

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: February 5, 2014

Action Requested

Informational Presentation

Initial Approval and/or Recommendation

UDC MEETING DATE: February 19, 2014

Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 901 East Washington Avenue

ALDERMANIC DISTRICT: 6 - Alder Marsha Rummel

OWNER/DEVELOPER (Partners and/or Principals)

Archipelago Village, LLC

ARCHITECT/DESIGNER/OR AGENT:

Steve Harms

P.O. Box 512

Tri-North Builders

Madison, WI 53701-0512

CONTACT PERSON: Steve Harms

Address: Tri-North Builders

2625 Research Park Drive, Fitchburg, WI 53711

Phone: 608-271-8717

Fax: _____

E-mail address: sharms@tri-north.com

TYPE OF PROJECT:

(See Section A for:)

Planned Unit Development (PUD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Community Development (PCD)

General Development Plan (GDP)

Specific Implementation Plan (SIP)

Planned Residential Development (PRD)

New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)

School, Public Building or Space (Fee may be required)

New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.

Planned Commercial Site

(See Section B for:)

New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

Comprehensive Design Review* (Fee required)

Street Graphics Variance* (Fee required)

Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

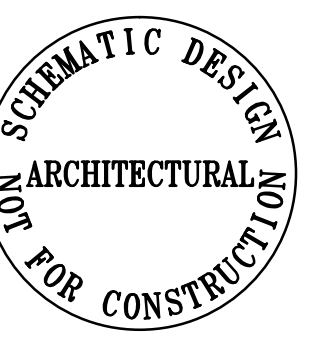
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

EAST WASHINGTON AVE
132' RIGHT-OF-WAY

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
NEW AREA 259-1181

Henneman Engineering Inc.
Champaign: 1605 South State Street
Champaign, Illinois 61820-7240
T 217.359.1514 F 217.359.9354
Email: info@henneman.com
Website: http://www.henneman.com
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JOB NO: 13-9000

SEAL



ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON AVENUE, MADISON WI

CITY OF MADISON SUBMITTAL

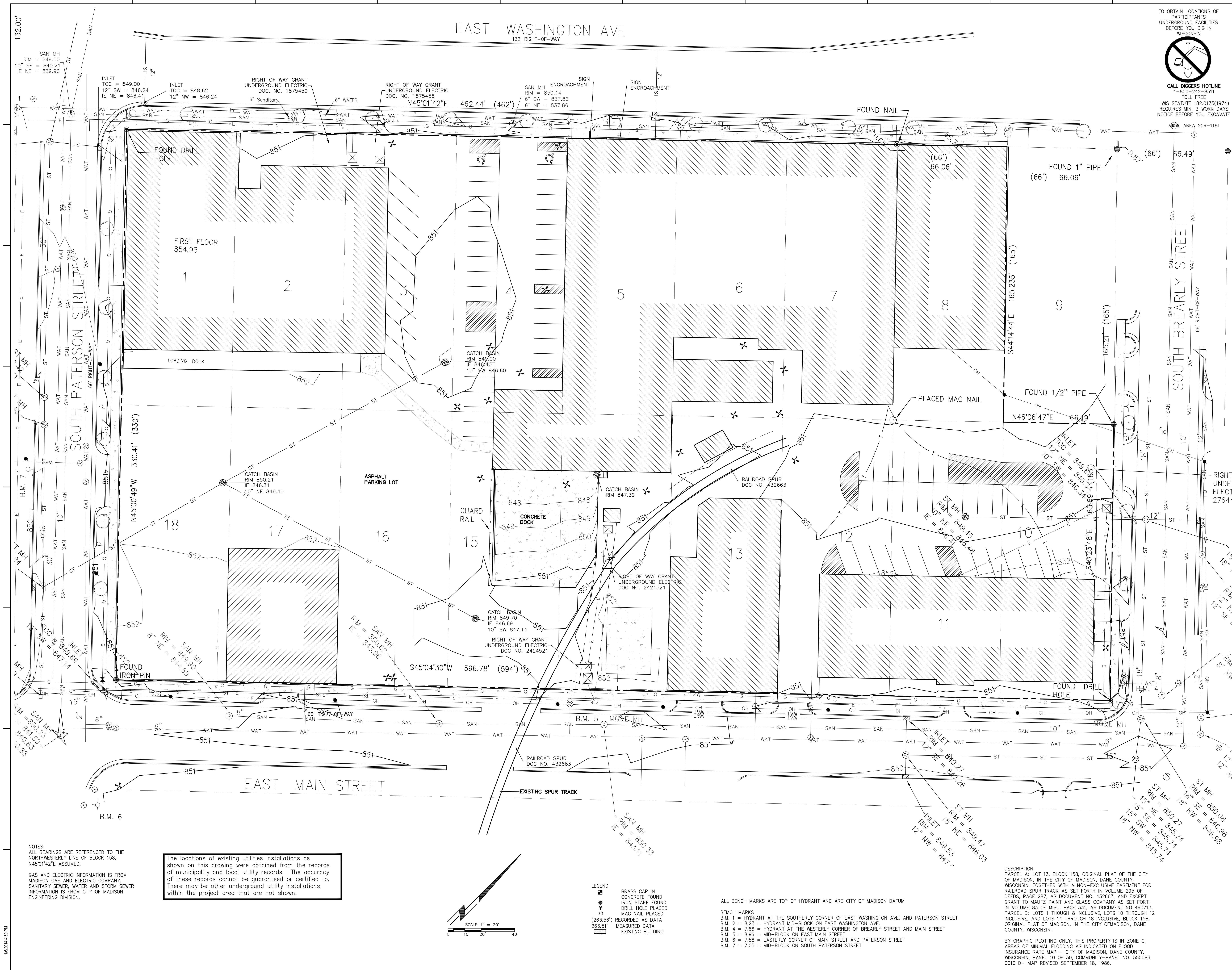
DRAWN BY: AJG
APPROVED BY: MLS
CHECKED BY: MLS
ISSUE DATE: FEBRUARY 5, 2014

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:
EXISTING CONDITIONS SITE PLAN
TOPOGRAPHIC SURVEY

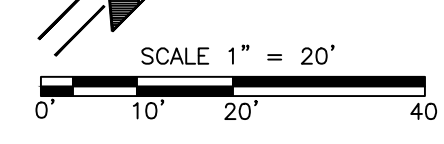
SV100
SHEET NO.



NOTES:
ALL BEARINGS ARE REFERENCED TO THE NORTH-WESTERLY LINE OF BLOCK 158, N45°01'42"E ASSUMED.
GAS AND ELECTRIC INFORMATION IS FROM MADISON GAS AND ELECTRIC COMPANY. SANITARY SEWER, WATER AND STORM SEWER INFORMATION IS FROM CITY OF MADISON ENGINEERING DIVISION.

The locations of existing utilities installations as shown on this drawing were obtained from the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified. There may be other underground utility installations within the project area that are not shown.

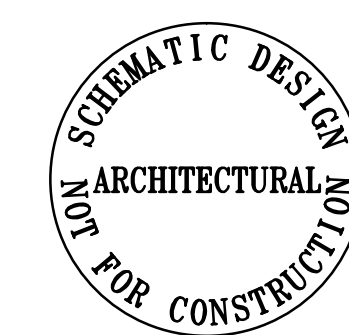
LEGEND
● BRASS CAP IN CONCRETE FOUND IRON STAKE FOUND DRILL HOLE PLACED MAG NAIL PLACED
(263.56') RECORDED AS DATA
263.51' MEASURED DATA
EXISTING BUILDING



ALL BENCH MARKS ARE TOP OF HYDRANT AND ARE CITY OF MADISON DATUM
BENCH MARKS
B.M. 1 = HYDRANT AT THE SOUTHERLY CORNER OF EAST WASHINGTON AVE. AND PATERSON STREET
B.M. 2 = 8.23 = HYDRANT MID-BLOCK ON EAST WASHINGTON AVE.
B.M. 4 = 7.66 = HYDRANT AT THE WESTERLY CORNER OF BREARLY STREET AND MAIN STREET
B.M. 5 = 8.96 = MID-BLOCK ON EAST MAIN STREET
B.M. 6 = 7.58 = EASTERLY CORNER OF MAIN STREET AND PATERSON STREET
B.M. 7 = 7.05 = MID-BLOCK ON SOUTH PATERSON STREET

DESCRIPTION:
PARCEL A: LOT 13, BLOCK 158, ORIGINAL PLAT OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN, TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR RAILROAD SPUR TRACK AS SET FORTH IN VOLUME 295 OF DEEDS, PAGE 287, AS DOCUMENT NO. 432663, AND EXCEPT GRANT TO MAUTZ PAINT AND GLASS COMPANY AS SET FORTH IN VOLUME 83 OF MISC. PAGE 331, AS DOCUMENT NO. 490713, PARCEL B: LOTS 1 THROUGH 8 INCLUSIVE, LOTS 10 THROUGH 12 INCLUSIVE, AND LOTS 14 THROUGH 18 INCLUSIVE, BLOCK 158, ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS IN ZONE C. AREAS OF MINIMAL FLOODING AS INDICATED ON FLOOD INSURANCE RATE MAP - CITY OF MADISON, DANE COUNTY, WISCONSIN, PANEL 10 OF 30, COMMUNITY-PANEL NO. 550083 0010 D- MAP REVISED SEPTEMBER 18, 1986.

