



City of Madison

Proposed Rezoning

Location
702 North Midvale Boulevard

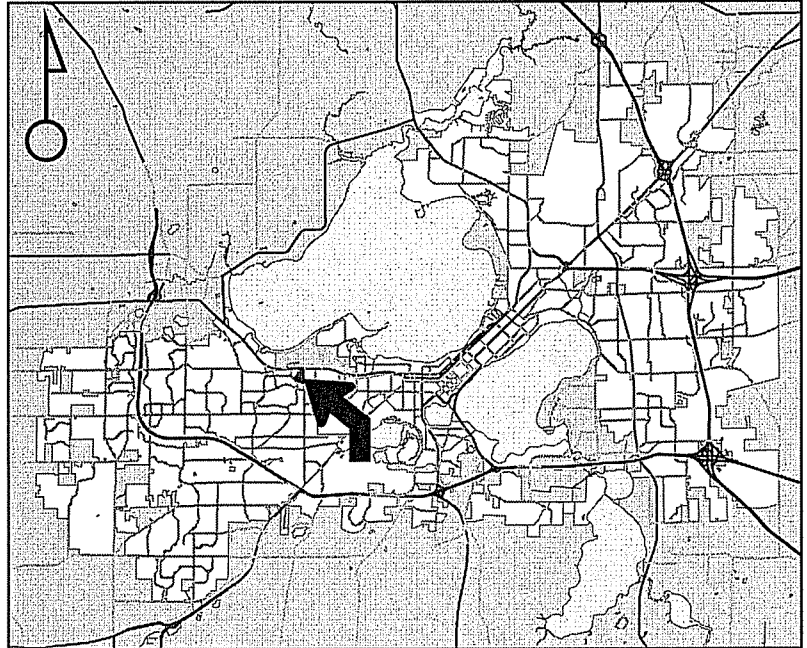
Applicant
Louis C. Masiello – Hilldale Shopping Center/
Cliff Goodhart – Eppstein Uhen Architects

From: PD(SIP) To: Amended PD(GDP-SIP)

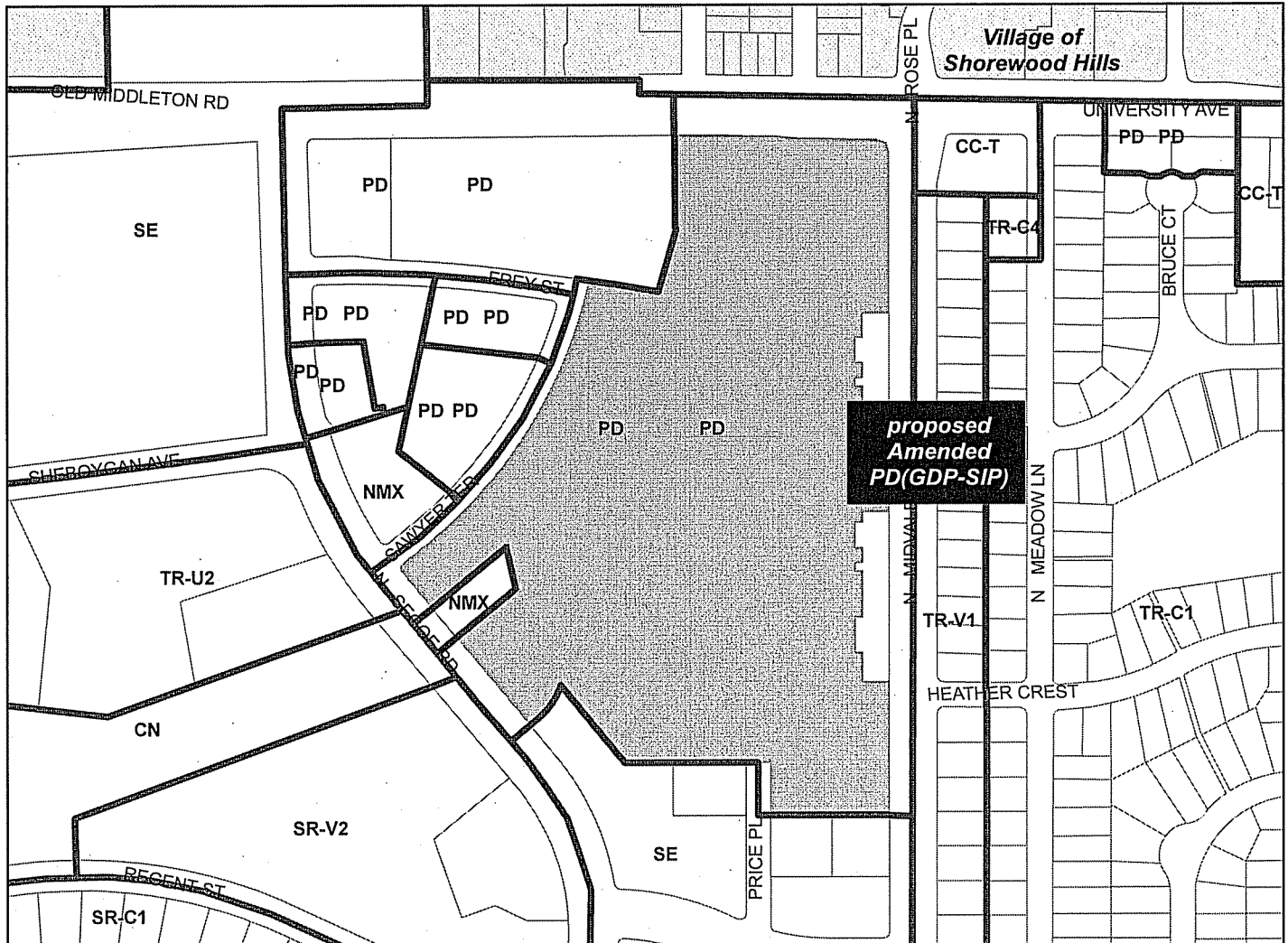
Existing Use
Hilldale Shopping Center

Proposed Use
Amend Hilldale Shopping Center Planned
Development to convert enclosed mall retail
spaces in the "south wing" into street-
accessed storefronts, parking and open
space

Public Hearing Date
Plan Commission
08 August 2016
Common Council
06 September 2016

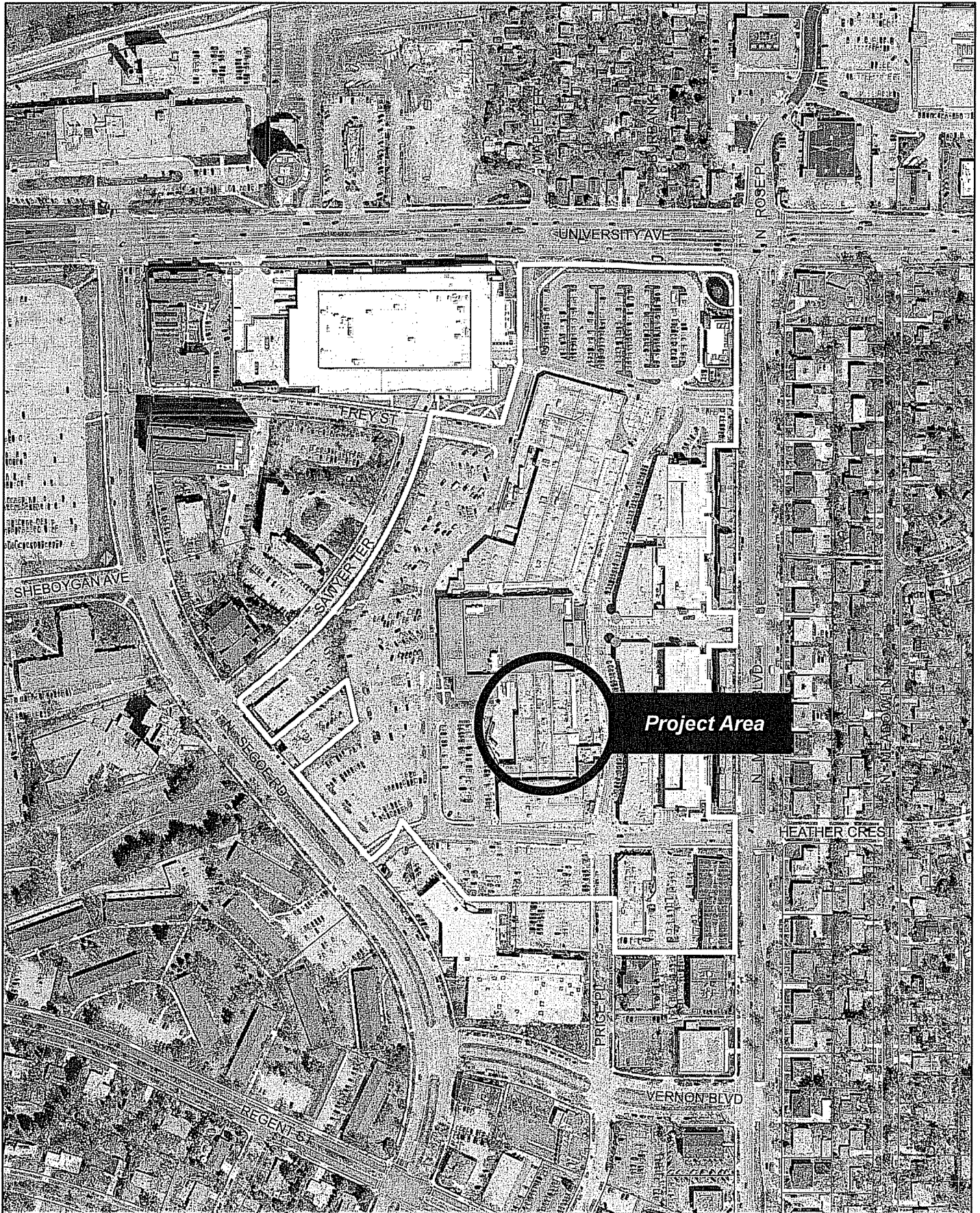


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 29 July 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid	\$5,350 Receipt No. 017490-000
Date Received	6/10/16
Received By	[Signature]
Parcel No.	0709-201-2101-2
Aldermanic District	11-Gruber
Zoning District	PD
Special Requirements	Ex. CU, UDD #6
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 702 North Midvale Boulevard
Project Title (if any): Hilldale Shopping Center Renovations

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

LNDUSE-
2016-
00060

3. Applicant, Agent & Property Owner Information:

Applicant Name: Louis C. Masiello Company: Hilldale Shopping Center, LLC
 Street Address: 33 Boylston Street City/State: Chestnut Hill, MA Zip: 02467
 Telephone: (617) 646-3224 Fax: () Email: lou.masiello@wsdevelopment.com

Project Contact Person: Cliff Goodhart Company: Eppstein Uhen Architects
 Street Address: 309 West Johnson Street, #202 City/State: Madison, WI Zip: 53703
 Telephone: (608) 442-6684 Fax: () Email: cliffg@eua.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Selective demolition and reconfiguration of retail space between Macy's and Sundance cinemas

Development Schedule: Commencement October 2016 Completion October 2017

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

Alder Tim Gruber, May 5, 2016, Hill Farms Neighborhood Association, May 5, 2016

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Al Martin Date: April 19, 2016 Zoning Staff: Jenny Kirchgatter Date: April 19, 2016

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Louis C. Masiello Relationship to Property: VP of Development for WS Asset Management, Inc. (Property Manager)

Authorizing Signature of Property Owner  Date 6-14-2016

June 8, 2016

Jay Wendt
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Blvd.
Madison, WI 53710-2985

RE: Hilldale Shopping Center 702 N. Midvale Blvd.

Dear Mr. Wendt,

Hilldale Shopping Center LLC (Applicant) proposes to amend the Hilldale PD-GDP/SIP to redevelop a portion of the south side of the existing mall, between the existing Sundance Cinemas and Macy's, from enclosed mall shops to open air retail with an outdoor green space. This Letter of Intent is submitted together with the Land Use Application, Project Plan, and Filing Fee.

