

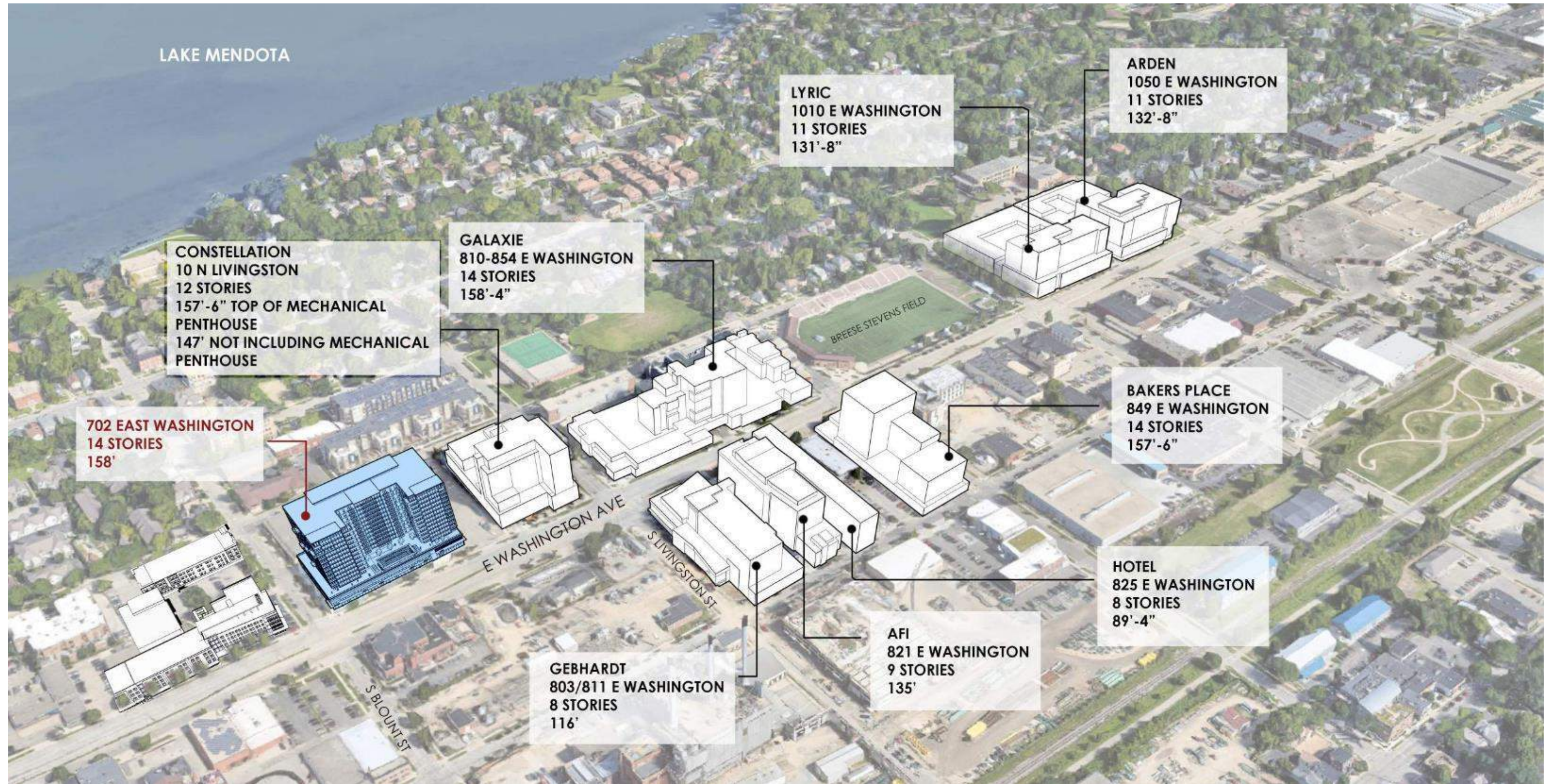
702 East Washington - Redevelopment

UDC Presentation
Context Map



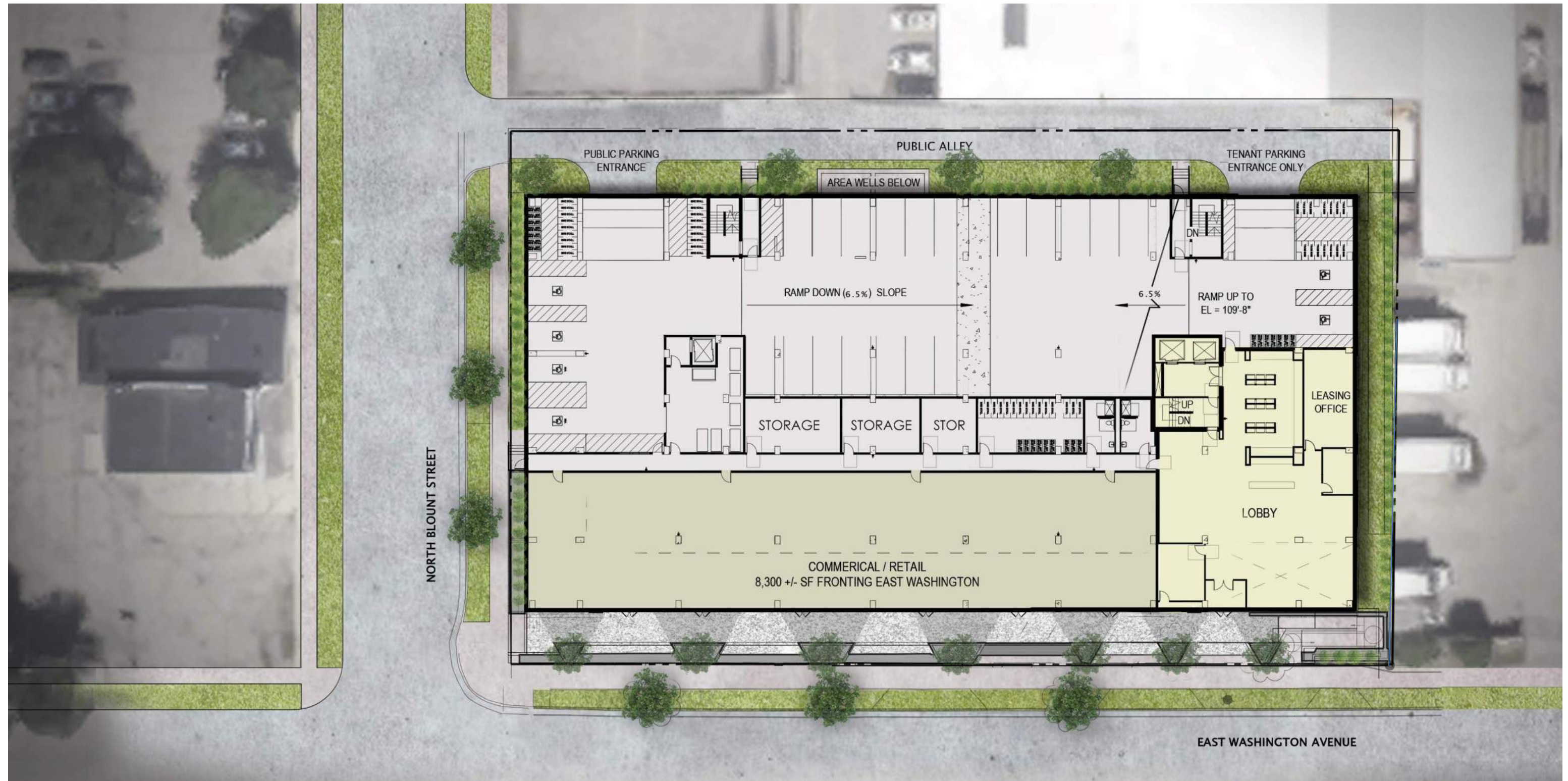
702 East Washington - Redevelopment

UDC Presentation
Context Map



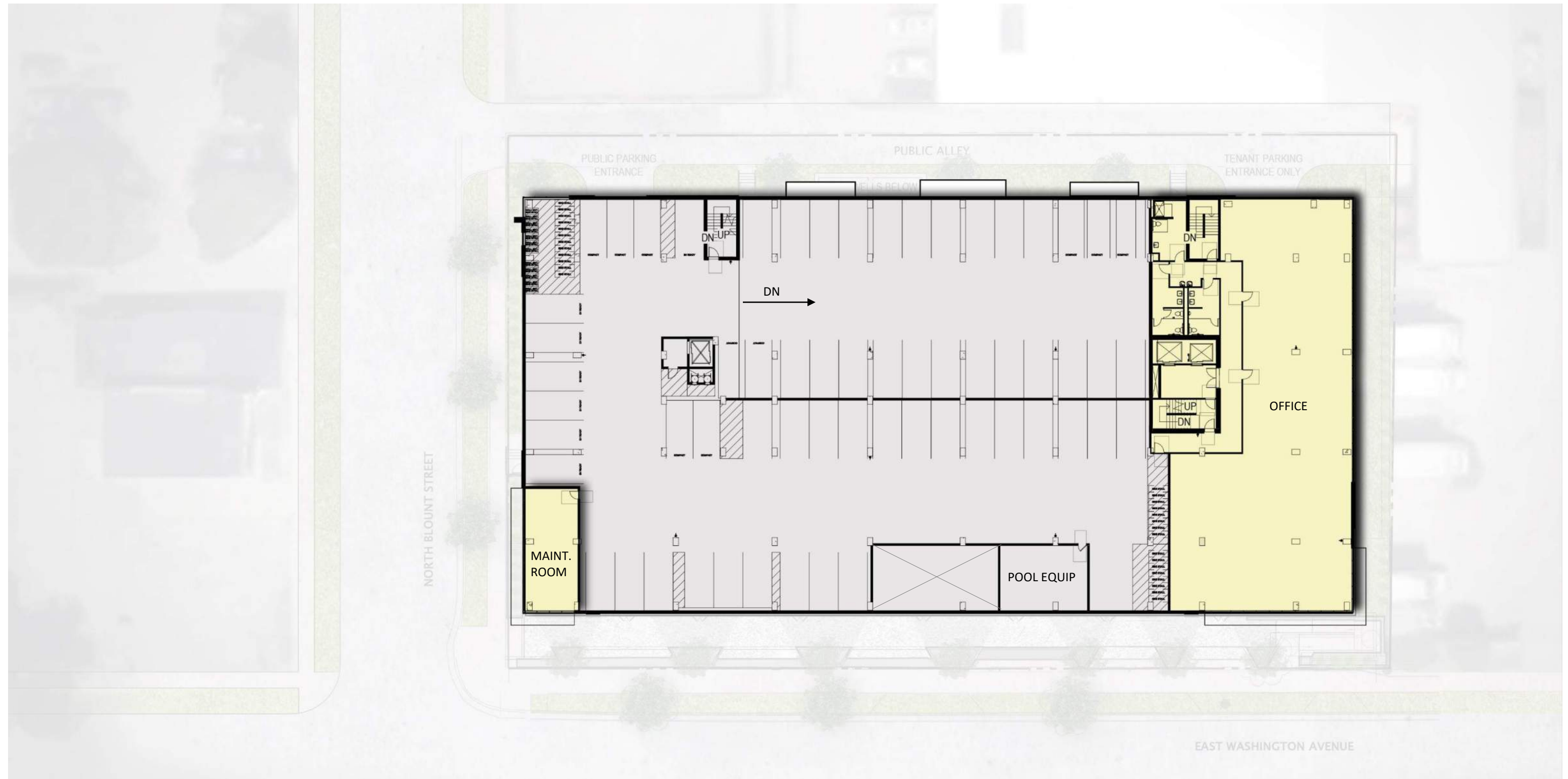
702 East Washington - Redevelopment

UDC Presentation
First Floor Plan