SEAL



FC IR

ARCHIPELAGO VILLAGE 900 BLOCK EAST WASHINGTON AVENUE, MADISON WI

CITY OF MADISON SUBMITTAL

DRAWN BY: AJG
APPROVED BY: MLS
CHECKED BY: MLS
ISSUE DATE: FEBRUARY 5, 2014

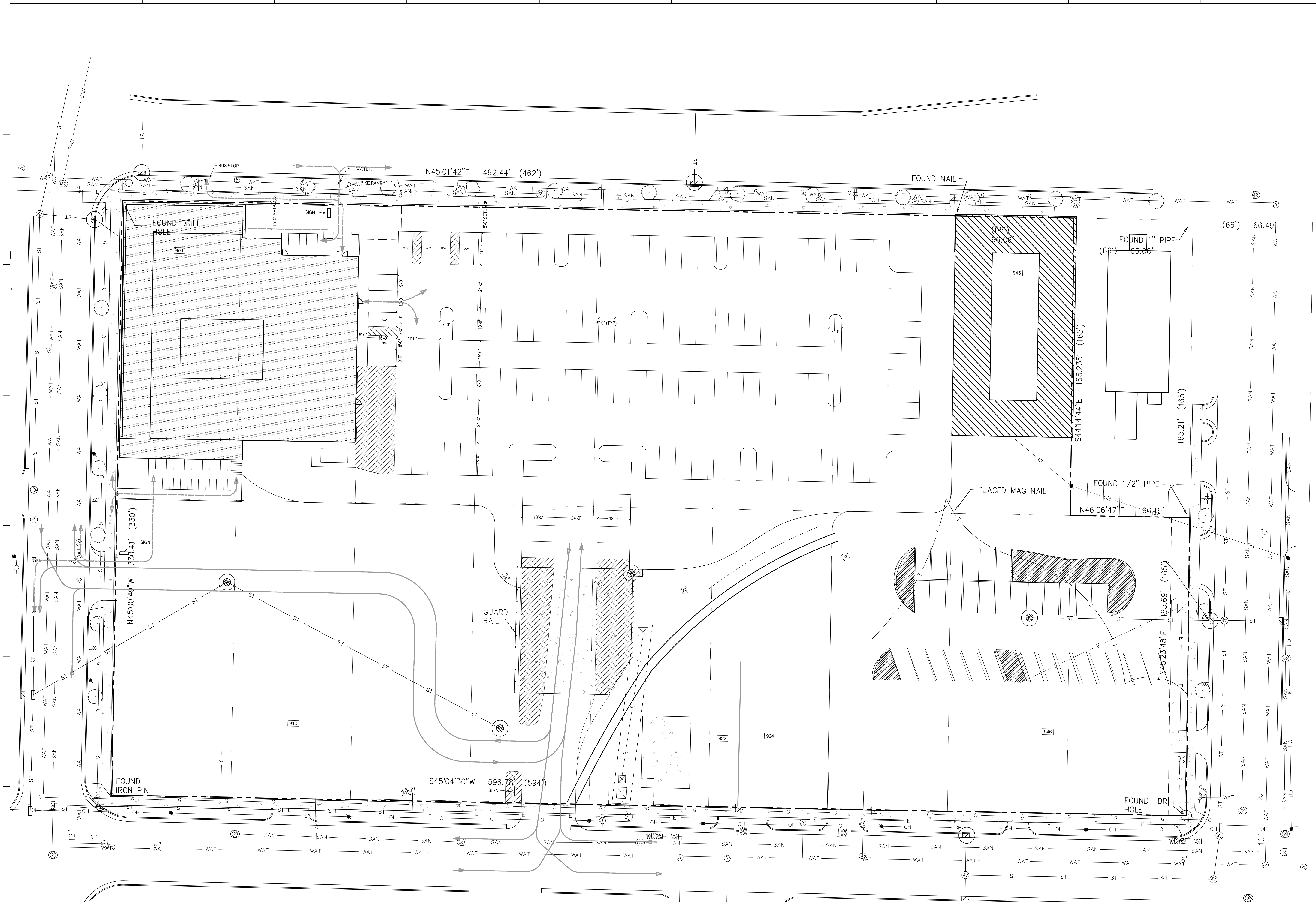
REVISIONS

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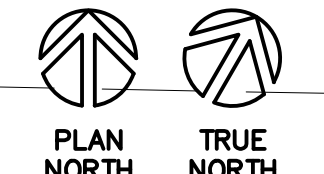
SHEET TITLE:
NEW SITE PLAN

C101

SHEET NO.



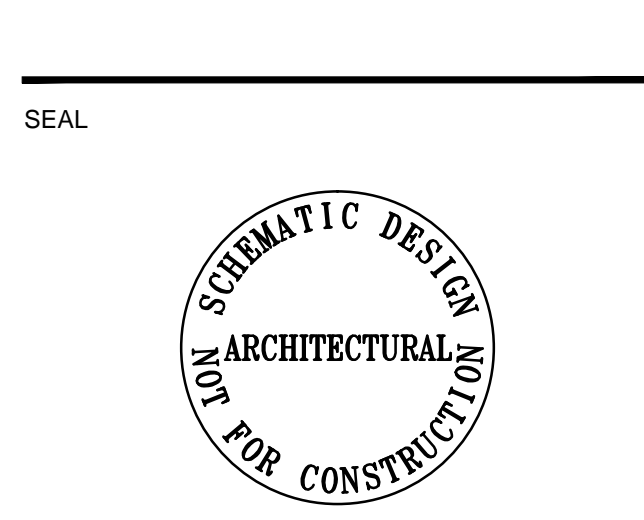
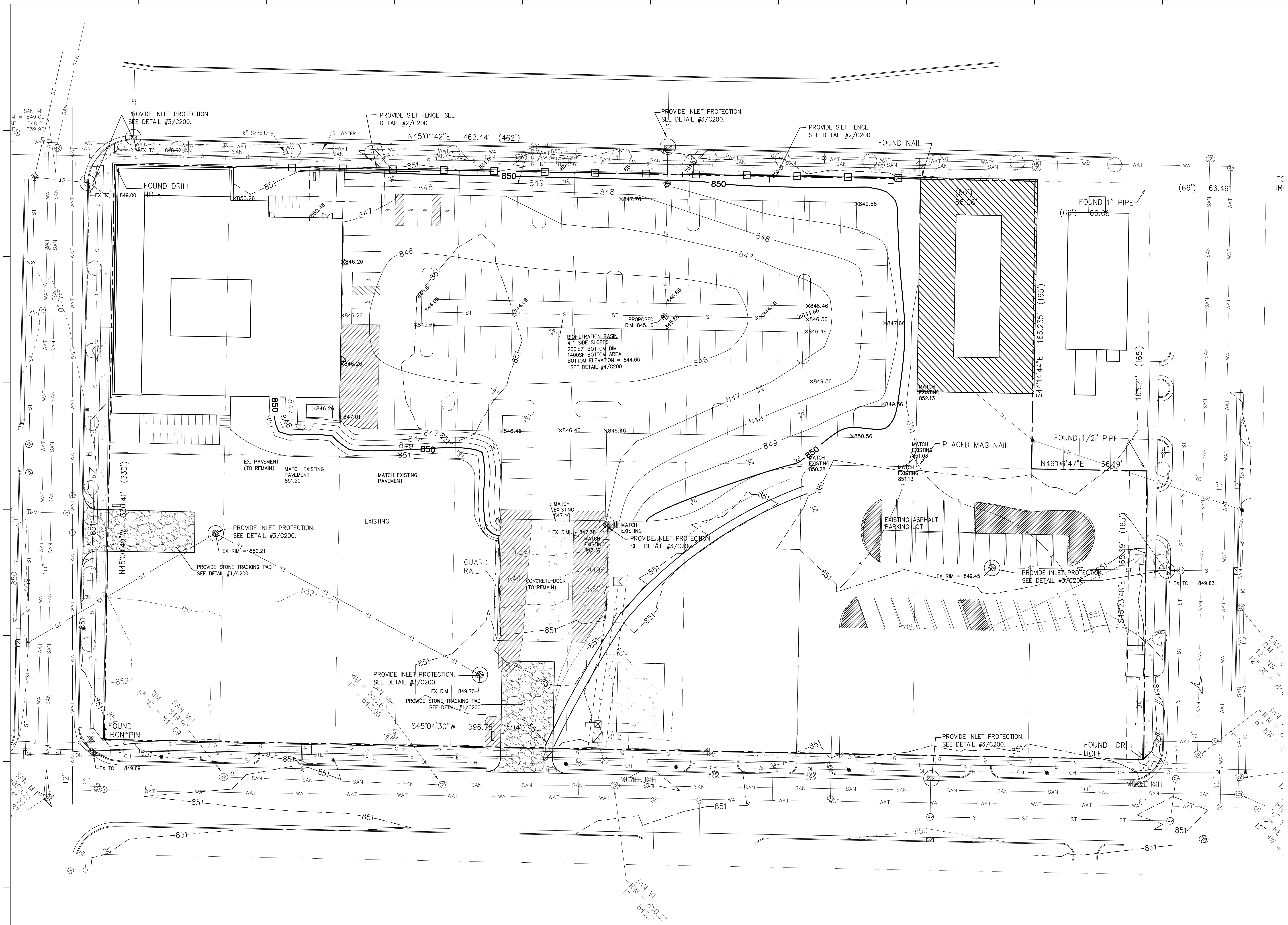
1 NEW SITE PLAN
SCALE: 1" = 20'-0"
0 10' 20' 30' 50'



LEGEND
 --- PEDESTRIAN ACCESS ROUTE
 --- BIKE ACCESS ROUTE
 --- CAR ACCESS ROUTE

NOTES
 1. PARKING STALLS
 TYPICAL 115
 ADA 6
 TOTAL 121

2/4/2014 8:46 AM



ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON
AVENUE, MADISON WI

CITY OF MADISON SUBMITTAL

DRAWN BY: AJG
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REVISIONS

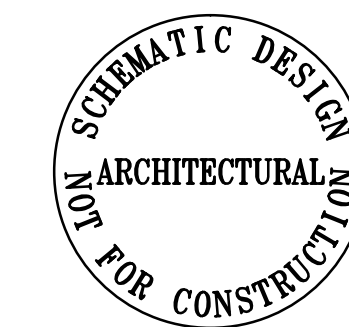
NO.	DATE	DESCRIPTION

SHEET TITLE:
SITE GRADING AND
EROSION CONTROL PLAN

C102
SHEET NO.