Land Use Application

A Land Use Application is enclosed, filled out for a Major Amendment to Approved PD-GDP/SIP Zoning.

Project Plans

Project Plans including the following: Site Plans, Grading and Utility Plans, Landscape Plan, Building Elevations, and Floor Plans. Also included are Colored Elevation Drawings, Lighting with Photometric Plan & Cutsheet, and Contextual Site Plan Information.

Filing Fee

A check in the amount of \$5,350.00 made out to City of Madison is enclosed for the Filing and Notification Fees.

Letter of Intent

The Applicant proposes selective demolition and renovation of the existing enclosed mall between Sundance Cinemas and Macy's, to convert the enclosed shops to open air shops with an activated and welcoming outdoor green space. There is approximately 55,000 SF of building area existing within the area of modification, which will be reduced to approximately 45,000 SF of building area. The revised store configuration will create new storefronts that will open onto a newly created outdoor green space. Storefronts will be carefully designed to interact and connect with the adjacent pedestrian environment, specifically the new outdoor green space. We will add eight parking spaces, which will include accessible parking per the Americans with Disability Act.

The proposed project is a reconfiguration of existing retail and restaurant building areas. The hours of operation for these shops will be consistent with the remainder of the existing Shopping Center. Construction is expected to begin in January of 2017, and the project will take approximately one year to complete.

The project team consists of the Applicant, Hilldale Shopping Center LLC, as well as the consultants listed below:

APPLICANT:

Hilldale Shopping Center LLC

33 Boylston Street

Chestnut Hill, Massachusetts 02467

Phone: 617.232.8900

Louis Masiello Lou.masiello@wsdevelopment.com

Alexandra Patterson Alexandra.patterson@wsdevelopment.com

ARCHITECT:

Eppstein Uhen

309 W Johnston Street

Suite 202

Madison, Wisconsin 53703

Phone: 608.442.5350

Cliff Goodhart Cliffg@eua.com

Paul Raisleger Paulr@eua.com

LANDSCAPE ARCHITECT:

Ken Saiki Design

303 South Patterson

Suite One

Madison, Wisconsin 53703

Phone: 608.251.3600

Ken Saiki Ksaiki@ksd-la.com

Shane Bernau, PLA Sbernau@ksd-la.com

CIVIL ENGINEER:

Snyder & Associates, Inc.

5010 Voges Road

Madison, WI 53718

Phone: 608.838.0444

Scott Anderson, P.E. sanderson@snyder-associates.com

PLANNING:

Vandewalle & Associates

120 East Lakeside Street

Madison, Wisconsin 53715

Phone: 608.255.3988

Fax: 608.255.0814

Brian Munson

bmunson@vandewalle.com

Existing Conditions:

Existing Zoning: PD-GDP/SIP
Address: 702 North Midvale Boulevard
Parcel Identification Number: 0709-201-2101-2
Aldermanic District: District 11
Alder Tim Gruber
Neighborhood Association: Hill Farms Neighborhood Association
Notifications: Hill Farms Neighborhood May 5, 2016
Sunset Village May 5, 2016
Alder April 20, 2016
Neighborhood Meeting May 12, 2016 and June 6, 2016
DAT Presentation May 5, 2016
Legal Description: See Attached
Lot Area: 28.49 acres

Hilldale Shopping Center LLC is excited to propose this major investment to the Hilldale Shopping Center. We are incredibly appreciative of the enthusiasm with which the public has responded to our recent redevelopment of the north side. We look forward to creating a similarly exciting public amenity for the community to enjoy on the south side of Hilldale as well. It is our intention that the proposed south side redevelopment of Hilldale will continue to provide a living gathering space for customers, neighbors, and members of the Madison community.

Sincerely,



Louis C. Masiello
Vice-President of Development



HILLDALE SHOPPING CENTER - SEPTEMBER 1966

SHEET INDEX

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L101	SITE PLAN / LANDSCAPE PLAN
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C300	UTILITY PLAN
C400	SITE PLAN
C500	GRADING PLAN
C700	DETAILS
C701	DETAILS
FP100	FIRE DEPARTMENT ACCESS PLAN
A001	FIRST FLOOR PLAN - EXISTING
A101	FIRST FLOOR PLAN - PROPOSED
A200	EXTERIOR ELEVATIONS
A901	PERSPECTIVE RENDERINGS
A902	PERSPECTIVE RENDERINGS
A903	PERSPECTIVE RENDERINGS
A904	PERSPECTIVE RENDERINGS
A905	PERSPECTIVE RENDERINGS
A906	PERSPECTIVE RENDERINGS
ES001	SITE LIGHTING PLAN
ES002	EXTERIOR LIGHT FIXTURES

**Hilldale Shopping Center
Phase 2
702 N Midvale Blvd
Madison, WI 53705**



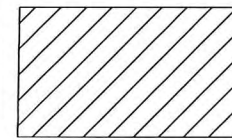
epstein uhen : architects

**Combined Plan Commission,
Urban Design Commission
Submittal**

06/15/2016

PROJECT NUMBER: 716013

LEGEND



PROJECT AREA



EXISTING PEDESTRIAN ROUTE



eppstein uhen : architects
 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 telephone 414.271.5350
 madison 100 West Johnson Street, Suite 202
 Madison, Wisconsin 53703
 telephone 608.442.5550

PROJECT INFORMATION

Hilldale Shopping Center Phase 2

702 N Midvale Blvd
 Madison, WI 53705



ISSUANCE AND REVISIONS

Combined Plan Commission,
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#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

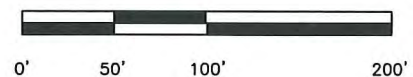
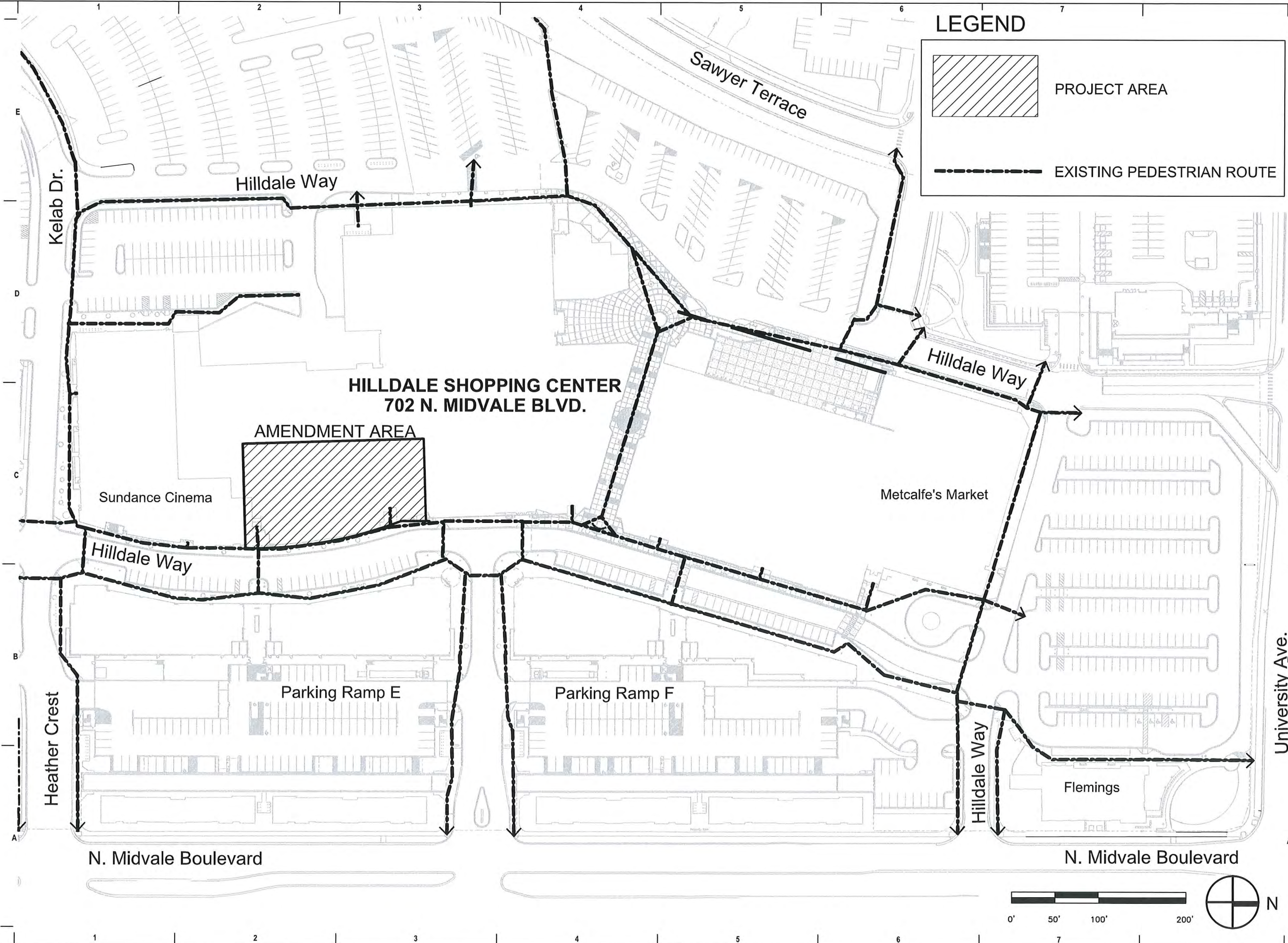
**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**
 These documents are for informational purposes only and are not to be used for construction. They are subject to change without notice. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER CG
 PROJECT NUMBER 716013
 DATE 08/15/2016

Overall Site Plan

L-100

© Eppstein Uhen Architects, Inc.



