

CIVIL ENGINEER
**D'Onofrio Kottke
 and Associates**
 7530 Westward Way
 Madison, WI
 608.833.7530

TREE LANE DEVELOPMENT

Senior Living Community
Madison, Wisconsin

SHEET INDEX

ARCHITECTURAL

G000 COVER SHEET
 G220 1" = 20'-0" SITE PLAN
 G221 SITE CONTEXT MAP
 G222 NEIGHBORHOOD CONTEXT
 A200 1/16" LOWER LEVEL FLOOR PLAN
 A201 1/16" FIRST FLOOR PLAN
 A202 1/16" SECOND FLOOR PLAN
 A203 1/16" THIRD FLOOR PLAN
 A204 1/16" FOURTH FLOOR PLAN
 A205 1/16" FIFTH FLOOR PLAN
 A500 1/8" EXTERIOR ELEVATIONS
 A501 1/8" EXTERIOR ELEVATIONS
 A502 1/8" EXTERIOR ELEVATIONS
 A503 1/8" EXTERIOR ELEVATIONS
 A600 TYPICAL WALL SECTIONS
 RENDERING
 RENDERING
 RENDERING

DEVELOPMENT CONSULTANT

Capri Communities
 20875 Crossroads Cir., Suite 400
 Waukesha, WI 53186

CIVIL

C001 EXISTING CONDITIONS
 C100 DEMOLITION PLAN
 C200 SITE PLAN
 C300 SITE GRADING & EROSION CONTROL PLAN
 C400 SITE UTILITY PLAN
 C500 SITE DETAILS
 C501 SITE DETAILS
 C600 FIRE ACCESS PLAN

LANDSCAPE

L101 LANDSCAPE PLAN
 L102 LANDSCAPE PLAN
 L103 LANDSCAPE PLAN
 L104 LANDSCAPE PLAN
 L105 LANDSCAPE PLAN



RENDERING IS REPRESENTATIVE ONLY... SEE DOCUMENTS FOR SPECIFIC DETAILS

SCHEMATIC DESIGN

THIS SET OF DOCUMENTS IS INTENDED TO ESTABLISH THE SCOPE OF THE PROJECT AND THE QUALITY AND QUANTITY OF THE PRODUCTS BEING USED.

IT DOES NOT ADDRESS ALL STRUCTURAL AND CONSTRUCTION MATERIALS AND DETAILS, NOR DOES IT INCLUDE IN-DEPTH REQUIREMENTS FOR FABRICATION AND INSTALLATION. THESE ARE ASSUMED TO BE STANDARD MATERIALS AND CONSTRUCTION PRACTICES.

ALL WORK IS ASSUMED TO BE DONE IN A WORKMANLIKE MANNER CONSISTENT WITH THE HIGHEST LEVEL OF QUALITY.

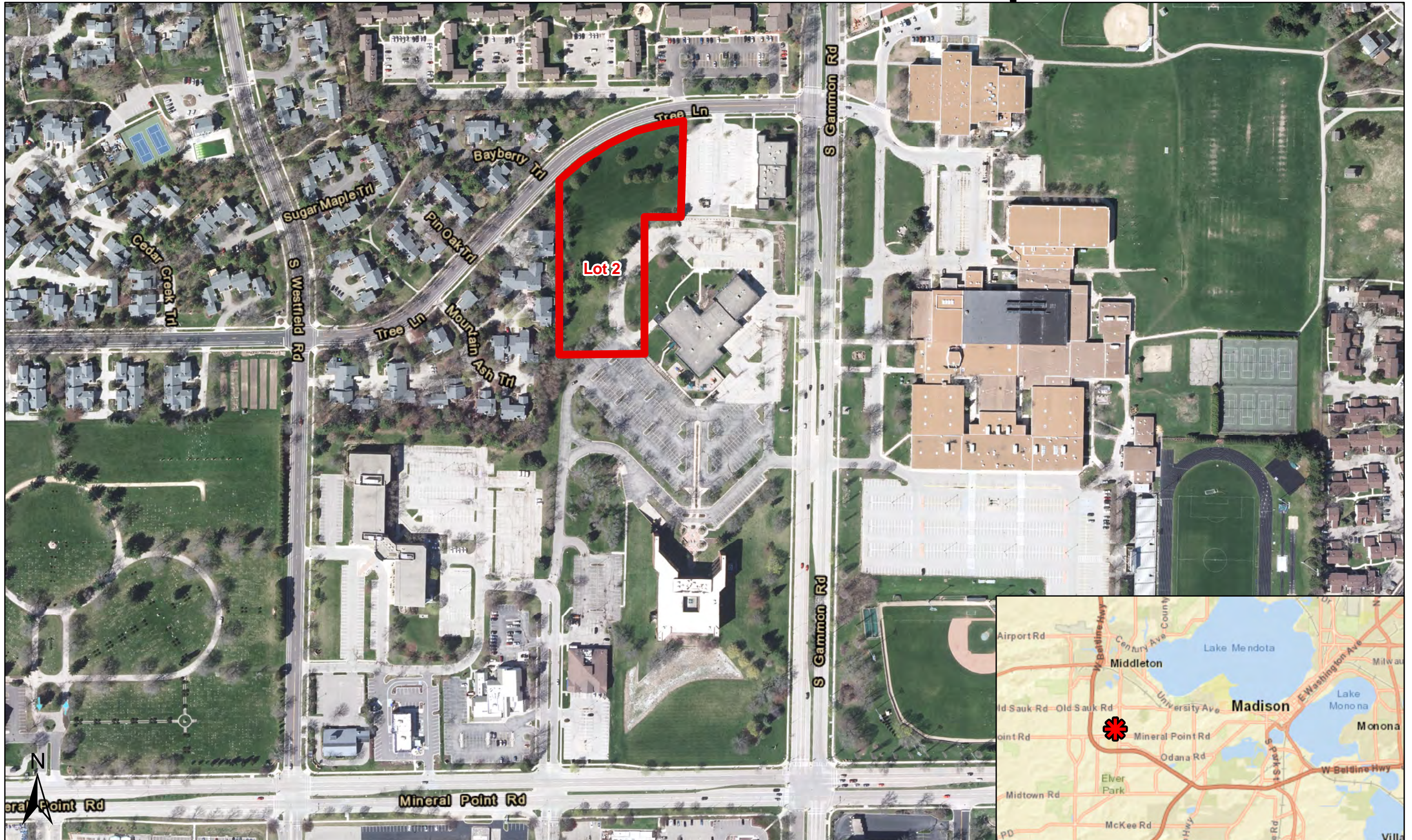
PRODUCTS ARE IDENTIFIED BOTH IN PLANS AND IN THE SPECIFICATIONS AND IT IS NECESSARY TO USE EACH IN CONJUNCTION WITH THE OTHER.

AG PROJECT NUMBER: 181801
DATE: 06 MAY 2019

 **AG Architecture**
A Sense of
Community

FILE: C:\PROJECTS\181801\181801_01_SCH.DWG
 PLOTTED: 05/06/2019 10:00:00 AM BY: USER: JMK
 PLOT SCALE: 1/8" = 1'-0" / 1" = 12'-0"
 LAYOUT: 181801_01_SCH.DWG

Tree Lane - Lot 2 Context Map

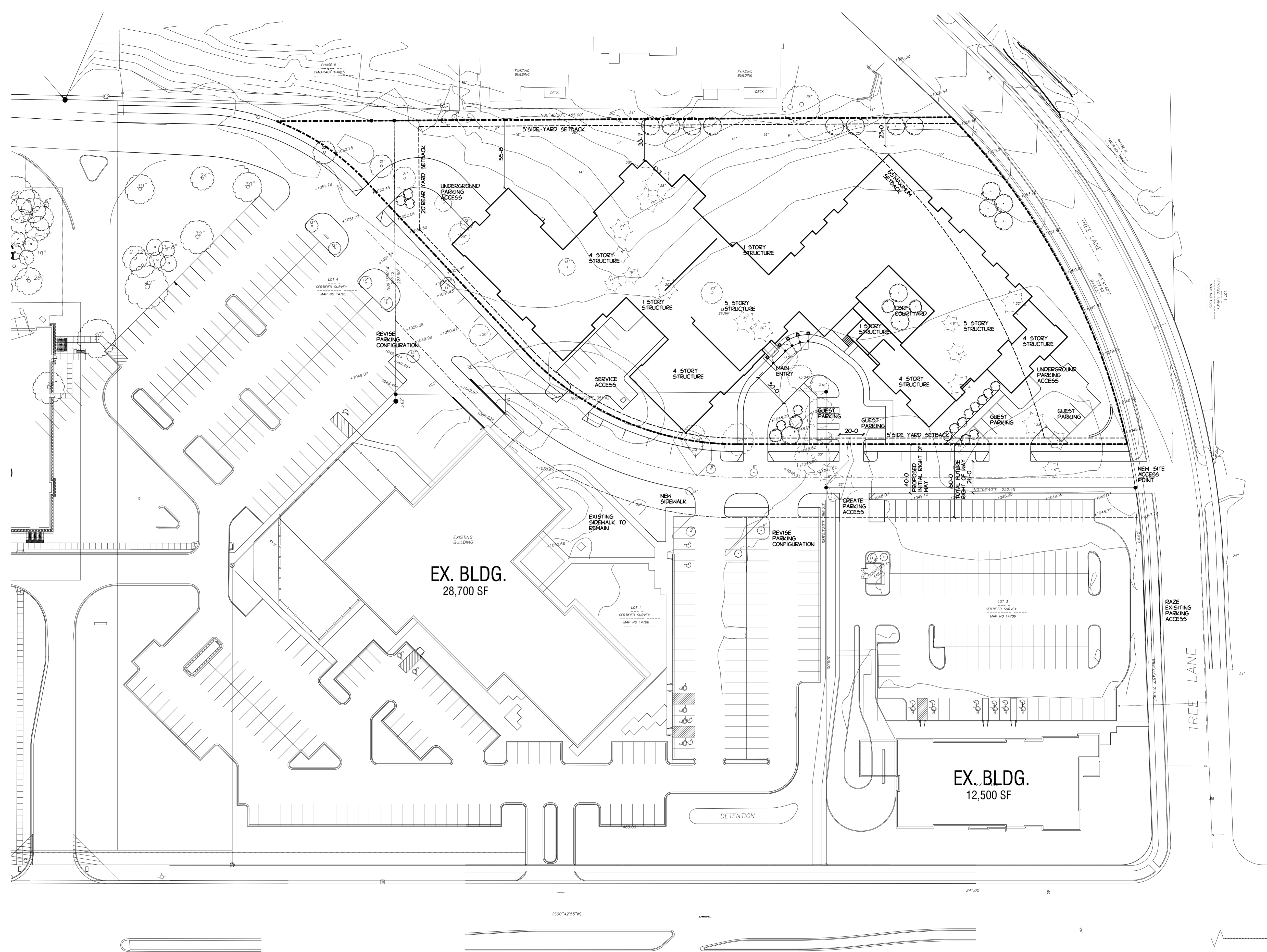


*Tree Lane Lot 2 Outline is an approximation based on the Jan. 2018 CSM

0 500 1,000 2,000 Feet

FILE: \\S:\01\CAD\CONCEPTUAL SITE PLAN\G220\PILOT SHEET HISTORY
PLOT: D:\S:\01\CAD\CONCEPTUAL SITE PLAN\G220\PILOT SHEET HISTORY
PLOT DATE: 05/06/2019 10:48:28 AM BY USER: JMK
SCALE: 1/8"=1'-0" (AS SHOWN)
LAST SHEET: G220T

 **SCALE
1:40**



TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
Madison Wisconsin



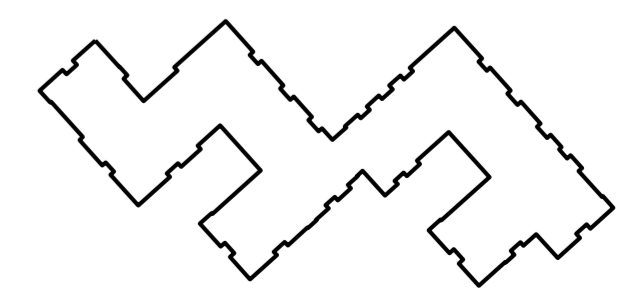
1414 UNDERWOOD AVE.
WAUWATOSA, WI 53213
414.431.3131 TEL
414.431.0531 FAX
WWW.AGARCH.COM

REVISIONS

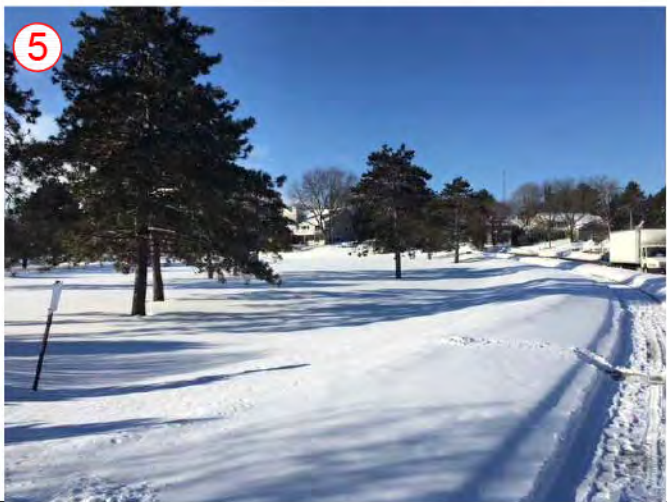
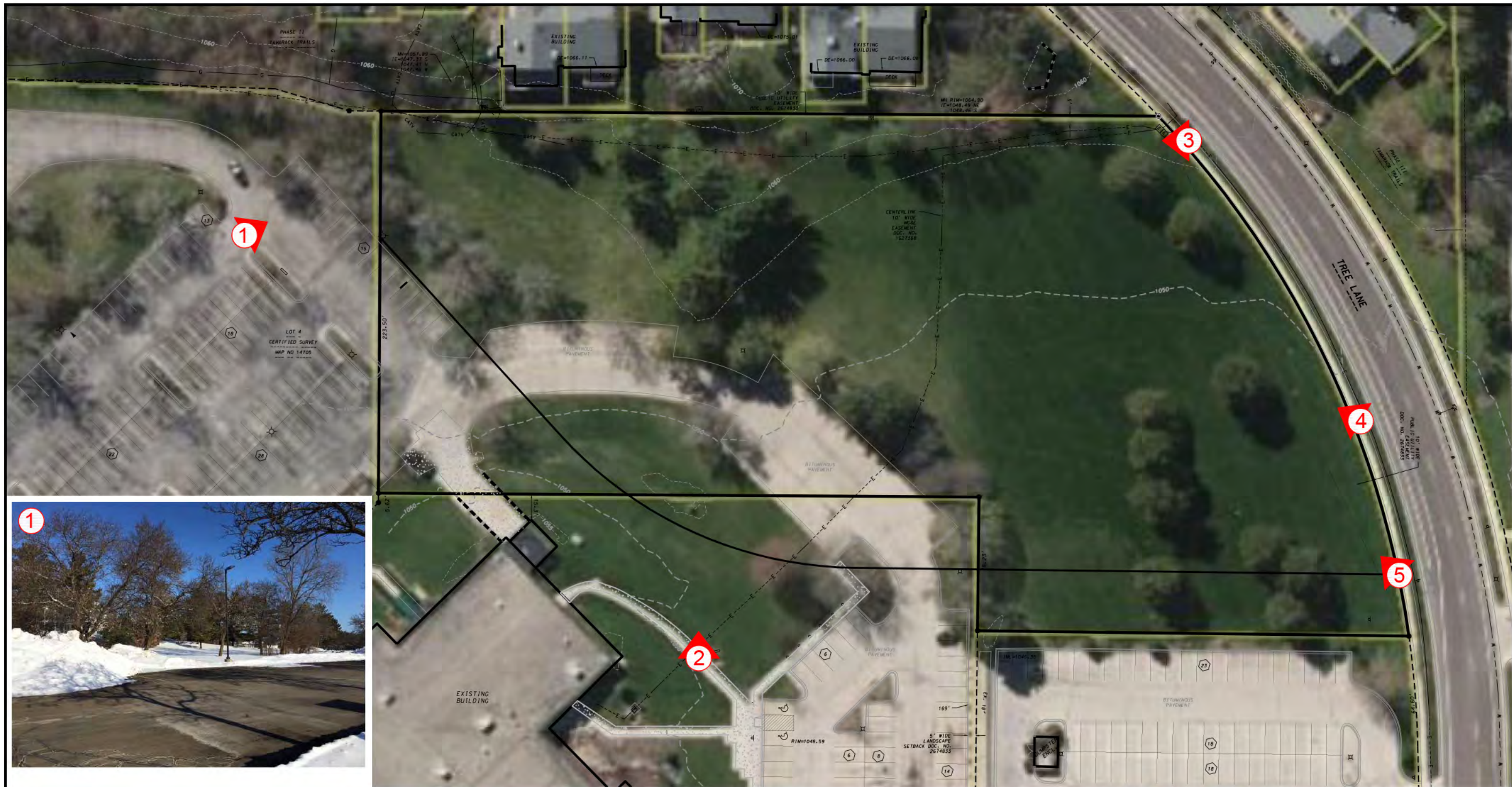
**SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION**

THE DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE
THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL
NOT BE COPIED IN ANY FORM OR MANNER WITHOUT
WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
DRN
DATE
06 MAY 2019
PROJECT
181801
SHEET NO.