1 SITE GRADING AND EROSION CONTROL PLAN
SCALE: 1" = 20'-0"
PLAN NORTH TRUE NORTH

SEAL



**ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON
AVENUE, MADISON WI**

CITY OF MADISON SUBMITTAL

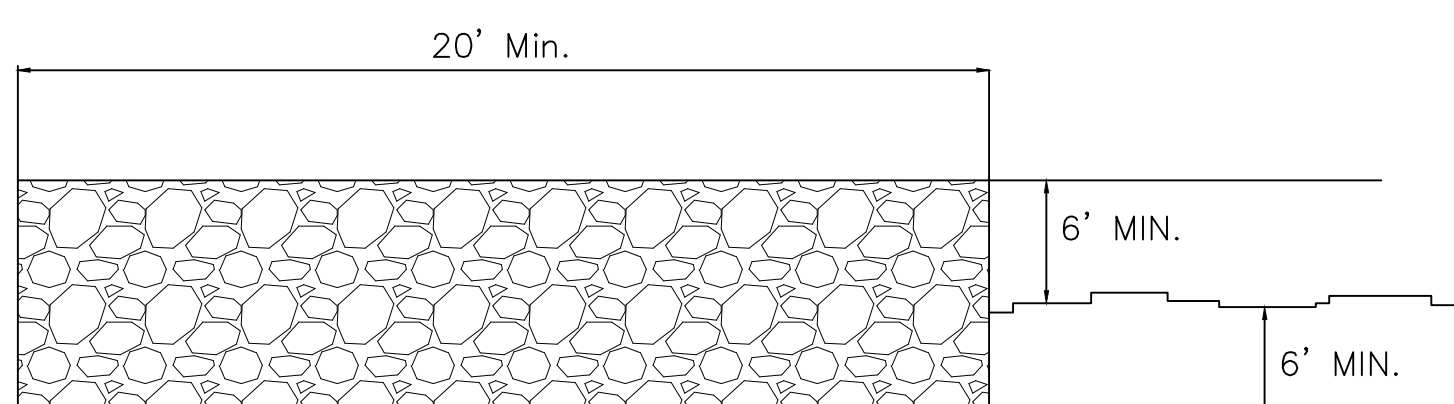
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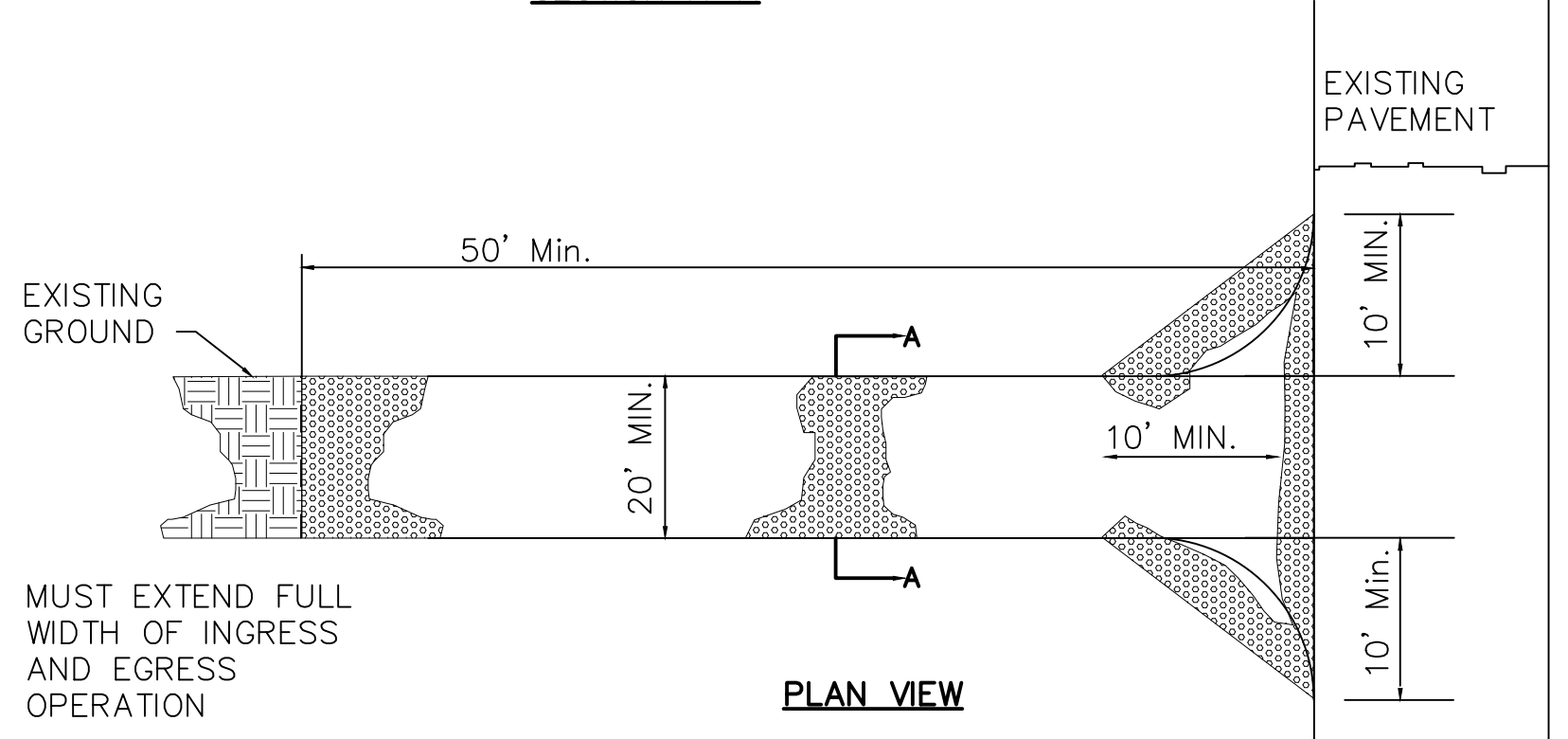
SHEET TITLE:
**EROSION CONTROL AND
STORMWATER DETAILS**

C200
SHEET NO.

- GENERAL NOTES**
DETAILS OF CONSTRUCTION NOT SHOWN SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180°; B) HOOK THE END OF EACH SILT FENCE LENGTH.