PROJECT INFORMATION

Hilldale Shopping
Center Phase 2

702 N Midvale Blvd
Madison, WI 53705

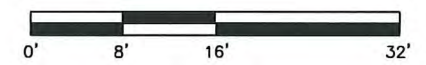
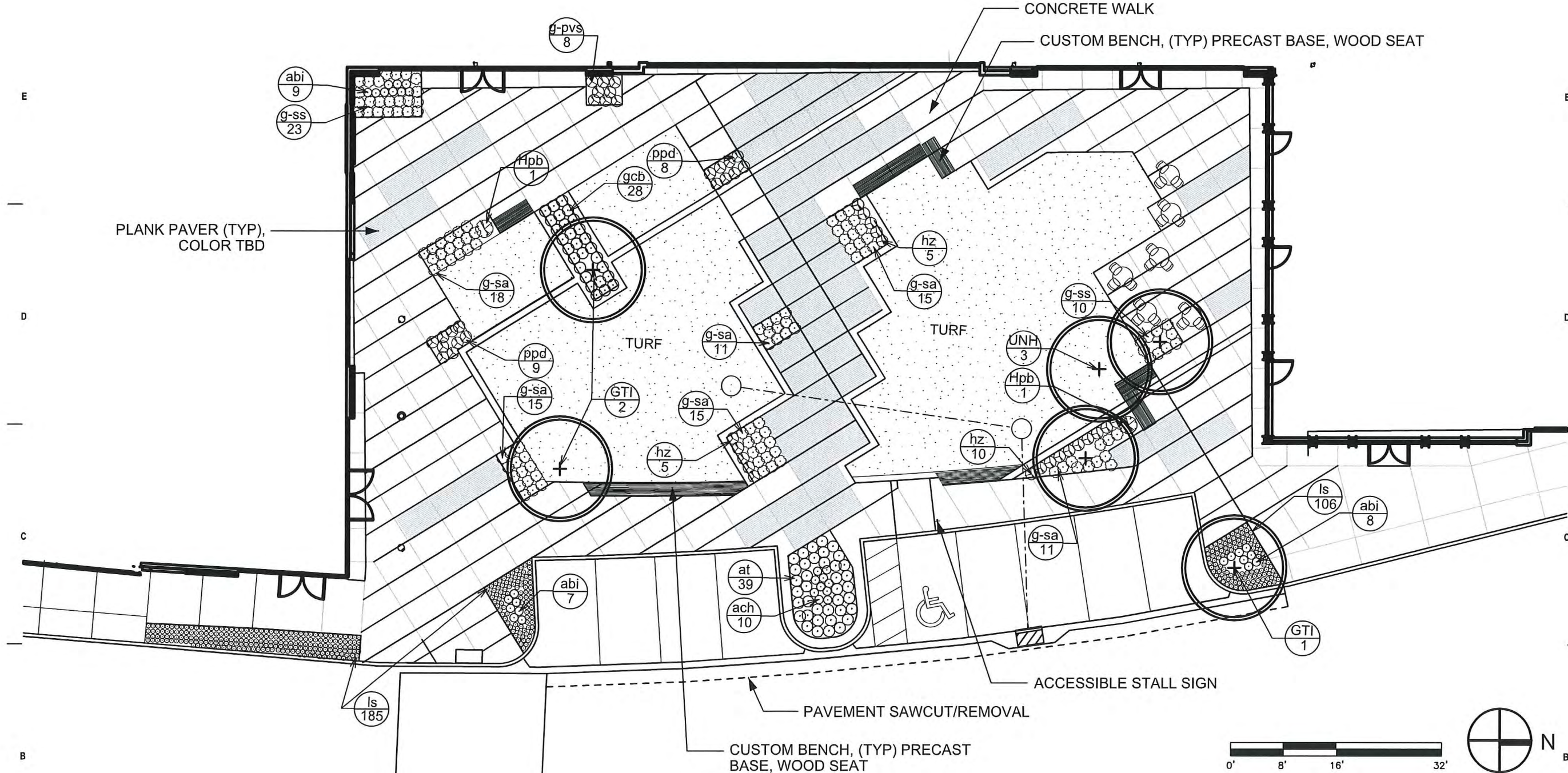


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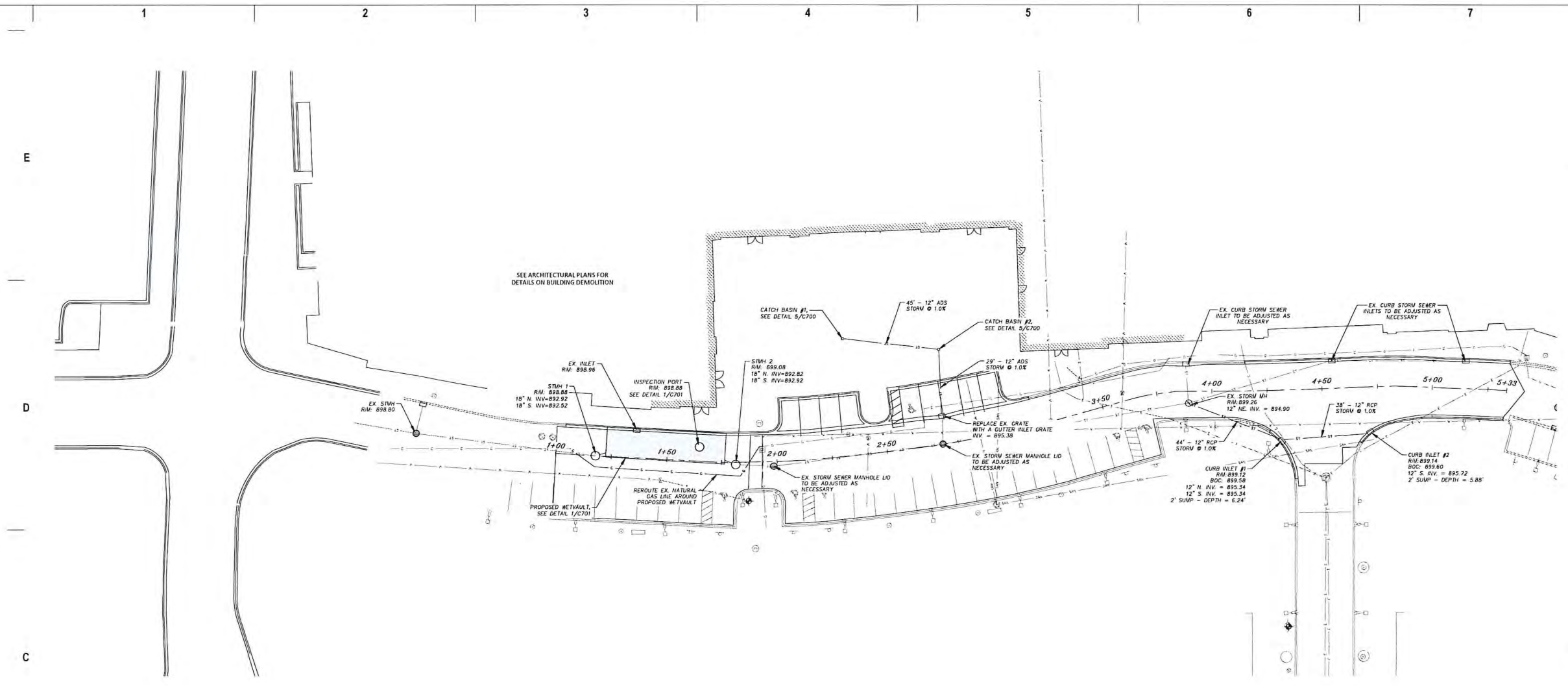
Key	Botanical Name	Common Name	Quantity	Size	Root	Comments	Nursery / Availability	Mature Size
Ornamental Trees								
GTI	<i>Gleditsia triacanthos var. inermis</i>	Thornless Honeylocust	3	6"-7" cal.	spade	Heavy / Symmetrical Canopy	Bruce Company	35' Ht. x 35' Spr.
UNH	<i>Ulmus 'New Horizon'</i>	New Horizon Hybrid Elm	3	6"-7" cal.	spade		Bruce Company	50'-Ht. 35' Spr.
Deciduous Shrubs								
Hpb	<i>Hydrangea paniculata 'Bobo'</i>	Bobo Hydrangea	2	2 Ht.	Cont.	Space 3'-0" - 3'-6" O.C., 3 Gal. min.	Johnson's - Beaver Creek	2 1/2' - 3'Ht. x 3'-4' Spr.
Perennials & Groundcovers								
at	<i>Allium tanguticum 'Summer Beauty'</i>	Summer Beauty Allium	37	4.5"	CG	Space 20" O.C.	Hortech 800-875-1392	18-24" Ht. x 20-24" Spr.
abi	<i>Amsonia 'Blue Ice'</i>	Blue Ice Amsonia	24	4.5"	CG	Space 15" O.C.	W. & E. Radtke	12-15" Ht. x 15-18" Spr.
ach	<i>Amsonia ciliata 'Halfway to Arkansas'</i>	Halfway to Arkansas Amsonia	10	4.5"	CG	Space 18" O.C.		
gcb	<i>Geranium x cantabrigiense 'Blokovo'</i>	Blokovo Geranium	28	4.5"	CG	Space 20" O.C.	Hortech 800-875-1392	8-12" Ht. x 15'+ Spr.
tz	<i>Heuchera Zipper</i>	Coral Bells	20	4.5"	CG	Space 15" O.C.		
ls	<i>Liriope spicata</i>	Creeping Lily-turf	291	4.5"	CG	Space 9" O.C.	Hortech 800-875-1392	8-12" Ht. x 9" Spr.
ppd	<i>Penstemon digitalis 'Prairie Dusk'</i>	Prairie Dusk Foxglove Beardtongue	17	4.5"	CG	Space 18" O.C.	Hortech 800-875-1392	24-36" Ht. x 18-24" Spr.
Grasses								
g-pvs	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switch Grass	8	1 Gal.	CG	Space 24" O.C.	W. & E. Radtke	3-4' Ht. x 2-3' Spr.
g-sa	<i>Sesleria autumnalis</i>	Autumn Moor Grass	85	4.5"	CG	Space 20" O.C.	W. & E. Radtke	16-30" Ht. x 18-20" Spr.
g-ss	<i>Sesleria sadlerana</i>	Green Moor Grass	33	4.5"	CG	Space 18-20" O.C.	Hortech 800-875-1392	14-16" Ht. x 18-24" Spr.
C = CUT BACK at end of season to remove seedheads which may freely self-seed.								

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**

PROJECT MANAGER CG
 PROJECT NUMBER 716013
 DATE 06/15/2016

Site and Landscape
Plan



SEE ARCHITECTURAL PLANS FOR
DETAILS ON BUILDING DEMOLITION

NOTES

1. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.

LEGEND

- STORM SEWER LINE
- WATER MAIN LINE
- SANITARY SEWER LINE
- BURIED GAS LINE
- BURIED ELECTRICAL LINE
- SANITARY MANHOLE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ FIRE MAIN HOGLUP
- STORM SEWER MANHOLE
- CIRCULAR INTAKE/INLET
- SQUARE INTAKE/INLET
- H-INLET
- ⊕ STREET LIGHT
- ⊕ POWER POLE W/TRANSFORMER
- ⊕ UTILITY POLE W/LIGHT
- ⊕ ELECTRIC BOX
- ⊕ ELECTRIC TRANSFORMER
- ⊕ ELECTRIC MH OR VAULT
- ⊕ TRAFFIC SIGN
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ BENCHMARK
- ⊕ HANDICAP PARKING STALL



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 milwaukee 333 East Chicago Street
 Milwaukee, Wisconsin 53202
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 madison 388 West Johnson Street, Suite 202
 Madison, Wisconsin 53703
 telephone 608.442.5355