SITE PLAN G220



D'ONOFRIO KOTTME AND ASSOCIATES, INC.
 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SENIOR LIVING DEVELOPMENT

CITY OF MADISON, DANE COUNTY, WISCONSIN



DATE: 02-19-19
 REVISED: REV # DR #

DRAWN BY: DRS



NAVITUS DEVELOPMENT



TAMARACK TRAIL



WEXFORD RIDGE



NEIGHBORHOOD CONTEXT G222

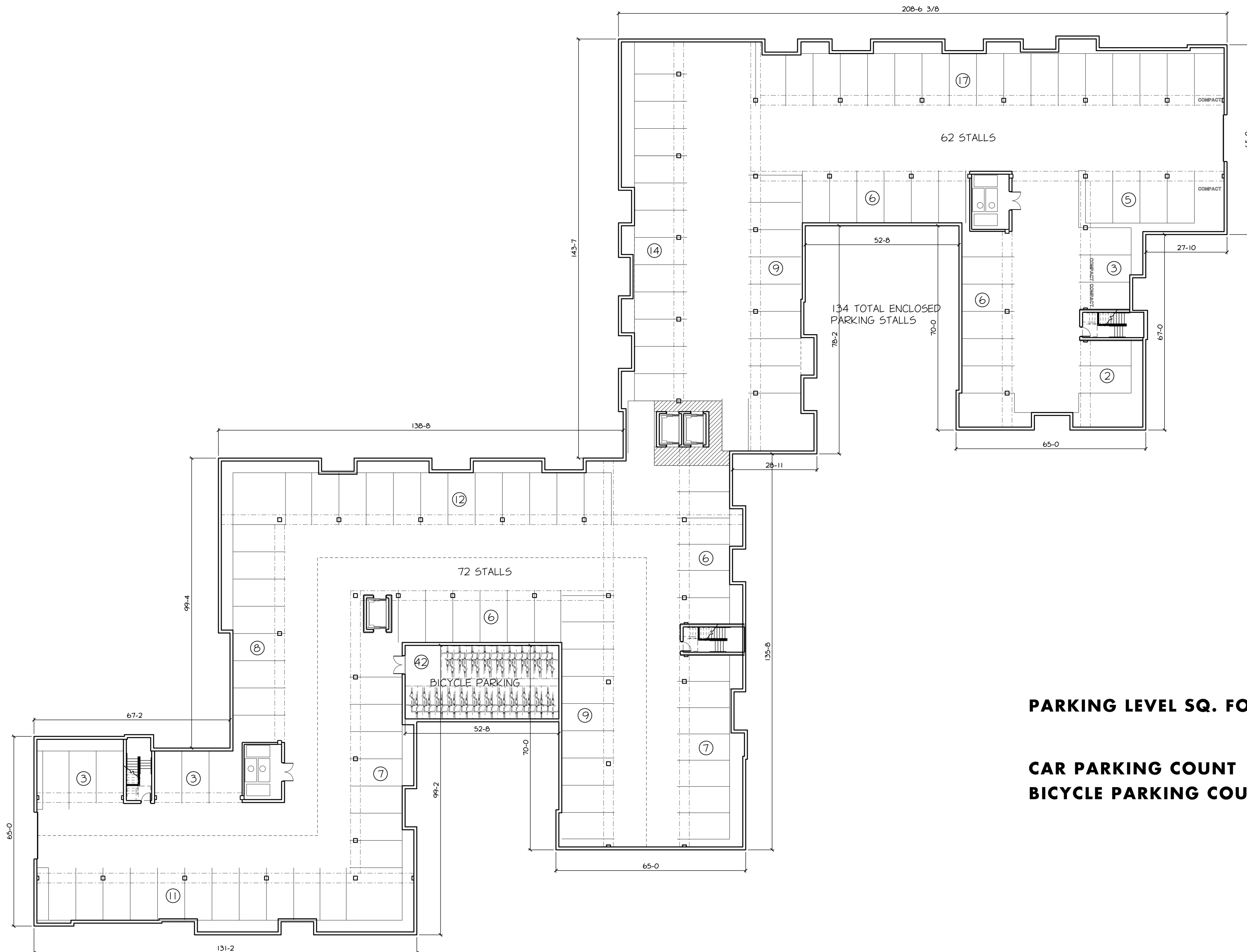
TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
Madison Wisconsin



1414 UNDERWOOD AVE.
WAUWATOSA, WI 53113
414.631.3131 TEL
414.631.6331 FAX
WWW.A2AARCH.COM
ARCHITECTURE
ENGINEERING
PLANNING

PLOT PARAMETERS: FILE: \\V:\BIB\CONSTRUCTION\BIB\CON...
 PLOTTED ON: 5/22/2019 5:13:25 PM BY: USER: MM...
 USING: C:\WINDOWS\SYSTEM32\cmd.exe /C: cd /D: C:\Users\MM...
 LAST SHEET: 2/28/2019

DRAWING LIMIT LINE

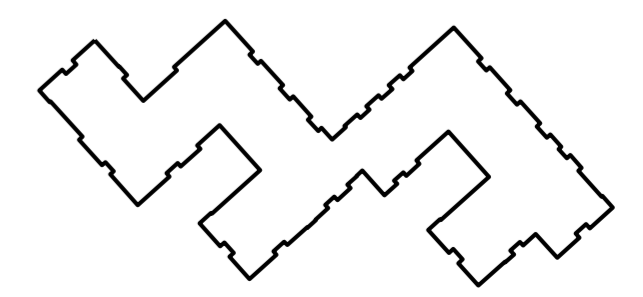


PARKING LEVEL SQ. FOOTAGE 48,650

CAR PARKING COUNT 134

BICYCLE PARKING COUNT 42

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION



1/16" LOWER LEVEL FLOOR PLAN A200

TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.2131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM

Architecture
 Engineering
 Planning

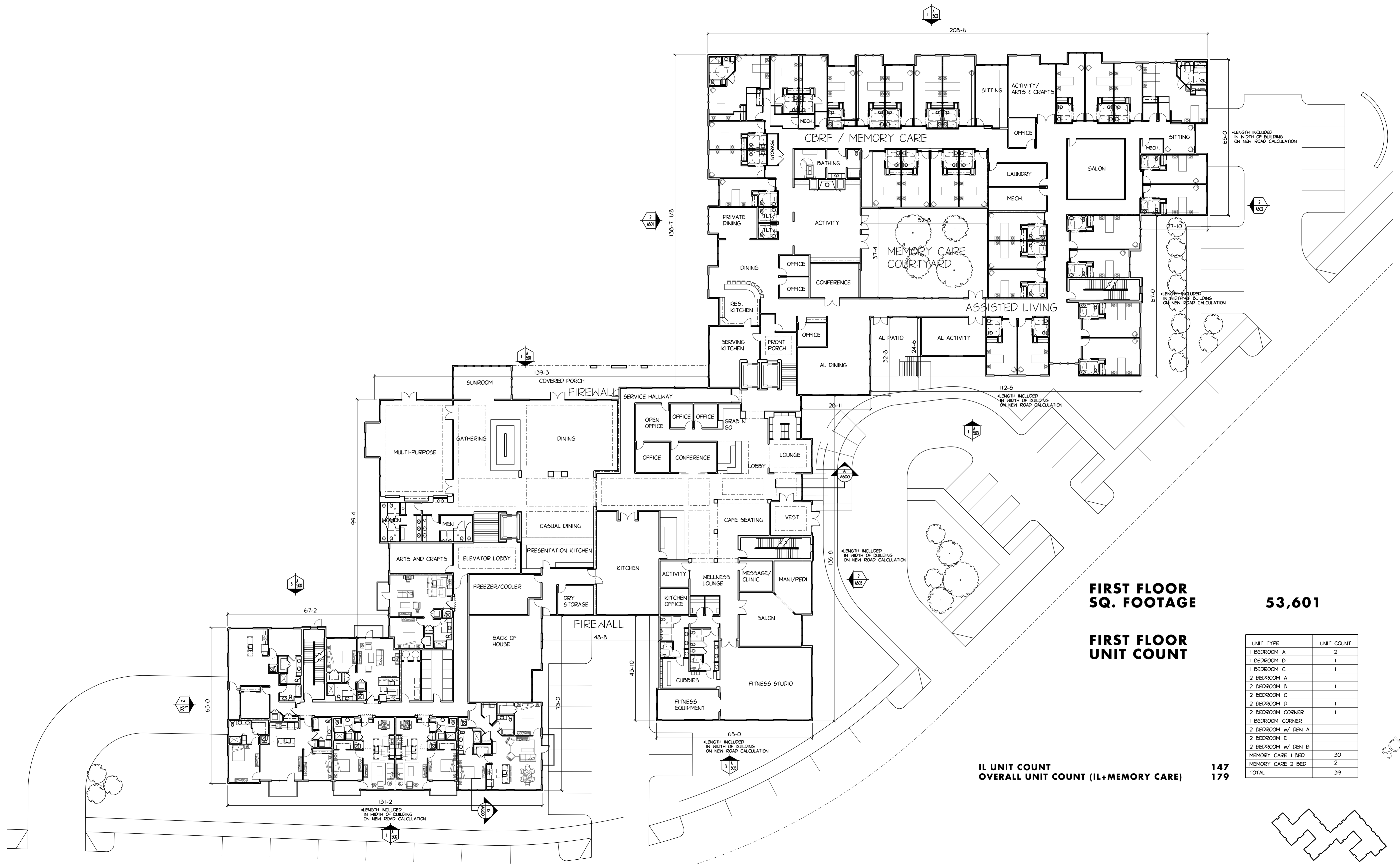
REVISIONS

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE
 THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL
 NOT BE COPIED IN ANY FORM OR MANNER WITHOUT
 WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.

PLOT PARAMETERS: FILE: \\11801\COMMON\CAD\181801\181801_01_16_16\181801_01_16_16_01.dwg
 PLOTTED ON: 5/26/2019 9:23:24 AM BY: USER: NMM
 PLOT SCALE: 1/16" = 1'-0" (AS SHOWN)
 PLOT AREA: 11.0000 SQ. FT. (AS SHOWN)
 LAST SHEET: 2/22/21

DRAWING LIMIT LINE



FIRST FLOOR SQ. FOOTAGE 53,601

FIRST FLOOR UNIT COUNT

**117 UNIT COUNT
 OVERALL UNIT COUNT (IL+MEMORY CARE) 147 179**

UNIT TYPE	UNIT COUNT
1 BEDROOM A	2
1 BEDROOM B	1
1 BEDROOM C	1
2 BEDROOM A	
2 BEDROOM B	1
2 BEDROOM C	
2 BEDROOM D	1
2 BEDROOM E	
2 BEDROOM CORNER	1
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
MEMORY CARE 1 BED	30
MEMORY CARE 2 BED	2
TOTAL	39

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF A&A ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR.

DRAWN BY: DRN
 DATE: 06 MAY 2019
 PROJECT: 181801
 SHEET NO.: A201

A&A Architecture

1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0531 FAX
 WWW.A&AARCH.COM

Architecture
 Engineering
 Planning

REVISIONS

TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



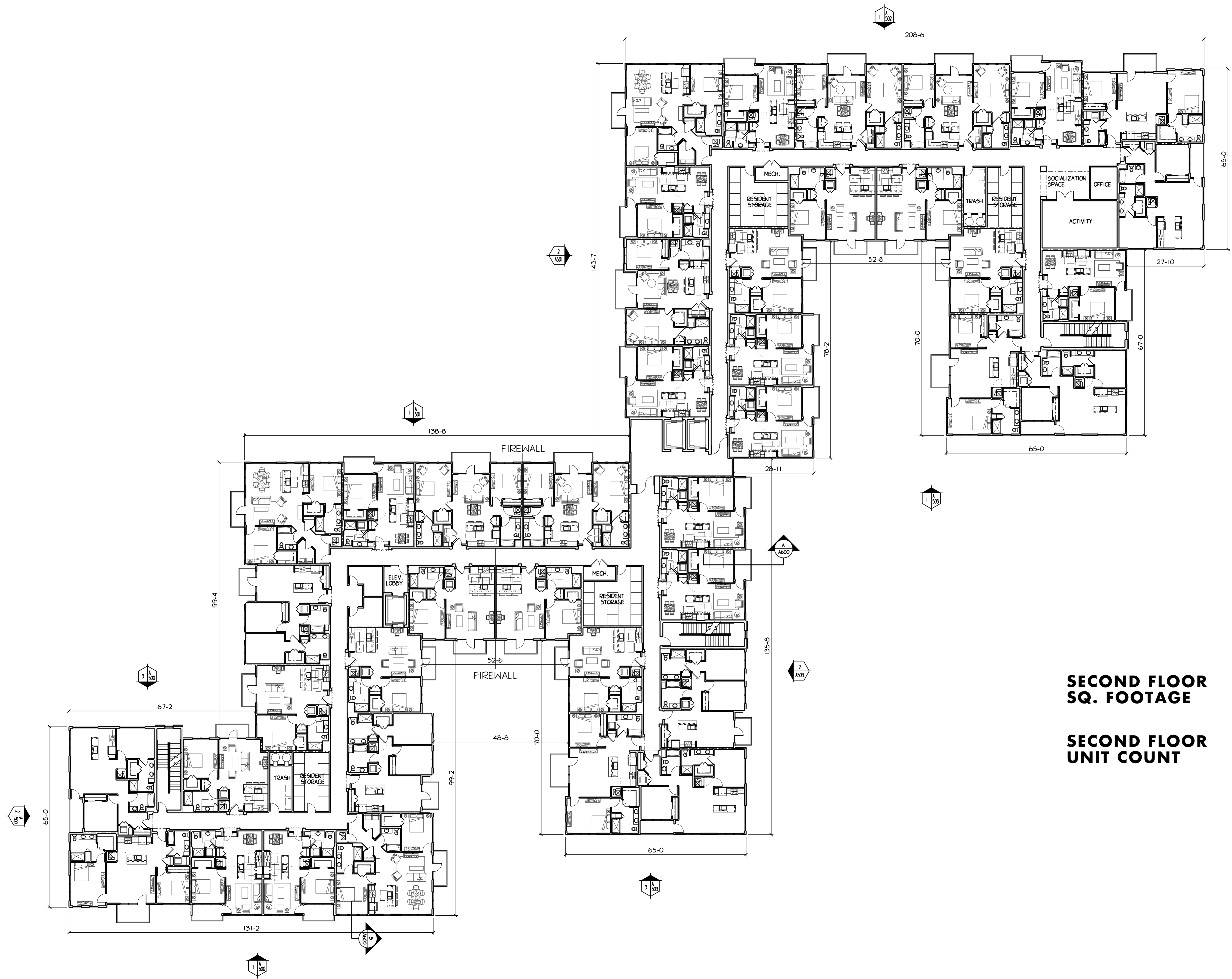
1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM
 Architecture
 Engineering
 Planning

REVISIONS

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE
 THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL
 NOT BE COPIED IN ANY FORM OR MANNER WITHOUT
 WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



**SECOND FLOOR
 SQ. FOOTAGE**

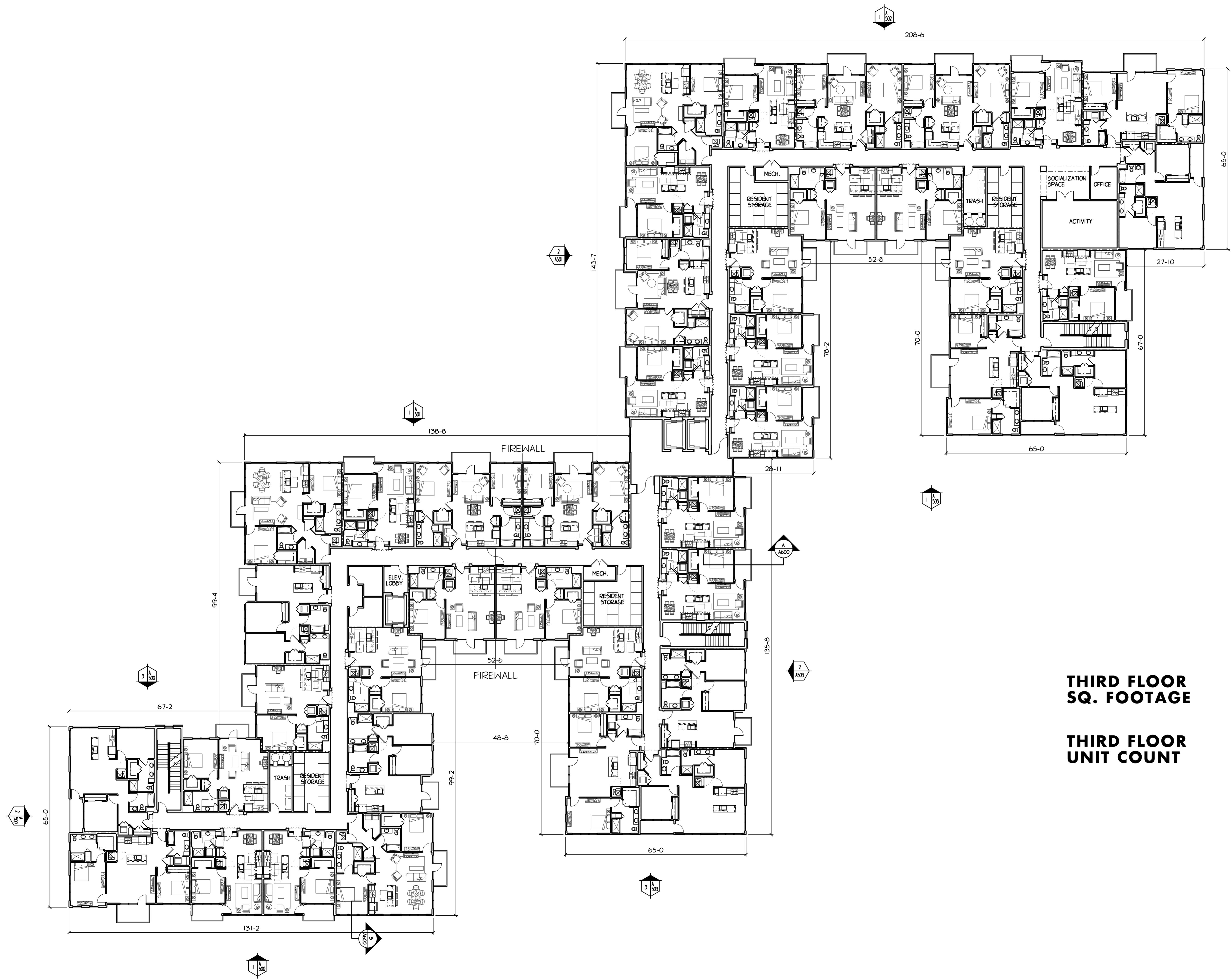
48,557

**SECOND FLOOR
 UNIT COUNT**

UNIT TYPE	UNIT COUNT
1 BEDROOM A	12
1 BEDROOM B	5
1 BEDROOM C	5
2 BEDROOM A	3
2 BEDROOM B	4
2 BEDROOM C	5
2 BEDROOM D	4
2 BEDROOM CORNER	3
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
TOTAL	41

PLOT PARAMETERS: FILE: N:\181801\CONSTRUCTION\DRN
 PLOTTED: DRN/5/26/19 9:28:52 AM BY: USER: JMK
 USING: CENTER, L1, WIDENSPACE, STANDARD, PLT, COLOR: 25, 75, 60

PLOT PARAMETERS: FILE: \\V:\B\DWG\CAD\DRAWING\CON\181801_181801_03_16_2019.dwg
 PLOTTED ON: 5/16/2019 9:23:08 AM BY: USER: JMK
 PLOT SCALE: 1/16" = 1'-0" (1/16" = 1'-0")
 PLOT SIZE: 36" x 48" (36" x 48")



**THIRD FLOOR
 SQ. FOOTAGE**

48,557

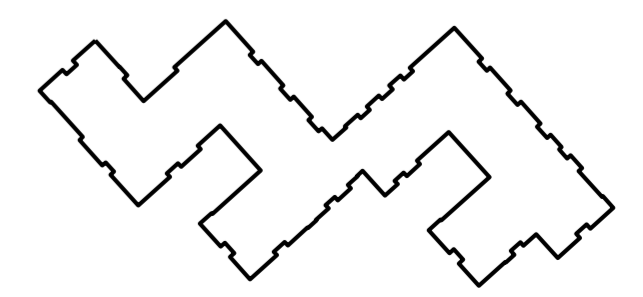
**THIRD FLOOR
 UNIT COUNT**

UNIT TYPE	UNIT COUNT
1 BEDROOM A	12
1 BEDROOM B	5
1 BEDROOM C	5
2 BEDROOM A	3
2 BEDROOM B	4
2 BEDROOM C	5
2 BEDROOM D	4
2 BEDROOM CORNER	3
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
TOTAL	41