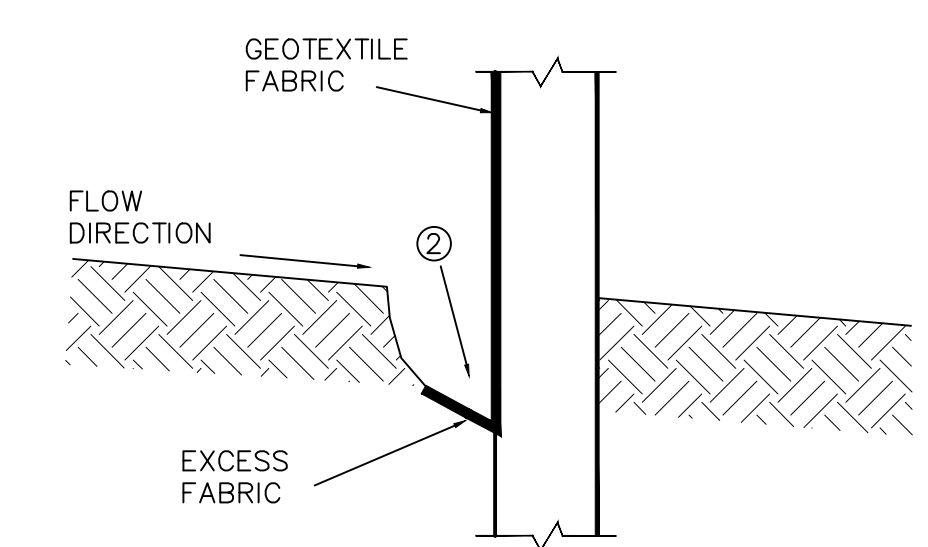
SECTION A-A



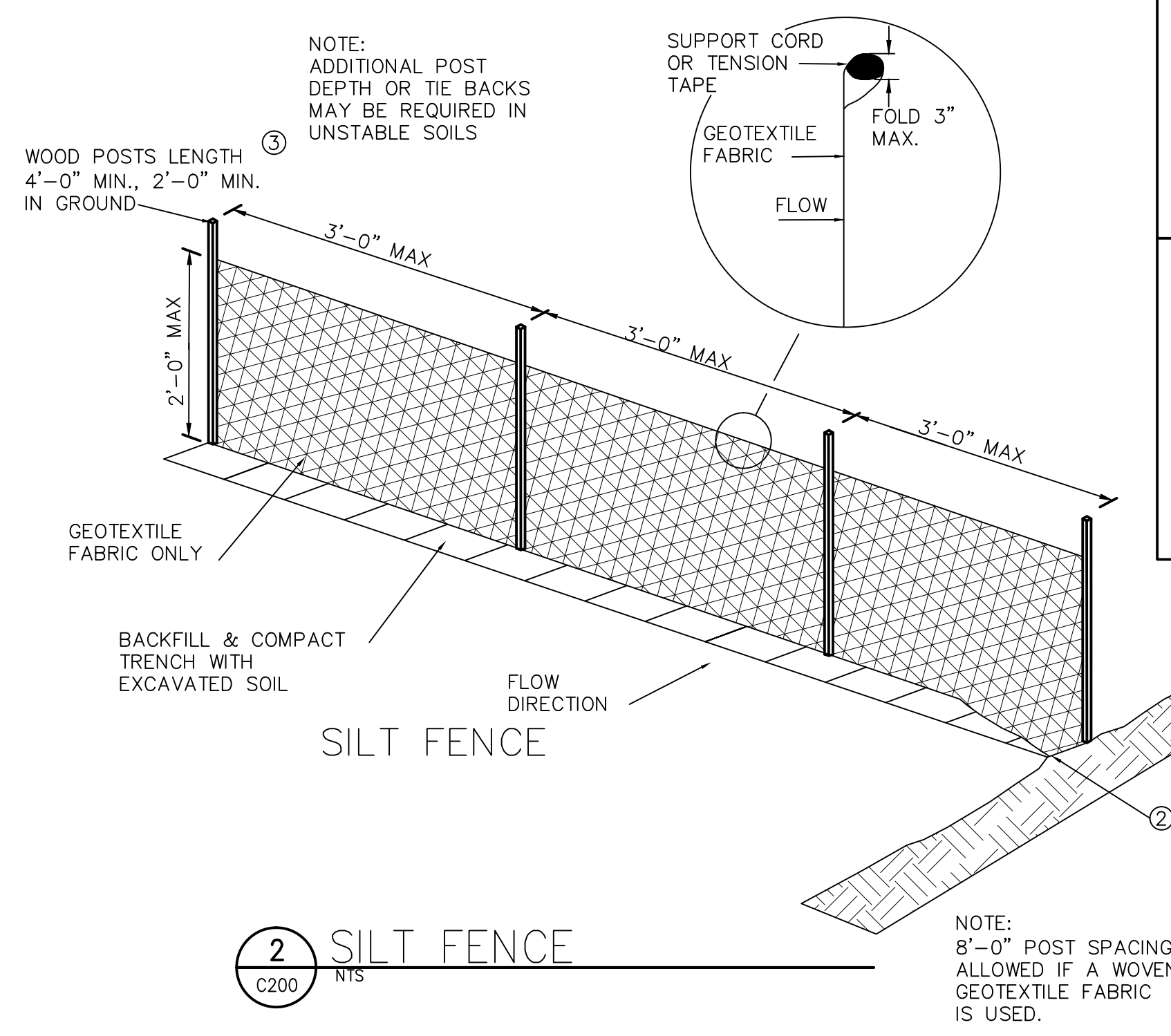
PLAN VIEW

- NOTES:**
- TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
 - LENGTH - MINIMUM OF 50'
 - WIDTH - 20' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDED A TURNING RADIUS.
 - STONE - CLEAR OR WASHED (3"-6" SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 8" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

TRACKING MAT FOR CONSTRUCTION EGRESS POINTS



TRENCH DETAIL



2 SILT FENCE
C200 NTS

ENGINEERED SOIL COMPOSITION - THE SOIL SHALL BE ENGINEERED TO THE FOLLOWING SPECIFICATIONS:
(1) THE PLANTING MIXTURE SHALL CONSIST OF A MIXTURE OF SAND AND COMPOST. THE MIX SHALL BE DESIGNED TO APPROXIMATE THE FOLLOWING PERCENTAGES:

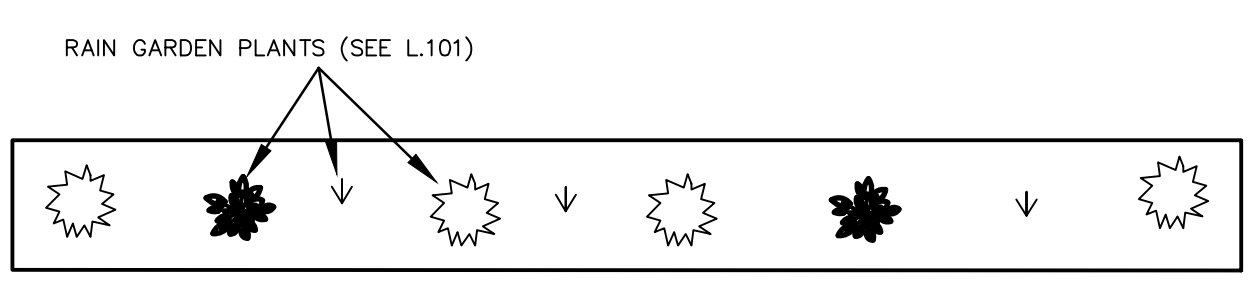
ENGINEERED SOIL COMPONENT	PERCENTAGE COMPOSITION (BY VOLUME)
MINERAL (SiO2) SAND	70% - 85%
COMPOST	15% - 30%

NOTE: THIS MIXTURE MEETS THE EQUIVALENCY REQUIREMENTS OF S. NR 151.12(5)(C), WIS. ADM. CODE.

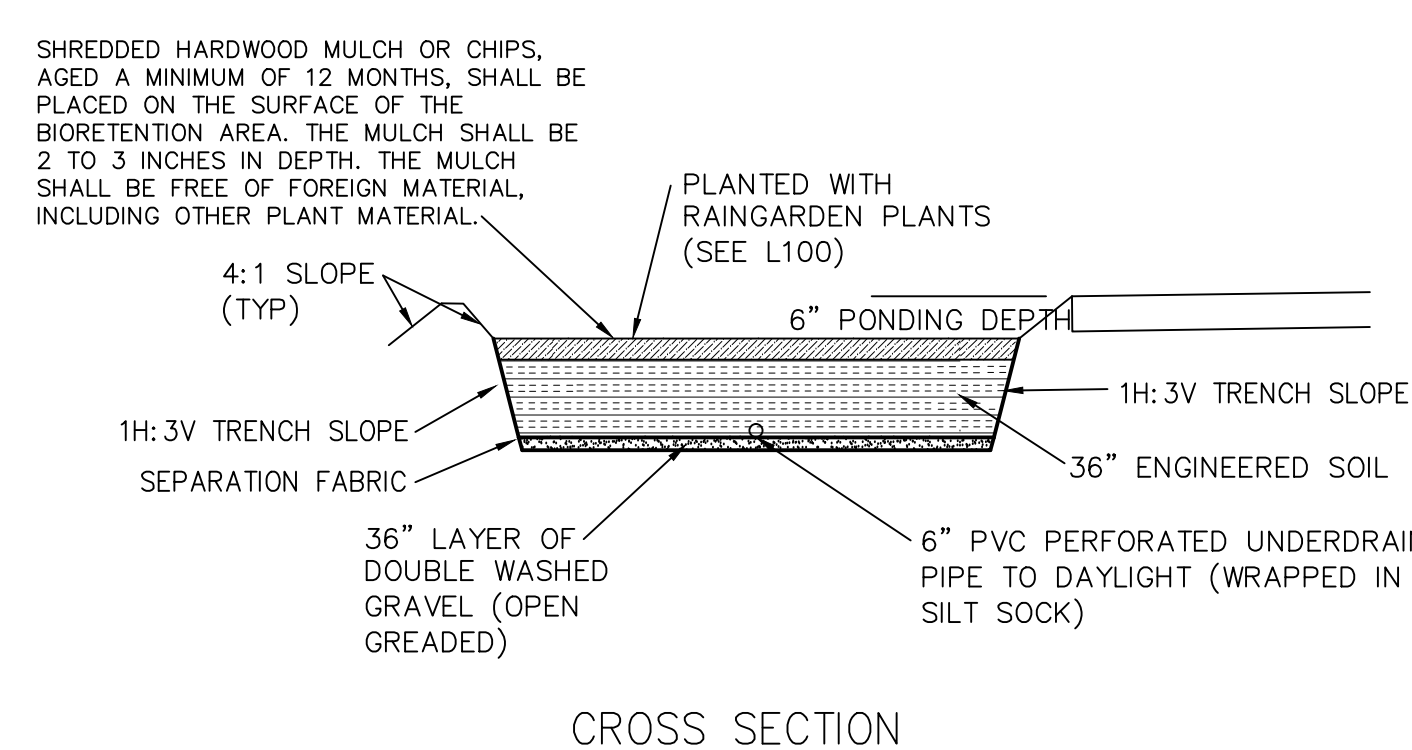
- THE SAND SHALL MEET OF THE FOLLOWING GRADATION REQUIREMENTS:
 - USDA COARSE SAND (.02 - .04 INCHES)
 - ASTM C33 (FINE AGGREGATE CONCRETE SAND)
- THE SAND COMPONENT SHALL CONSIST OF MINERAL SAND THAT IS AT LEAST 97% SiO2. SUBSTITUTIONS, SUCH AS CALCIUM CARBONATED SAND, DOLOMITIC SAND, MANUFACTURED SAND OR STONE DUST ARE NOT ALLOWED. THE SAND SHALL BE WASHED TO REMOVE CLAY AND SILT PARTICLES, AND WELL-DRAINED PRIOR TO MIXING.
- THE ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER 1 INCH IN DIAMETER. NOOTHER MATERIALS SHALL BE MIXED WITH THE PLANTING SOIL THAT MAY BE HARMFUL TO PLANT GROWTH OR PROVE A HINDRANCE TO PLANTING OR MAINTENANCE.
- THE ENGINEERED SOIL MIX SHALL HAVE A PH BETWEEN 5.5 AND 6.5.
- THE ENGINEERED SOIL MIX SHALL HAVE ADEQUATE NUTRIENT CONTENT TO MEET PLANT GROWTH REQUIREMENTS.