SNYDER & ASSOCIATES
 Engineers and Planners

PROJECT INFORMATION

**Hilldale Shopping
 Center Phase 2**

702 N Midvale Blvd
 Madison, WI 53705



WS DEVELOPMENT
 33 BOYLSTON ST, STE 3300
 CHESTNUT HILL, MA 02467
 P 617.232.6900

ISSUANCE AND REVISIONS

Combined Plan Commission,
 Urban Design Commission
 Submittal

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

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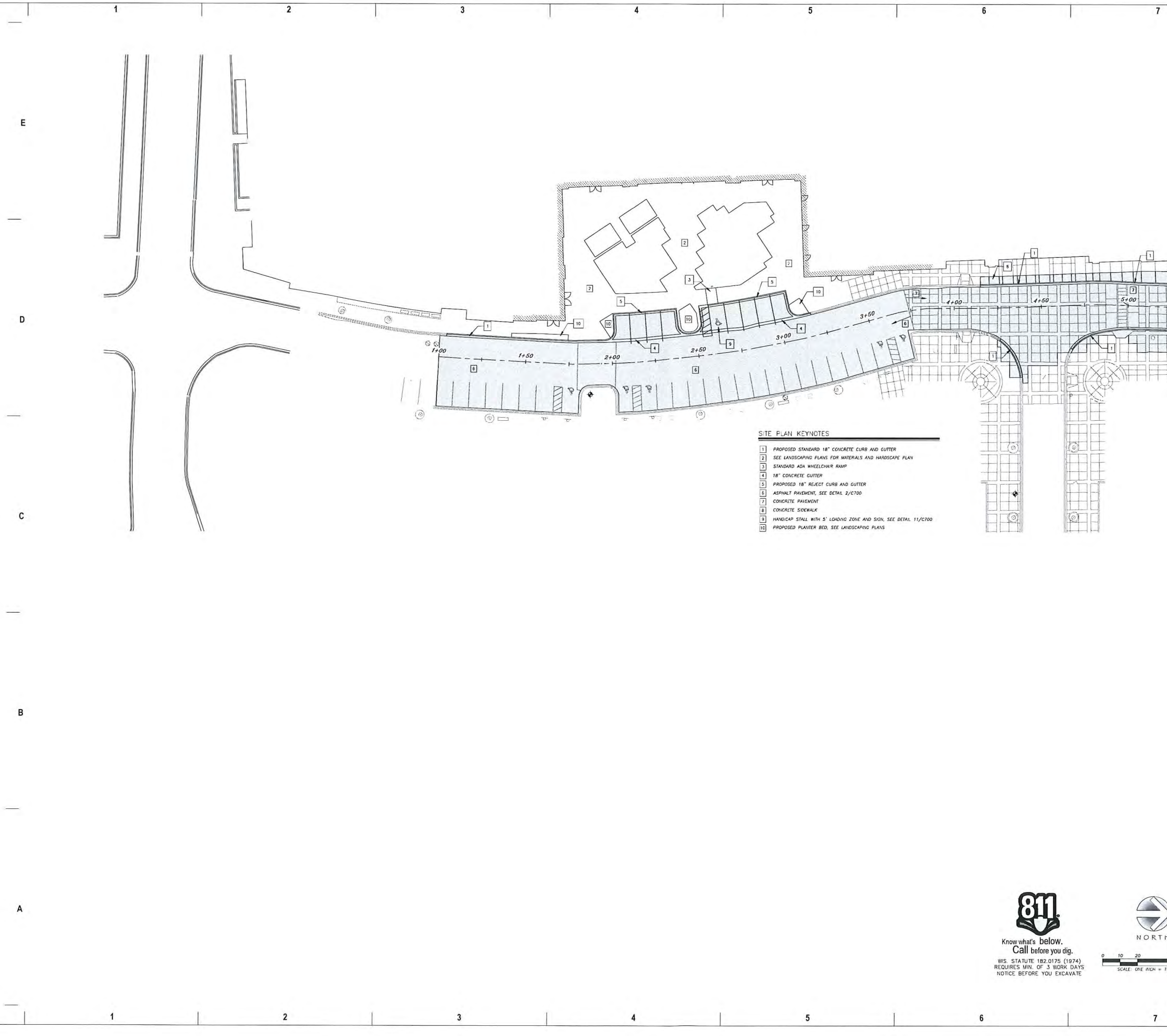
Know what's below.
 Call before you dig.
 W.S. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE.



SCALE: ONE INCH = TWENTY FEET

UTILITY PLAN

C300



- SITE PLAN KEYNOTES**
- 1 PROPOSED STANDARD 18" CONCRETE CURB AND GUTTER
 - 2 SEE LANDSCAPING PLANS FOR MATERIALS AND HARDSCAPE PLAN
 - 3 STANDARD ADA WHEELCHAIR RAMP
 - 4 18" CONCRETE GUTTER
 - 5 PROPOSED 18" REJECT CURB AND GUTTER
 - 6 ASPHALT PAVEMENT, SEE DETAIL 2/C700
 - 7 CONCRETE PAVEMENT
 - 8 CONCRETE SIDEWALK
 - 9 HANDICAP STALL WITH 5' LOADING ZONE AND SIGN, SEE DETAIL 11/C700
 - 10 PROPOSED PLANTER BED, SEE LANDSCAPING PLANS



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702 N Midvale Blvd
 Madison, WI 53705



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 33 BOYLSTON ST., STE 3000
 CHESTNUT HILL, MA 02457
 P 617.232.6900

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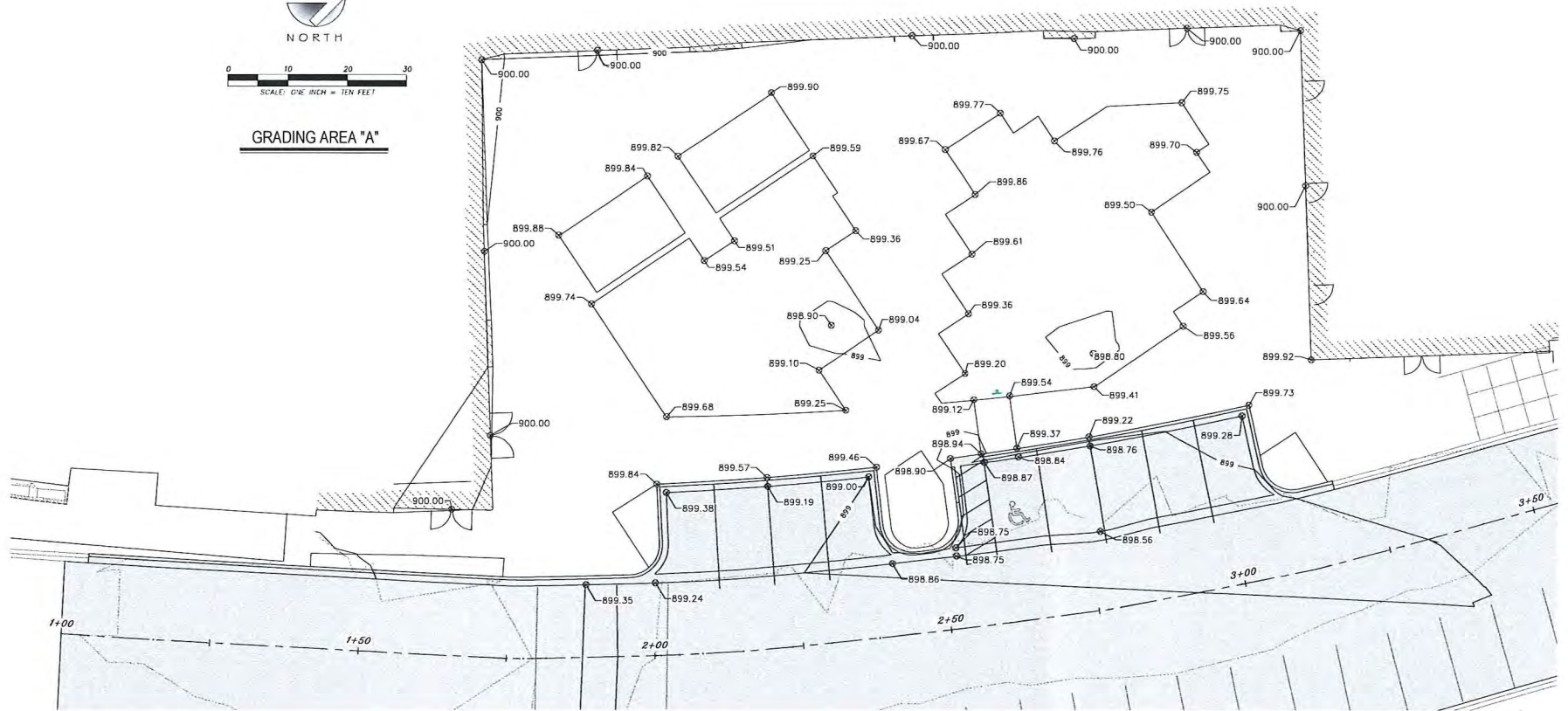
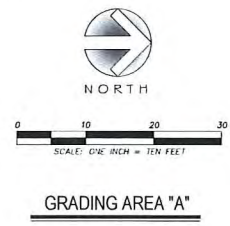


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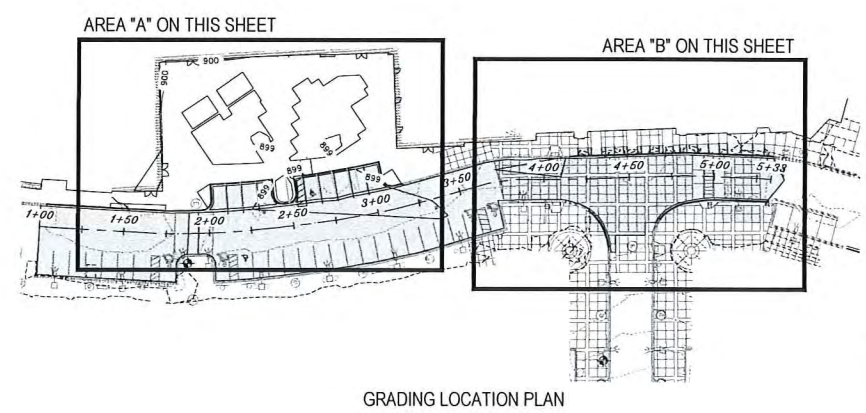


0 10 20 40 60
 SCALE: ONE INCH = TWENTY FEET

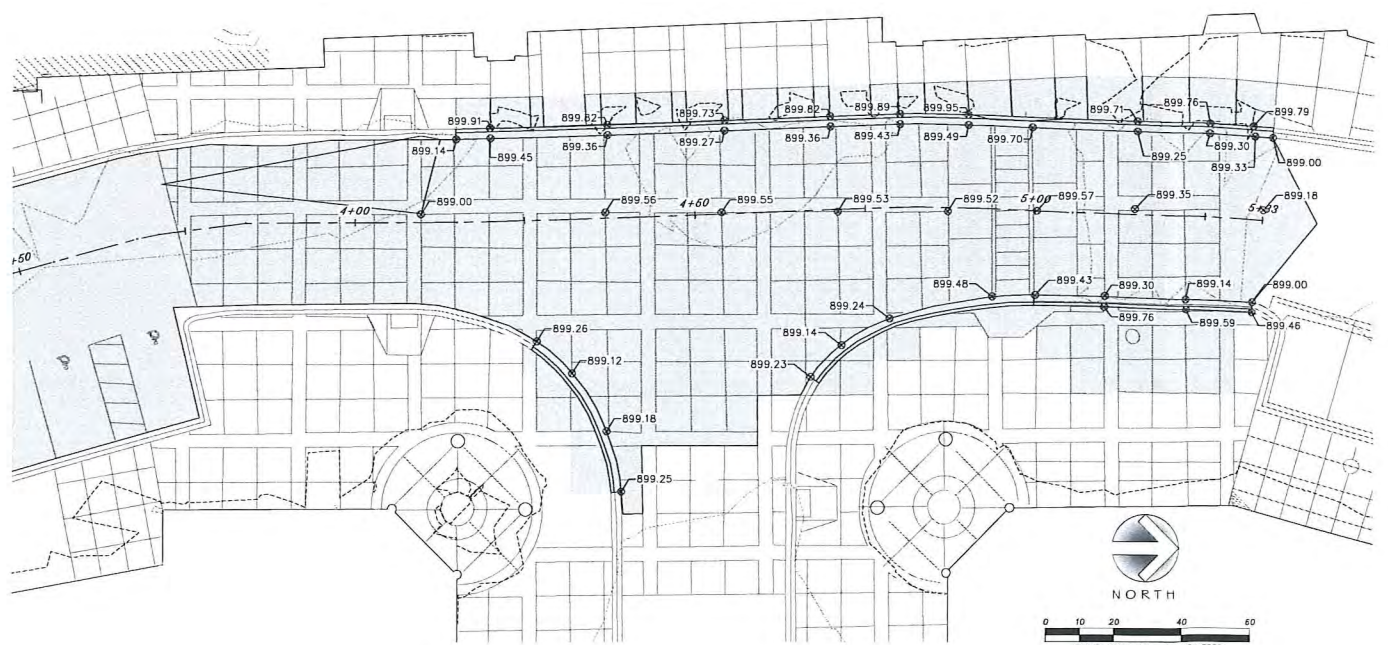
SITE PLAN
C400



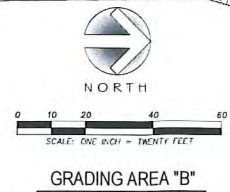
C



B



A



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 madison 309 West Johnson Street, Suite 202
 Madison, Wisconsin 53703
 telephone 608.482.5550



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702 N Midvale Blvd
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 33 BOYLSTON ST., STE. 3000
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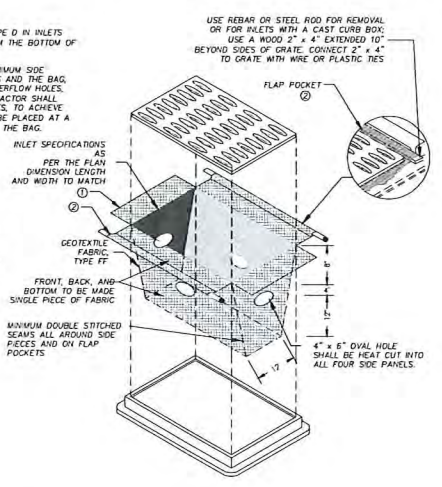
GRADING PLAN

C500

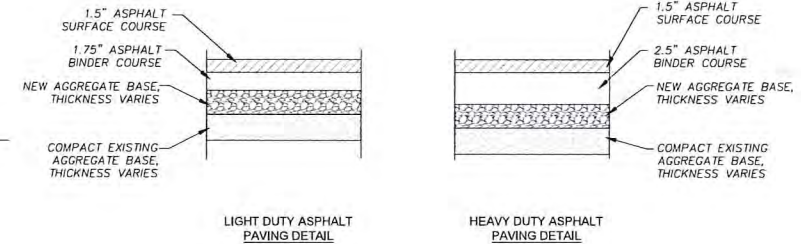
INSTALLATION NOTES:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CHISEL THE BAG USING PLASTIC ZIP TIES TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

GENERAL NOTES:
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON MS DOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
INLET PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH MNR TECHNICAL STANDARDS 1060
FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
FLAP POCKET SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2" x 4".