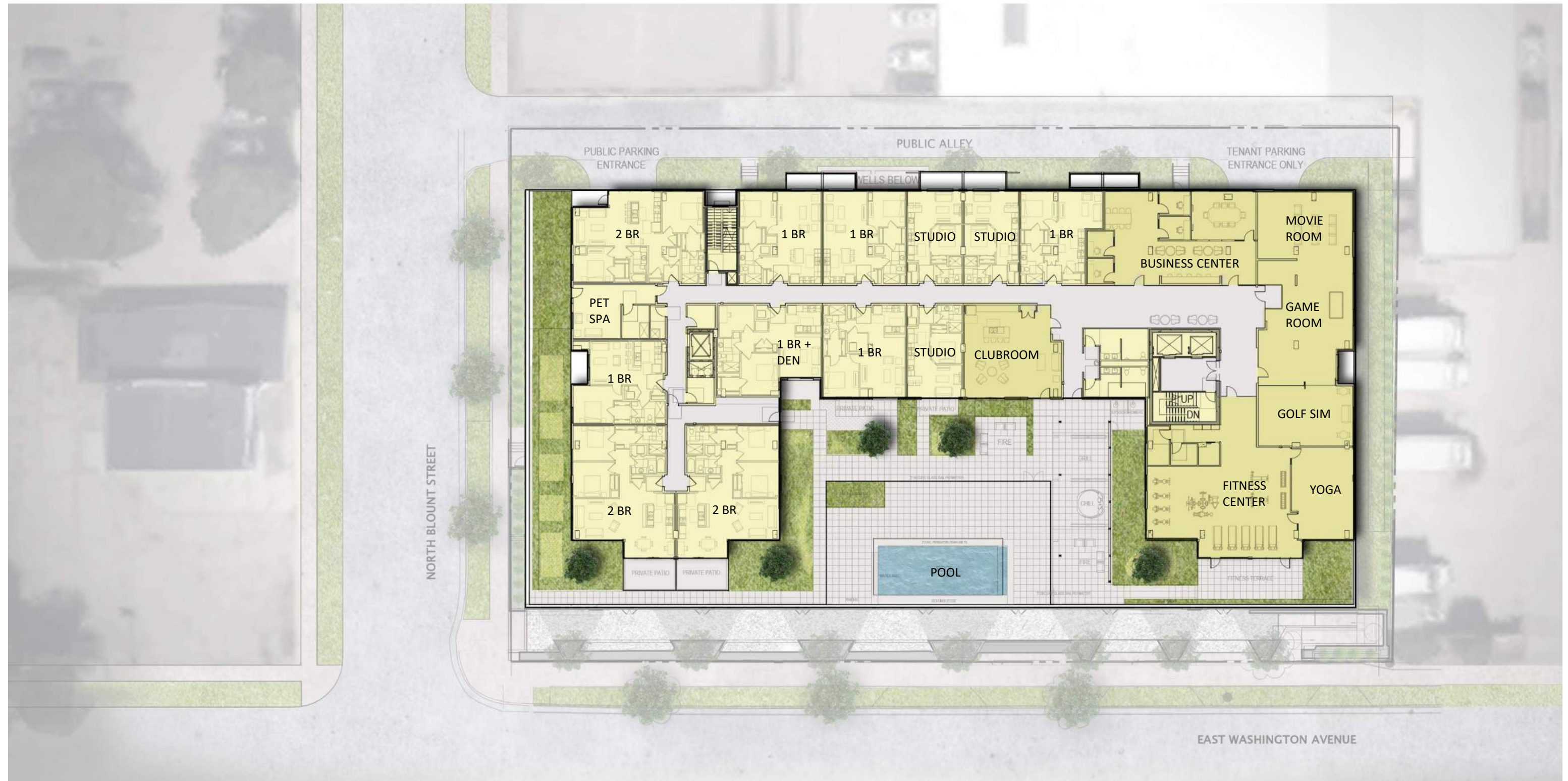
702 East Washington - Redevelopment

UDC Presentation
Second Floor Plan



702 East Washington - Redevelopment

UDC Presentation
Third Floor Plan



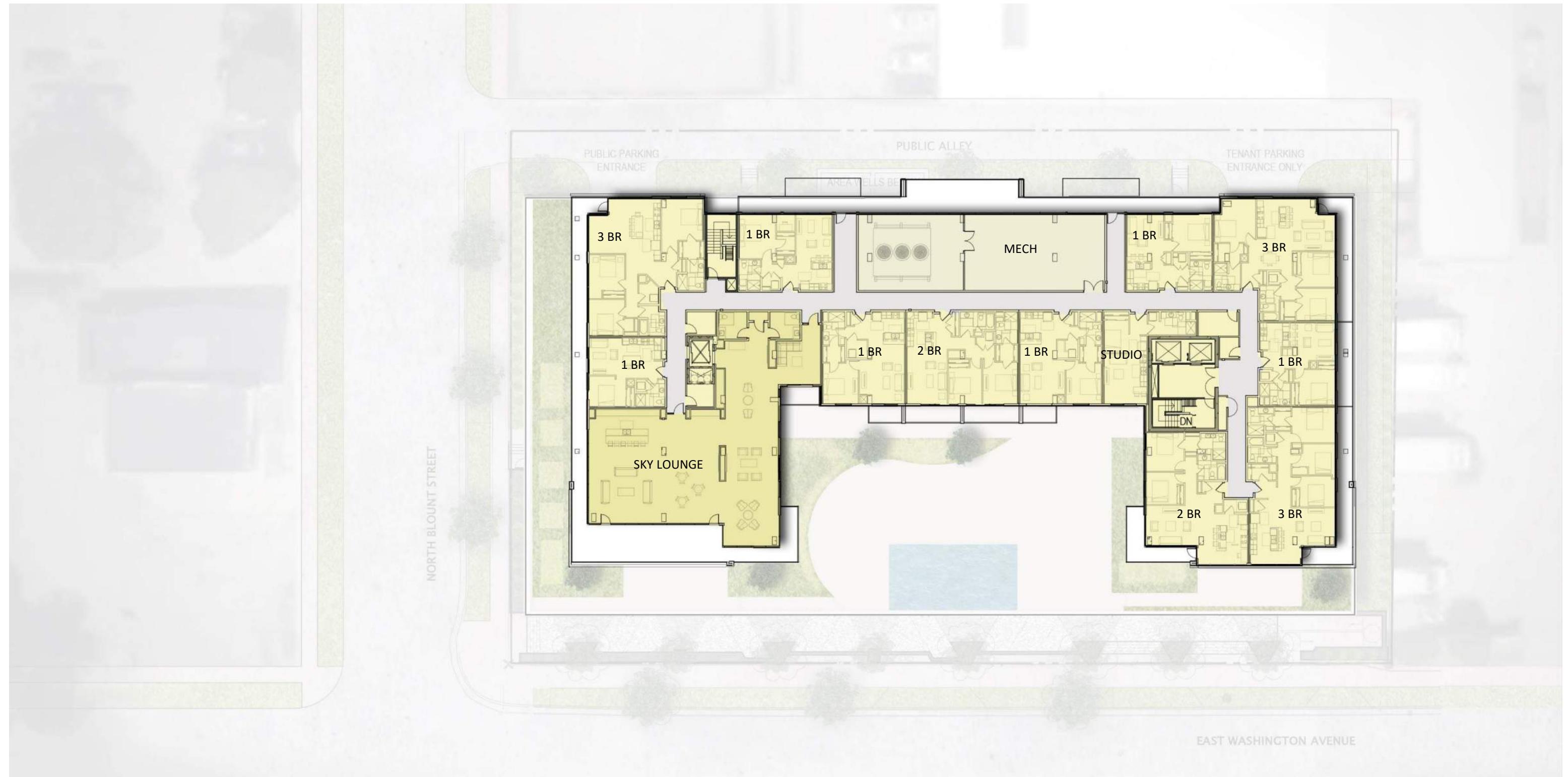
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UDC Presentation
Typical Floor Plan