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

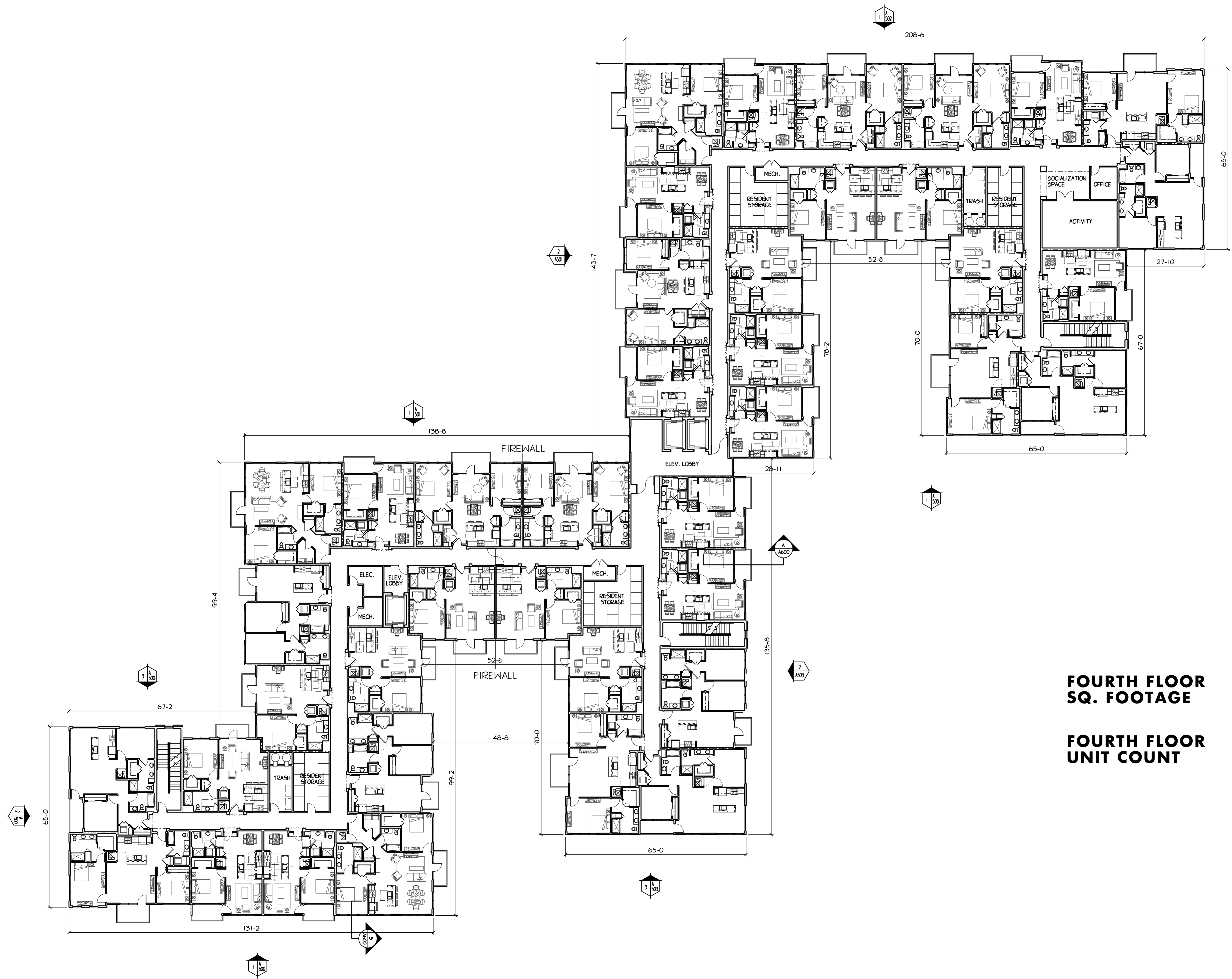
THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR.

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM
 Architecture
 Engineering
 Planning
 REVISIONS

PLOT PARAMETERS: FILE: \\V:\B\W\CAD\DRAWING\A204.dwg
 PLOTTED ON: 5/22/2019 9:28:44 AM BY: USER: JMK
 USING: HP DESIGN PLT (HP DesignJet 500) PLOTTER: HP DesignJet 500



**FOURTH FLOOR
SQ. FOOTAGE**

48,557

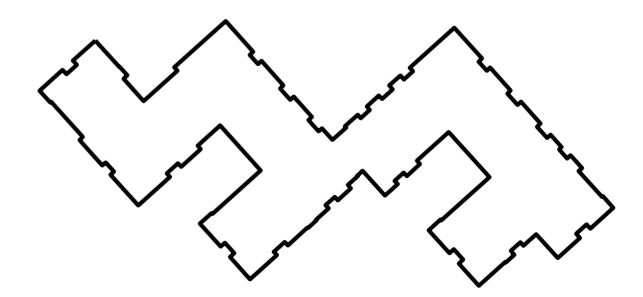
**FOURTH FLOOR
UNIT COUNT**

UNIT TYPE	UNIT COUNT
1 BEDROOM A	12
1 BEDROOM B	5
1 BEDROOM C	5
2 BEDROOM A	3
2 BEDROOM B	4
2 BEDROOM C	5
2 BEDROOM D	4
2 BEDROOM CORNER	3
1 BEDROOM CORNER	
2 BEDROOM w/ DEN A	
2 BEDROOM E	
2 BEDROOM w/ DEN B	
TOTAL	41

SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR.

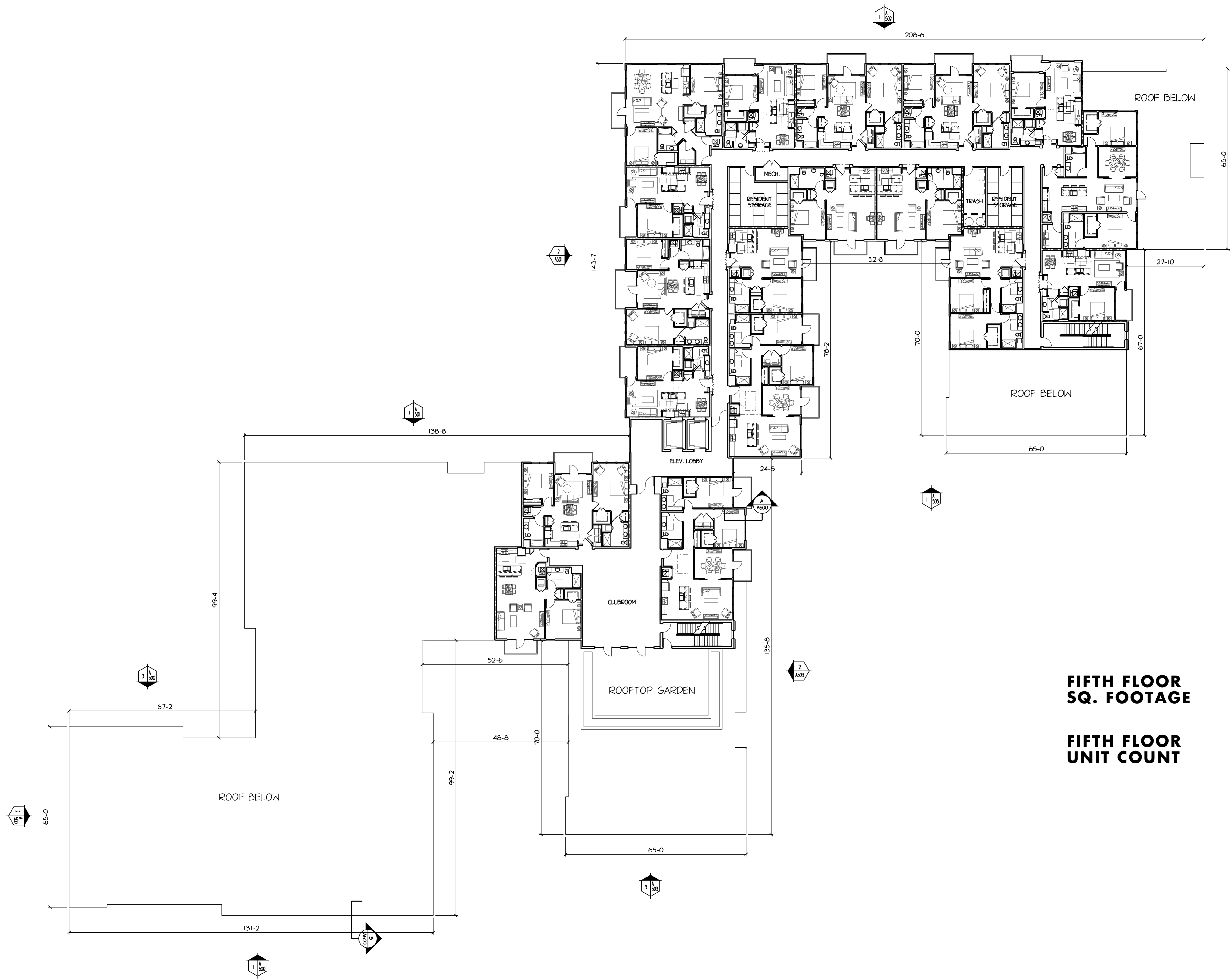
DRAWN BY
DRN
DATE
06 MAY 2019
PROJECT
181801
SHEET NO.



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM
 Architecture
 Engineering
 Planning

REVISIONS

PLOT PARAMETERS: FILE: \\V:\BIB\CAD\CON\A205.DWG
 PLOTTED ON: 5/22/2019 9:51:24 AM BY: USER:MMW
 PLOT SCALE: 1/16" = 1'-0" (1/8" = 1'-0")
 PLOT SHEET: 181801-5 (181801-5)



**FIFTH FLOOR
SQ. FOOTAGE**

24,153

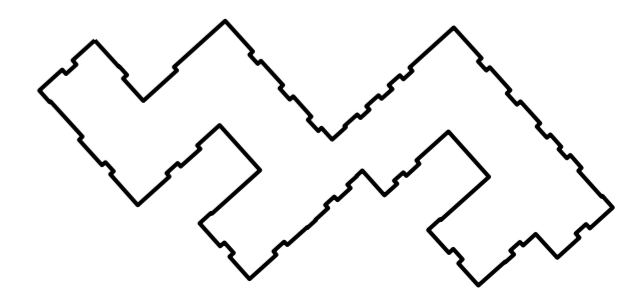
**FIFTH FLOOR
UNIT COUNT**

UNIT TYPE	UNIT COUNT
1 BEDROOM A	5
1 BEDROOM B	
1 BEDROOM C	2
2 BEDROOM A	
2 BEDROOM B	
2 BEDROOM C	4
2 BEDROOM D	
2 BEDROOM CORNER	1
1 BEDROOM CORNER	1
2 BEDROOM w/ DEN A	2
2 BEDROOM E	1
2 BEDROOM w/ DEN B	1
TOTAL	17

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THE DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE
 THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL
 NOT BE COPIED IN ANY FORM OR MANNER WITHOUT
 WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



1/16" FIFTH FLOOR PLAN A205

TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin

Architecture

1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM

Architecture
 Engineering
 Planning

REVISIONS



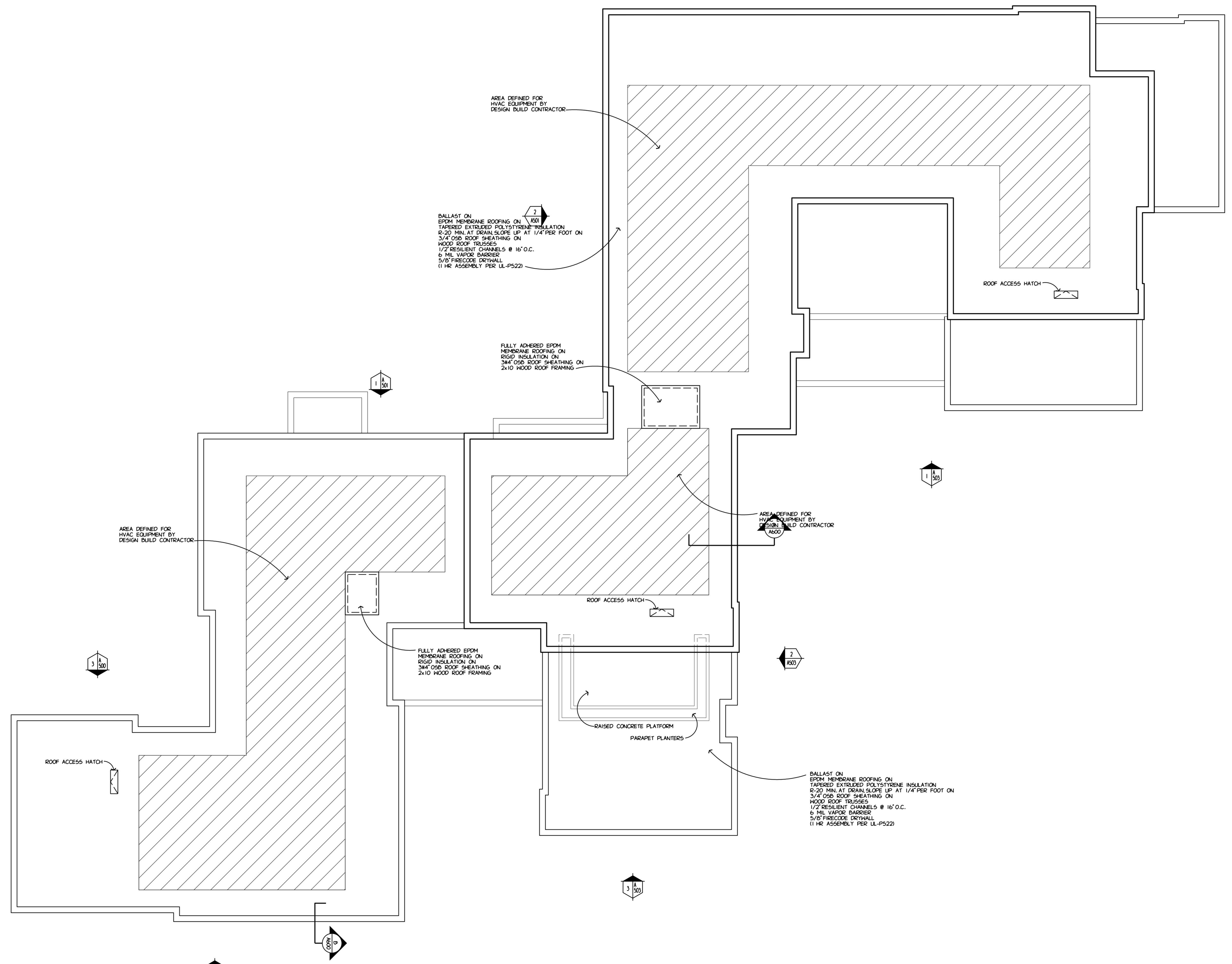
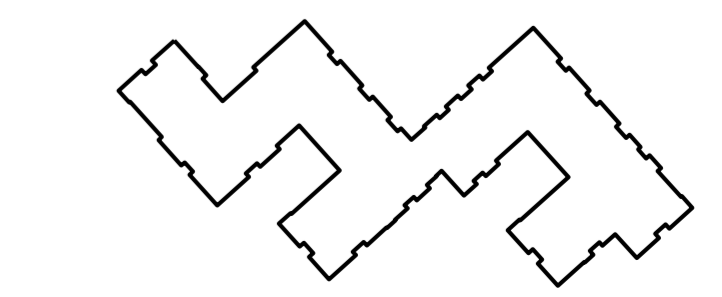
1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM
 Architecture
 Engineering
 Planning

REVISIONS

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



PLOT PARAMETERS: FILE: \\V:\B\B\B\B\CAD\DRAWING\181801\181801_A206.dwg PLOTTED ON: 5/6/2019 9:24:53 AM BY: USER: JMK LAST SHEET: 2 OF 21



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM

AGARCH
 Architecture
 Engineering
 Planning

REVISIONS

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



1/8" = 1'-0" 4 1/500



1/8" = 1'-0" 3 1/500



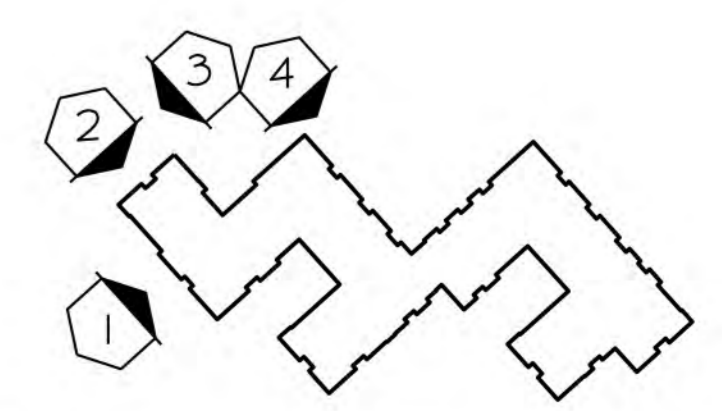
1/8" = 1'-0" 2 1/500



1/8" = 1'-0" 1 1/500

MATERIAL LEGEND

- DB - BURNISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PEWTER
- VP - VINTAGEWOOD FIBER CEMENT PANEL



PLOT PARAMETERS: TITLE: 181801 SENIOR LIVING COMMUNITY DEVELOPMENT
 PLOTTED ON: 5/6/2019 3:52:49 PM BY: USER: JMK
 PLOT SCALE: 1/8" = 1'-0" / 1/8" = 1'-0"
 LAST SHEET: 4 OF 4



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.2131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM

Architecture
 Engineering
 Planning

REVISIONS

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

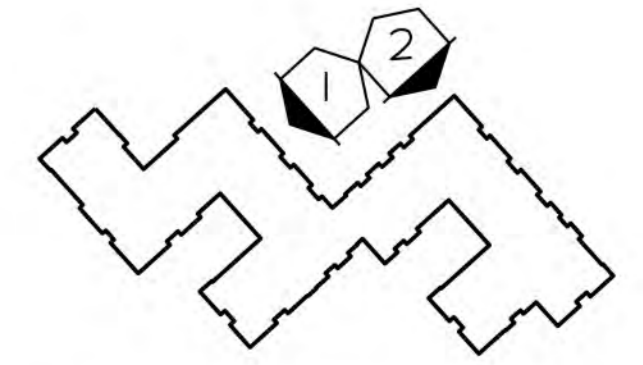
THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



MATERIAL LEGEND

- DB - BURNISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PEINER
- WP - VINTAGEWOOD FIBER CEMENT PANEL



PLOT PARAMETERS: FILED IN 181801-CD-0001-A501.DWG
 PLOTTED ON 5/6/2019 3:28:23 PM BY USER: JAK
 USING PLOTTER: HP DesignJet T1100PS (PCL6)



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM

AGARCH
 Architecture
 Engineering
 Planning

REVISIONS

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.