1 INLET PROTECTION TYPE "D" DETAIL
SCALE: NTS

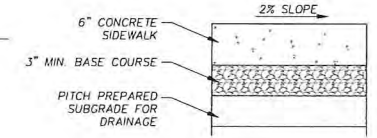


D



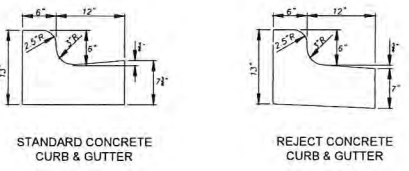
2 TYPICAL PAVEMENT SECTIONS
SCALE: NTS

C



3 TYPICAL SIDEWALK SECTION
SCALE: NTS

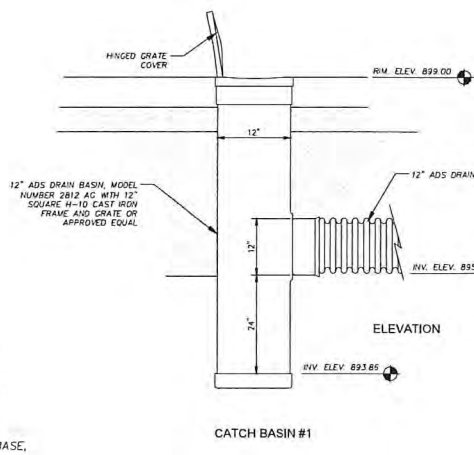
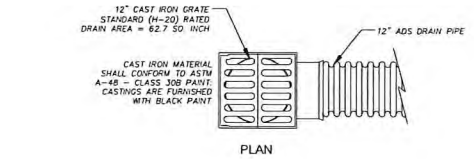
B



NOTES:
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 300' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
THE EXPANSION JOINT SHALL BE A ONE PEECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2\"/>

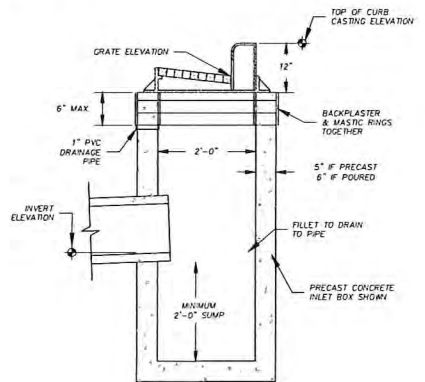
4 TYPICAL CURB SECTIONS
SCALE: NTS

A



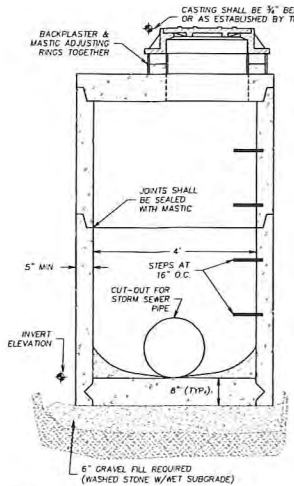
5 GRATED CATCH BASIN
SCALE: NTS

C



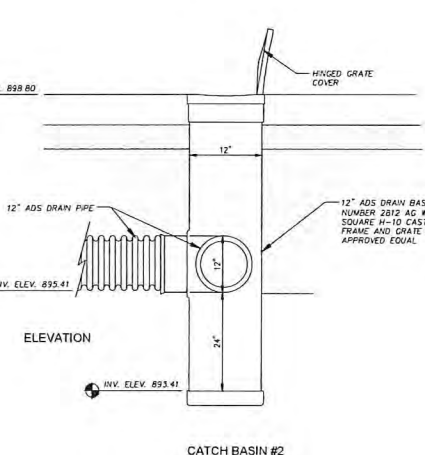
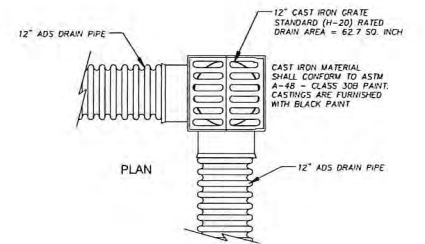
6 STORM SEWER CURB INLET DETAIL
SCALE: NTS

C



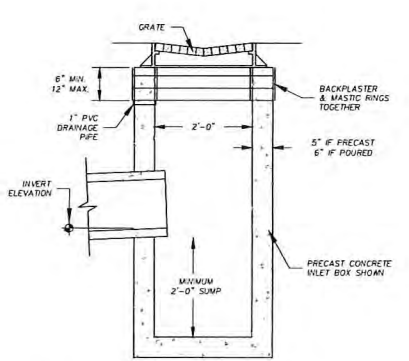
7 STORM SEWER MANHOLE
SCALE: NTS

C



8 STORM SEWER CATCH BASIN
SCALE: NTS

C

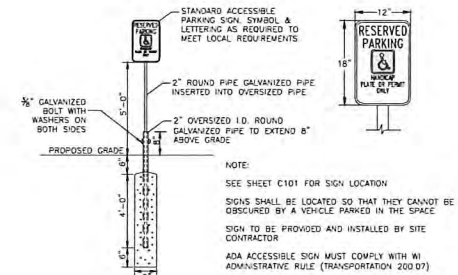


10 PARKING STALL PAINT DETAIL
SCALE: NTS

C

11 ADA ACCESSIBLE SIGNAGE DETAIL
SCALE: NTS

C



11 ADA ACCESSIBLE SIGNAGE DETAIL
SCALE: NTS

C



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SNYDER & ASSOCIATES
Engineers and Planners

PROJECT INFORMATION

Hilldale Shopping Center Phase 2

702 N Midvale Blvd
Madison, WI 53705



WS DEVELOPMENT
33 BOYLSTON ST. STE 3000
CHESTNUT HILL, MA 02457
P: 617.232.6500

ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

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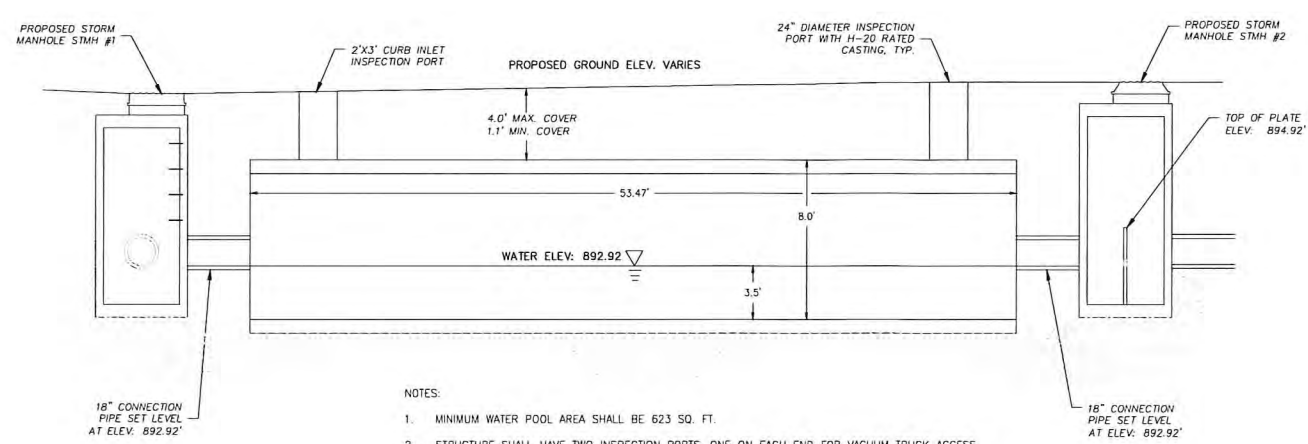
PROJECT MANAGER CG
PROJECT NUMBER 716013-01
DATE 06/03/2016

DETAILS

C700

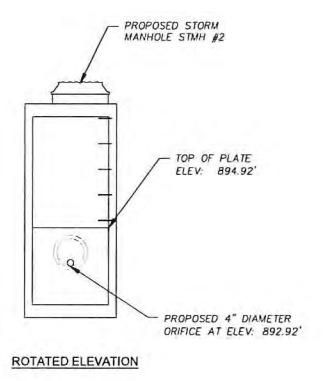
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E
D
C
B
A



- NOTES:
1. MINIMUM WATER POOL AREA SHALL BE 623 SQ. FT.
 2. STRUCTURE SHALL HAVE TWO INSPECTION PORTS, ONE ON EACH END FOR VACUUM TRUCK ACCESS AND VISUAL INSPECTION.
 3. METAL WEIR PLATE SHALL BE TREATED TO RESIST CORROSION. PLATE SHALL BE ANCHORED TO SIDE OF MANHOLE VIA ANGLE IRON. ALL GAPS SHALL BE TREATED TO BE WATER TIGHT WITH WATER PROOF EPOXY SEALANT.