CONSTRUCTION SEQUENCING AND OVERSIGHT - A PERSON TRAINED AND EXPERIENCED IN THE CONSTRUCTION, OPERATION AND MAINTENANCE OF INFILTRATION DEVICES SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE DEVICE. THE FOLLOWING APPLY:

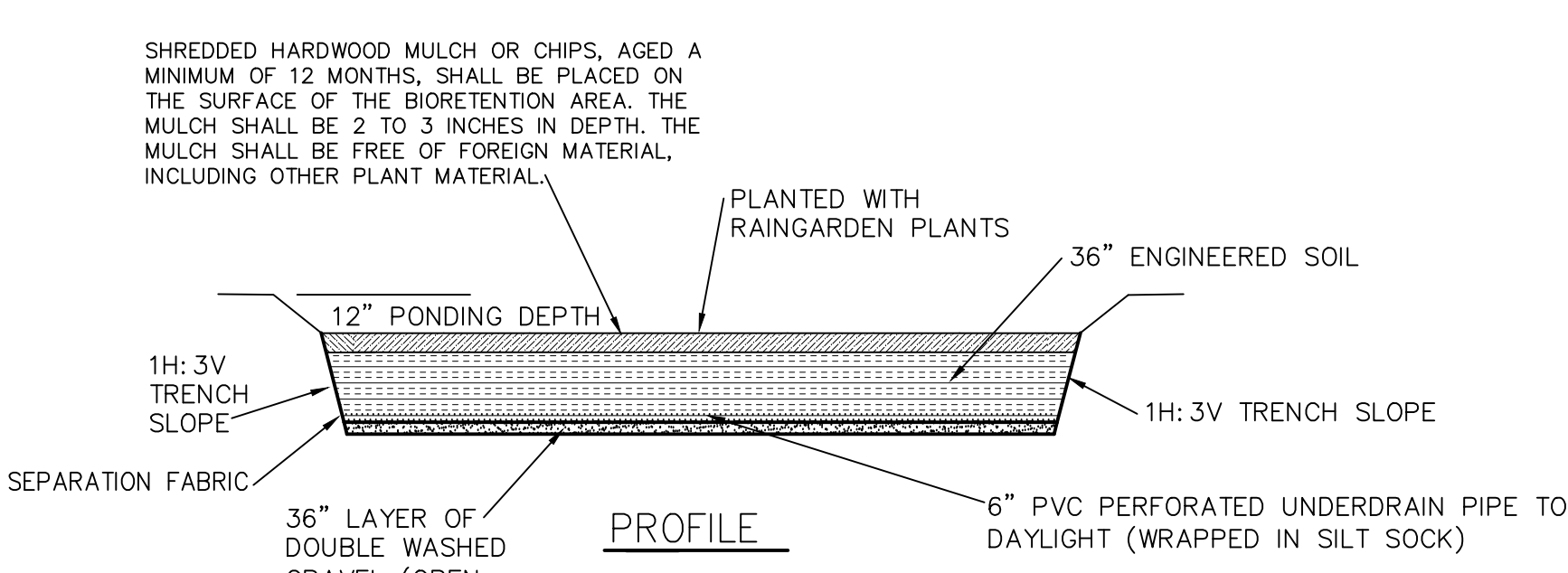
- CONSTRUCTION SITE STABILIZATION - CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS SHALL NOT BE ALLOWED TO ENTER THE BIORETENTION DEVICE. RUNOFF FROM PVIOUS AREAS SHALL BE DIVERTED FROM THE DEVICE UNTIL THE PVIOUS AREAS HAVE UNDERGONE FINAL STABILIZATION.
- SUITABLE WEATHER - CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.
- COMPACTION AVOIDANCE - COMPACTION AND SMEARING OF THE SOILS BENEATH THE FLOOR AND SIDE SLOPES OF THE BIORETENTION AREA, AND COMPACTION OF THE SOILS USED FOR BACKFILL IN THE SOIL PLANTING BED, SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIORETENTION DEVICE SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIORETENTION DEVICE INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF TYPE TIRES, MARSH EQUIPMENT OR WIDE-TRACK LOADERS.
- COMPACTION REMEDIATION - IF COMPACTION OCCURS AT THE BASE OF THE BIORETENTION DEVICE, THE SOIL SHALL BE REFRACUTURED TO A DEPTH OF AT LEAST 24 INCHES. IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
- PLACEMENT AND SETTLING OF ENGINEERED SOIL - THE FOLLOWING APPLY:
 - PRIOR TO PLACEMENT IN THE BIORETENTION DEVICE, THE ENGINEERED SOIL SHALL BE PREMIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.
 - THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.
 - STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDED DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE USED TO INDUCE SETTLING.
- PLANTING - THE ENTIRE SOIL PLANTING BED SHALL BE MULCHED PRIOR TO PLANTING VEGETATION TO HELP PREVENT COMPACTION OF THE PLANTING SOIL DURING THE PLANTING PROCESS. MULCH SHALL BE PUSHED ASIDE FOR THE PLACEMENT OF EACH PLANT.



PLAN VIEW

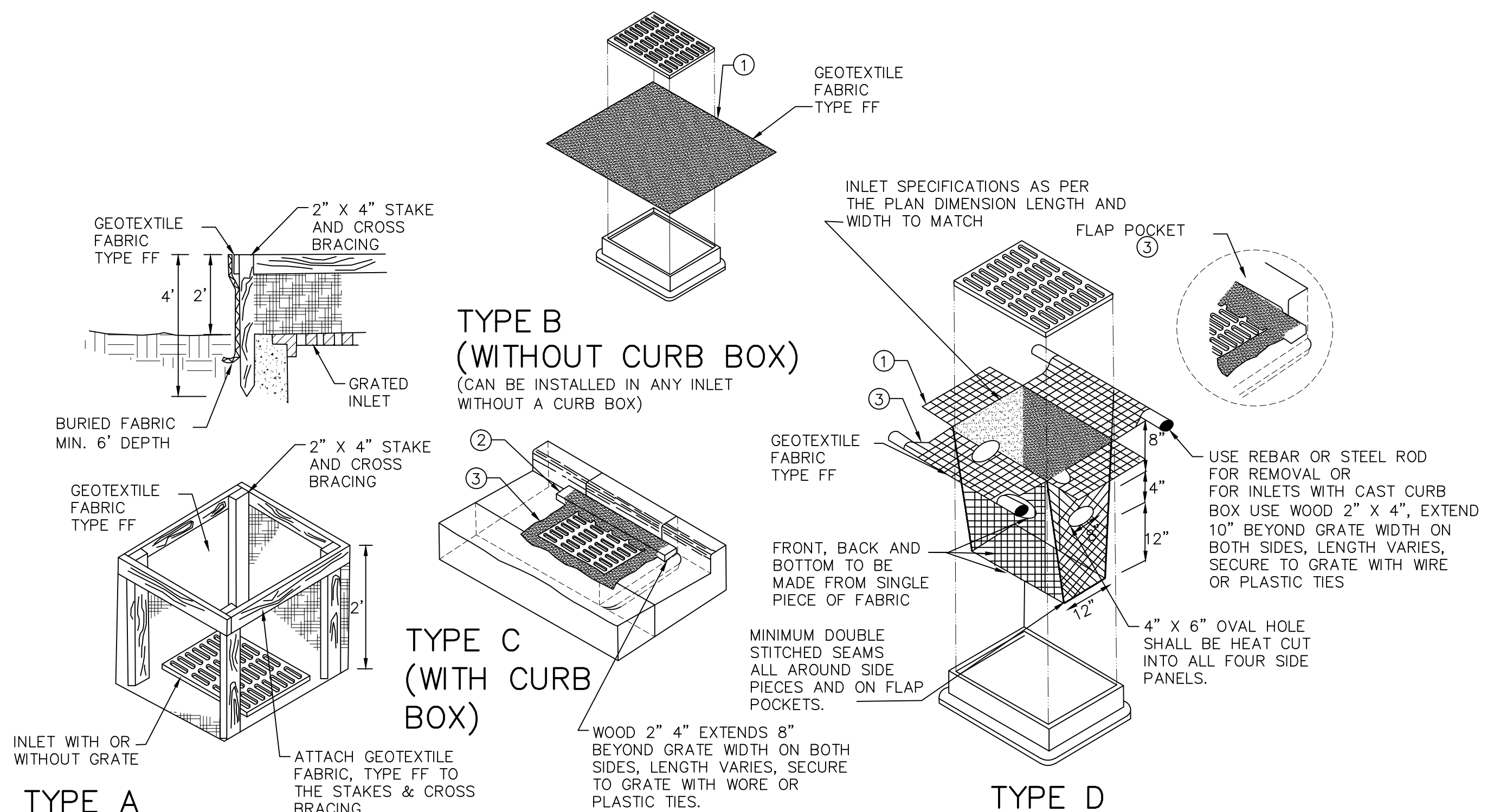


CROSS SECTION



PROFILE

4 BIOFILTRATION BASIN
C200 NTS



TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

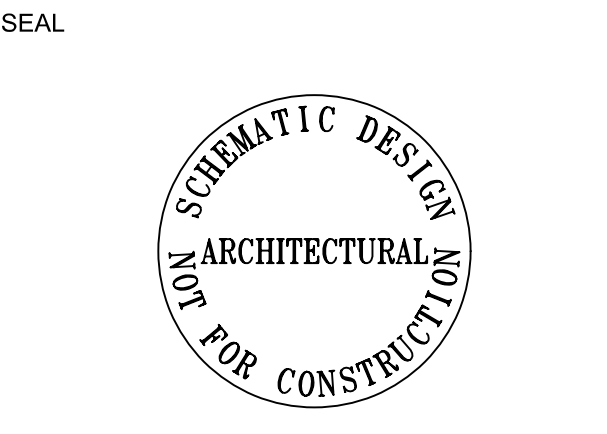
TYPE C (WITH CURB BOX)

TYPE D

- GENERAL NOTES:**
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4."