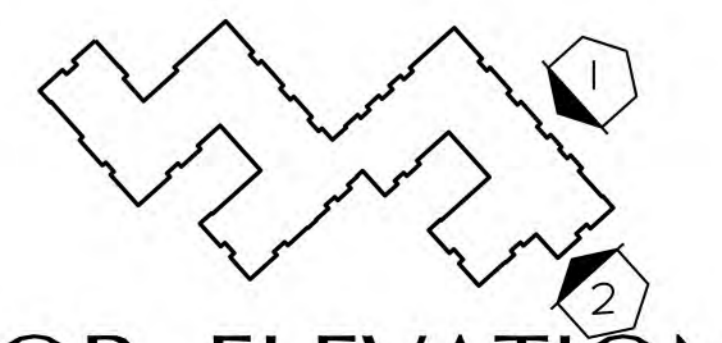
1/8" = 1'-0" 2



1/8" = 1'-0" 1

MATERIAL LEGEND

- DB - POLISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PENTON
- WP - VINTAGEWOOD FIBER CEMENT PANEL



PLOT PARAMETERS: FILED IN 181801-CD-001-A502.DWG
 PLOTTED ON 5/6/2019 2:48:46 PM BY USER: JAK
 USING PLOTTER: HP DesignJet T1100PS, PLOT SCALE: 1/8" = 1'-0"
 LAST SHEET OF 2 SHEETS



MATERIAL LEGEND

- BB - BURNISHED BLOCK
- FP1 - SMOOTH FIBER CEMENT PANEL - ARTIC WHITE
- FP2 - SMOOTH FIBER CEMENT PANEL - AGED PEWTER
- HP - VINTAGE WOOD FIBER CEMENT PANEL

**SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION**

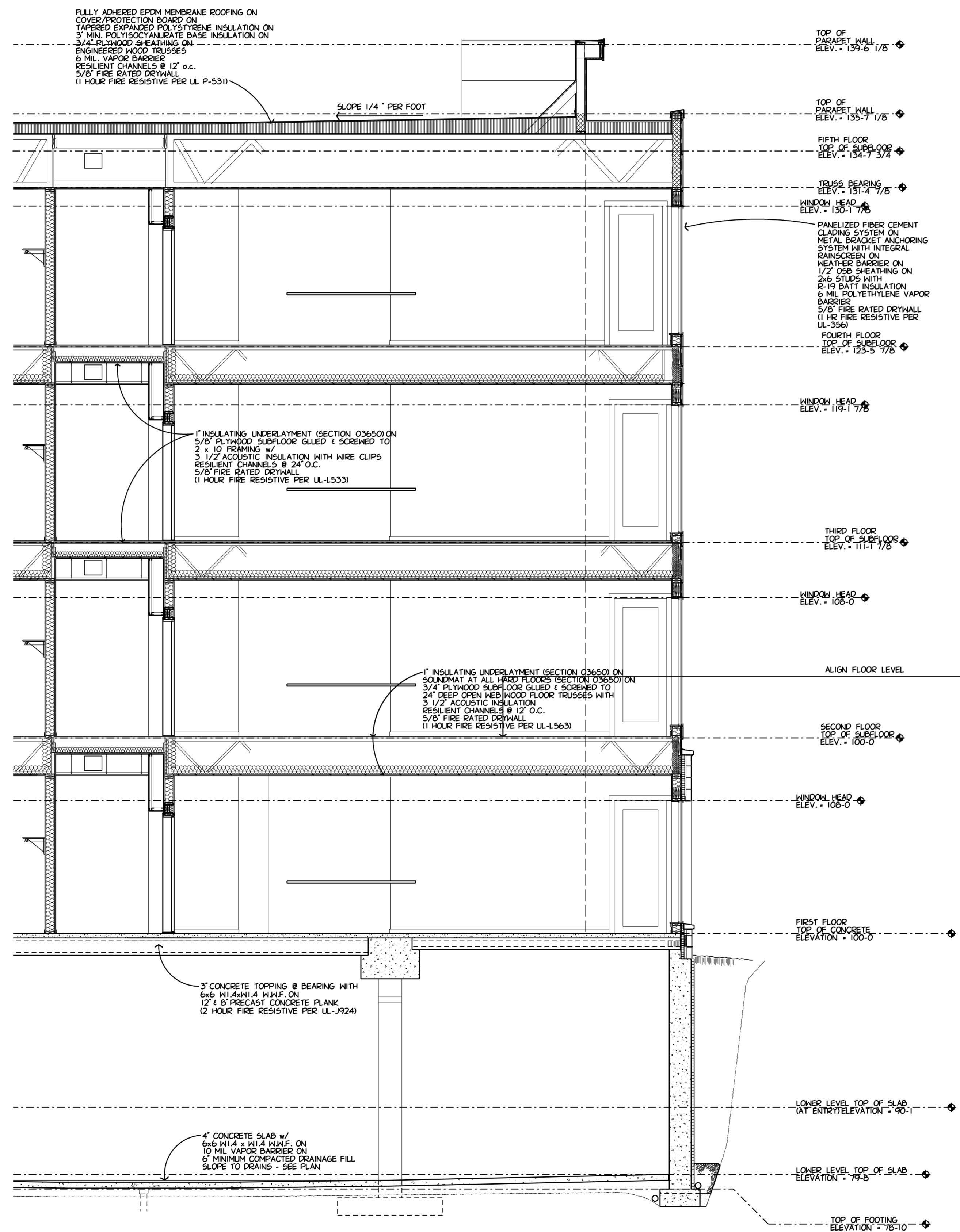
THIS DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR.

DRAWN BY
 DRN
 DATE
 06 MAY 2019
 PROJECT
 181801
 SHEET NO.

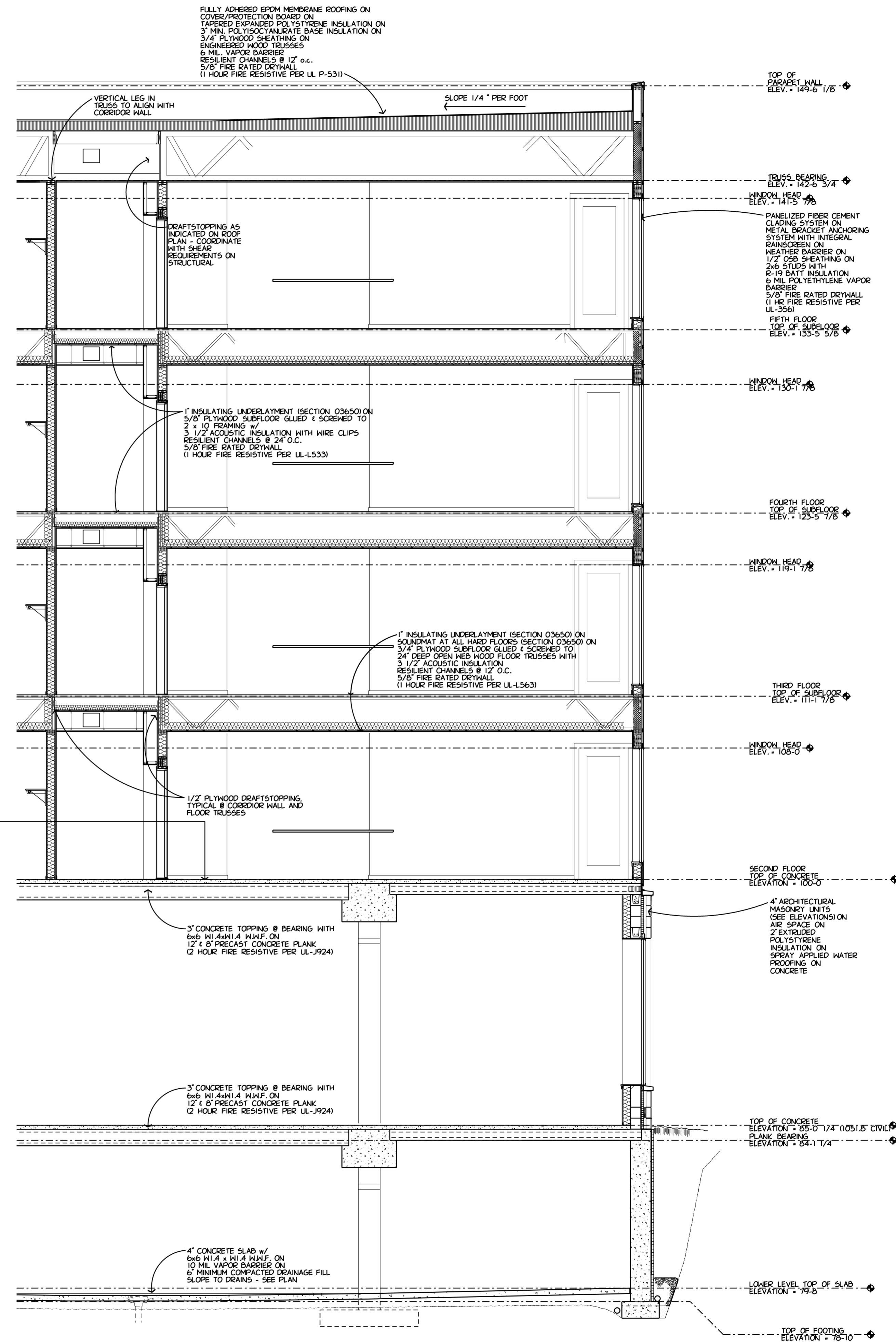


PROJECT PARAMETERS: 11/15/19 11:58 AM CADSWAN/ASB/STON
 PLOTTED ON 5/6/2019 4:18:08 PM BY USER: JMK
 USING: CENTER LINE WORKSPACE, 11/15/2019 11:58 AM, 1/8" = 1'-0"

ALL BALCONY AND RAILING SYSTEMS TO BE PRE-MANUFACTURED ALUMINUM RAILINGS
 ALL WOOD LOOK FIBER CEMENT TO BE NICHIA VINTAGE WOOD
 ALL SOLID COLOR FIBER CEMENT TO BE JAMES HARDIE PANEL INSTALLED ON RAINSCREEN SYSTEM
 STONE TO BE 4" BED DEPTH CORDOVA STONE BY TRENMITH COLOR ALABASTER
 BUILDING TO BE NFPA 13



WALL SECTION AT 4 STORY



WALL SECTION AT 5 STORY W/COMMONS AND MEMORY CARE

TYPICAL WALL SECTIONS A600

PLOT PARAMETERS: FILE: \\S:\PROJECTS\2018\181801\181801_01.dwg, PLOT SCALE: 1/8" = 1'-0", PLOT DATE: 05/06/2019, PLOT TIME: 10:10:10 AM, PLOT BY: JAG, PLOT DEVICE: HP DesignJet T1300, PLOT SHEET: A600, PLOT SHEET 1 OF 1



1414 UNDERWOOD AVE.
 WAUWATOSA, WI 53213
 414.431.3131 TEL
 414.431.0331 FAX
 WWW.AGARCH.COM
 Architecture
 Engineering
 Planning

REVISIONS

SCHEMATIC DESIGN
 NOT FOR
 CONSTRUCTION

THE DRAWING, ITS DESIGN CONCEPT AND ITS DETAILS ARE THE SOLE PROPERTY OF AG ARCHITECTURE, INC. AND SHALL NOT BE COPIED IN ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF ITS DESIGNER/CREATOR.
 DRAWN BY:
 DATE:
 06 MAY 2019
 PROJECT:
 181801
 SHEET NO.:



Senior Living Development
RCAC/CBRF & INDEPENDENT LIVING
Madison, Wisconsin

2019 MAY 6





Google Earth

2019 MAY 6

Senior Living Development
RCAC/CBRF & INDEPENDENT LIVING
Madison, Wisconsin





Google Earth

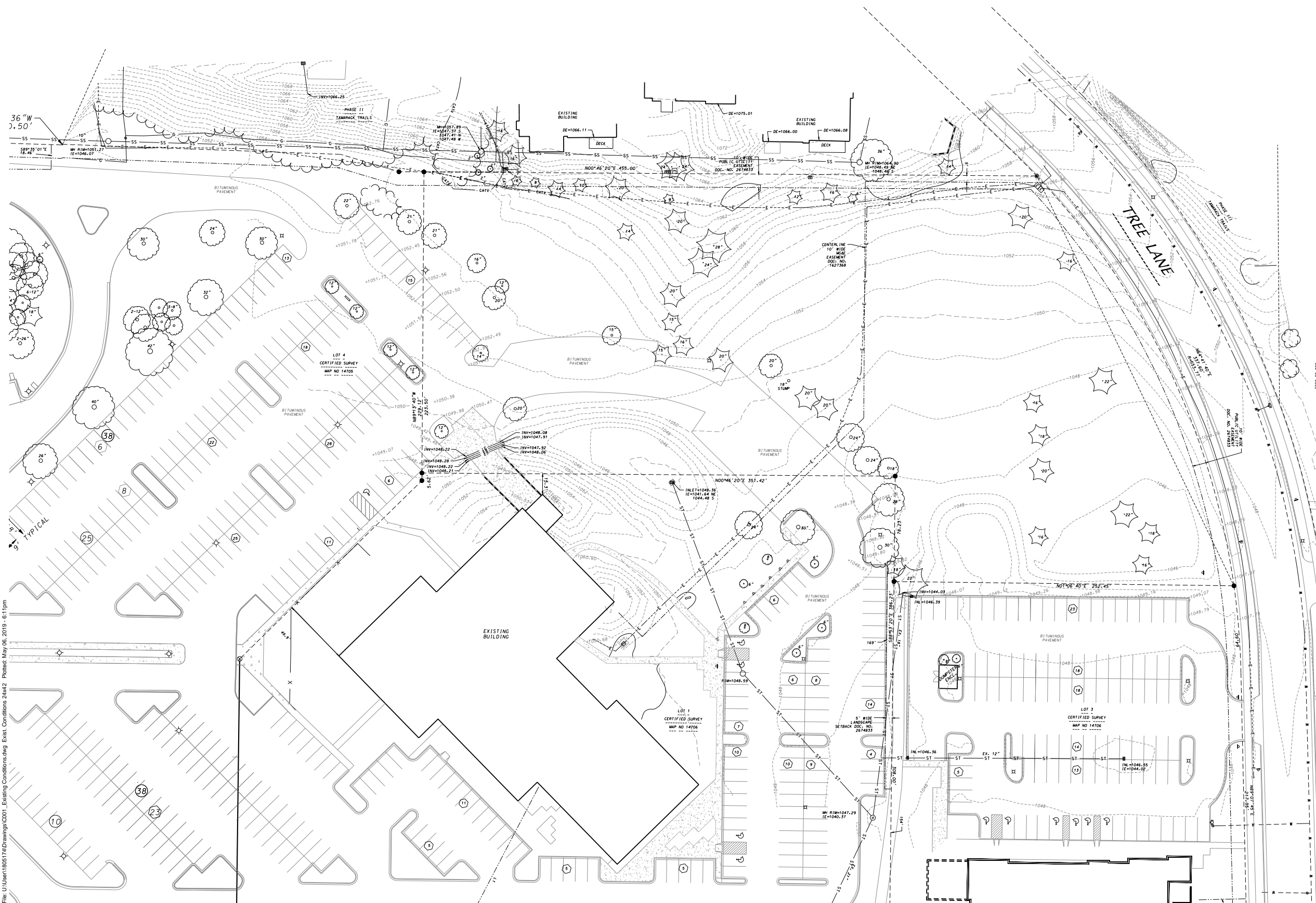
Image Landsat / Copernicus
Image NOAA

Senior Living Development
RCAC/CBRF & INDEPENDENT LIVING
Madison, Wisconsin

2019 MAY 6



File: U:\User\1805174\Drawings\C001_Existing Conditions.dwg, Exist. Conditions 2x42, Plotted: May 06, 2019 - 6:11pm

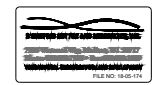


- LEGEND**
- FOUND 3/4" SOLID ROUND IRON STAKE
 - FOUND 1-1/4" SOLID ROUND IRON STAKE
 - FOUND CHISELED X
 - ST — ST STORM SEWER
 - SS — SS SANITARY SEWER
 - W — W WATER MAIN
 - G — G GAS MAIN
 - E — E UNDERGROUND ELECTRIC
 - T — T UNDERGROUND TELEPHONE
 - CATV — CATV UNDERGROUND CABLE TV
 - ⊕ ELECTRIC TRANSFORMER/VAULT
 - ⊕ TELECOMMUNICATION PED
 - MANHOLE
 - CATCH BASIN/INLET
 - LIGHT POLE
 - VALVE
 - HYDRANT
 - SIGN
 - PINE TREE
 - TREE
 - TREE LINE
 - ACCESSIBLE PARKING SPACE
 - NUMBER OF PARKING SPACES
 - CONCRETE WALL
 - CONC. CURB
 - EXISTING CONTOUR
 - CONCRETE

TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 UNDERWOOD AVE.
 WAUKESHA, WI 53186
 414.401.8101 TEL
 414.401.8801 FAX
 WWW.ASARCH.COM

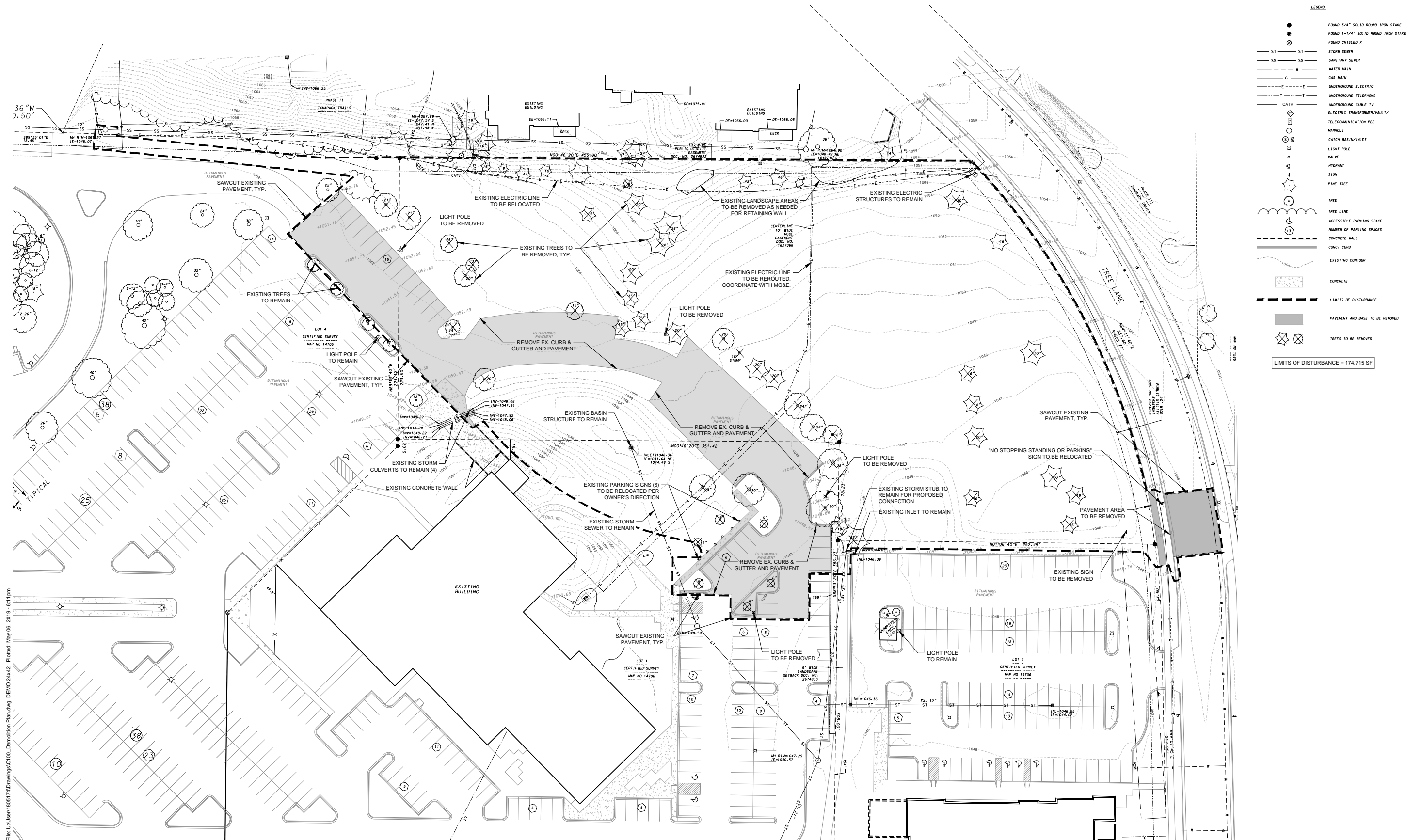


TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
 Dial 811 or
 (800) 242-8511
 DiggersHotline.com



THIS DRAWING IS DESIGN CONCEPT AND NOT FINAL. THE USER ASSUMES ALL RESPONSIBILITY FOR THE DESIGN. NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION OF THE DESIGNER/ARCHITECT.
 DRAWN BY
 DATE
 8 MAY 2019
 PROJECT
 181801
 SHEET NO.