1
C701 UNDERGROUND STORM SEWER WETVAULT
SCALE: NTS



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ISSUANCE AND REVISIONS

SCHEMATIC DESIGN

#	DATE	DESCRIPTION
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KEY PLAN

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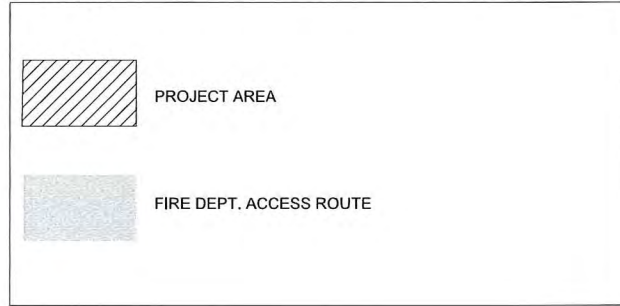
PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
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PROJECT MANAGER CG
 PROJECT NUMBER 716013-01
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UNDERGROUND STORM SEWER WETVAULT

C701

LEGEND



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PROJECT INFORMATION

Hilldale Shopping Center Phase 2

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WS DEVELOPMENT
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ISSUANCE AND REVISIONS

Combined Plan Commission,
 Urban Design Commission
 Submittal

#	DATE	DESCRIPTION

KEY PLAN

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PROJECT MANAGER CG

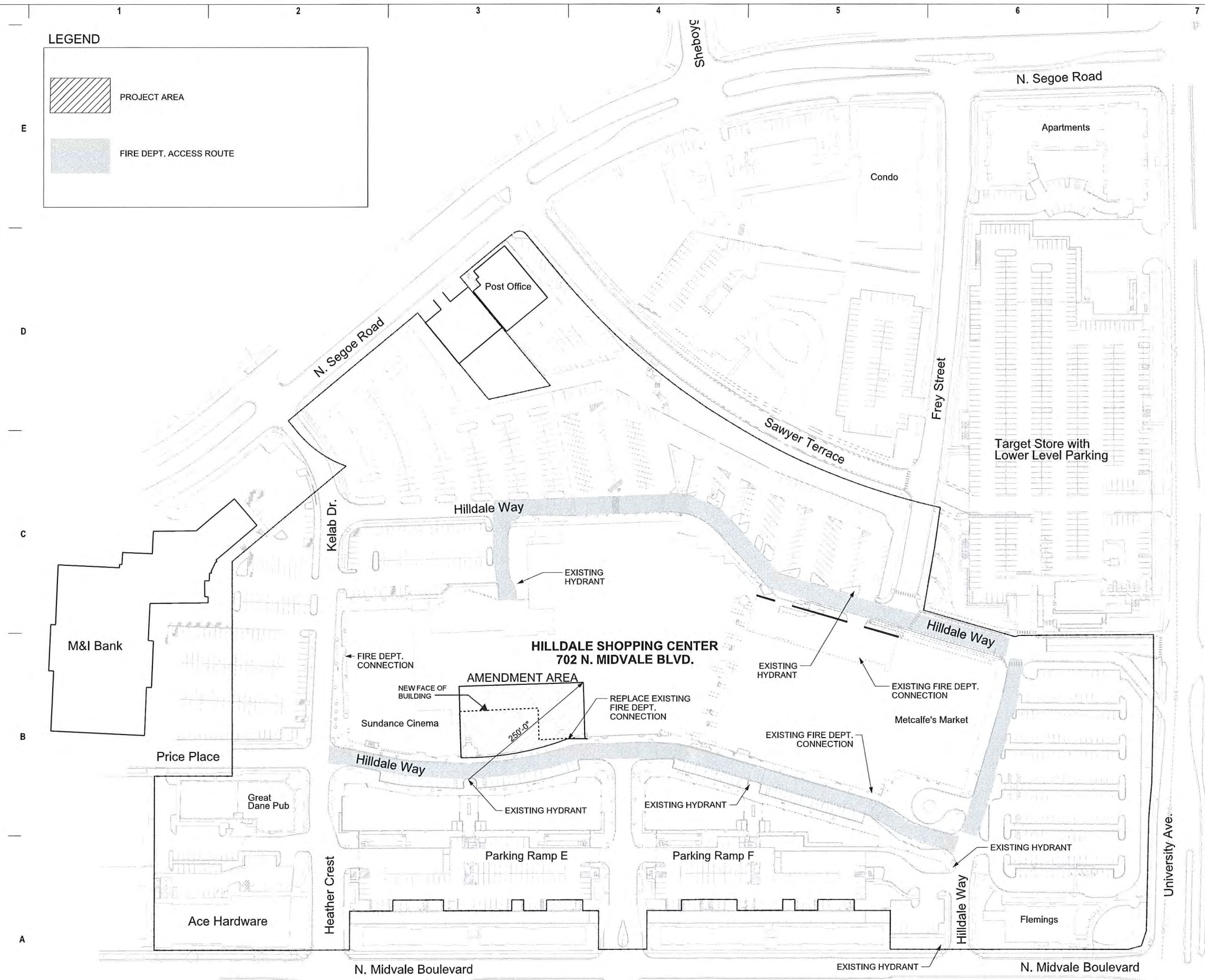
PROJECT NUMBER 716013

DATE 06/15/2016

Fire Dept. Access Plan

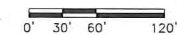
FP100

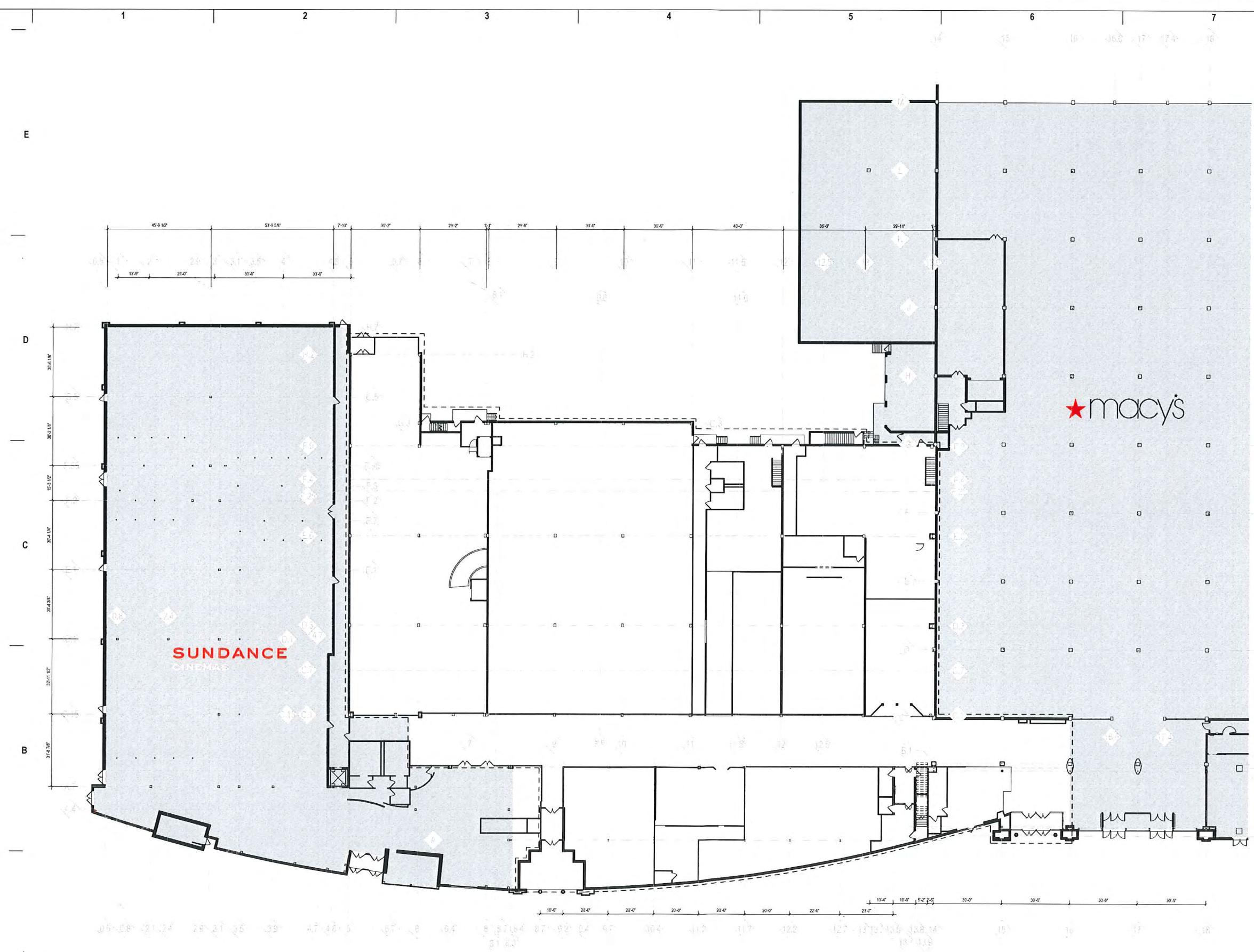
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1 FIRE DEPT. ACCESS PLAN

FP100





First Floor Existing
 0 4 8 12 16 20 24 28 32
 SCALE: 1/16" = 1'-0"



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PROJECT INFORMATION

Hilldale Shopping Center Phase 2

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 PROJECT NUMBER 716013
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EXISTING FIRST FLOOR PLAN

A001



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PROJECT INFORMATION

Hilldale Shopping Center Phase 2

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KEY PLAN

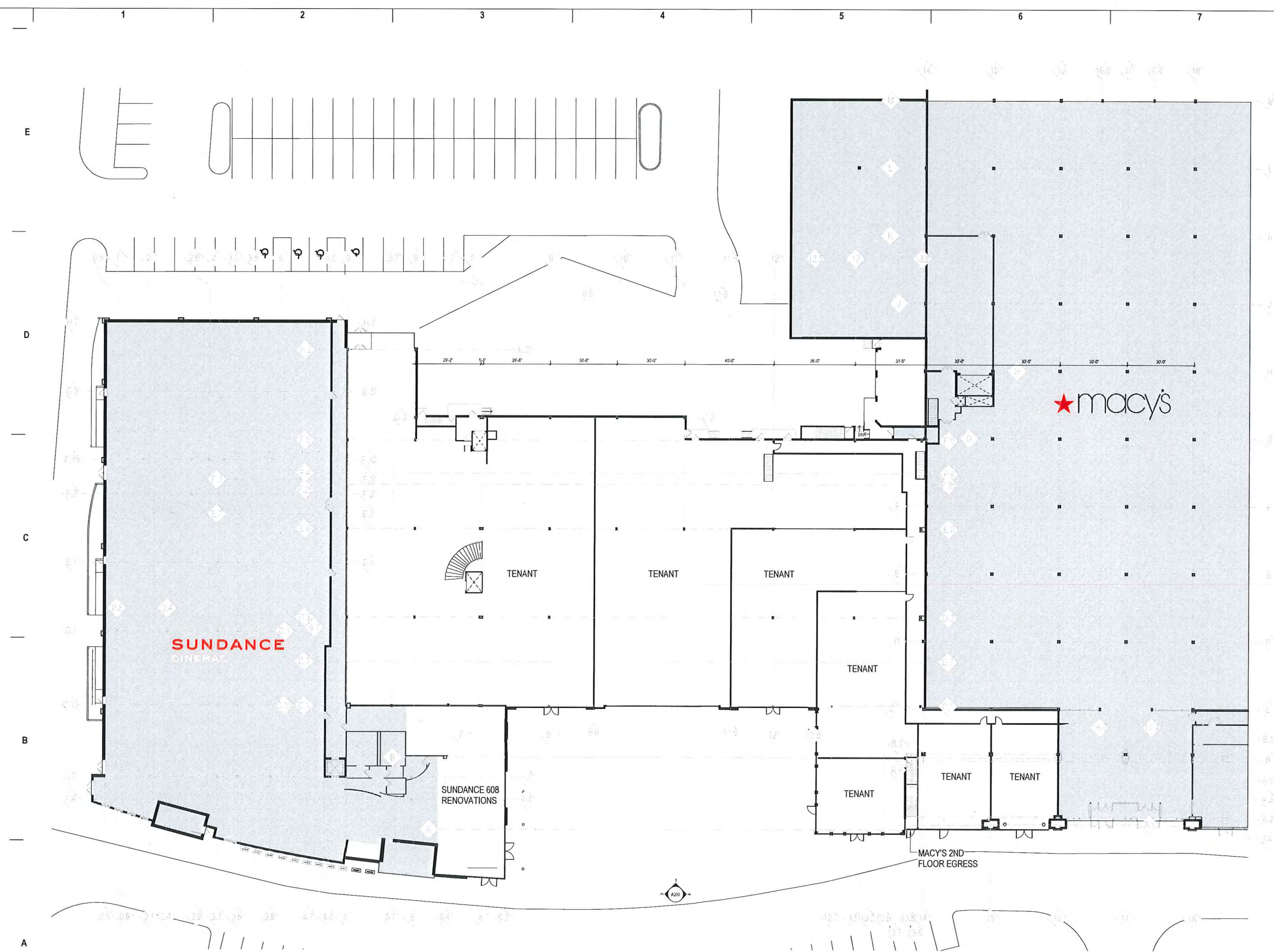
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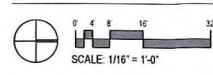
PROJECT MANAGER CG
 PROJECT NUMBER 716013
 DATE 06/15/2016