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UDC Presentation
Fourteenth Floor Plan



702 East Washington - Redevelopment

UDC Presentation
South Elevation

282' = 1032' CAPITOL VIEW LIMIT





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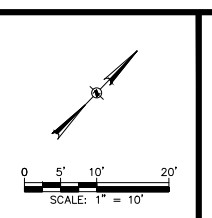
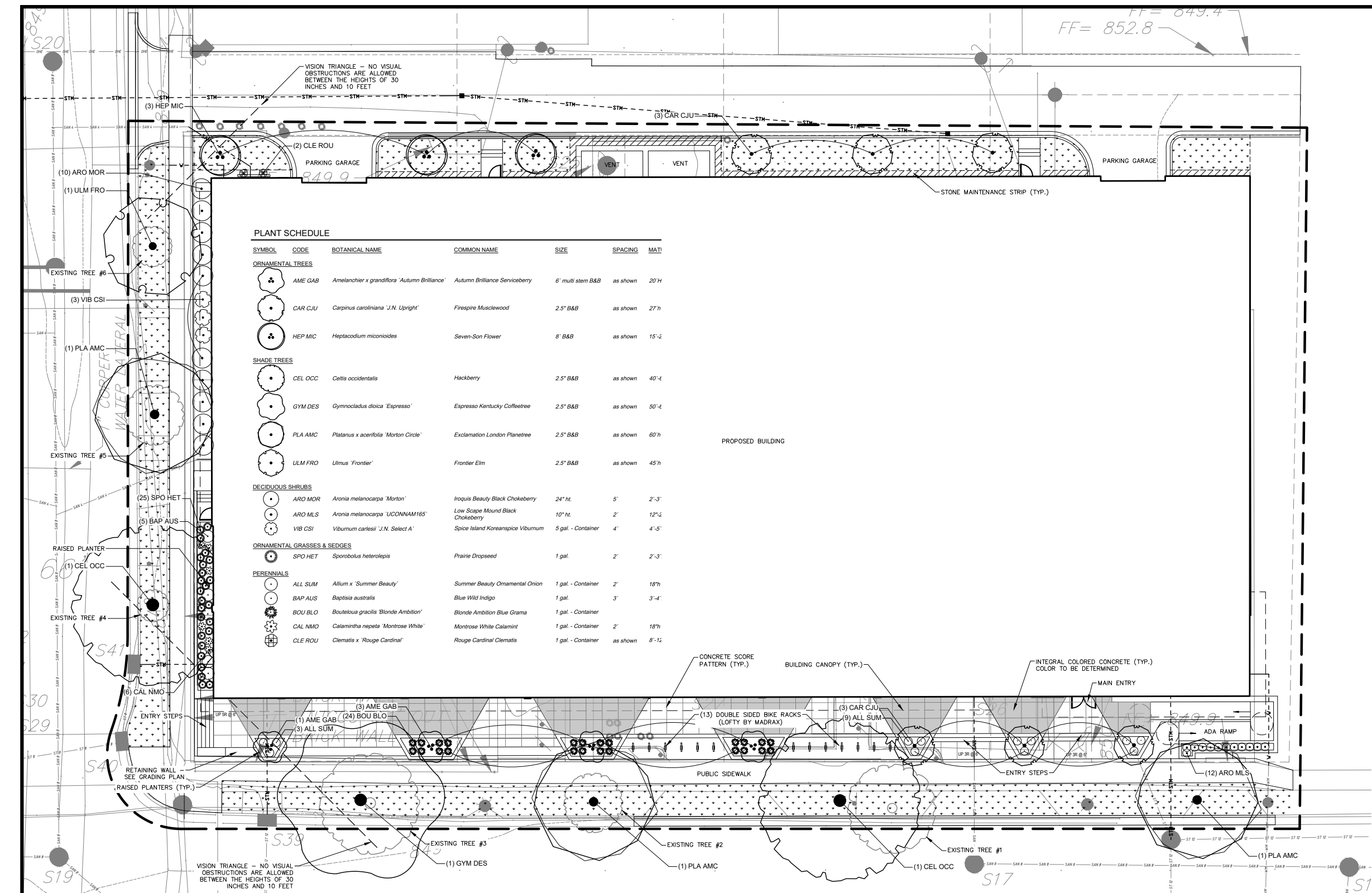
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THANK YOU

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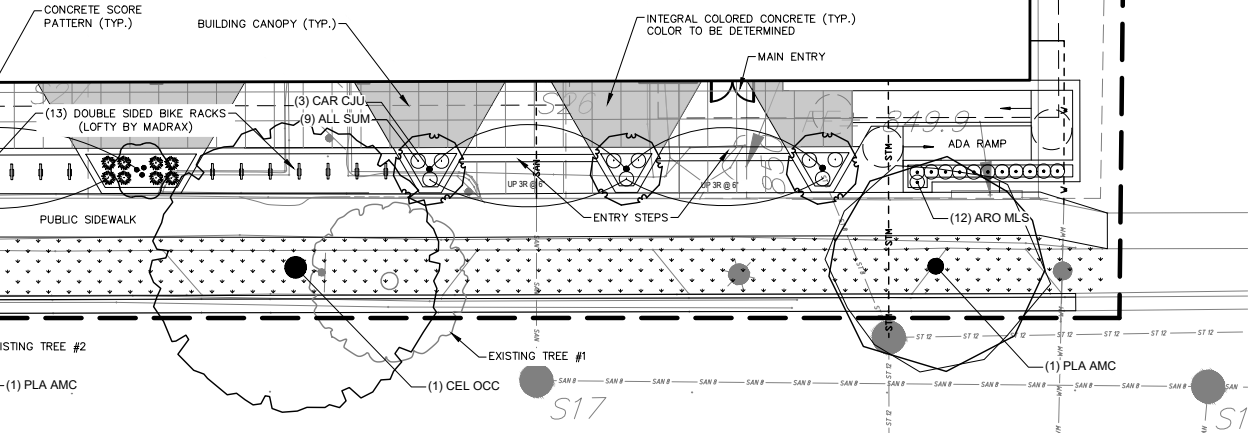


PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATI
ORNAMENTAL TREES						
	AME GAB	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	6' multi stem B&B	as shown	20'H
	CAR CJU	<i>Carpinus caroliniana 'J.N. Upright'</i>	Firespire Musclewood	2.5" B&B	as shown	27'h
	HEP MIC	<i>Heptacodium miconioides</i>	Seven-San Flower	8' B&B	as shown	15'-2
SHADE TREES						
	CEL OCC	<i>Celtis occidentalis</i>	Hackberry	2.5" B&B	as shown	40'-4
	GYM DES	<i>Gymnocladus dioica 'Espresso'</i>	Espresso Kentucky Coffeetree	2.5" B&B	as shown	50'-4
	PLA AMC	<i>Platanus x acerifolia 'Morton Circle'</i>	Exclamation London Planetree	2.5" B&B	as shown	60'h
	ULM FRO	<i>Ulmus 'Frontier'</i>	Frontier Elm	2.5" B&B	as shown	45'h
DECIDUOUS SHRUBS						
	ARO MOR	<i>Aronia melanocarpa 'Morton'</i>	Iroquois Beauty Black Chokeberry	24" ht.	5'	2'-3'
	ARO MLS	<i>Aronia melanocarpa 'UCONNAM165'</i>	Low Scape Mound Black Chokeberry	10" ht.	2'	12'-2
	VIB CSI	<i>Viburnum carlesii 'J.N. Select A'</i>	Spice Island Koreanspice Viburnum	5 gal. - Container	4'	4'-5'
ORNAMENTAL GRASSES & SEDGES						
	SPO HET	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	2'	2'-3'
PERENNIALS						
	ALL SUM	<i>Allium x 'Summer Beauty'</i>	Summer Beauty Ornamental Onion	1 gal. - Container	2'	18'h
	BAP AUS	<i>Baptisia australis</i>	Blue Wild Indigo	1 gal.	3'	3'-4'
	BOU BLO	<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blonde Ambition Blue Grama	1 gal. - Container		
	CAL NMO	<i>Calamintha nepeta 'Montrose White'</i>	Montrose White Calamint	1 gal. - Container	2'	18'h
	CLE ROU	<i>Clematis x 'Rouge Cardinal'</i>	Rouge Cardinal Clematis	1 gal. - Container	as shown	8'-12'

NOTICE: In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER: The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



702 E. Washington Ave.
 For all LANDSCAPE ITEMS and NOT shown in this plan (2) landscape items shall be provided for each tree hundred (100) square foot of developed area.
 Total square footage of developed area: 10,000 sq. ft.
 Total landscape items required: 200 items

Tabulation of Points and Credits

Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscape Points Achieved	New/Proposed Landscape Points	Points Achieved
Ornamental tree	2 1/2" caliper - measured at breast height	10	0	0	0
Tall evergreen tree	3'-6" tall	15	0	0	0
Ornamental tree	1 1/2" caliper or larger	10	0	13	135
Large evergreen shrub	3'-6" tall	10	0	0	0
Shrub, deciduous	18" pot/minimum cal. 1 1/2" DB"	1	0	25	75
Shrub, evergreen	18" pot/minimum cal. 1 1/2" DB"	4	0	0	0
Ornamental grass/perennials	18" pot/minimum cal. 1 1/2" DB"	2	0	74	148
Ornamental/perennials/evergreen	1 1/2"	4 per 10' linear ft.	0	0	0
Existing light fixture/spot light	Minimum size: 1/2" with 100' beam spread and 100' beam diameter. Maximum size: 1 1/2" with 100' beam spread and 100' beam diameter.	1	0	0	0
Landscape furniture for public seating	"See Notes" Must be within 100' of building footprint, and must be constructed of materials that are resistant to vandalism.	1	0	0	0
Sub Totals					418

Total Number of Points Provided: 418

Landscape Points Distribution

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, at building entrances, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows:

Total Developed Area: Required landscape area shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and loading/unloading facilities, but excluding the area of any building footprint, or public, semi-public or open space such as athletic fields, and undeveloped land areas on the same zoning lot.