File: U:\User\1805174\Drawings\C100_Demolition Plan.dwg DEMO 24x42 Plotted: May 06, 2019 - 6:11 pm



LEGEND

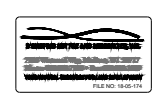
- FOUND 3/4" SOLID ROUND IRON STAKE
- FOUND 1-1/4" SOLID ROUND IRON STAKE
- ⊗ FOUND CHISELED X
- ST — ST STORM SEWER
- SS — SS SANITARY SEWER
- W — W WATER MAIN
- G — G GAS MAIN
- E — E UNDERGROUND ELECTRIC
- T — T UNDERGROUND TELEPHONE
- CATV — CATV UNDERGROUND CABLE TV
- ⊕ ELECTRIC TRANSFORMER/VAULT
- ⊞ TELECOMMUNICATION PED
- MANHOLE
- CATCH BASIN/INLET
- LIGHT POLE
- VALVE
- HYDRANT
- SIGN
- PINE TREE
- TREE
- TREE LINE
- ACCESSIBLE PARKING SPACE
- NUMBER OF PARKING SPACES
- CONCRETE WALL
- CONC. CURB
- EXISTING CONTOUR
- CONCRETE
- LIMITS OF DISTURBANCE
- PAVEMENT AND BASE TO BE REMOVED
- ⊗ TREES TO BE REMOVED

LIMITS OF DISTURBANCE = 174,715 SF

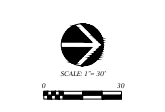
TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
Madison Wisconsin



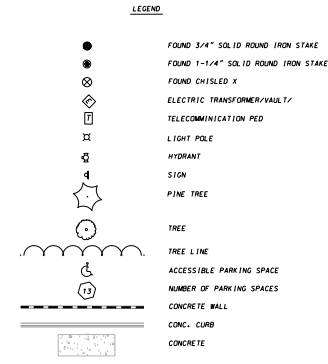
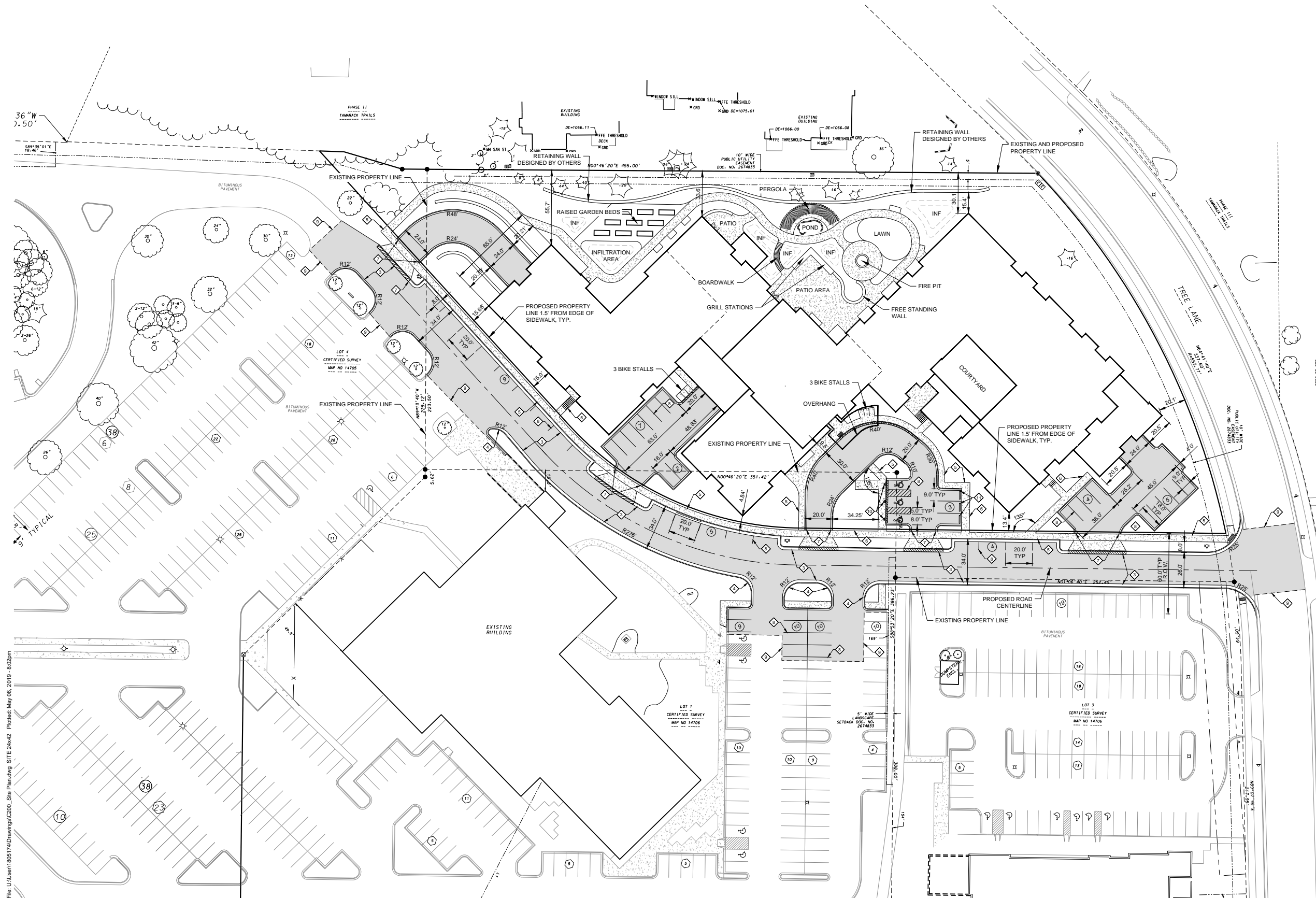
1414 UNDERWOOD AVE.
WATKINSON, WI 53119
414.481.8181 TEL
414.481.8881 FAX
WWW.JAGARCH.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
DiggersHotline.com

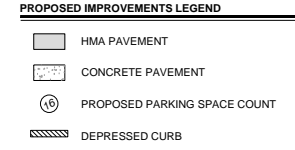


THIS DRAWING IS DESIGN CONCEPT AND NOT DETAIL. ALL THE SIZE PROPERTY OF ALL INFORMATION IS SUBJECT TO CHANGE. NOT BE CONSIDERED AS A CONTRACT OR WARRANTY WITHOUT WRITTEN AUTHORIZATION OF THE DESIGN PROFESSIONAL.
DRAWN BY
DATE: 8 MAY 2019
PROJECT: 181801
SHEET NO. C100



SITE PLAN INFORMATION BLOCK

Existing Lot Area	138,244 sf
Proposed Lot Area	128,640 sf
Building Area	51,555 sf
Total Accessible Stalls	3
Total On-Site Standard Parking Stalls	21
Total Parallel Parking Stalls	18



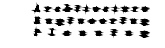
- KEYNOTES**
- ◇ 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - ◇ 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - ◇ 30-INCH CURB & GUTTER
 - ◇ TRANSITION FROM 18" TO 30" CURB
 - ◇ 5' SIDEWALK
 - ◇ 6' SIDEWALK
 - ◇ 2' CURB TERMINUS
 - ◇ PARKING SPACE STRIPING - TYP
 - ◇ MEET EXISTING ASPHALT PAVEMENT
 - ◇ ACCESSIBLE PARKING SIGN
 - ◇ CONCRETE WHEEL STOP

- NOTES**
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - PROVIDE CONTROL JOINTS 10'± O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 - EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 - EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
 - ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 - ALL PARCELS WITHIN THIS DEVELOPMENT ARE BOUND BY THE CROSS ACCESS AGREEMENT ON FILE WITH THE REGISTER OF DEEDS.
 - UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.

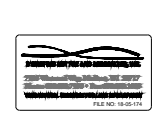
TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



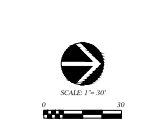
1414 UNDERWOOD AVE.
 WAUKESHA, WI 53186
 414.481.0101 TEL
 414.481.0801 FAX
 WWW.JAGARCH.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



Dial 811 or (800) 242-8511
 DiggersHotline.com

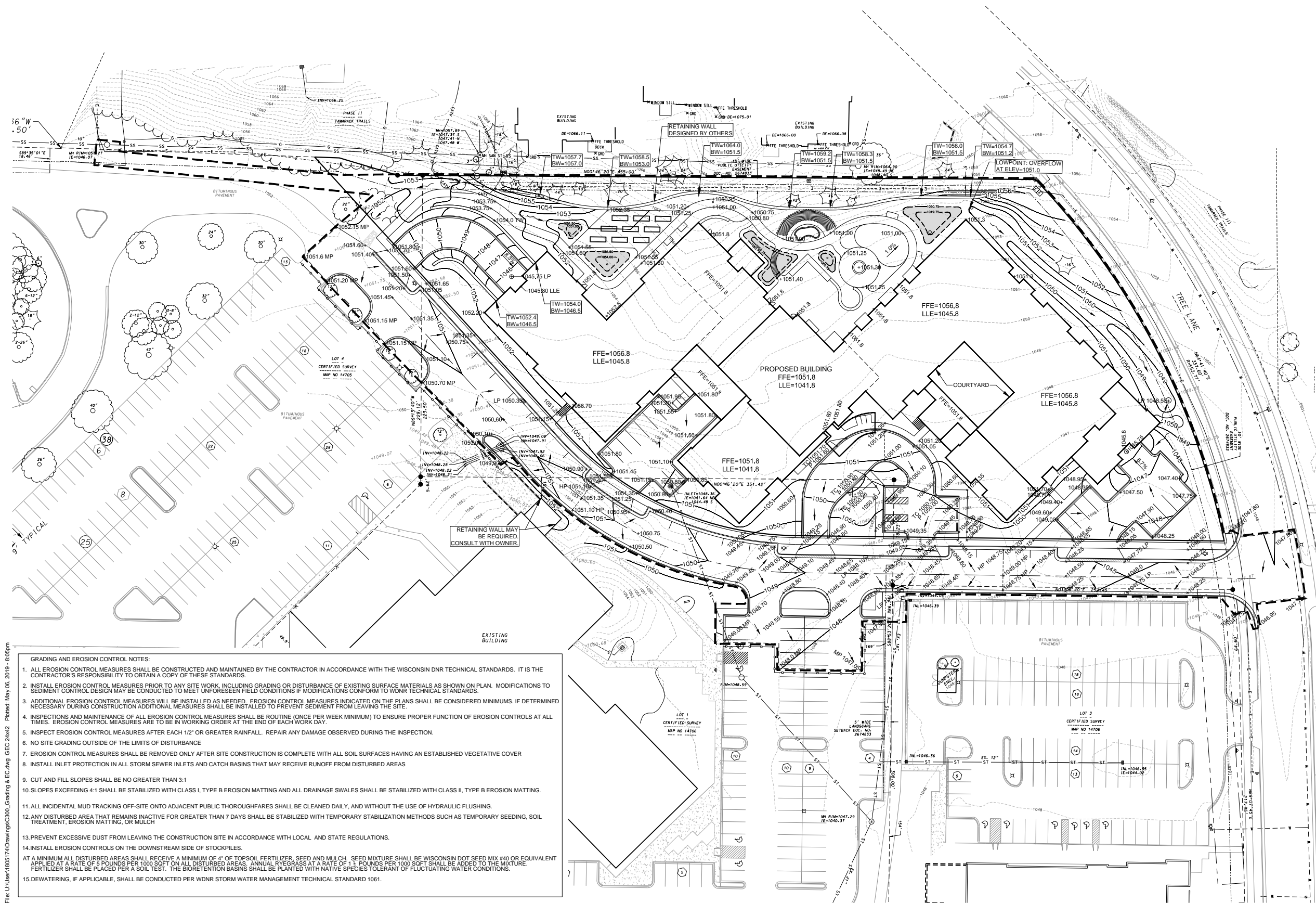


THIS DRAWING IS THE PROPERTY OF JAG ARCHITECTURE. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN AUTHORIZATION OF JAG ARCHITECTURE.

DRAWN BY
 DATE
 8 MAY 2019
 PROJECT
 181801
 SHEET NO.

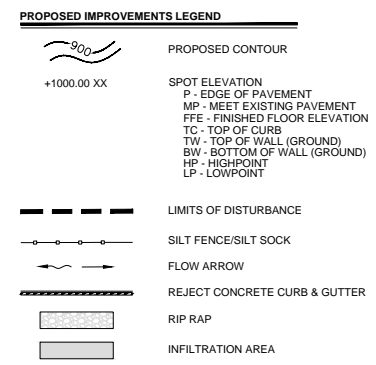
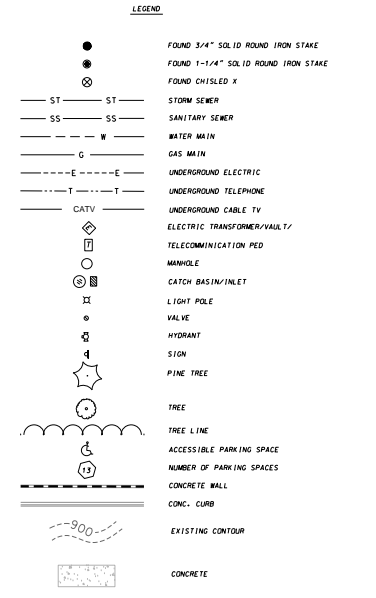
File: U:\User\1805174\Drawings\C200_Site Plan.dwg SITE 24442 Plotted: May 06, 2019 - 8:02pm

File: U:\User\18017AD\Drawings\C300_Gradng & EC.dwg GEC 2442 Plotter: May 06, 2019 - 8:05pm



GRADING AND EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
- INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
- CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
- SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
- ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED DAILY, AND WITHOUT THE USE OF HYDRAULIC FLUSHING.
- ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
- PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES
- AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQ FT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQ FT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. THE BIORETENTION BASINS SHALL BE PLANTED WITH NATIVE SPECIES TOLERANT OF FLUCTUATING WATER CONDITIONS.
- DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.



- SEQUENCE OF CONSTRUCTION**
- INSTALL EROSION CONTROL
 - ROUGH SITE GRADING.
 - FINE GRADING, CONCRETE CURB AND GUTTER, ASPHALT, CONCRETE, AND UTILITIES.
 - BIO-RETENTION CONSTRUCTION
 - RE-SPREAD TOPSOIL AND FINAL RESTORATION
 - REMOVE EROSION CONTROL WHEN SITE HAS BECOME STABILIZED.

- GENERAL NOTES**
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
 - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION

LIMITS OF DISTURBANCE = 174,715 SF

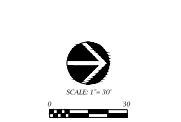
TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Wisconsin
 Madison



1414 SUPERWOOD AVE.
 WAUKESHA, WI 53186
 414.481.8181 FAX
 414.481.8182 TEL
 WWW.AARCHW.COM



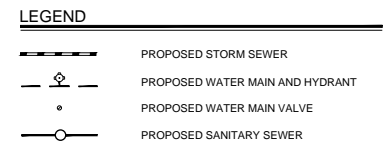
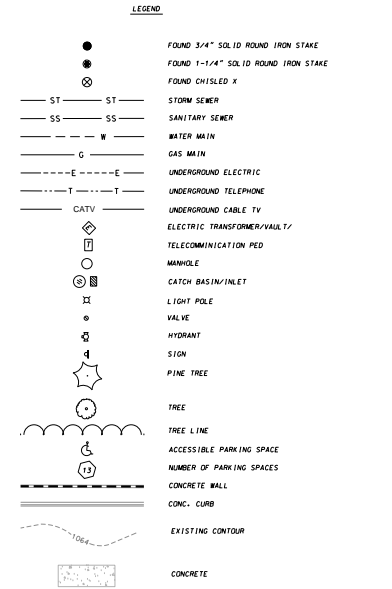
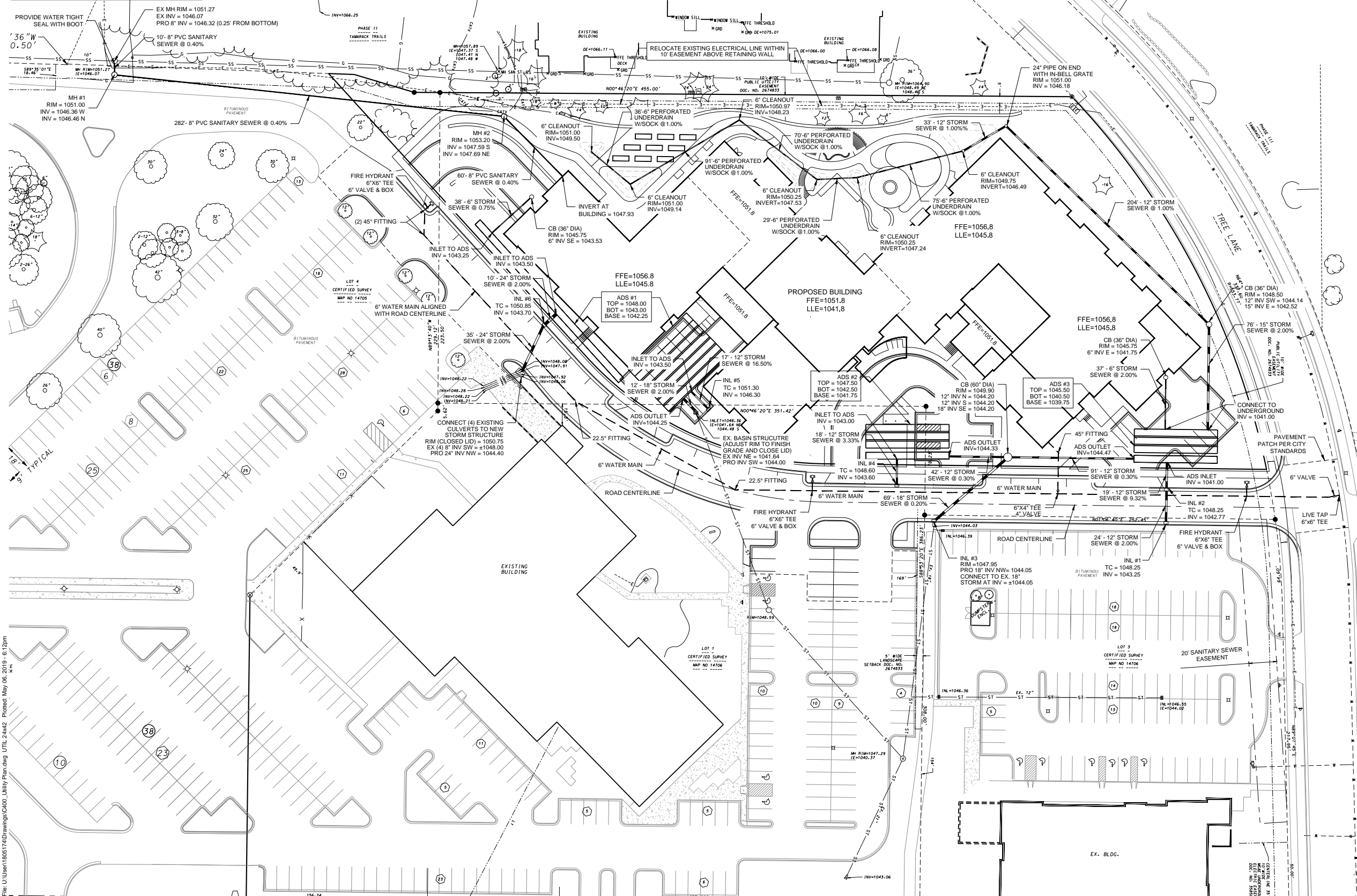
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS & HOTLINE
 Dial 811 or (800) 242-8511
 DiggersHotline.com



DRAWN BY: ---
 DATE: 8 MAY 2019
 PROJECT: 181801
 SHEET NO.: ---

Site Grading & Erosion Control Plan
C300

CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION & COORDINATE ROUTING & BUILDING CONNECTIONS WITH PLUMBING PLAN

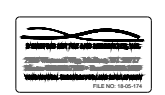


- SITE UTILITY NOTES**
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
 - ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
 - WATER MAIN SHALL HAVE A MINIMUM 6.5' BURY TO TOP OF PIPE.
 - CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
 - ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE.
 - ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-1550A FRAME WITH SOLID LID.
 - ALL STORM PIPES IN CITY OF MADISON RIGHT-OF-WAY TO BE REINFORCED CONCRETE PIPE. ALL OTHER STORM PIPE TO BE N-12.
 - ALL ROOF DRAIN STORM PIPES TO BE N-12 @ 1.0% UNLESS OTHERWISE SHOWN.