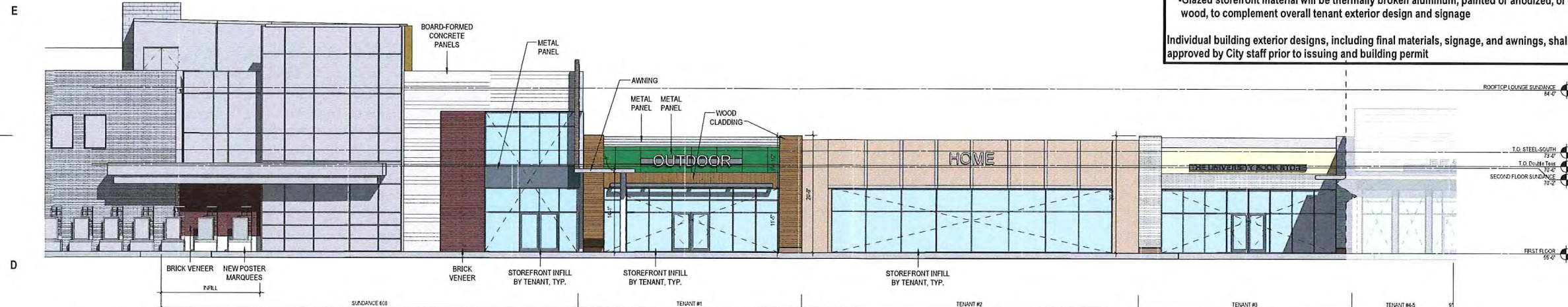
FIRST FLOOR PLAN

A101

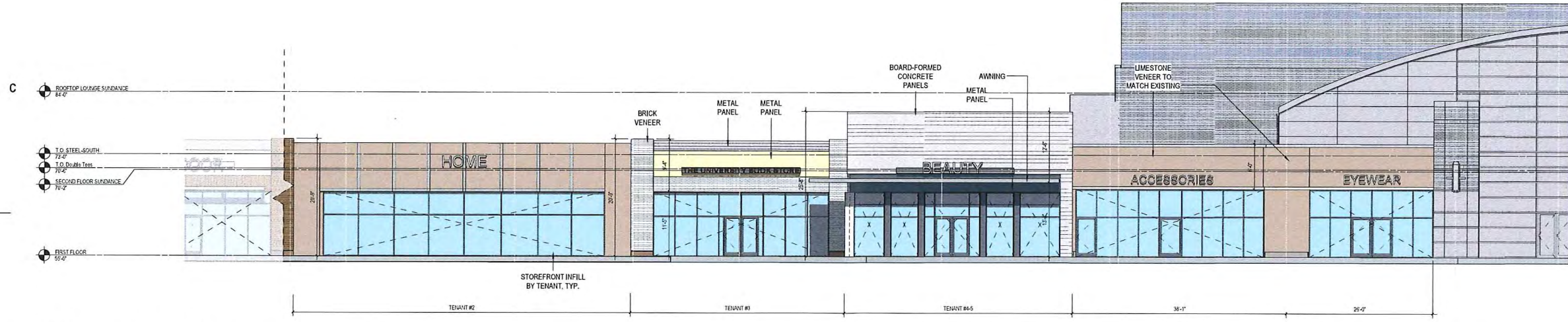


FIRST FLOOR

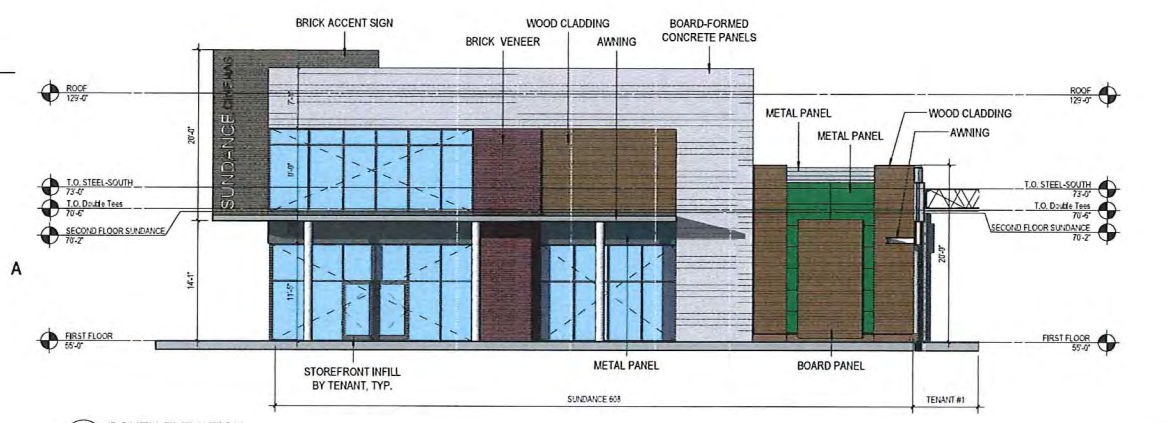




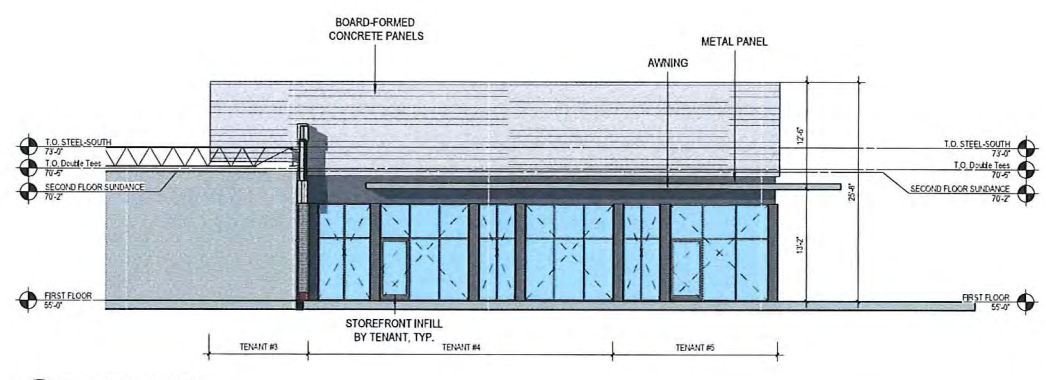
1 WEST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION, CONTINUED
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTE:
These building elevations represent a variety of materials, colors and textures that may be possible, but will be further developed as individual tenants are identified.

- Solid wall panel material between and above storefronts will vary from section to section
- Elevations and renderings in this submittal show metal panels (both aluminum composite and steel profiles), masonry, precast concrete, wood and painted PVC trim above and between tenant spaces
- Glazed storefront material will be thermally broken aluminum, painted or anodized, or wood, to complement overall tenant exterior design and signage

Individual building exterior designs, including final materials, signage, and awnings, shall be approved by City staff prior to issuing and building permit



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PROJECT INFORMATION

Hilldale Shopping Center Phase 2

702 N Midvale Blvd
 Madison, WI 53705



ISSUANCE AND REVISIONS

Combined Plan Commission,
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 PROJECT NUMBER 716013
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EXTERIOR ELEVATIONS

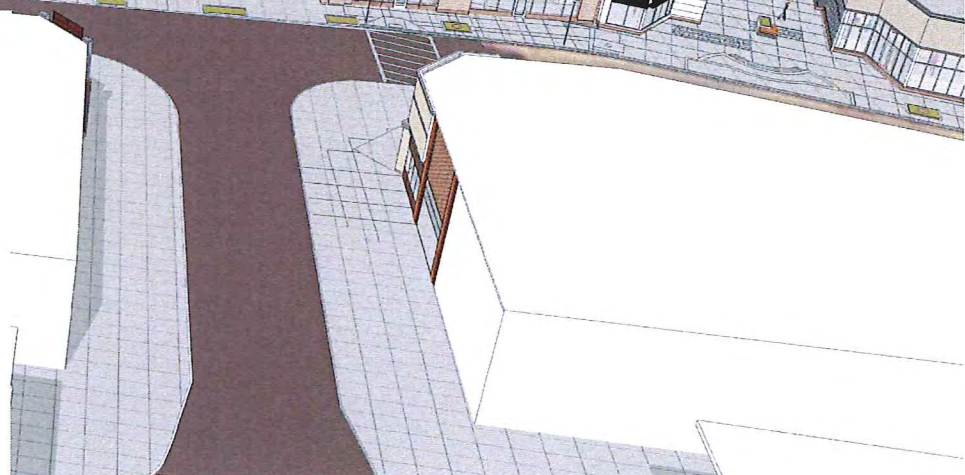
A200

1 2 3 4 5 6 7

E

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eua
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 madison 309 West Johnson Street, Suite 202
 Madison Wisconsin 53703
 Telephone 608.442.5500

PROJECT INFORMATION
Hilldale Shopping Center Phase 2

702 N Midvale Blvd
 Madison, WI 53705

HILLDALE
 WS DEVELOPMENT
 33 BOYLSTON ST. STE 3000
 CHESTNUT HILL, MA 02157
 #617.232.8900

ISSUANCE AND REVISIONS

Combined Plan Commission,
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OVERALL PERSPECTIVE VIEW

A901

1 2 3 4 5 6 7

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1 2 3 4 5 6 7



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E

E



PROJECT INFORMATION

Hilldale Shopping Center Phase 2

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D



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C

KEY PLAN

B

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A

VIEW LOOKING SOUTH

A902

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1 2 3 4 5 6 7

A



Before



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PROJECT INFORMATION

**Hilldale Shopping
Center Phase 2**

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Madison, WI 53705



HILLDALE



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PROJECT NUMBER	716013
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**VIEW LOOKING
WEST**

A903

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E

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1 2 3 4 5 6 7

1 2 3 4 5 6 7



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PROJECT INFORMATION

Hilldale Shopping
Center Phase 2

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33 BOYLSTON ST. STE 200
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DATE 06/15/2016

VIEW LOOKING
SOUTHWEST

A904

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E

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1 2 3 4 5 6 7

1 2 3 4 5 6 7

1 2 3 4 5 6 7

E



A

1 2 3 4 5 6 7



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madison 309 West Johnson Street Suite 202
Madison Wisconsin 53703
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PROJECT INFORMATION

Hilldale Shopping Center Phase 2

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Madison, WI 53705



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PH: 617.332.8900

ISSUANCE AND REVISIONS

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PROJECT MANAGER CG
PROJECT NUMBER 716013
DATE 06/15/2016

VIEW LOOKING
NORTHWEST

A905



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PROJECT INFORMATION

Hilldale Shopping
 Center Phase 2

702 N Midvale Blvd
 Madison, WI 53705



ISSUANCE AND REVISIONS

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KEY PLAN

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PROJECT MANAGER	CG
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VIEW LOOKING
 NORTH

A906



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 Madison, Wisconsin 53753
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PROJECT INFORMATION

Hilldale Shopping
 Center Phase 2

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ISSUANCE AND REVISIONS

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#	DATE	DESCRIPTION
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KEY PLAN