Development Frontage Landscape: Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include areas of plant materials.

Interior Parking Lot Landscaping: The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings: Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

Screening Along District Boundaries: Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements: The following site elements shall be screened in compatibility with the design elements, materials and color used elsewhere on the site: refuse disposal area, outdoor storage area, loading area, and mechanical equipment.

*For a more comprehensive look into the City of Madison Landscape Requirements, see Section 28.142 Madison General Ordinance.

LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- ALUMINUM EDGER - COLOR BLACK
- MANICURED TURF SOD
- STONE MAINTENANCE STRIP - RAVEN BLACK STONE, 3/4" SIZE BY HALQUIST STONE

Existing Street/Site Tree Inventory

Tree Location	Approx. Size	Species	Removal (Y/N)
Public Street Tree			
Tree 1	11 inch	Ash Tree	Yes, due to construction processes
Tree 2	6 inch	Maple	Yes, due to construction processes
Tree 3	14 inch	Elm 'hybrid'	Yes, due to construction processes
Tree 4	2.5 inch	Honeylocust	Yes, due to construction processes
Tree 5	8 inch	Linden	Yes, due to construction processes
Tree 6	8 inch	Pear Tree	Yes, due to construction processes
Private Trees			
Tree 7	7 inch	Ironwood (Ornamental)	Yes, due to construction processes, see sheet C200
Tree 8	10 inch	Ash Tree	Yes, due to construction processes, see sheet C200
Tree 9	4 inch	Crabapple (Ornamental)	Yes, due to construction processes, see sheet C200
Tree 10	13 inch	Crabapple (Ornamental)	Yes, due to construction processes, see sheet C200

*Note: See C200 for locations of street trees to be removed. The Landscape Plan (L100) proposes 6 total replacement street trees, three along E. Washington and three along N. Blount St.

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: JANUARY 05, 2024

REVISION SCHEDULE

Mark	Description	Date

LANDSCAPE PLAN

SHEET NUMBER

L100

JLA PROJECT NUMBER: W22-0106

GRÄEF

1010 East Washington Avenue,
 Suite 202
 Madison, WI 53703
 608 / 242 1550

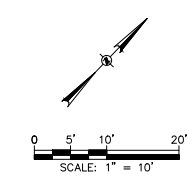
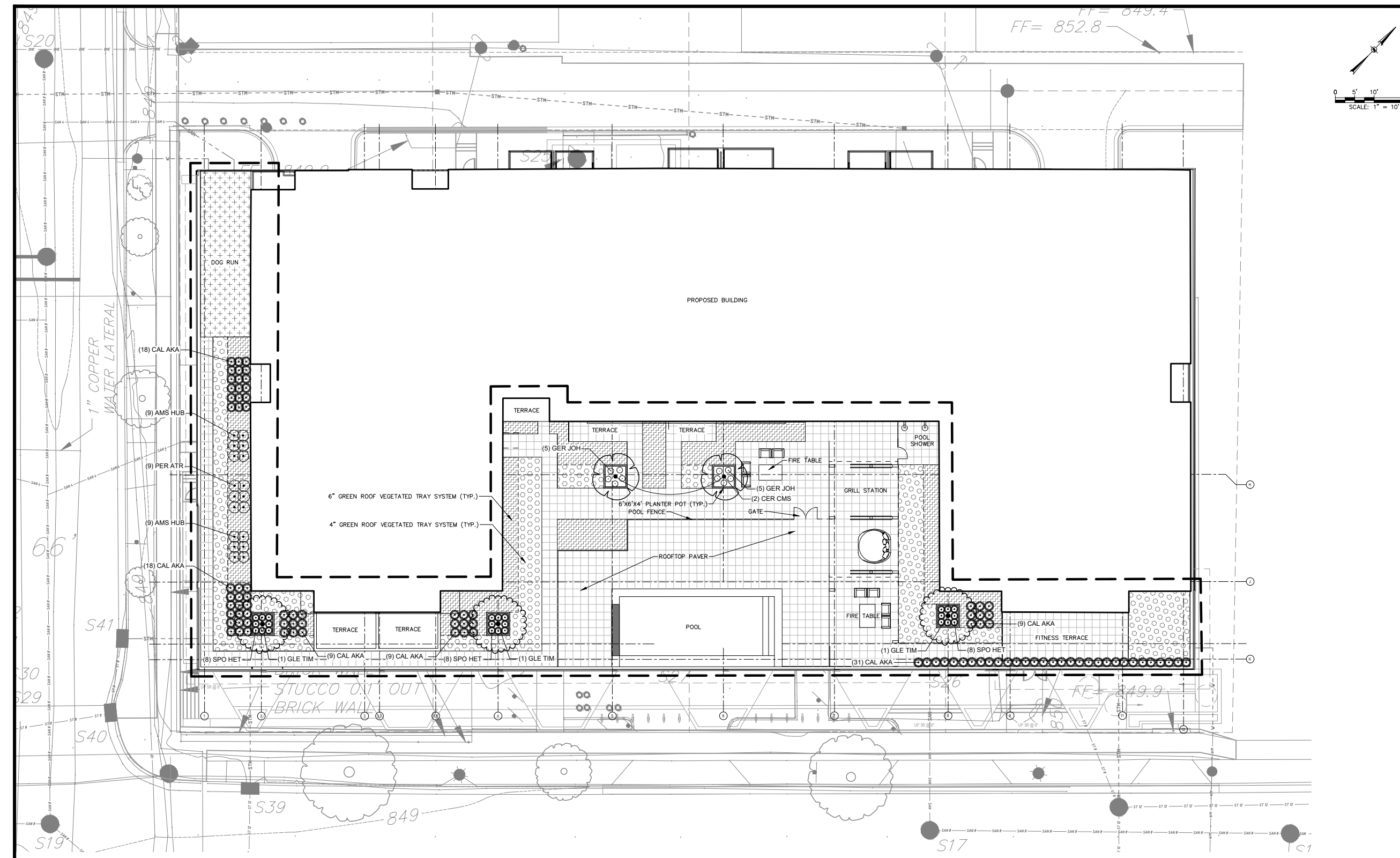
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100% DESIGN DEVELOPMENT SUBMITTAL



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JLA PROJECT NUMBER: W22-0106



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DATE OF ISSUANCE: JANUARY 05, 2024

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

COURTYARD PLAN

SHEET NUMBER

L101

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE	QTY
ORNAMENTAL TREES							
	CER CMS	<i>Cercis canadensis</i> 'Minnesota Strain'	Minnesota Strain Eastern Redbud	6' multi stem B&B	as shown	20'h x 20'w	2
SHADE TREES							
	GLE TIM	<i>Gleditsia triacanthos inermis</i> 'Impcole'	Imperial Honeylocust	2.5" B&B	as shown	30'-35'h x 30'-35'w	3
ORNAMENTAL GRASSES & SEDGES							
	CAL AKA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal. - Container	3"	5' h x 30' w	94
	SPO HET	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 gal.	2"	2'-3'h x 2'w	24
PERENNIALS							
	AMS HUB	<i>Amsonia hubrichtii</i>	Arkansas Bluestar	1 gal. - Container	3"	3'h x 3'w	12
	GER JOH	<i>Geranium x 'Johnson's Blue'</i>	Johnson's Blue Geranium	1 gal. - Container	18"	18'h x 2'w	10
	PER ATR	<i>Perovskia atriplicifolia</i>	Russian Sage	1 gal. - Container	4"	3'h x 3'w	6