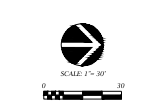
TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 HUNDEBACH AVE.
 WAUKESHA, WI 53186
 414.401.8101 TEL
 414.401.8801 FAX
 WWW.JGARCH.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 Dial 811 or (800) 242-8511
 DiggersHotline.com

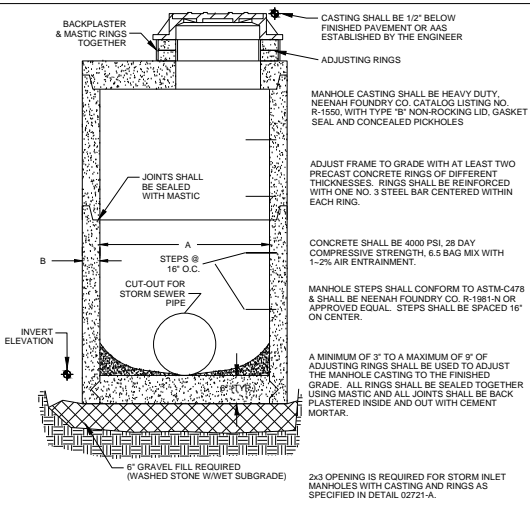


DRAWN BY: ---
 DATE: 8 MAY 2019
 PROJECT: 181801
 SHEET NO. ---

Site Utility Plan

C400

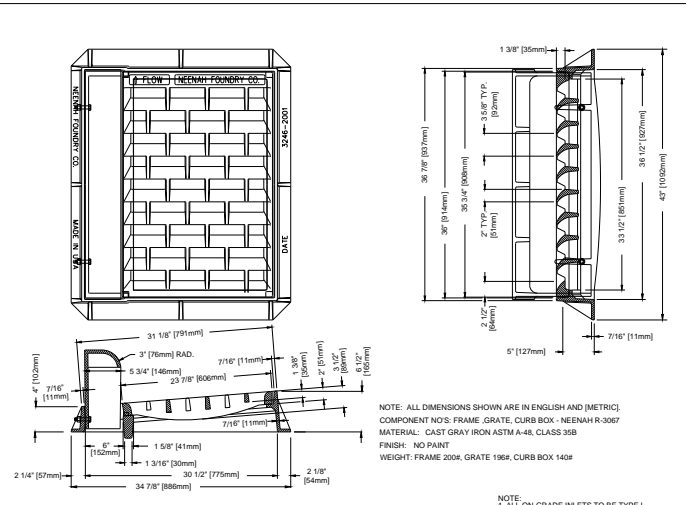
File: U:\User\1805174\Drawings\C400_Utility Plan.dwg UTLL 24x42 Plotted: May 06, 2019 - 6:12pm



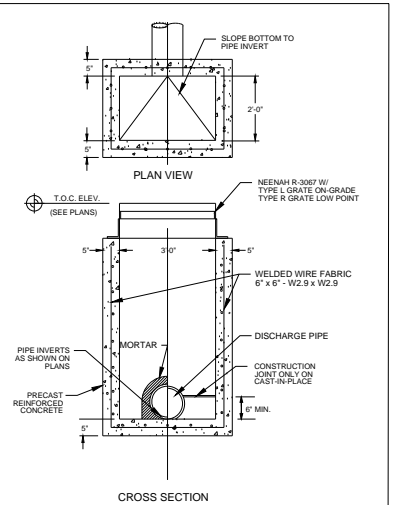
STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5'
60"	60"	6'
72"	72"	7'
84"	84"	7'
96"	96"	9'

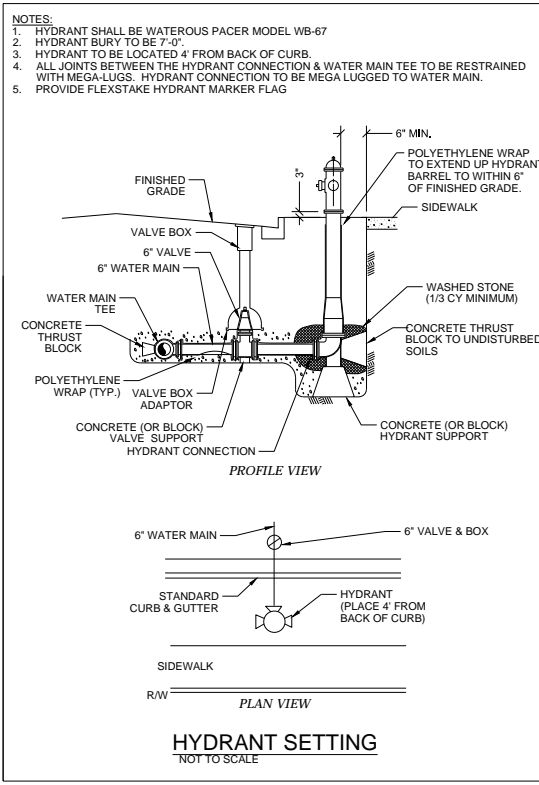
STORM SEWER MANHOLE DETAIL
NOT TO SCALE



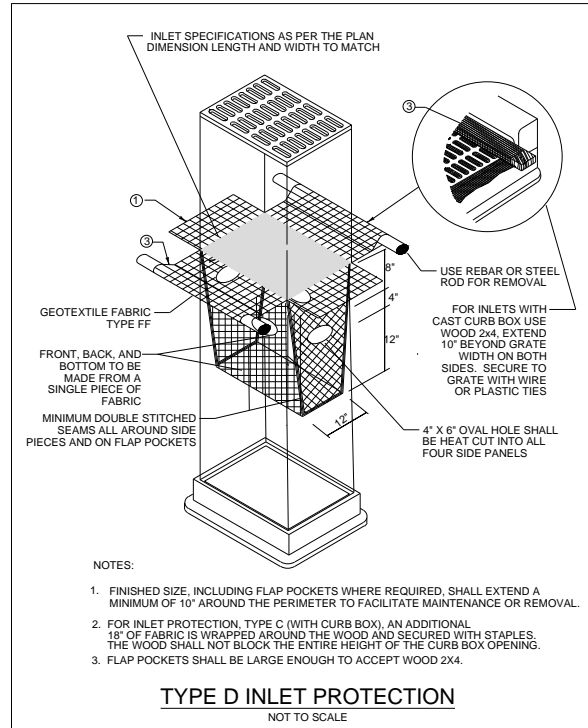
FRAME, TYPE "L" GRATE AND CURB BOX
NOT TO SCALE



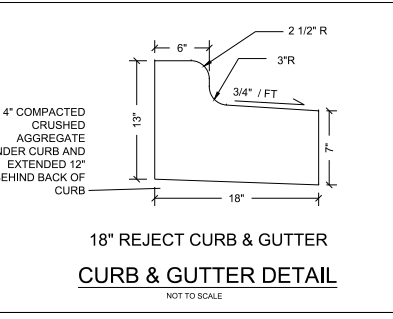
2'X3' PRECAST INLET
NOT TO SCALE



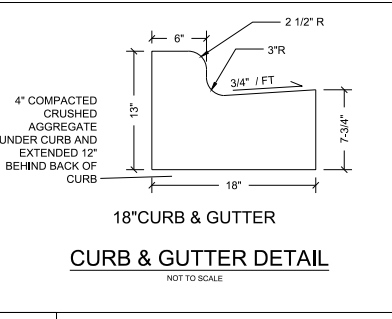
HYDRANT SETTING
NOT TO SCALE



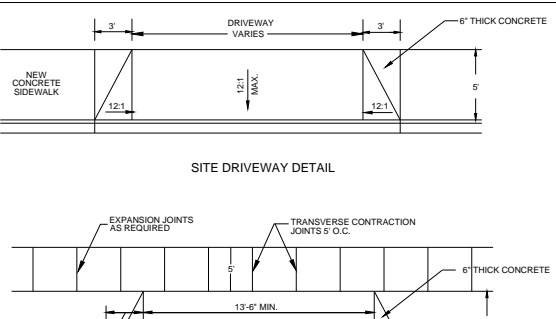
TYPE D INLET PROTECTION
NOT TO SCALE



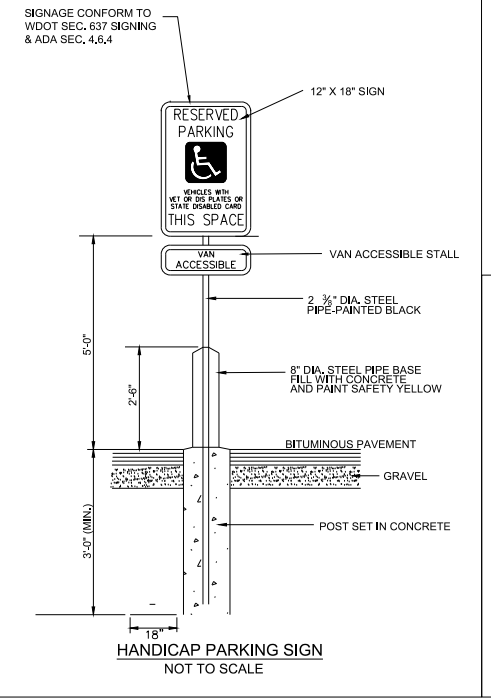
18" REJECT CURB & GUTTER CURB & GUTTER DETAIL
NOT TO SCALE



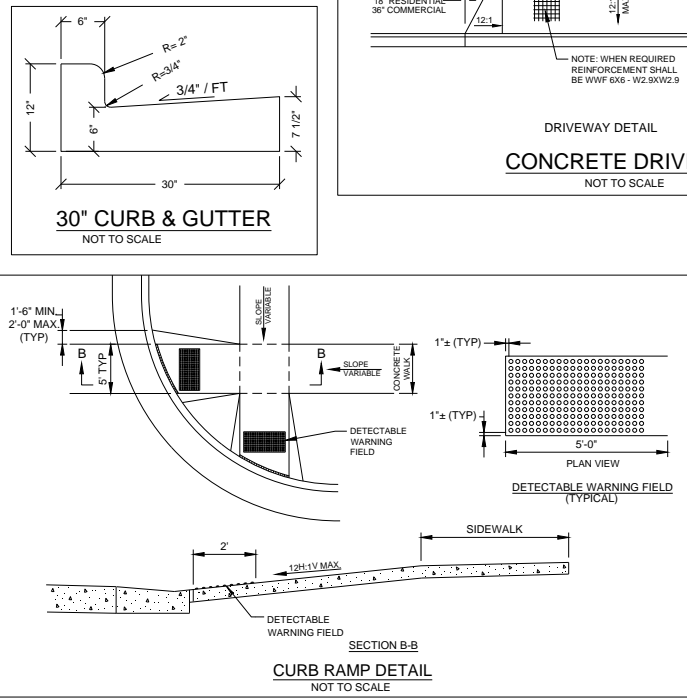
18" CURB & GUTTER CURB & GUTTER DETAIL
NOT TO SCALE



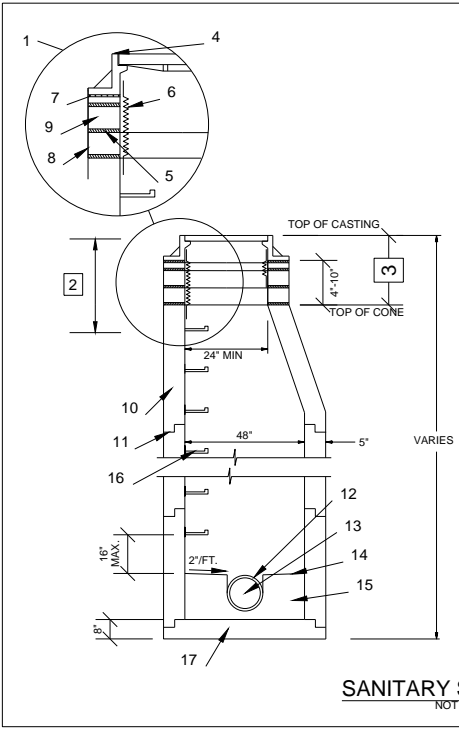
DRIVEWAY DETAIL CONCRETE DRIVEWAY
NOT TO SCALE



HANDICAP PARKING SIGN
NOT TO SCALE

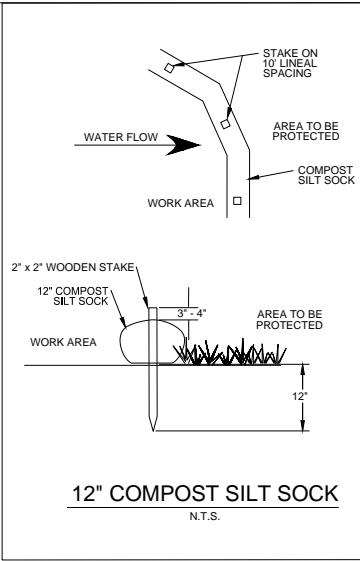


30" CURB & GUTTER CURB RAMP DETAIL
NOT TO SCALE



SANITARY SEWER MANHOLE
NOT TO SCALE

- WHEN MANHOLES ARE LOCATED UNDER PAVEMENTS, THE TOP OF THE MANHOLE FRAME SHALL BE SET TO BINDER PAVEMENT GRADE AND ADJUSTED TO FINAL GRADE WHEN SURFACE PAVEMENT IS PLACED.
- TOP MANHOLE STEP SHALL BE PLACED IN THE CONE AT A MAXIMUM OF 28" FROM THE TOP OF THE FRAME.
- ADJUSTING RINGS, ADJUST FRAME TO GRADE WITH A MINIMUM OF ONE HDPE ADJUSTMENT RING.
- MANHOLE FRAME & LID - SEE SPEC.
- PRE-MOLDED BUTYL BASE SEALANT PLACED CONTINUOUSLY AROUND ENTIRE PERIMETER OF THE RINGS REQUIRED COMMENCING BETWEEN EACH RING AND TERMINATING BETWEEN BOTTOM RING AND TOP OF CONE.
- INTERNAL FRAME CHIMNEY SEAL.
- SET MANHOLE FRAME WITH MORTAR.
- COVER OUTSIDE OF CHIMNEY FROM FRAME TO CONE WITH TROWEL GRADE BUTYL BASED SEALANT. OVERLAP CONE SECTION A MIN. OF 4".
- HDPE ADJUSTMENT RING (LADTECH OR EQUAL), SHALL HAVE A MAXIMUM THICKNESS OF 6" AND A MINIMUM THICKNESS OF 2". RINGS SHALL BE SUPPLIED IN 1/2" INCREMENTS (THICKNESS) TO ALLOW ADJUSTMENT OF THE FRAME TO WITHIN 1/2" OF PLAN GRADE. THE OUTSIDE DIAMETER OF RINGS SHALL BE UNIFORM AND EQUAL TO OR LESS THAN THE TOP OF THE CONE. THE WALL THICKNESS OF THE RINGS SHALL BE EQUAL THE WALL THICKNESS OF THE MANHOLE SECTIONS, WHEN ASSEMBLED, THE TOP OF THE CONE, THE RINGS, AND THE FRAME SHALL BE ALIGNED VERTICALLY WITH NO PROTRUSIONS.
- PRECAST CONCRETE MANHOLE SECTIONS, TYPICAL, CONFORMING TO ASTM C-478.
- WATERTIGHT JOINT, TYPICAL, WITH GASKETS CONFORMING TO C-443, OR JOINTS SEALED WITH MASTIC JOINTING COMPOUND. PROVIDE EXTERNAL MASTIC WRAP AT ALL MANHOLE JOINTS.
- PRESS SEAL GASKET, KOR-N-SEAL GASKET OR EQUAL.
- SANITARY SEWER-SIZE, NUMBER OF CONNECTIONS TO MANHOLE, ORIENTATION, AND ELEVATION SHOWN ON PLAN.
- BENCH SLOPE 2 IN/FT.
- STANDARD MANHOLE INVERT TO CROWN OF THE PIPE, SEE FILE NO. 13 OF "STANDARD SPECIFICATIONS".
- MANHOLE STEP, TYPICAL, SEE FILE NO. 15 "STANDARD SPECIFICATIONS".
- PRECAST INTEGRAL BASE.

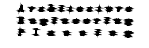


12" COMPOST SILT SOCK
N.T.S.

TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
Madison Wisconsin



1614 HUNDEWASS AVE.
WALWATONA, WI 53191
414.401.0101 TEL
414.401.0001 FAX
WWW.ASARCH.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
DiggersHotline.com



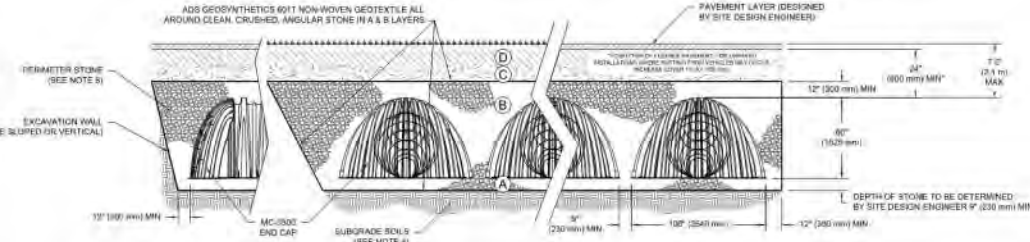
THE DRAWING AND DESIGN CONCEPT ARE THE PROPERTY OF AN ARCHITECTURE FIRM AND SHALL NOT BE COPIED BY ANY FORM OR MEANS WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECTURE FIRM.

DRAWN BY
DATE
13 MARCH 2019
PROJECT
181801
SHEET NO.

