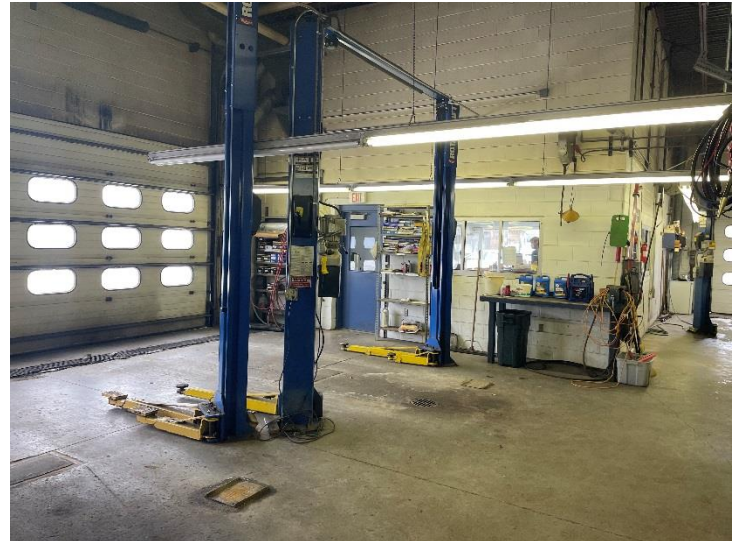
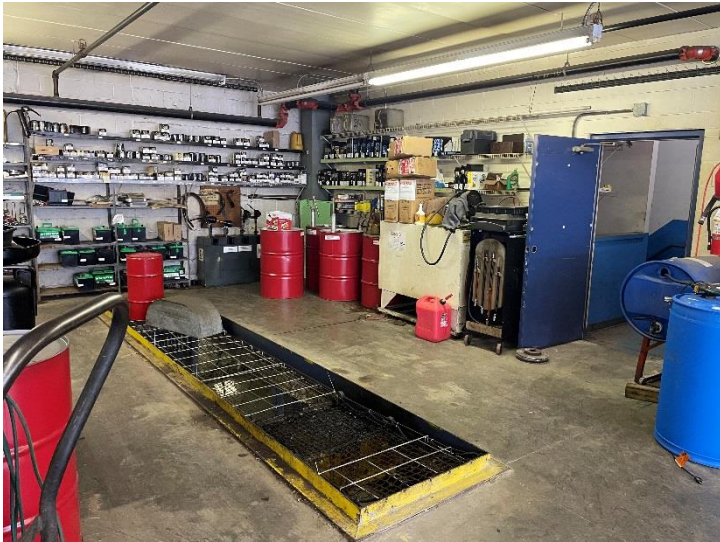
*Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.*

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.



## Demolition Permit Existing Building Photos – Interior





## Demolition Permit Existing Building Photos – Exterior