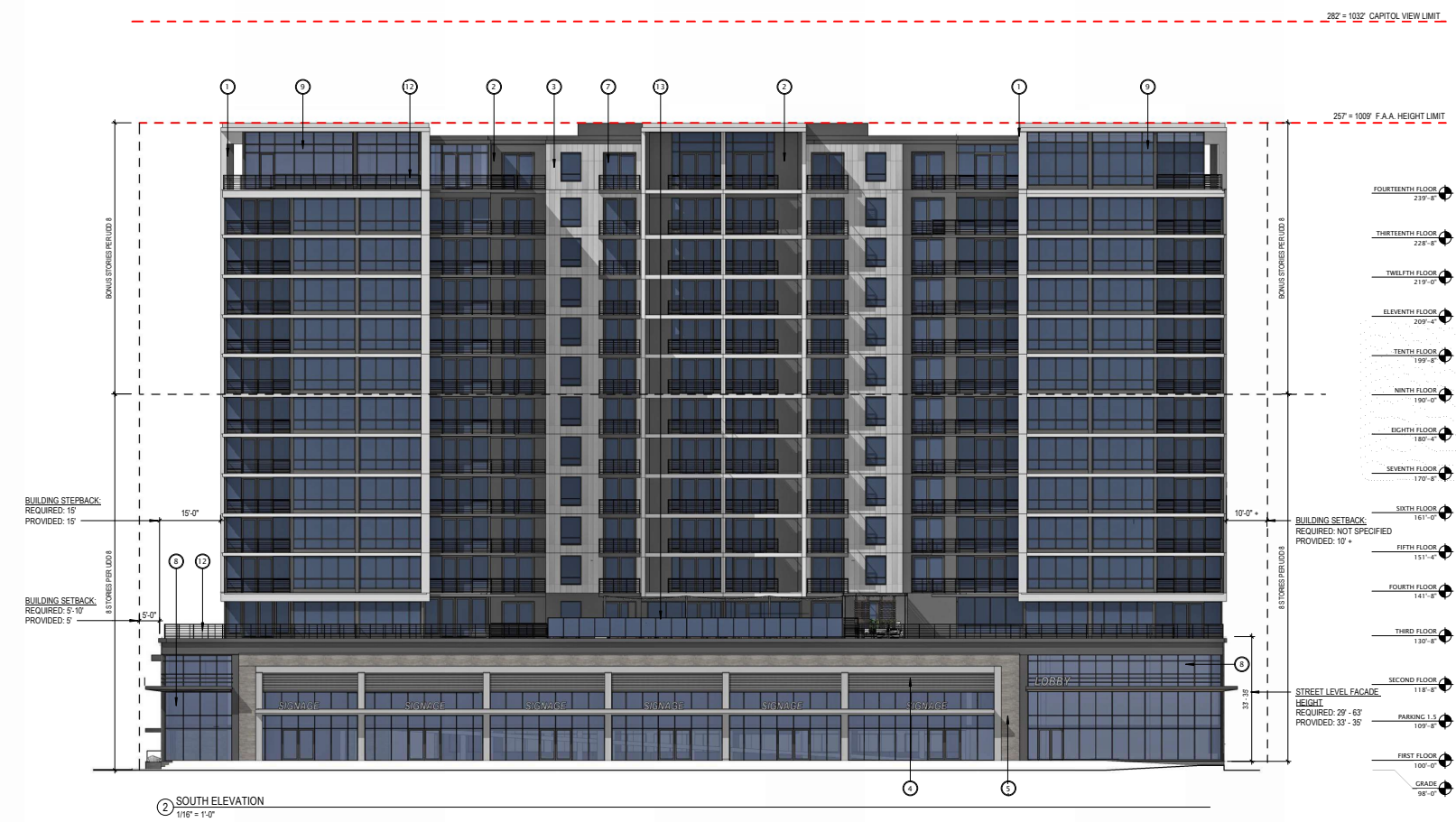
LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- 4" GREEN ROOF VEGETATED TRAY SYSTEM
- 6" GREEN ROOF VEGETATED TRAY SYSTEM
- ROOF DECK PAVER SYSTEM - 24"x24" SQUARE PAVER COLOR: GREY
- K9GRASS SYNTHETIC TURF

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1/5/2024 10:52 AM



ELEVATION NOTES

- REVIEWED FOR EXTERIOR FINISHES AND AESTHETIC DESIGN INTENT ONLY. ASSEMBLIES AND PERFORMANCE NOT REVIEWED.
- G.C. TO PROVIDE MOCKUPS OF EACH EXTERIOR WALL MATERIALS/ASSEMBLIES.
- G.C. TO SUBMIT CURTAINWALL VISION GLASS AND SPANDREL GLASS SAMPLES FOR REVIEW AND APPROVAL.
- VERIFY BIRD SAFE GLASS PATTERN.
- PROVIDE ACM REVEALS AT ACM - NO WET SEALS.
- SUBMIT SCHEMATIC PANEL SYSTEM JOINT LAYOUT TO ARCHITECT FOR REVIEW AND APPROVAL.

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK 1
6	STONE
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
10	PERFORATED METAL PANEL
11	GREEN SPACE WALL SYSTEM
12	GLAZED RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERISCOPE
15	CONCRETE PLANTER BOX
16	VENTILATION LOUVERS



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

PROGRESS DOCUMENTS
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DATE OF ISSUANCE: JANUARY 5, 2024

REVISION SCHEDULE

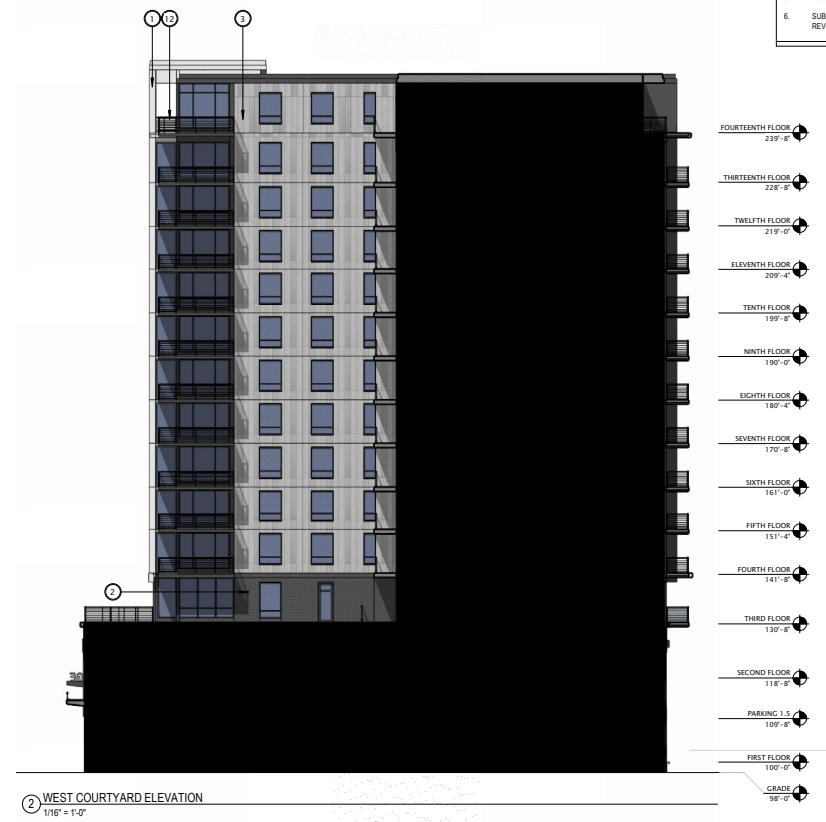
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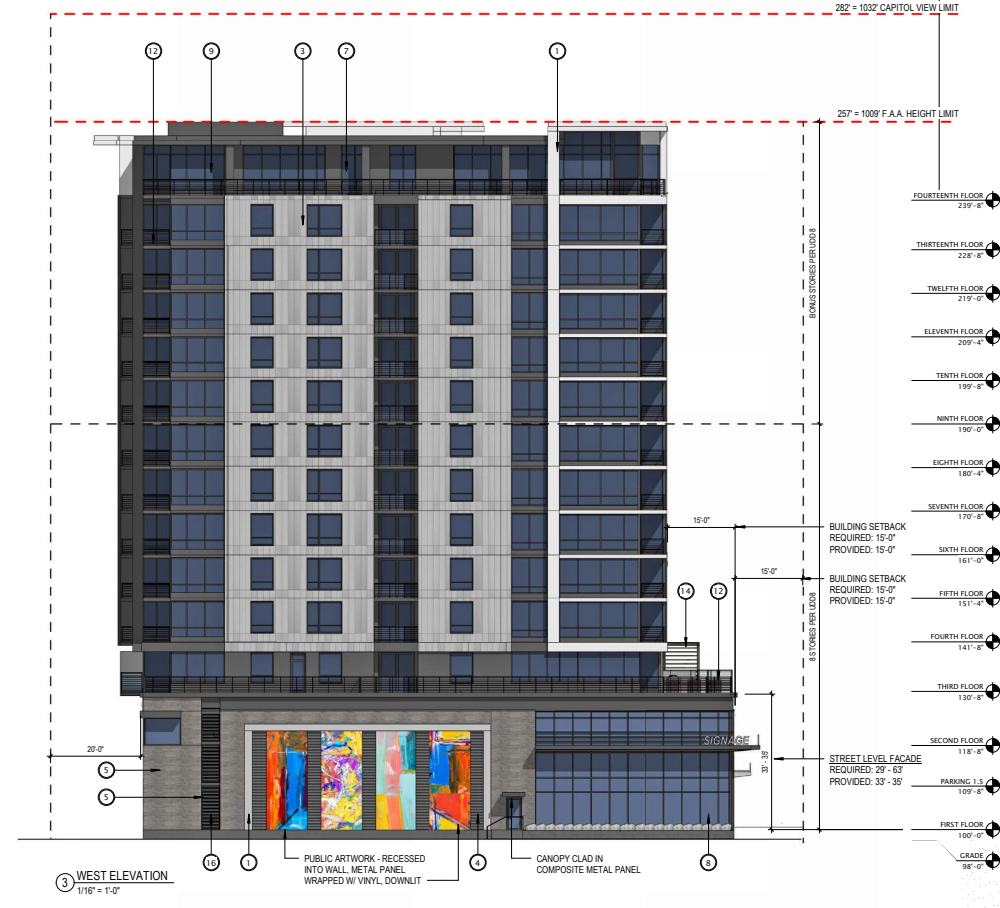
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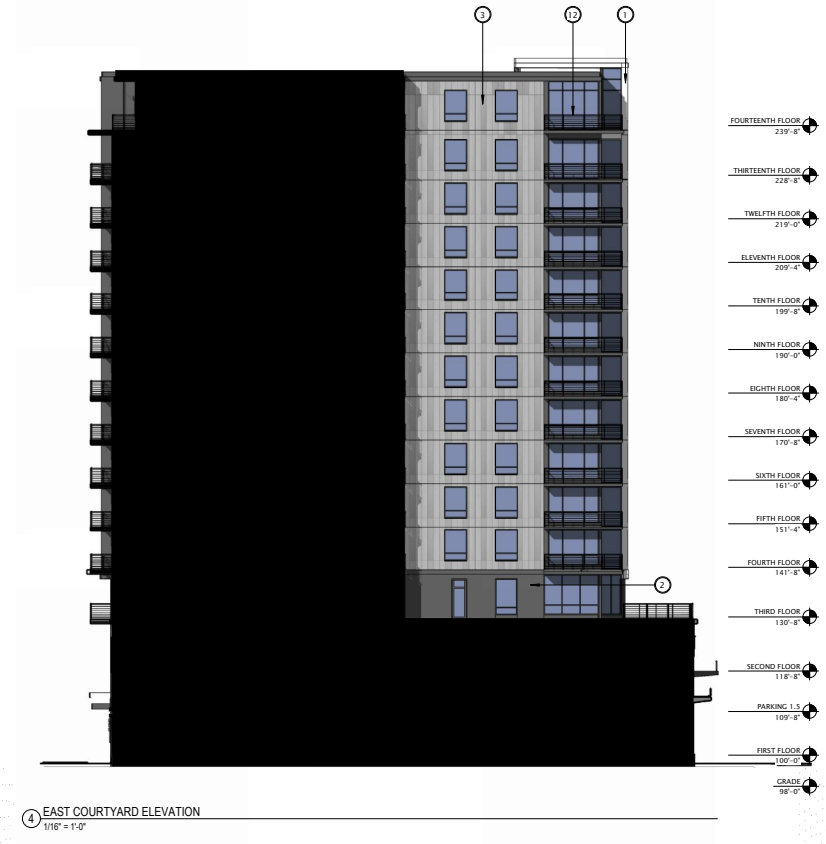
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1/16" = 1'-0"