ACCEPTABLE FILL MATERIALS: STORMTECH MC-4500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE D LAYER.	As per engineer's plans	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 2" (50 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE C LAYER.	AASHTO M145 A-1, A-2, A-3 OR AASHTO M247 3, 3P, 4, 4P, 5, 5P, 6, 6P, 7, 7P, 8, 8P, 9, 9P	BEGIN COMPACTIONS AFTER 3" (75 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 2" (50 mm) MAX LIFTS TO A MIN 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	AASHTO M33 3, 3P	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBERS.	AASHTO M33 3, 3P	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE **

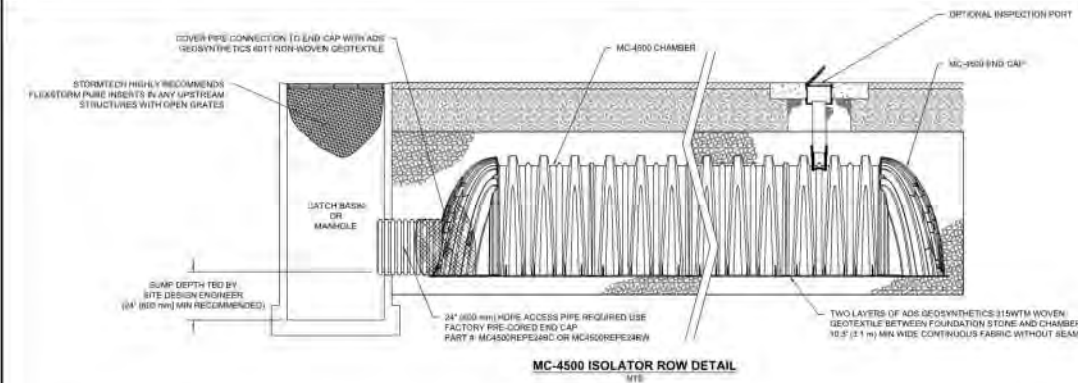
PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR M33 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M33) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 2" (50 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INSTALLATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAWDING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOADS (TRUCKS), CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- MC-4500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- MC-4500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2781 STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- ONCE LAYER 'C' IS PLACED, ANY FILL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- HERMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

REV: [] DATE: [] PROJECT # []
 CAPRI SENIOR LIVING - BED A
 MADISON, WI
 DRAWN: TT
 CHECKED: AMB
 Stortech
 4300 TRALEMAN BLVD
 MADISON, WI 53711-1474
 SHEET 3 OF 5



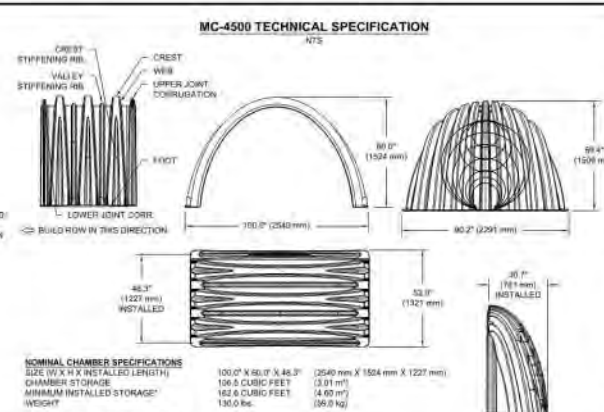
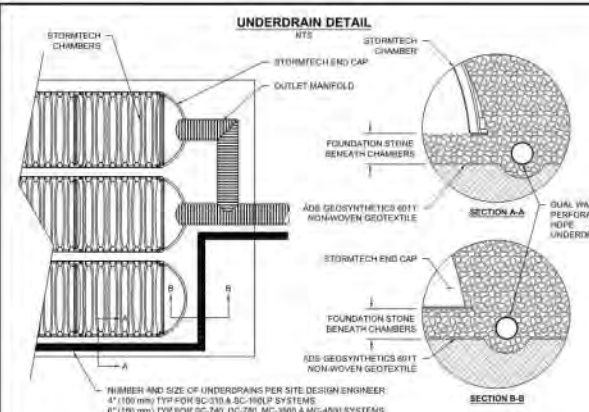
INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT**
- REMOVE/OPEN LID OR PROPLAST PLUG DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROWS**
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 3) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY SMALL CIRCLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 4) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.**
- STEP 5) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**

NOTES

- INSPECT EVERY 3 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

REV: [] DATE: [] PROJECT # []
 CAPRI SENIOR LIVING - BED A
 MADISON, WI
 DRAWN: TT
 CHECKED: AMB
 Stortech
 4300 TRALEMAN BLVD
 MADISON, WI 53711-1474
 SHEET 4 OF 5



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
100.0" X 80.0" X 48.3" (2540 mm X 1524 mm X 1227 mm)	106.5 CUBIC FEET (3.01 m³)	162.6 CUBIC FEET (4.60 m³)	130.0 lbs (59.0 kg)

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
80.2" X 68.4" X 30.7" (2021 mm X 1520 mm X 781 mm)	35.7 CUBIC FEET (1.01 m³)	106.7 CUBIC FEET (3.08 m³)	130.0 lbs (59.0 kg)

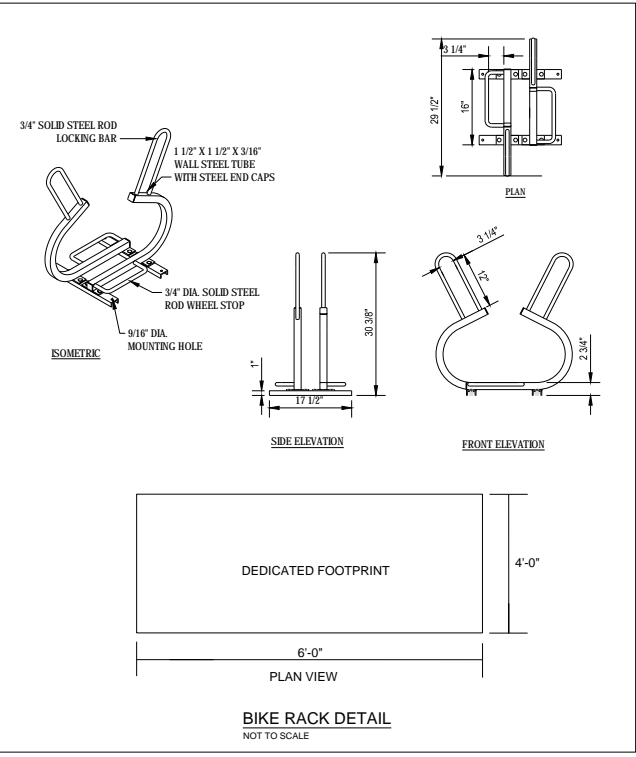
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "BT"

PART #	STUB	B	C
MC4500REPE08T	8" (150 mm)	43.54" (1107 mm)	—
MC4500REPE08H	8" (150 mm)	40.50" (1028 mm)	9.80" (250 mm)
MC4500REPE08T	8" (150 mm)	—	1.01" (26 mm)
MC4500REPE08H	8" (150 mm)	38.57" (979 mm)	—
MC4500REPE10T	10" (200 mm)	33.68" (857 mm)	1.30" (34 mm)
MC4500REPE10H	10" (200 mm)	30.48" (774 mm)	1.00" (26 mm)
MC4500REPE12T	12" (300 mm)	30.48" (774 mm)	1.00" (26 mm)
MC4500REPE12H	12" (300 mm)	32.72" (833 mm)	—
MC4500REPE15T	15" (375 mm)	—	1.70" (43 mm)
MC4500REPE15H	15" (375 mm)	28.80" (730 mm)	—
MC4500REPE18T	18" (450 mm)	—	1.97" (50 mm)
MC4500REPE18H	18" (450 mm)	23.00" (584 mm)	—
MC4500REPE24H	24" (600 mm)	—	2.28" (57 mm)
MC4500REPE24H	24" (600 mm)	—	2.30" (58 mm)
MC4500REPE24H	24" (600 mm)	—	3.25" (83 mm)
MC4500REPE24H	24" (600 mm)	—	3.55" (90 mm)

*ASSUMES 12" (305 mm) STONE ABOVE, 3" (75 mm) STONE FOUNDATION AND BETWEEN CHAMBERS. 1/2" (12.5 mm) STONE PERIMETER IN FRONT OF END CAPS AND 4IN. STONE POROSITY.

NOTE: ALL DIMENSIONS ARE NOMINAL.

REV: [] DATE: [] PROJECT # []
 CAPRI SENIOR LIVING - BED A
 MADISON, WI
 DRAWN: TT
 CHECKED: AMB
 Stortech
 4300 TRALEMAN BLVD
 MADISON, WI 53711-1474
 SHEET 5 OF 5

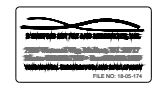


File: U:\User\1805174\Drawings\C500_Details.dwg DETAILS 2x4x2 (2) Plotted: May 06, 2019 - 6:12pm

TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



1014 UNDERWOOD AVE.
 WAUKESHA, WI 53186
 414.401.8101 TEL
 414.401.8801 FAX
 WWW.JGARCH.COM



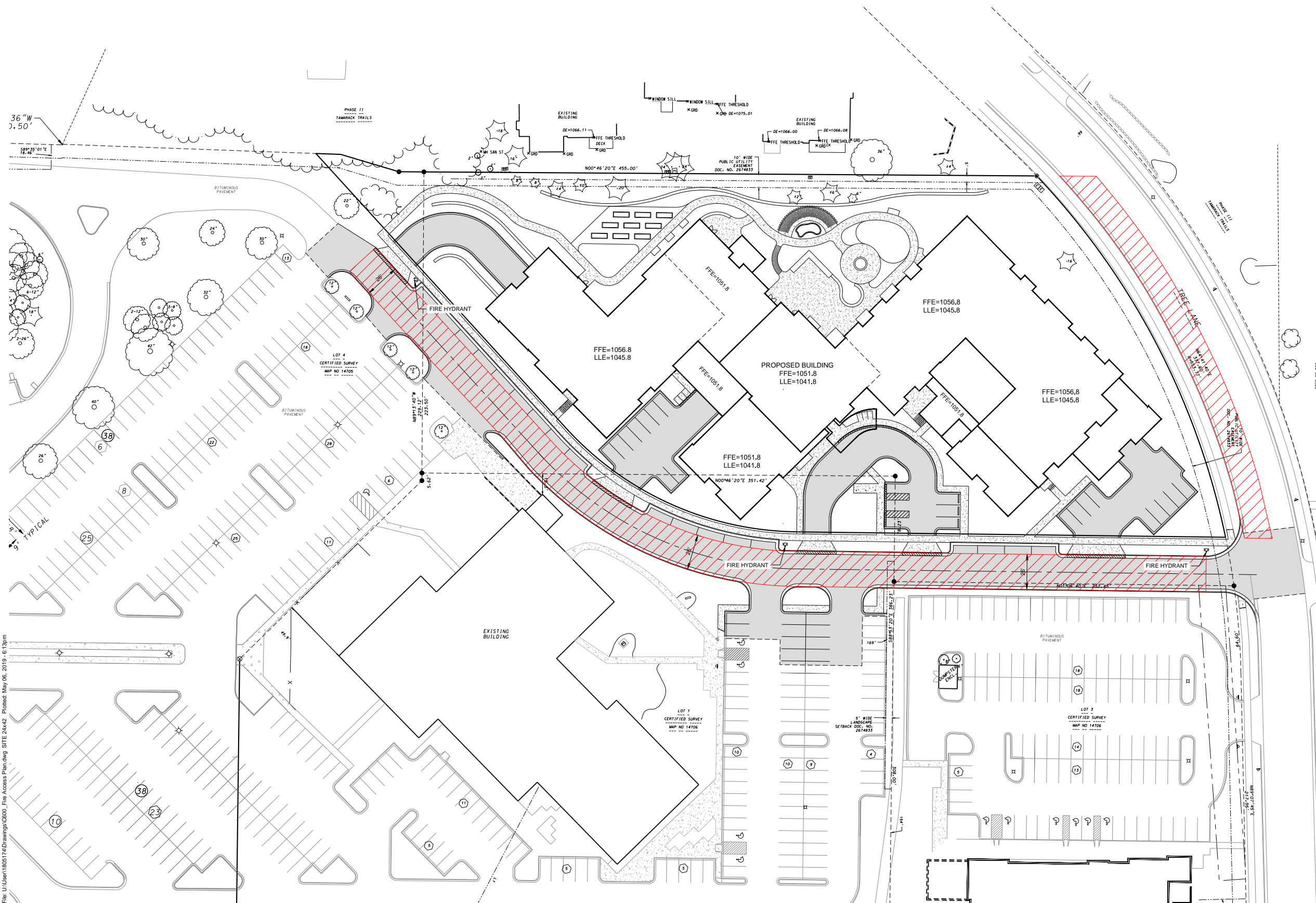
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 DiggersHotline.com



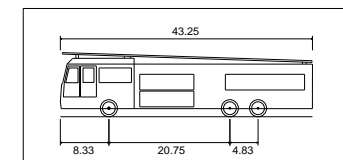
THE DRAWING IS DESIGN CONCEPT AND NOT FINAL. THE SOLE RESPONSIBILITY OF AN ARCHITECTURE FIRM SHALL NOT BE COPIED BY ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF THE ARCHITECTURE FIRM.

DRAWN BY:
 DATE: 13 MARCH 2019
 PROJECT: 181801
 SHEET NO.:

File: U:\User\1805174\Drawings\C600_Fire Access Plan.dwg SITE 24x42 Printed: May 06, 2019 - 6:13pm



 FIRE LANE

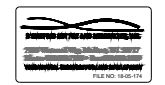


FIRE RESCUE VEHICLE	43.250ft
Overall Length	8.333ft
Overall Width	11.000ft
Min Body Ground Clearance	1.393ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°

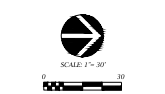
Fire Access Plan



1414 HARBORWOOD AVE.
WAWATOSA, WI 53190
414.481.8181 TEL
414.481.8881 FAX
WWW.ASARCH.COM

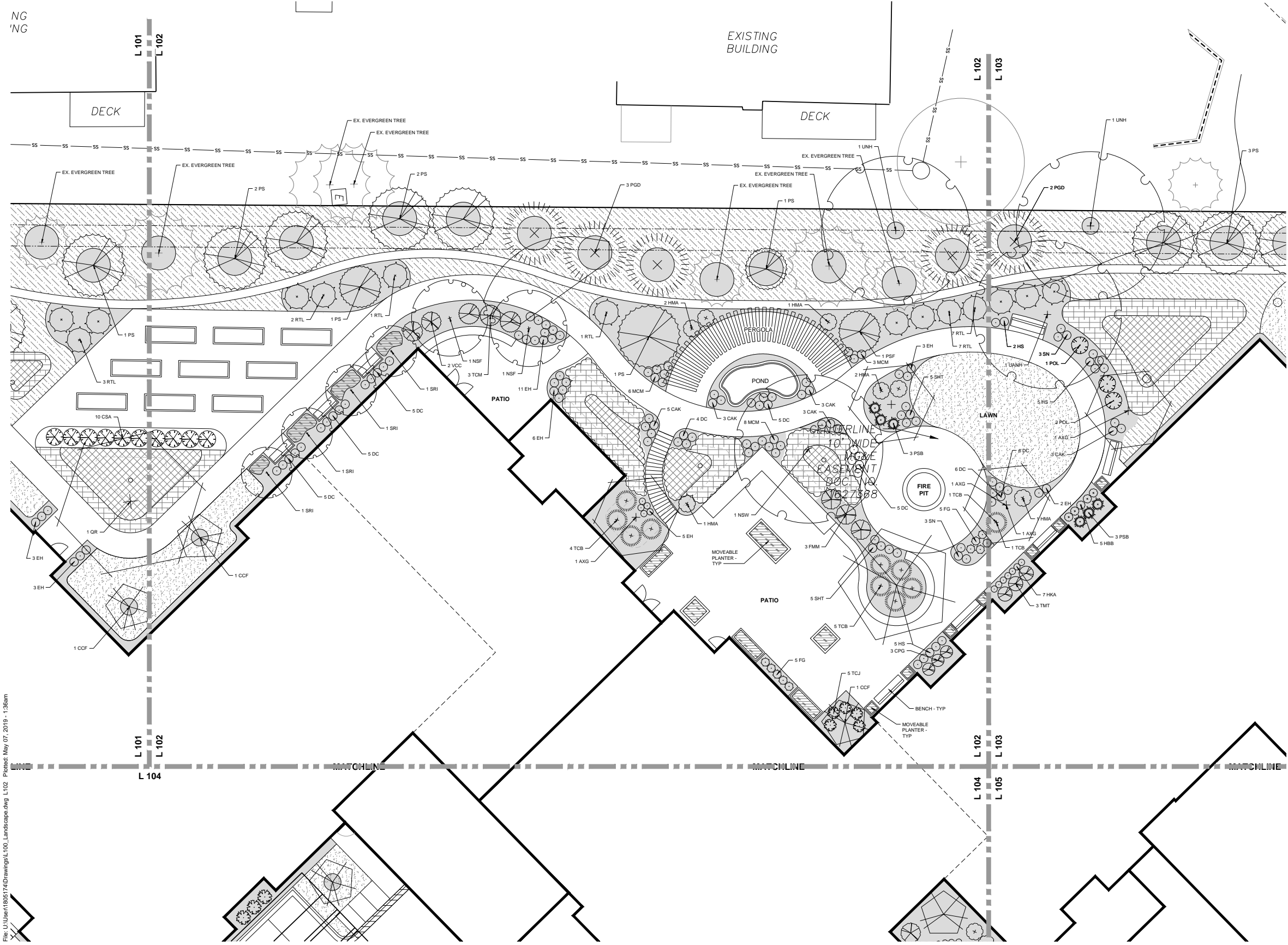


TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
Dial 811 or (800) 242-8511
DiggersHotline.com



THE DRAWING IS DESIGN CONCEPT AND NOT FINAL. THE USER IS RESPONSIBLE FOR ALL UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN.
DRAWN BY: ---
DATE: 8 MAY 2019
PROJECT: 181801
SHEET NO. ---

C600



LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
 5 POINTS PER 300 SF OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 91,271 SQ FT
 BUILDING FOOTPRINTS = 52,894 SQ FT
 NET DEVELOPED AREA = 38,377 SQ FT (0.88 ACRE)
 TOTAL POINTS REQUIRED = 640 POINTS
 POINTS PROVIDED = 3,748 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30 FT

TREE LANE FRONTAGE = 308 FT
 PLANTS REQUIRED = 10 OVERSTORY TREES OR
 20 EVERGREEN / ORNAMENTAL TREES
 50 SHRUBS
 PLANTS PROVIDED = 6 OVERSTORY TREES
 3 EVERGREEN TREES
 5 ORNAMENTAL TREES
 50 SHRUBS

PARKING LOT LANDSCAPE REQUIREMENT:
 1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 15,598 SQ FT
 REQUIRED LANDSCAPED AREA = 1,248 SQ FT (8% TOTAL PARKING LOT AREA)