- INSTALLATION NOTES:**
- TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER MEHTOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH TH BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PALCED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

3 INLET PROTECTION
C200 NTS



ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON AVENUE, MADISON WI

KEY PLAN

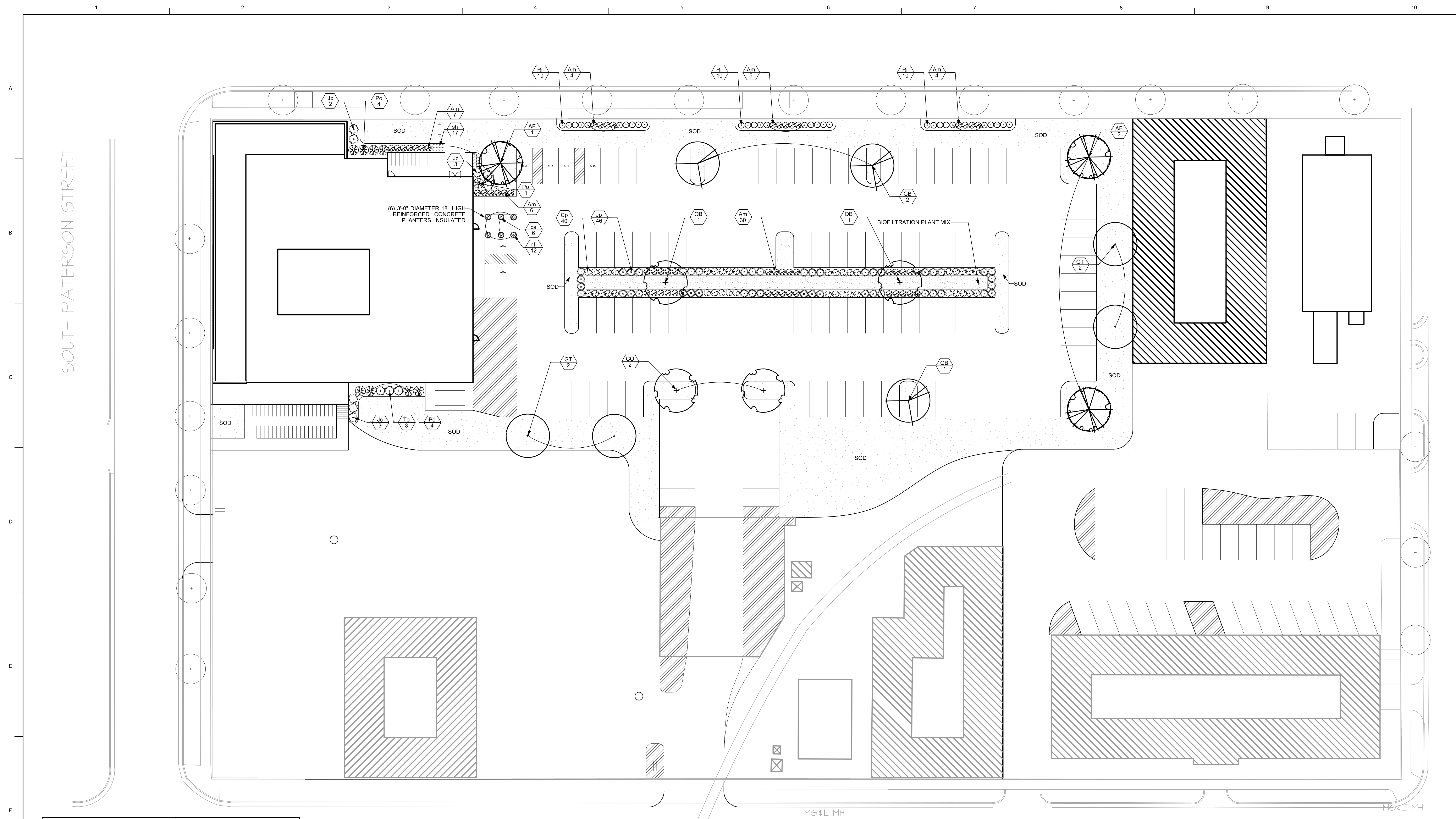
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 APPROVED BY: KSD
 CHECKED BY: KSD
 ISSUE DATE: FEBRUARY 5, 2014

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:

L.101
 SHEET NO.



City of Madison, WI Landscape Worksheet
 Watford Partnership
 5-Feb-14

Developed Lots*	SF	Landscape Points Req.
Total Developed Area	80,253	1338

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	14	490
Total Evergreen Tree	35	0	0
Ornamental Tree	15	0	0
Upright Evergreen Shrub	10	3	30
Shrub, deciduous	3	135	405
Shrub, evergreen	4	54	216
Ornamental Grasses/Perennials	2	662	1324
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0
Existing Significant Specimen Tree	14	0	0
Landscape Furniture for Public Seating and/or Transit Connections	5	0	0
			2465

Development Frontage	LF	Overstory Tree Req. (or x2 for Orn. Evergreen Tree Sub.)	Shrubs Req.
Total LF of Street Frontage Between Bldg./Parking & street	394	13	66

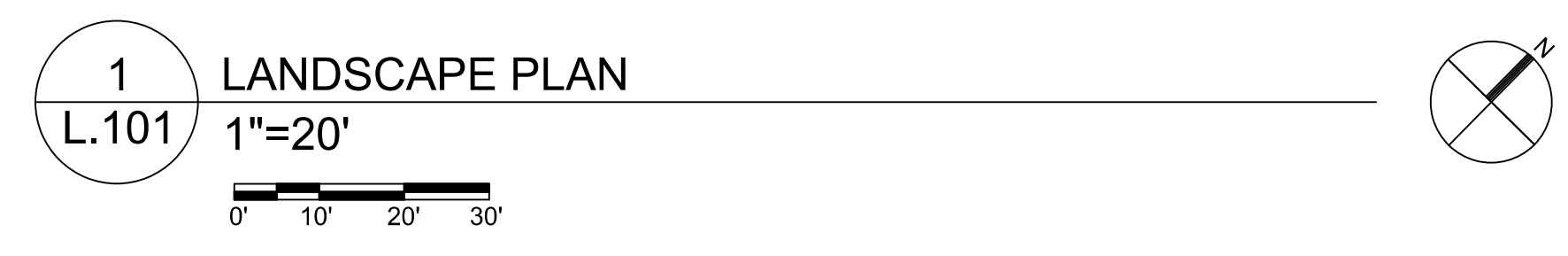
Element	Point Value	Quantity	Shrubs
Overstory Deciduous Tree	35	13	
Ornamental Tree	15		
Evergreen Tree	15		
Shrub, deciduous	2		61
Shrub, evergreen	3		5
		13*	66

*includes existing trees

Interior Parking Lots	SF	Overstory Tree Req. (or x2 for Orn. Tree Sub.)
Total Parking Lot Area	44,355	14
Req. Parking Lot Islands (5%)	2,218	14

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	14	490
Ornamental Tree	15	0	0

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
AF	<i>Acer x freemanii</i> 'Autumn Blaze'	Freeman Maple	3	2.5" cal.	B&B	
CO	<i>Celtis occidentalis</i>	Common Hackberry	2	2.5" cal.	B&B	
GT	<i>Gleditsia triacanthos var. inermis</i> 'Skyline'	Skyline Honey Locust	4	2.5" cal.	B&B	
GB	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	3	2.5" cal.	B&B	
QB	<i>Quercus bicolor</i>	Swamp White Oak	2	2.5" cal.	B&B	
Deciduous Shrubs						
Am	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Chokeberry	56	18" ht.	Cont.	Space 3'-0" o.c.
Cp	<i>Cornus pumila</i>	Dwarf Red-tipped Dogwood	40	18" ht.	Cont.	Space 3'-0" o.c.
Po	<i>Physicarpus opulifolius</i> 'Seward'	Summer Wine Eastern Ninebark	9	24" ht.	Cont.	Space 5'-0" o.c.
Rr	<i>Rosa rugosa</i> 'Dwarf Pavement'	Dwarf Pavement Rugosa Rose	30	18" ht.	Cont.	Space 4'-0" o.c.
Evergreen Shrubs						
Jc	<i>Juniperus chinensis</i> 'Kallay's Compact'	Kallay's Compact Juniper	8	24" ht.	Cont.	Space 5'-0" o.c.
Js	<i>Juniperus squamata</i> 'Blue Star'	Blue Star Juniper	46	18" ht.	Cont.	Space 4'-0" o.c.
To	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae	3	36" ht.	Cont.	Space 4'-0" o.c.
Perennials						
ca	<i>Calamagrostis x acutiflora</i> 'Overdam'	Variegated Feather Reed Grass	6	4"	pot	Space per plan
nf	<i>Nepeta x laassenii</i> 'Walker's Low'	Walker's Low Catmint	12	4"	pot	Space per plan
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	17	4"	pot	Space 18" o.c.
Bioretention Plan Mix (Plugs)						
	<i>Aster laevis</i>	Smooth Aster	31	2 1/2"	pot	
	<i>Asclepias incarnata</i>	Swamp Milkweed	31	2 1/2"	pot	
	<i>Carex flacca</i>	Blue Sedge	110	2 1/2"	pot	
	<i>Carex vulpinoidea</i>	Fox Sedge	110	2 1/2"	pot	
	<i>Echinacea purpurea</i>	Purple Conflower	32	2 1/2"	pot	
	<i>Glyceria striata</i>	Fowl Manna Grass	110	2 1/2"	pot	
	<i>Liatris spicata</i>	Marsh Blazing Star	31	2 1/2"	pot	
	<i>Rudbeckia hirta</i>	Black-eyed Susan	31	2 1/2"	pot	
	<i>Solidago rigida</i>	Stiff Goldenrod	32	2 1/2"	pot	
	<i>Sporobolus heterolepis</i>	Prairie Dropseed	109	2 1/2"	pot	