2 WEST COURTYARD ELEVATION
1/16" = 1'-0"



3 WEST ELEVATION
1/16" = 1'-0"



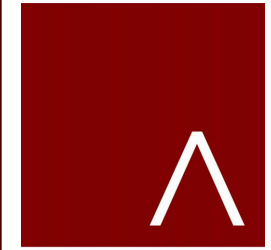
4 EAST COURTYARD ELEVATION
1/16" = 1'-0"

ELEVATION NOTES

1. REVIEWED FOR EXTERIOR FINISHES AND AESTHETIC DESIGN INTENT ONLY. ASSEMBLIES AND PERFORMANCE NOT REVIEWED.
2. G.C. TO PROVIDE MOCKUPS OF EACH EXTERIOR WALL MATERIAL ASSEMBLIES.
3. G.C. TO SUBMIT CURTAINWALL VISION GLASS AND SPANDREL GLASS SAMPLES FOR REVIEW AND APPROVAL.
4. VERIFY BIRD-SAFE GLASS PATTERN.
5. PROVIDE ACM REVEALS AT ACM - NO WET SEALS.
6. SUBMIT SCHEMATIC PANEL SYSTEM JOINT LAYOUT TO ARCHITECT FOR REVIEW AND APPROVAL.

EXTERIOR MATERIALS SCHEDULE

MARK	DESCRIPTION
1	METAL PANEL 1
2	METAL PANEL 2
3	METAL PANEL 3
4	METAL PANEL 4
5	BRICK
6	STONE
7	ALUMINUM PATIO DOOR
8	ALUMINUM WINDOW FRAMING SYSTEM
9	ALUMINUM WINDOW WALL
10	PERFORATED METAL PANEL
11	GRASS GRACE WALL SYSTEM
12	GLASS RAIL ASSEMBLY
13	GLASS RAIL ASSEMBLY
14	PERGOLA
15	CONCRETE PLANTER BOX
16	VENTILATION LOUVERS



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JLA PROJECT NUMBER: W22-0106

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CITY OF MADISON LAND-USE & URBAN DESIGN COMMISSION SUBMITTAL

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Mark	Description	Date

SHEET TITLE

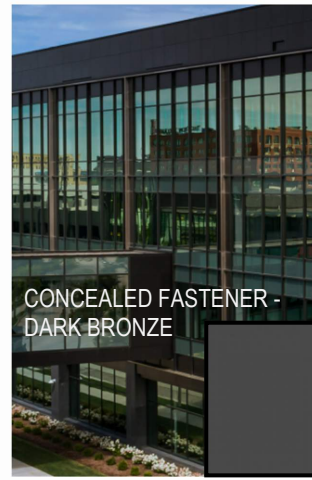
EXTERIOR ELEVATIONS

SHEET NUMBER

A201



METAL PANEL 1

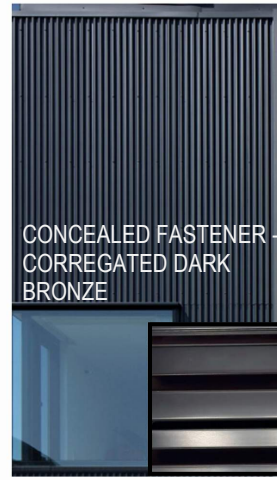


METAL PANEL 2

THREE VARIATIONS OF GRAY



METAL PANEL 3 -



METAL PANEL 4 - corrugated concealed fastener

INSULATING LOW-E VISION GLASS - CLEAR AT FIRST FLOOR



ALUM FRAMING SYSTEM - DARK BRONZE

INSULATING LOW-E VISION GLASS - WITH HIGH PERFORMANCE COATING



ALUM WINDOW WALL - DARK BRONZE



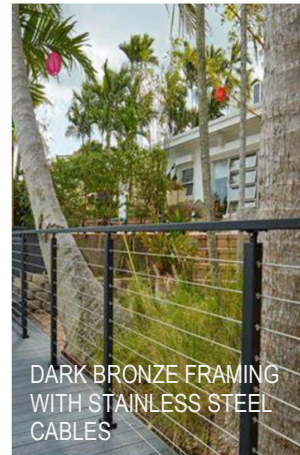
ALUM PATIO DOOR - DARK BRONZE



ARCHITECTURAL LOUVER - DARK BRONZE



GLASS GUARDRAIL ASSEMBLY



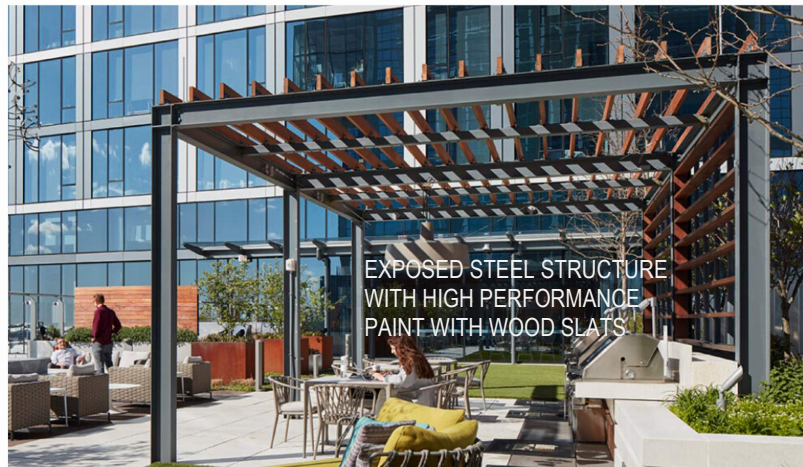
GUARDRAIL ASSEMBLY



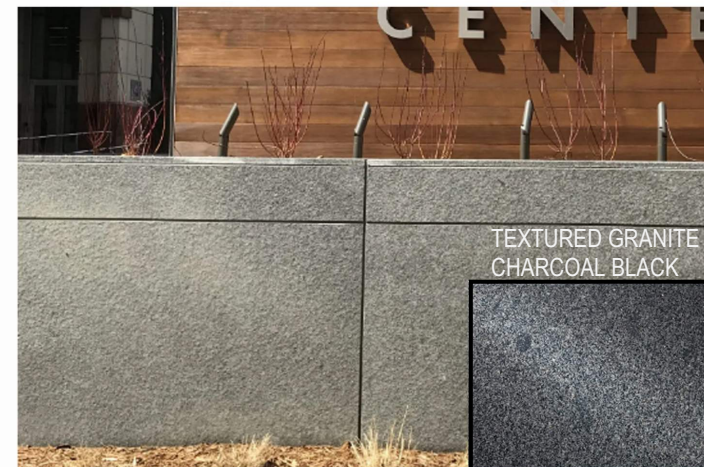
GREEN SCREEN



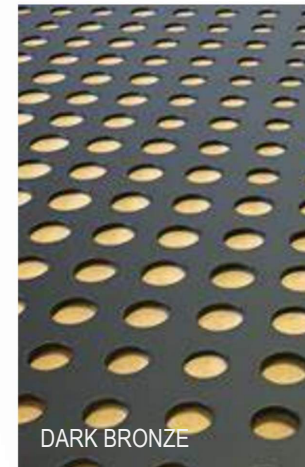
BRICK 1



PERGOLA



STONE 1



PERFORATED METAL PANEL



PUBLIC ART INSTALLATION



JLA PROJECT NUMBER: W22-0106

702 EAST WASHINGTON AVENUE MIXED-USE DEVELOPMENT

DESIGN DEVELOPMENT DOCUMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE JANUARY 5, 2024