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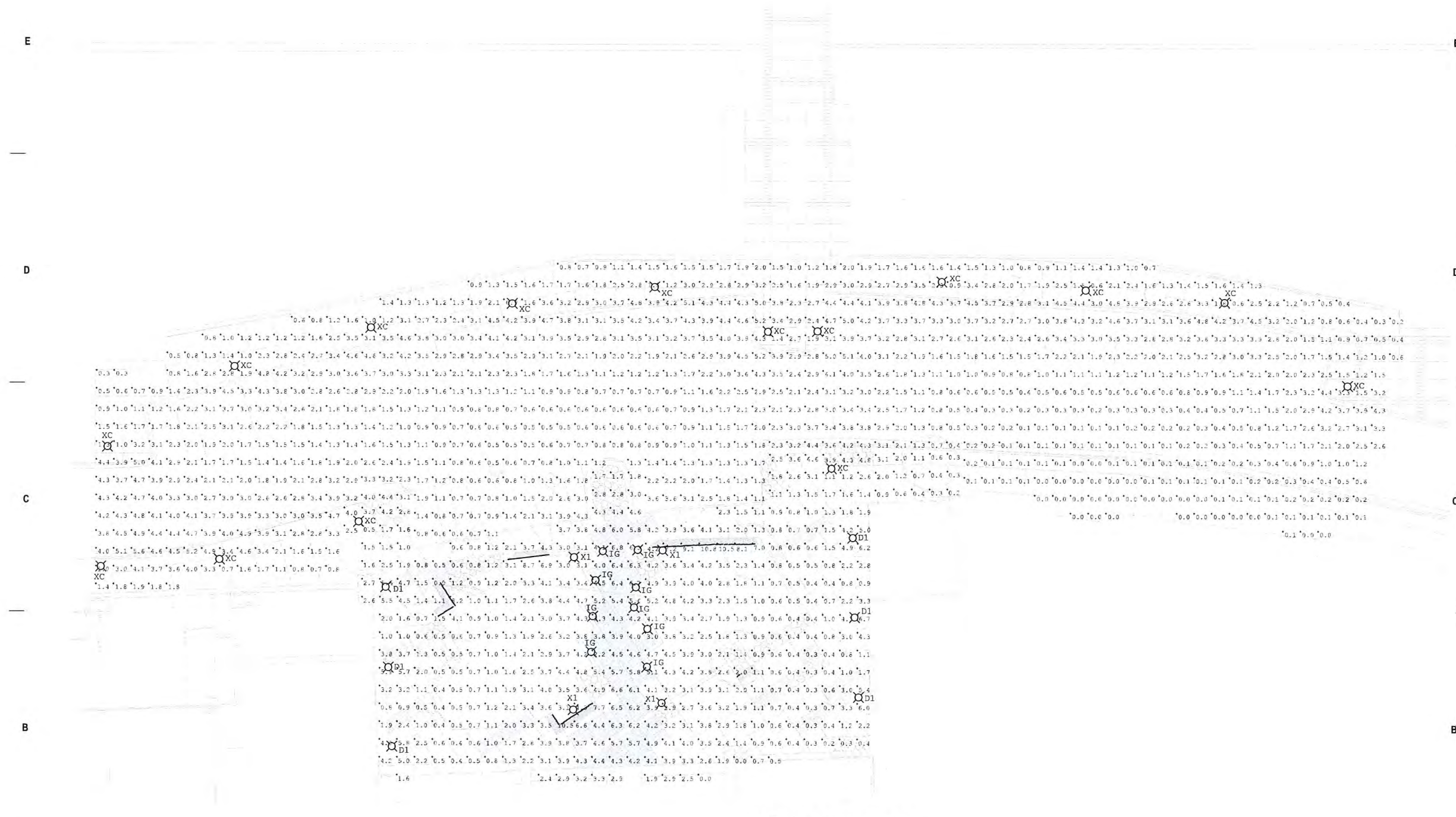
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 DATE 06/15/2016

SITE -
 PHOTOMETRICS

ES001



1 SITE - PHOTOMETRICS
 SCALE: NTS

Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
X	15	XC	XC SACL-1-LG3700-R3-35	SeLux Saturn Type 3 Distribution	66.99	4164	0.900
D	6	D1	PD610ED010- FDM6A830-61V	6 inch downlight	12.1	993	0.900
X	4	X1	ARB-24-REC-D1-75-8030	Eaton Invue Arbor Type 5 Distribution	86	7108	0.900
I	9	IG	FCD681-4K-120L	In Grade Single Window Patchlight	4	136	0.900
-	63		iLight-Flexineon-White-1	Beneath Bench Light	2.59	53	0.900

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive and Sidewalk Across	Illuminance	Fc	1.98	5.6	0.0	N.A.	N.A.
Plaza	Illuminance	Fc	2.63	10.8	0.0	N.A.	N.A.

JDR
 ENGINEERING, INC.
 5525 NOBEL DRIVE
 SUITE 110
 MADISON, WI 53711
 ph:608.277.1728 fax:608.271.7016
 JDR Project No. 16.0041

TYPE D1

Category	Type
Project	
Comments	
Proposed by	

DESCRIPTION
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

MECHANICAL
Frame
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

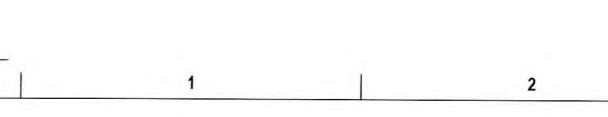
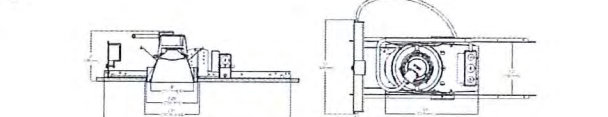
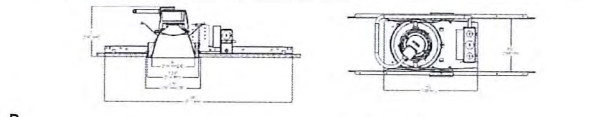
OPTICAL
LED Module
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

Lumens	1500 Series	2000 Series	3000 Series
Input Voltage	120V	120V	120V
Input Power	17.1W	17.1W	17.1W
Efficiency	82 LPW	82 LPW	82 LPW
Beam Spread	34.8°	34.8°	34.8°

F.T.N
F.T.N Lighting, Inc. reserves the right to change details or specifications without notice. Product user certifies agreement to F.T.N Lighting terms and conditions.

Halo Commercial

Series	Mounting	Light Engine	Optics	CCT	FOOT CANDLE	Finish	Voltage	Options
SACL-1	1 Single	LG1000	500mA	R1	35 5000K	12	WH White	120 DC Full-Cut Glass
SACL-2	2 Single	LG1000	500mA	R1	35 5000K	12	WH White	120 DC Full-Cut Glass



TYPE IG

Date:	Approved:
Type:	
Fixture:	
Project:	



Series	Voltage	Source/Temperature/Lamp	Finish	Accessories
FCD481	120V	LED 3K or 4K 120 Lumens/ft	SK Black	IC & Grit
FCD482	277V	LED 3K or 4K 240 Lumens/ft	BZ Bronze	EMR Emergency (Hazard Factor: consult factory)
FCD484	120V/277V	LED 3K or 4K 480 Lumens/ft	CE Custom Color	F Exit

ORDERING
EXAMPLE: FCD482-120V-LED-4K-3K-CE-F-FCV

DESCRIPTION
The Halo IG recessed downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

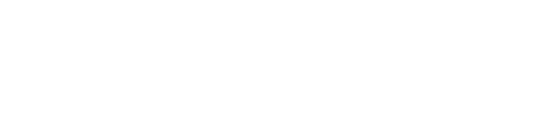
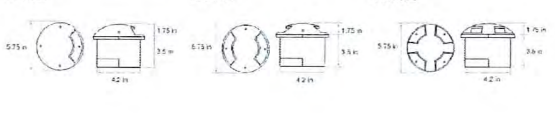
MECHANICAL
Frame
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

OPTICAL
LED Module
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

Lumens	1500 Series	2000 Series	3000 Series
Input Voltage	120V	120V	120V
Input Power	17.1W	17.1W	17.1W
Efficiency	82 LPW	82 LPW	82 LPW
Beam Spread	34.8°	34.8°	34.8°

F.T.N
F.T.N Lighting, Inc. reserves the right to change details or specifications without notice. Product user certifies agreement to F.T.N Lighting terms and conditions.

PHOTOMETRY
The Halo IG recessed downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.



TYPE X1

Date:	Approved:
Type:	
Fixture:	
Project:	



DESCRIPTION
The Halo X1 recessed downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

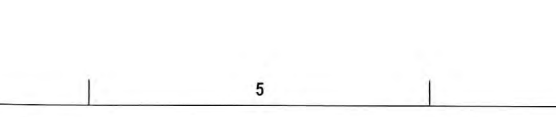
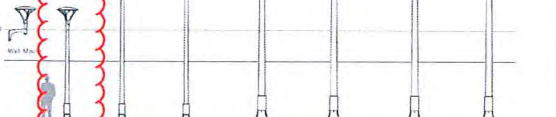
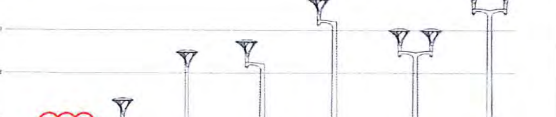
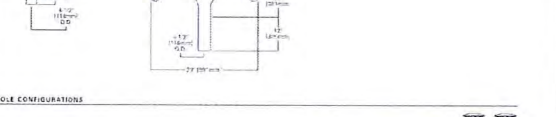
MECHANICAL
Frame
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

OPTICAL
LED Module
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

Lumens	1500 Series	2000 Series	3000 Series
Input Voltage	120V	120V	120V
Input Power	17.1W	17.1W	17.1W
Efficiency	82 LPW	82 LPW	82 LPW
Beam Spread	34.8°	34.8°	34.8°

F.T.N
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PHOTOMETRY
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TYPE XC

Date:	Approved:
Type:	
Fixture:	
Project:	



DESCRIPTION
The Halo XC recessed downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

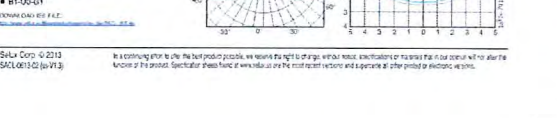
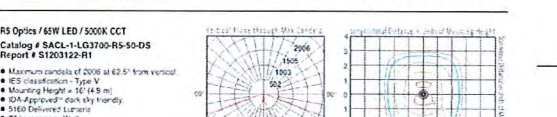
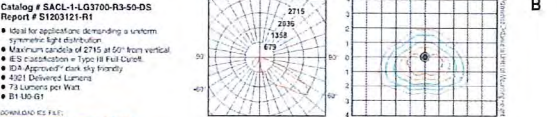
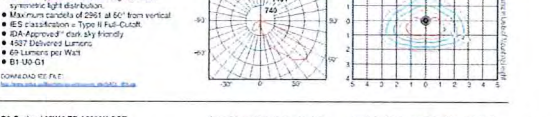
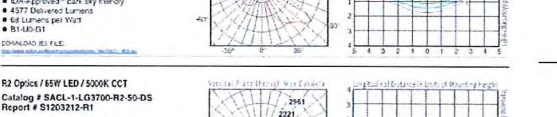
MECHANICAL
Frame
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

OPTICAL
LED Module
Recessed 4-inch LED linear downlight is available in various configurations, lumens and CCT options. Suitable for commercial construction and can be used for both interior and exterior work. Fixtures must be kept 3" from top and sides of housing. Use for general area lighting where high efficiency and visual comfort are required.

Lumens	1500 Series	2000 Series	3000 Series
Input Voltage	120V	120V	120V
Input Power	17.1W	17.1W	17.1W
Efficiency	82 LPW	82 LPW	82 LPW
Beam Spread	34.8°	34.8°	34.8°

F.T.N
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PHOTOMETRY
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PROJECT INFORMATION

Hilldale Shopping Center Phase 2
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33 BOYLSTON ST. STE 300
CHESTNUT HILL, MA 02457
P: 617.252.5900

ISSUANCE AND REVISIONS
Combined Plan Commission, Urban Design Commission
Submittal

#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
These documents reflect progress and intent and may be subject to change and/or additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER CG
PROJECT NUMBER 716013
DATE 06/15/2016

LIGHT FIXTURES

ES002
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