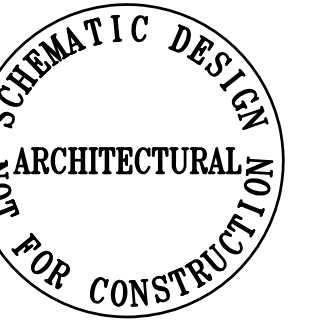
GENERAL NOTES

- ALL PLANTING BEDS NOT ADJACENT TO PAVEMENT SHALL BE EDGED WITH HEAVY-DUTY ALUMINUM EDGING.
- ALL PLANT BEDS SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD MULCH OF A NATURAL COLOR. WEED BARRIER FABRIC SHALL NOT BE USED.



U:\STRUCTURE\Bldg\Bldg_ECAD\BldgE_Dwg\L.101.dwg
 WKEY: JOSH
 10/26/2013 11:42 AM

SEAL



ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON
AVENUE, MADISON WI

KEY PLAN

DRAWN BY: AJG
APPROVED BY: MLS
CHECKED BY: MLS
ISSUE DATE: FEBRUARY 5, 2014

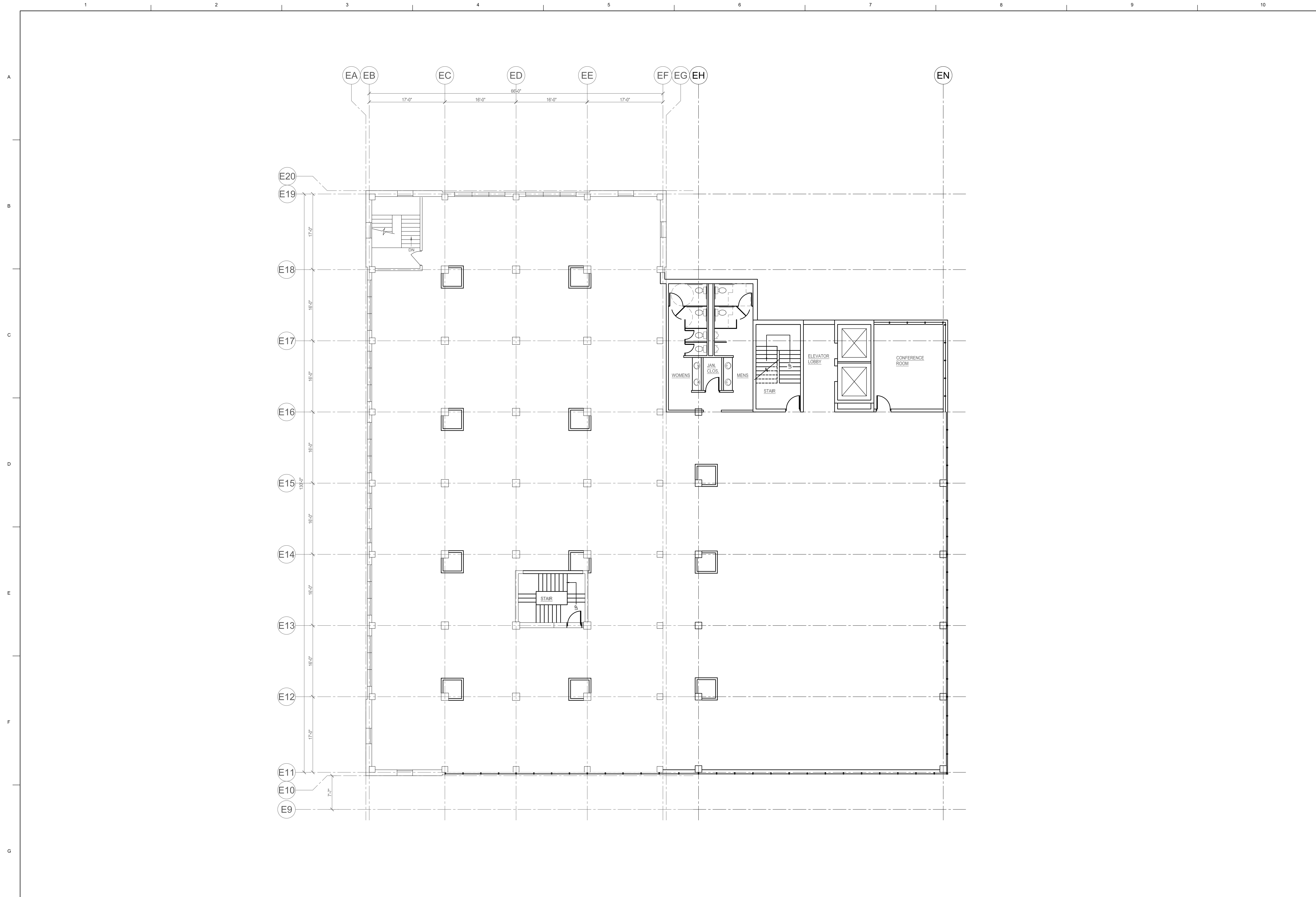
REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE:
SECOND FLOOR PLAN

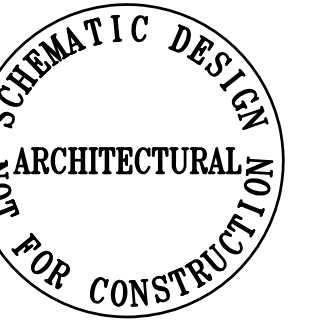
A.102

SHEET NO.



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH TRUE NORTH

SEAL



ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON
AVENUE, MADISON WI

KEY PLAN

DRAWN BY: AJG
 APPROVED BY: MLS
 CHECKED BY: MLS
 ISSUE DATE: FEBRUARY 5, 2014

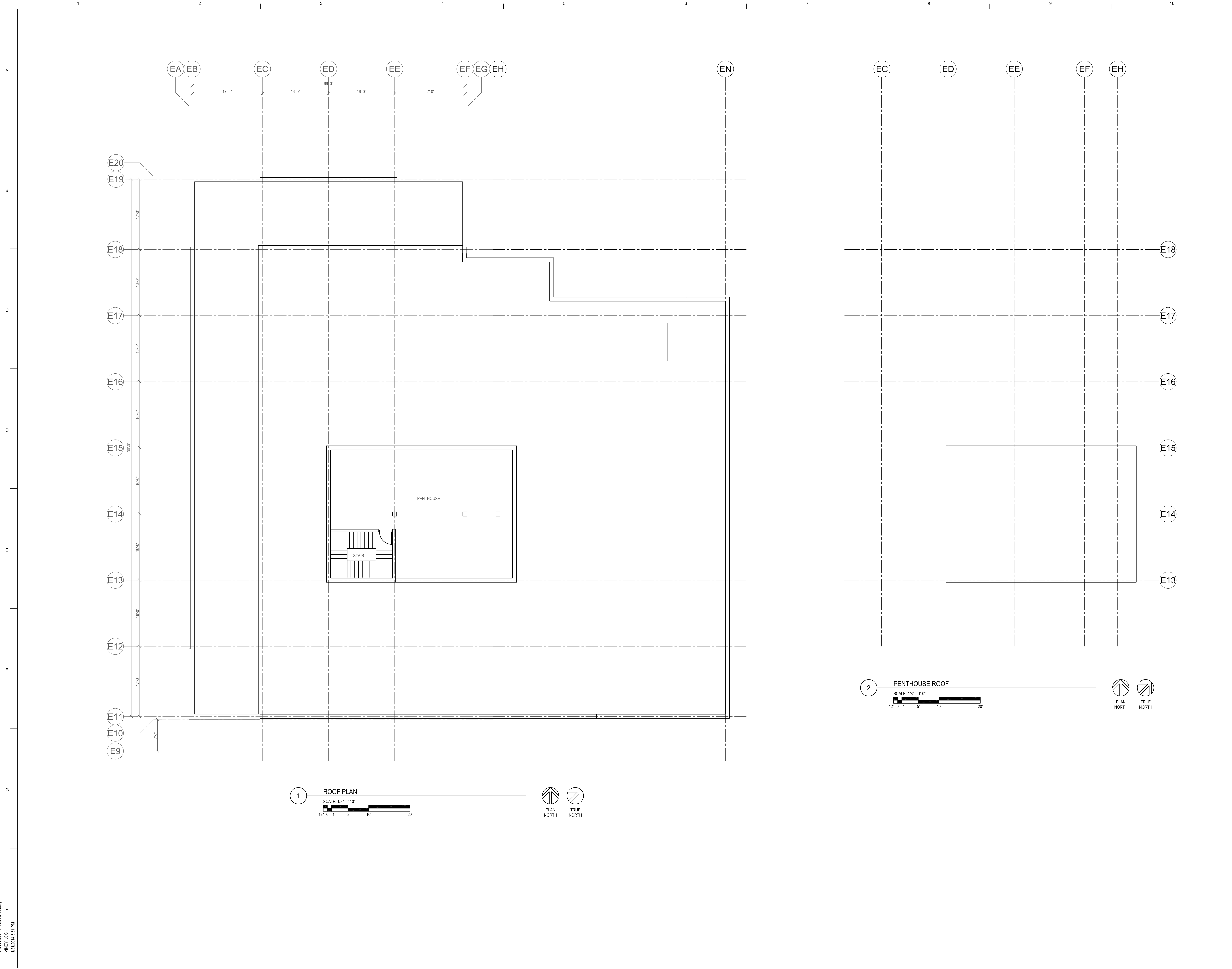
REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE: ROOF PLAN

A.106

SHEET NO.