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
DIGITAL MATERIAL BOARD

SHEET NUMBER
A210

702 East Washington - Redevelopment

UDC Presentation
Shadow Study



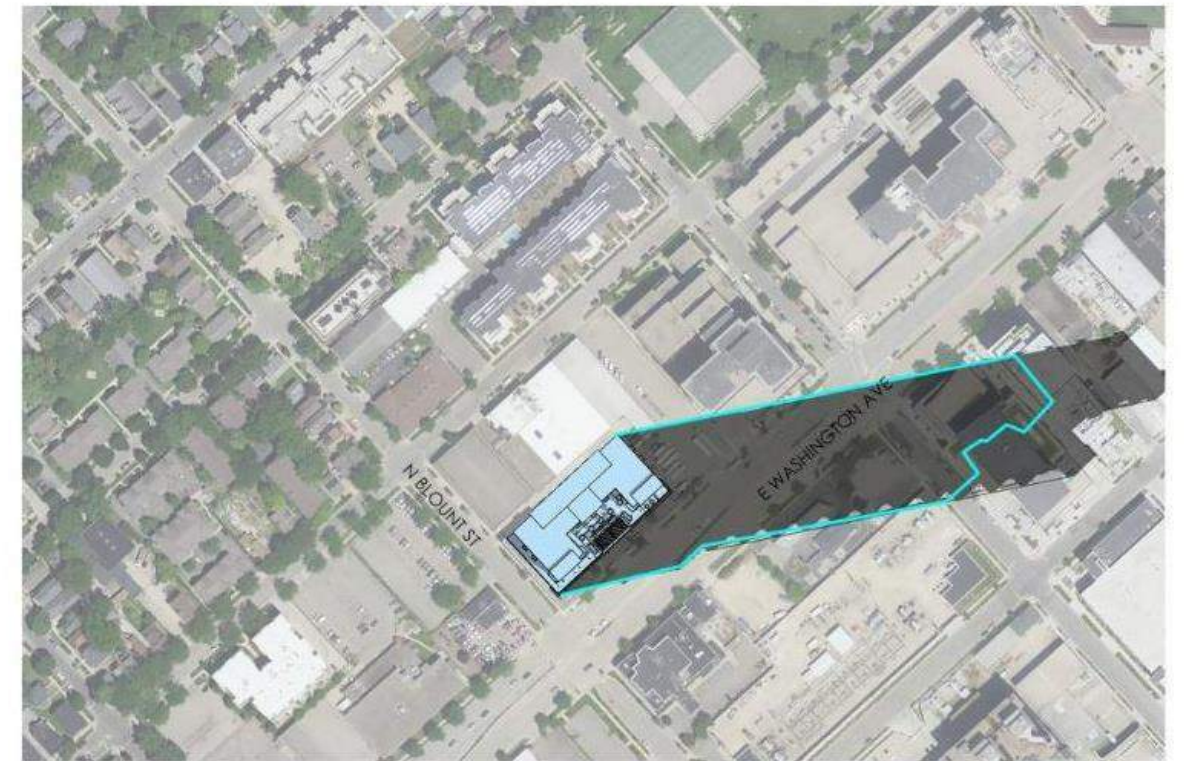
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MARCH 14 | 12:00 PM



MARCH 14 | 3:00 PM

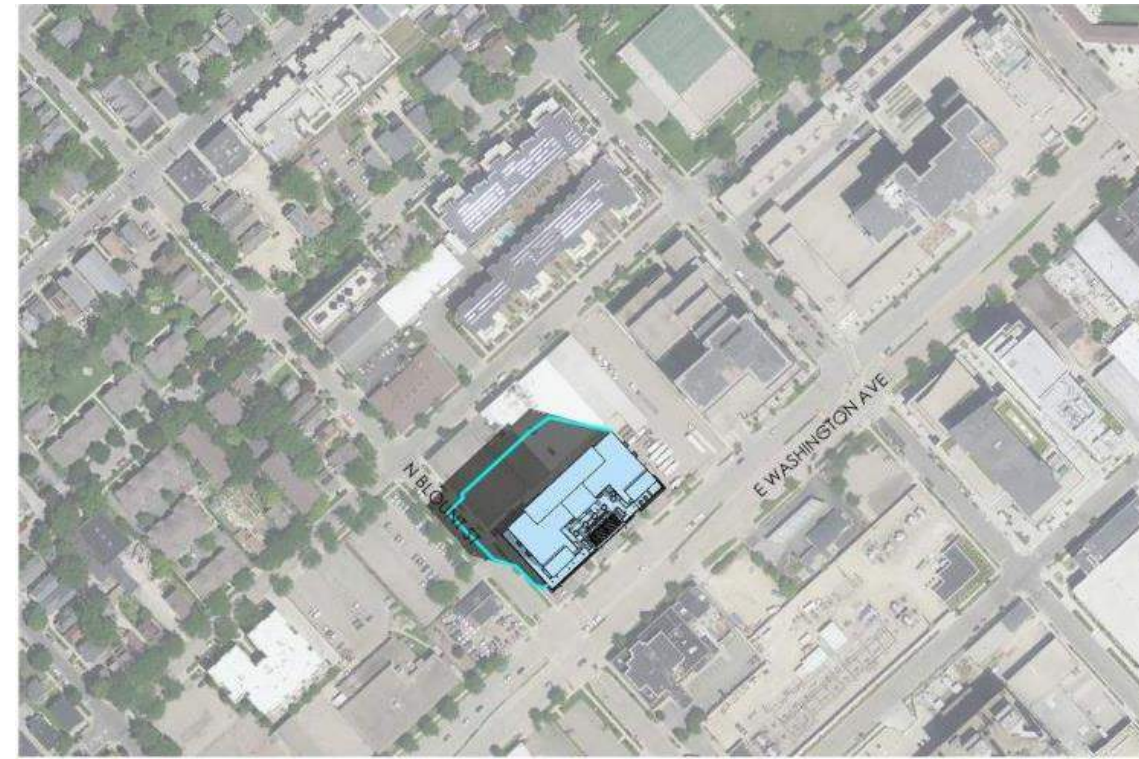


MARCH 14 | 6:00 PM

■ 14-STORY SHADOW
■ 10-STORY SHADOW

702 East Washington - Redevelopment

UDC Presentation
Shadow Study



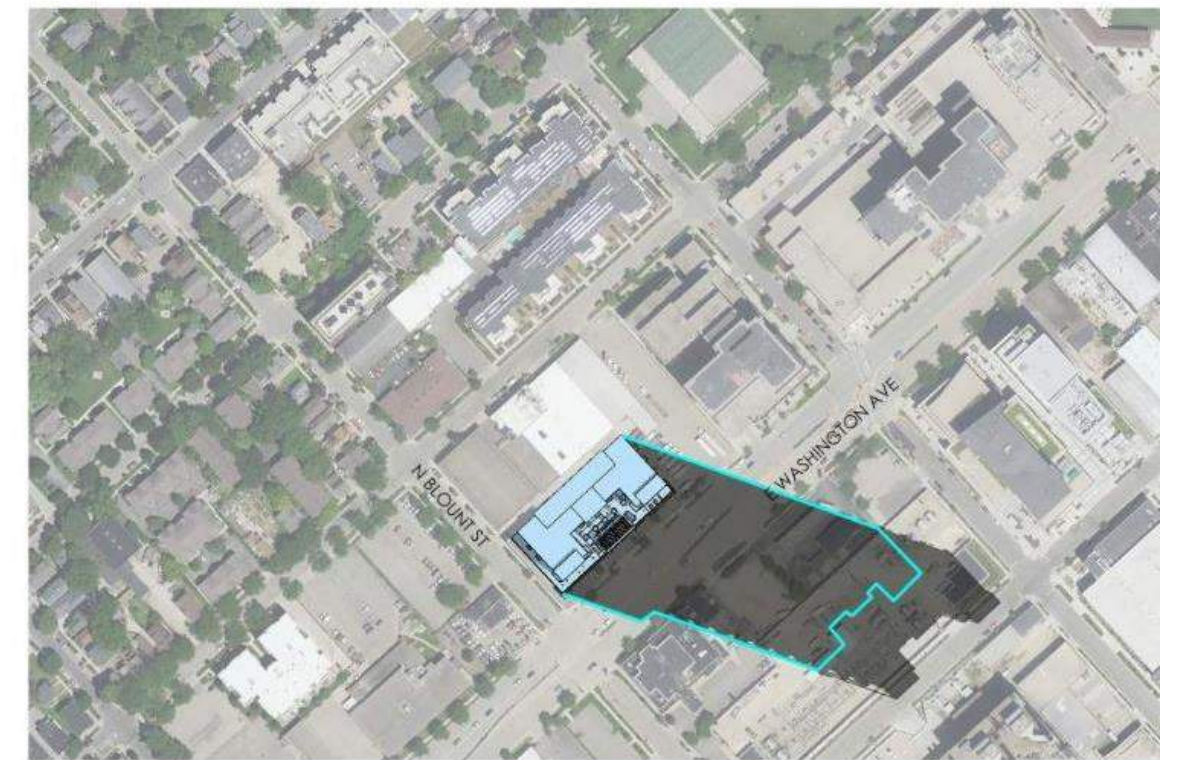
JUNE 14 | 9:00 AM



JUNE 14 | 12:00 PM



JUNE 14 | 3:00 PM



JUNE 14 | 6:00 PM

■ 14-STORY SHADOW
■ 10-STORY SHADOW

702 East Washington - Redevelopment

UDC Presentation
Shadow Study



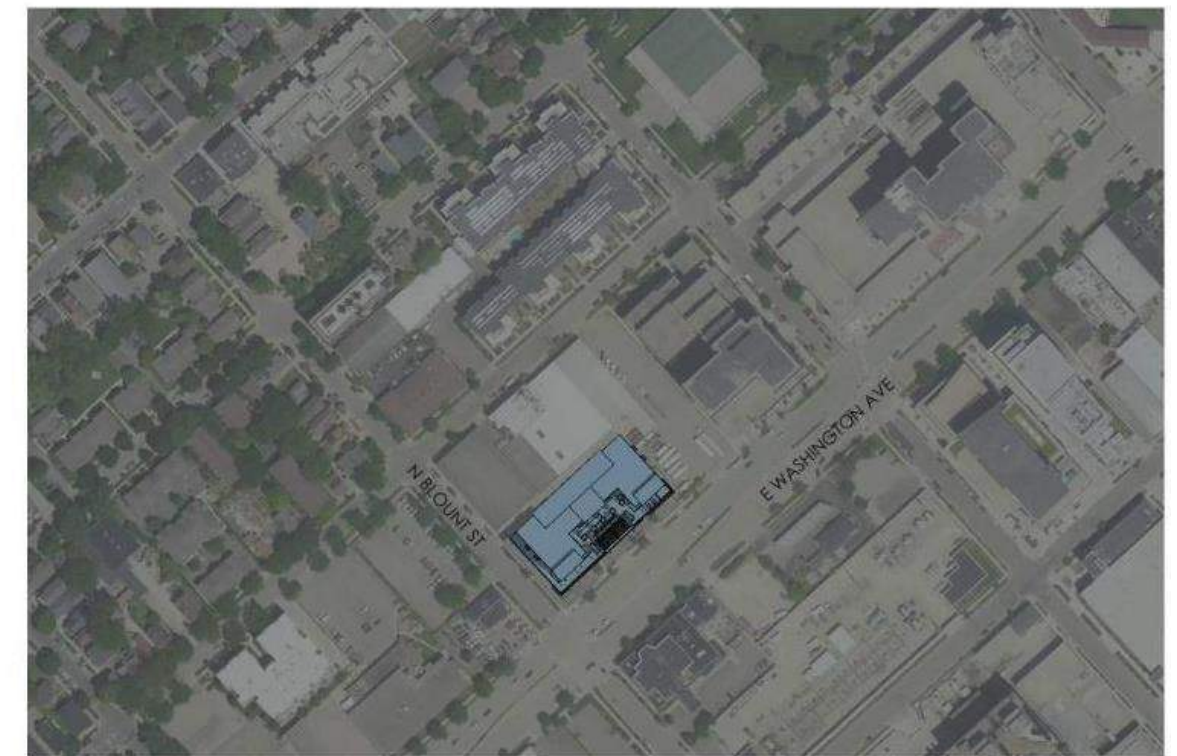
SEPTEMBER 14 | 9:00 AM



SEPTEMBER 14 | 12:00 PM



SEPTEMBER 14 | 3:00 PM



SEPTEMBER 14 | 6:00 PM (POST-SUNSET)

■ 14-STORY SHADOW
■ 10-STORY SHADOW

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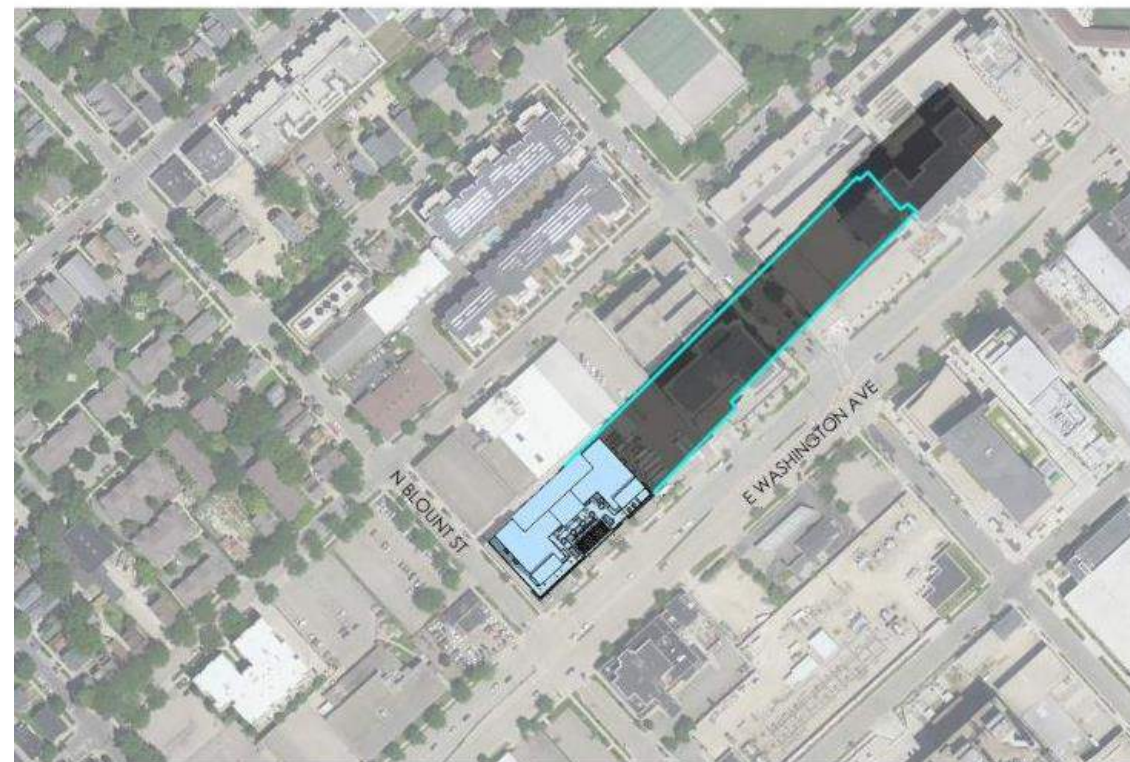
UDC Presentation
Shadow Study



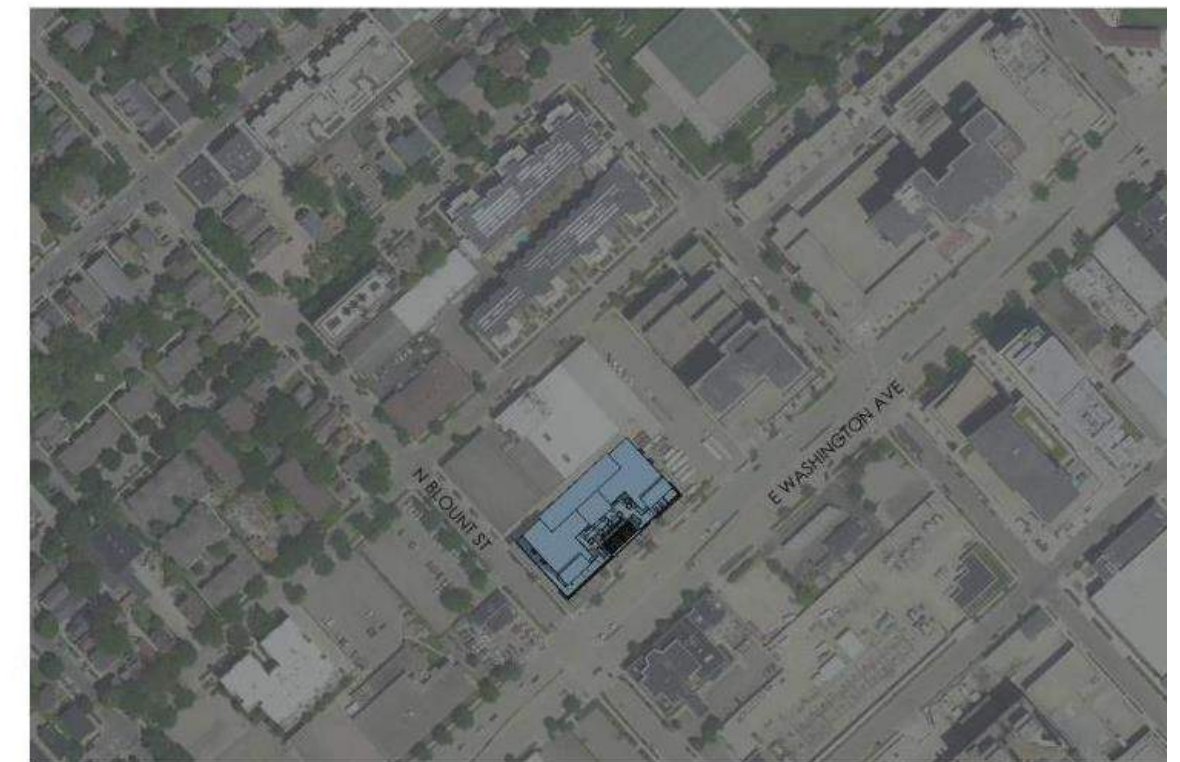
DECEMBER 14 | 9:00 AM



DECEMBER 14 | 12:00 PM



DECEMBER 14 | 3:00 PM



DECEMBER 14 | 6:00 PM (POST-SUNSET)

■ 14-STORY SHADOW
■ 10-STORY SHADOW