Notes:



04 EXISTING KLUETER BUILDING
A201 NTS



02 NORTH PERSPECTIVE
A201 NTS



03 SOUTH PERSPECTIVE
A201 NTS



01 EAST PERSPECTIVE
A201 NTS

Archipelago Village

900 Block East Washington
Ave, Madison WI
2013.43

Date	Issuance/Revisions	Symbol

02/05/14 UDC SUBMITTAL
10/06/13 LAND USE APPROVAL

**Elevations Perspectives /
Perspective**

A201

Notes:



06 SOUTHEAST ELEVATION PERSPECTIVE
A202 3/32" = 1'-0"



03 SOUTHEAST ELEVATION
A202 3/32" = 1'-0"



05 NORTHEAST ELEVATION PERSPECTIVE
A202 3/32" = 1'-0"



02 NORTHEAST ELEVATION
A202 3/32" = 1'-0"



04 NORTHWEST ELEVATION PERSPECTIVE
A202 3/32" = 1'-0"



01 NORTHWEST ELEVATION
A202 3/32" = 1'-0"

Archipelago Village

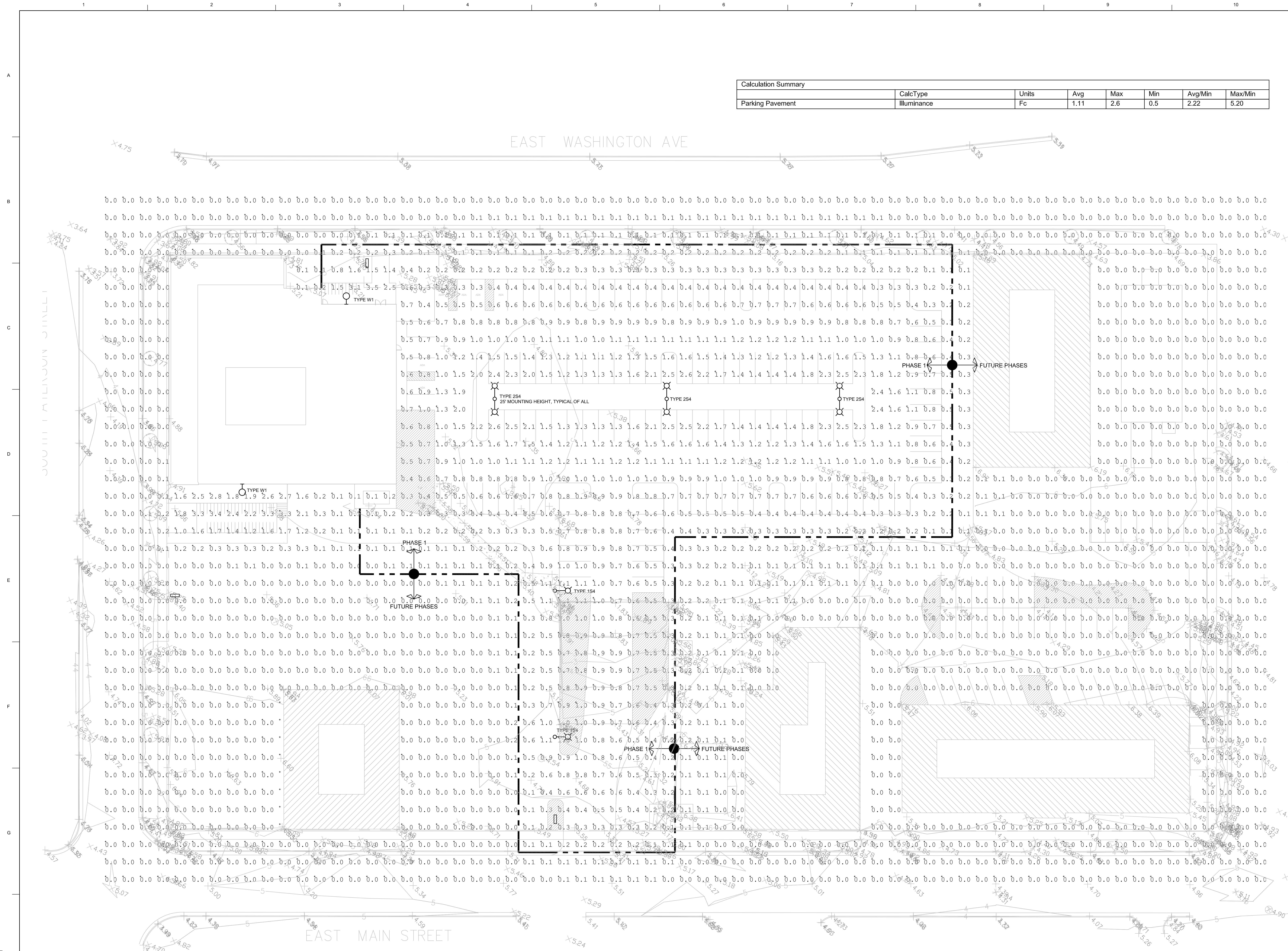
900 Block East Washington
Ave, Madison WI
2013.43

Date	Issuance/Revisions	Symbol

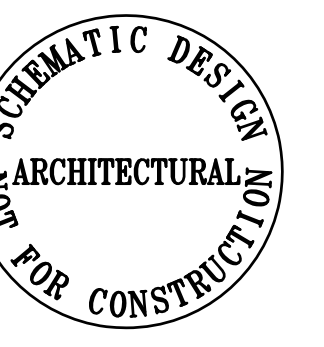
02/05/14 UDC SUBMITTAL
10/06/13 LAND USE APPROVAL

Elevations

Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Pavement	ILLUMINANCE	Fc	1.11	2.6	0.5	2.22	5.20	



SEAL



ARCHIPELAGO VILLAGE
900 BLOCK EAST WASHINGTON AVENUE, MADISON WI

KEY PLAN

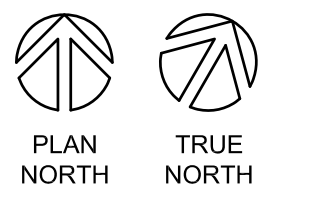
DRAWN BY	AJG
APPROVED BY	MLS
CHECKED BY	MLS
ISSUE DATE	FEBRUARY 5, 2014

REVISIONS		
NO.	DATE	DESCRIPTION

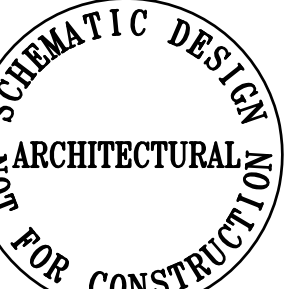
SHEET TITLE:
NEW SITE PLAN
ILLUMINANCE LEVELS

E.101

SHEET NO.



SEAL



KEY PLAN

DRAWN BY AJG APPROVED BY MLS CHECKED BY MLS ISSUE DATE FEBRUARY 5, 2014

Table with 3 columns: NO., DATE, DESCRIPTION. Contains a single row for the luminaire selection.

SHEET TITLE: NEW SITE PLAN LUMINAIRE SELECTION

SHEET NO.

TYPE 1S4: SINGLE HEAD LED, IES TYPE 4. Includes description, specifications, dimensions, and mounting details for the TL8M TALON MEDIUM LED.

TYPE 2S4: DUAL HEAD LED, IES TYPE 4. Includes description, specifications, dimensions, and mounting details for the TL8M TALON MEDIUM LED.

POLE SPECIFICATION. SSS SQUARE STRAIGHT STEEL. Includes pole specifications, mounting details, and accessories.

TYPE W1: WALL MOUNTED LED, IES TYPE 4. Includes description, specifications, dimensions, and mounting details for the CSXW LED LED Wall Luminaire.

POWER AND LUMENS BY BAR COUNT. TL8M TALON MEDIUM LED. Includes tables for lumens per foot and mounting configurations.

POLE SPECIFICATION. SQUARE STRAIGHT STEEL. Includes tables for pole specifications and mounting configurations.

PHOTOMETRIC DIAGRAMS. TL8M TALON MEDIUM LED. Includes beam spread diagrams for various mounting heights.

PERFORMANCE DATA. CSXW LED LED Wall Luminaire. Includes lumen output tables and electrical load information.

ORDERING INFORMATION. TL8M TALON MEDIUM LED. Includes a detailed table for ordering specifications.

ORDERING INFORMATION. SQUARE STRAIGHT STEEL. Includes a detailed table for ordering specifications.

PHOTOMETRIC DIAGRAMS. CSXW LED LED Wall Luminaire. Includes beam spread diagrams for various mounting heights.