OVERSTORY TREES REQUIRED = 8 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 8 OVERSTORY TREES

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PTS/PFT	SUM TOTAL	ROOT SIZE	ROOT COND	NOTES
001	PLANTING							
01	PLANTING							
02	PLANTING							
03	PLANTING							
04	PLANTING							
05	PLANTING							
06	PLANTING							
07	PLANTING							
08	PLANTING							
09	PLANTING							
10	PLANTING							
11	PLANTING							
12	PLANTING							
13	PLANTING							
14	PLANTING							
15	PLANTING							
16	PLANTING							
17	PLANTING							
18	PLANTING							
19	PLANTING							
20	PLANTING							
21	PLANTING							
22	PLANTING							
23	PLANTING							
24	PLANTING							
25	PLANTING							
26	PLANTING							
27	PLANTING							
28	PLANTING							
29	PLANTING							
30	PLANTING							
31	PLANTING							
32	PLANTING							
33	PLANTING							
34	PLANTING							
35	PLANTING							
36	PLANTING							
37	PLANTING							
38	PLANTING							
39	PLANTING							
40	PLANTING							
41	PLANTING							
42	PLANTING							
43	PLANTING							
44	PLANTING							
45	PLANTING							
46	PLANTING							
47	PLANTING							
48	PLANTING							
49	PLANTING							
50	PLANTING							
51	PLANTING							
52	PLANTING							
53	PLANTING							
54	PLANTING							
55	PLANTING							
56	PLANTING							
57	PLANTING							
58	PLANTING							
59	PLANTING							
60	PLANTING							
61	PLANTING							
62	PLANTING							
63	PLANTING							
64	PLANTING							
65	PLANTING							
66	PLANTING							
67	PLANTING							
68	PLANTING							
69	PLANTING							
70	PLANTING							
71	PLANTING							
72	PLANTING							
73	PLANTING							
74	PLANTING							
75	PLANTING							
76	PLANTING							
77	PLANTING							
78	PLANTING							
79	PLANTING							
80	PLANTING							
81	PLANTING							
82	PLANTING							
83	PLANTING							
84	PLANTING							
85	PLANTING							
86	PLANTING							
87	PLANTING							
88	PLANTING							
89	PLANTING							
90	PLANTING							
91	PLANTING							
92	PLANTING							
93	PLANTING							
94	PLANTING							
95	PLANTING							
96	PLANTING							
97	PLANTING							
98	PLANTING							
99	PLANTING							
100	PLANTING							

GROUND COVER LEGEND

- LAWN SEED
- GRASSLAND MIX - LOW GROWING MEADOW FOR MEDIUM SOILS AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION BOTTOM MIX - MOIST MEADOW MIX AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION SIDE MIX - LOW GROWING MEADOW FOR DRY SOILS AS SPECIFIED BY PRAIRIE NURSERY
- ANNUALS - BY OWNER
- BARK MULCH
- 1.5" LOCAL WASHED STONE OVER FILTER FABRIC - 3" DEPTH

LANDSCAPE PLAN NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
4. LANDSCAPE EDGING SHALL BE 31/2" x 4" ALUMINUM EDGING.
5. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
6. LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC, PER MANUFACTURER'S SPECIFICATIONS.
7. INFILTRATION AREA PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 6" x 12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
8. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

File: U:\User\180574\Drawings\1100_Landscape.dwg L102 Plotted: May 07, 2019 - 1:38pm

TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 BIRCHWOOD AVE.
 WAUWATOSA, WI 53190
 414.401.9101 TEL
 414.401.9001 FAX
 WWW.JGAAARCH.COM



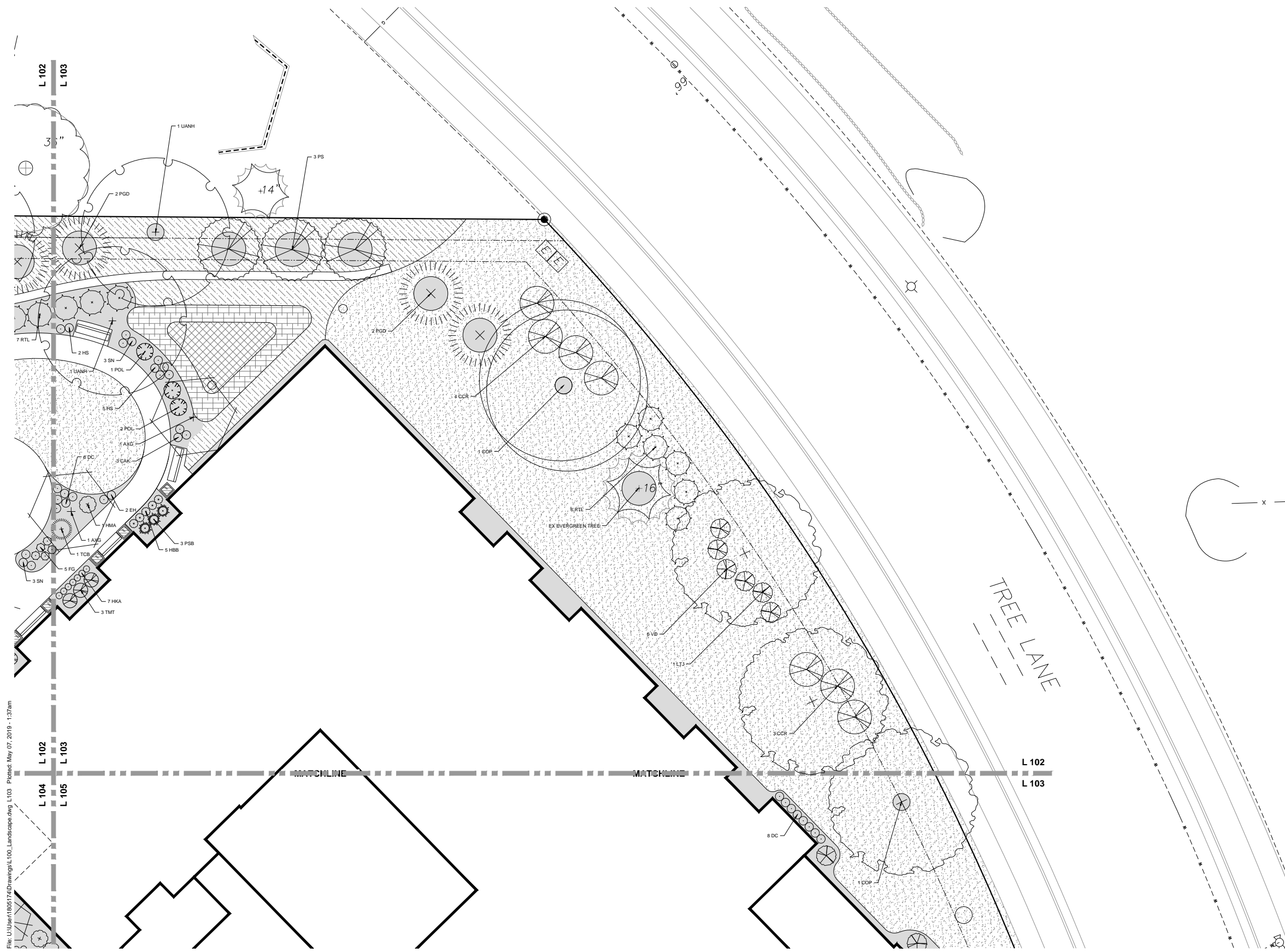
TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG, IN WISCONSIN

DIGGERS' HOTLINE
 Dial 811 or
 (800) 242-8511
 DiggersHotline.com



DRAWN BY: ---
 DATE: 8 MAY 2019
 PROJECT: 181801
 SHEET NO.

Landscape Plan L102



LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
 5 POINTS PER 300 SF OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 91,271 SQ FT
 BUILDING FOOTPRINTS = 52,894 SQ FT
 NET DEVELOPED AREA = 38,377 SQ FT (0.88 ACRE)

TOTAL POINTS REQUIRED = 640 POINTS
 POINTS PROVIDED = 3,748 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30 FT

TREE LANE FRONTAGE = 308 FT
 PLANTS REQUIRED = 10 OVERSTORY TREES OR
 20 EVERGREEN / ORNAMENTAL TREES
 50 SHRUBS
 PLANTS PROVIDED = 6 OVERSTORY TREES
 3 EVERGREEN TREES
 5 ORNAMENTAL TREES
 50 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 15,598 SQ FT
 REQUIRED LANDSCAPED AREA = 1,248 SQ FT (8% TOTAL PARKING LOT AREA)

OVERSTORY TREES REQUIRED = 8 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 8 OVERSTORY TREES

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PTS PER PLANT	SUB-TOTAL	ROOT SIZE	ROOT COND.	NOTES
10	Prunella cuneifolia	Prune	1	50	50	48"	100%	
11	Juniperus horizontalis	Horizontal Juniper	1	50	50	48"	100%	
12	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
13	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
14	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
15	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
16	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
17	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
18	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
19	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
20	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
21	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
22	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
23	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
24	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
25	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
26	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
27	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
28	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
29	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
30	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
31	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
32	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
33	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
34	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
35	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
36	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
37	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
38	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
39	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
40	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
41	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
42	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
43	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
44	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
45	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
46	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
47	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
48	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
49	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
50	Thuja occidentalis	Eastern Red Cedar	1	50	50	48"	100%	
TOTAL:							3748	(POINTS)

GROUND COVER LEGEND

- LAWN SEED
- GRASSLAND MIX - LOW GROWING MEADOW FOR MEDIUM SOILS AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION BOTTOM MIX - MOIST MEADOW MIX AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION SIDE MIX - LOW GROWING MEADOW FOR DRY SOILS AS SPECIFIED BY PRAIRIE NURSERY
- ANNUALS - BY OWNER
- BARK MULCH
- 1.5" LOCAL WASHED STONE OVER FILTER FABRIC - 3" DEPTH

LANDSCAPE PLAN NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE 311" x 4" ALUMINUM EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 4" DIAMETER CIRCLE OF 3" DEPTH SHREDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SEED, LLC, PER MANUFACTURER'S SPECIFICATIONS.
- INFILTRATION AREA PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 6" x 12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

File: U:\User\180574\Drawings\L100_Landscape.dwg, L103 Plotted: May 07, 2019 - 1:37pm

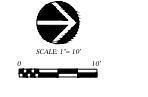
TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



1016 BIRCHWOOD AVE
 MADISON, WI 53704
 608-261-2121 TEL
 608-261-9021 FAX
 WWW.JANDSARCH.COM

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

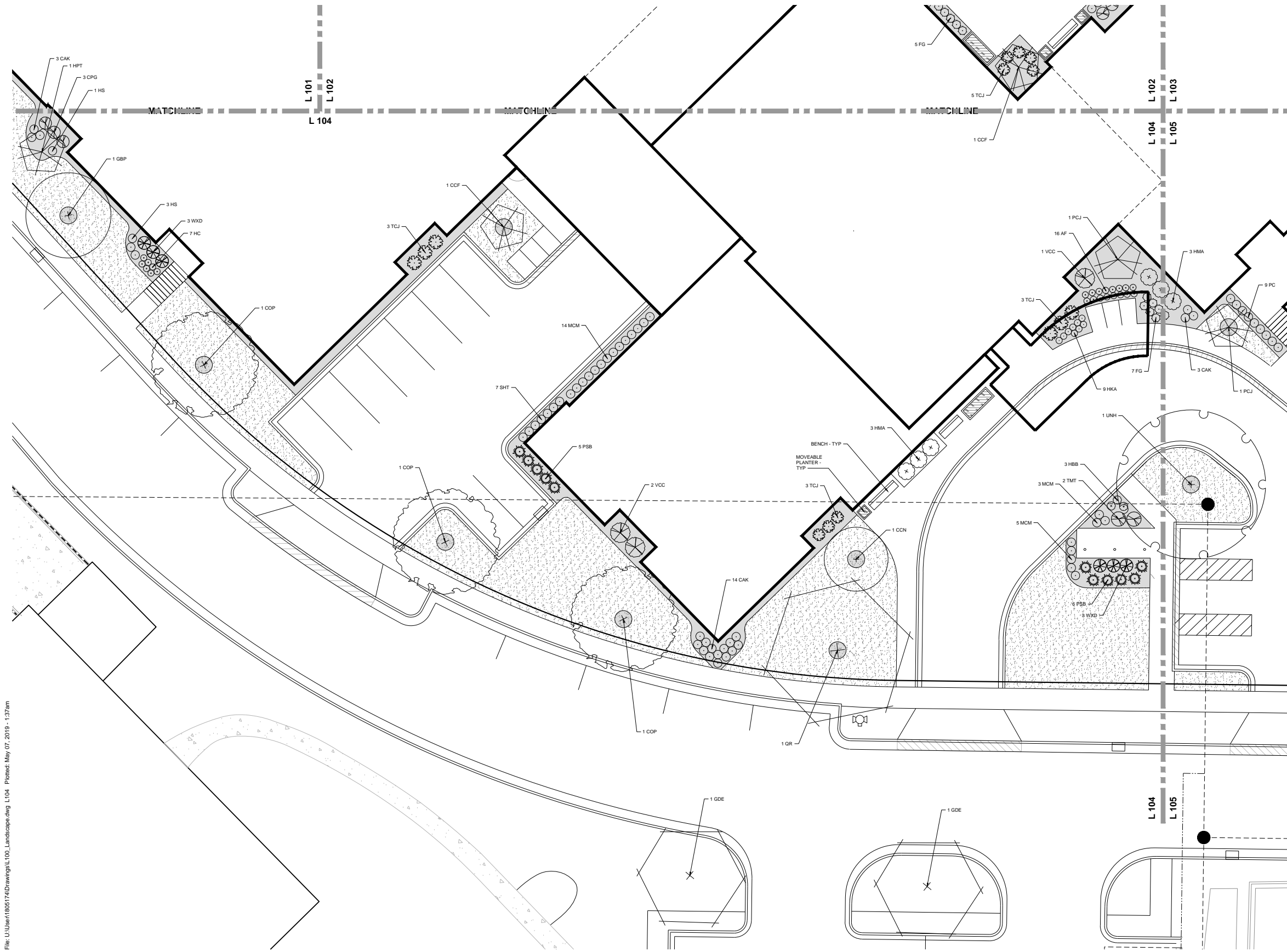
DIGGER'S HOTLINE
 Dial 811 or (800) 242-8511
 DiggersHotline.com



DRAWN BY

 DATE
 8 MAY 2019
 PROJECT
 181801
 SHEET NO.

File: U:\User\189574\Drawings\100_Landscape.dwg L104 Plotted: May 07, 2019 - 1:37am



LANDSCAPE REQUIREMENTS SUMMARY

DEVELOPED AREA REQUIREMENT:
 5 POINTS PER 300 SF OF DEVELOPED AREA
 GROSS DEVELOPED AREA = 91,271 SQ FT
 BUILDING FOOTPRINTS = 52,894 SQ FT
 NET DEVELOPED AREA = 38,377 SQ FT (0.88 ACRE)
 TOTAL POINTS REQUIRED = 640 POINTS
 POINTS PROVIDED = 3,748 POINTS

STREET FRONTAGE REQUIREMENT:
 1 OVERSTORY TREE OR 2 EVERGREEN / ORNAMENTAL & 5 SHRUB PER 30 FT
 TREE LANE FRONTAGE = 308 FT
 PLANTS REQUIRED = 10 OVERSTORY TREES OR
 20 EVERGREEN / ORNAMENTAL TREES
 50 SHRUBS
 PLANTS PROVIDED = 6 OVERSTORY TREES
 3 EVERGREEN TREES
 5 ORNAMENTAL TREES
 50 SHRUBS

PARKING LOT LANDSCAPING REQUIREMENT:
 1 OVERSTORY TREE OR 2 ORNAMENTAL TREES PER 160 SQ FT OF REQUIRED AREA
 TOTAL PARKING LOT AREA = 15,598 SQ FT
 REQUIRED LANDSCAPED AREA = 1,248 SQ FT (8% TOTAL PARKING LOT AREA)
 OVERSTORY TREES REQUIRED = 8 OVERSTORY TREES
 OVERSTORY TREES PROVIDED = 8 OVERSTORY TREES

PLANT SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PTS PER PLANT	SUB.	TOTAL	ROOT SIZE	NOTES
1 HPT	Hesperis matronalis	White Flowering Olive	1	100		100	10"	
3 CPG	Campanula medium	Common Bellflower	3	10		30	10"	
1 HS	Hamamelis virginica	Witch Ham	1	100		100	10"	
1 GBP	Gleditsia plicata	Black Locust	1	100		100	10"	
3 HS	Hamamelis virginica	Witch Ham	3	100		300	10"	
3 WXD	Wickstroemia caryophyllata	Yellow Flowering Currant	3	10		30	10"	
7 HC	Hamamelis virginica	Witch Ham	7	100		700	10"	
1 COP	Cornus florida	Flowering Dogwood	1	100		100	10"	
3 TCJ	Taxus canadensis	White Pine	3	100		300	10"	
14 MCM	Morus nigra	Mulberry	14	10		140	10"	
7 SHT	Syringa vulgaris	Common Lilac	7	10		70	10"	
5 PSB	Prunella sp.	Sp. of Prunella	5	10		50	10"	
2 VCC	Viburnum cinnabarinum	Black Viburnum	2	100		200	10"	
3 TCJ	Taxus canadensis	White Pine	3	100		300	10"	
3 HMA	Hamamelis virginica	Witch Ham	3	100		300	10"	
1 UNH	Ulmus americana	American Elm	1	100		100	10"	
1 COP	Cornus florida	Flowering Dogwood	1	100		100	10"	
14 CAK	Calluna vulgaris	Common Heath	14	10		140	10"	
1 COP	Cornus florida	Flowering Dogwood	1	100		100	10"	
1 OR	Ornithogalum	Star of Bethlehem	1	10		10	10"	
1 GDE	Glaucidium	Glaucidium	1	10		10	10"	
1 GDE	Glaucidium	Glaucidium	1	10		10	10"	

GROUND COVER LEGEND

- LAWN SEED
- GRASSLAND MIX - LOW GROWING MEADOW FOR MEDIUM SOILS AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION BOTTOM MIX - MOIST MEADOW MIX AS SPECIFIED BY PRAIRIE NURSERY
- INFILTRATION SIDE MIX - LOW GROWING MEADOW FOR DRY SOILS AS SPECIFIED BY PRAIRIE NURSERY
- ANNUALS - BY OWNER
- BARK MULCH
- 1.5" LOCAL WASHED STONE OVER FILTER FABRIC - 3" DEPTH

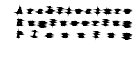
LANDSCAPE PLAN NOTES

1. CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDED HARDWOOD MULCH CONTAINED BY LANDSCAPE EDGING.
4. LANDSCAPE EDGING SHALL BE 3 1/2" x 4" ALUMINUM EDGING.
5. ALL TREES IN TURF AREAS SHALL HAVE A 4" DIAMETER CIRCLE OF 3" DEPTH SHREDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
6. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
7. LAWN AREAS SHALL BE SEEDED WITH MADISON PARKS SEED MIX AS MANUFACTURED BY LA CROSSE SECURE, LLC, PER MANUFACTURER'S SPECIFICATIONS.
8. INFILTRATION AREA PLANTS SHALL BE FURNISHED IN 2" PLUGS AND SHALL BE PLANTED ON 6" x 12" CENTERS OR PER MANUFACTURER'S SPECIFICATIONS.
9. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON ZONING ORDINANCE.

TREE LANE DEVELOPMENT
 SENIOR LIVING COMMUNITY
 Madison Wisconsin



1616 BIRCHWOOD AVE.
 MADISON, WI 53704
 608-261-3191 TEL
 608-261-3901 FAX
 WWW.AAARCHN.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGER'S HOTLINE
 Dial 811 or
 (800) 242-8511
 DiggersHotline.com



DRAWN BY

 DATE
 8 MAY 2019
 PROJECT
 181801
 SHEET NO.

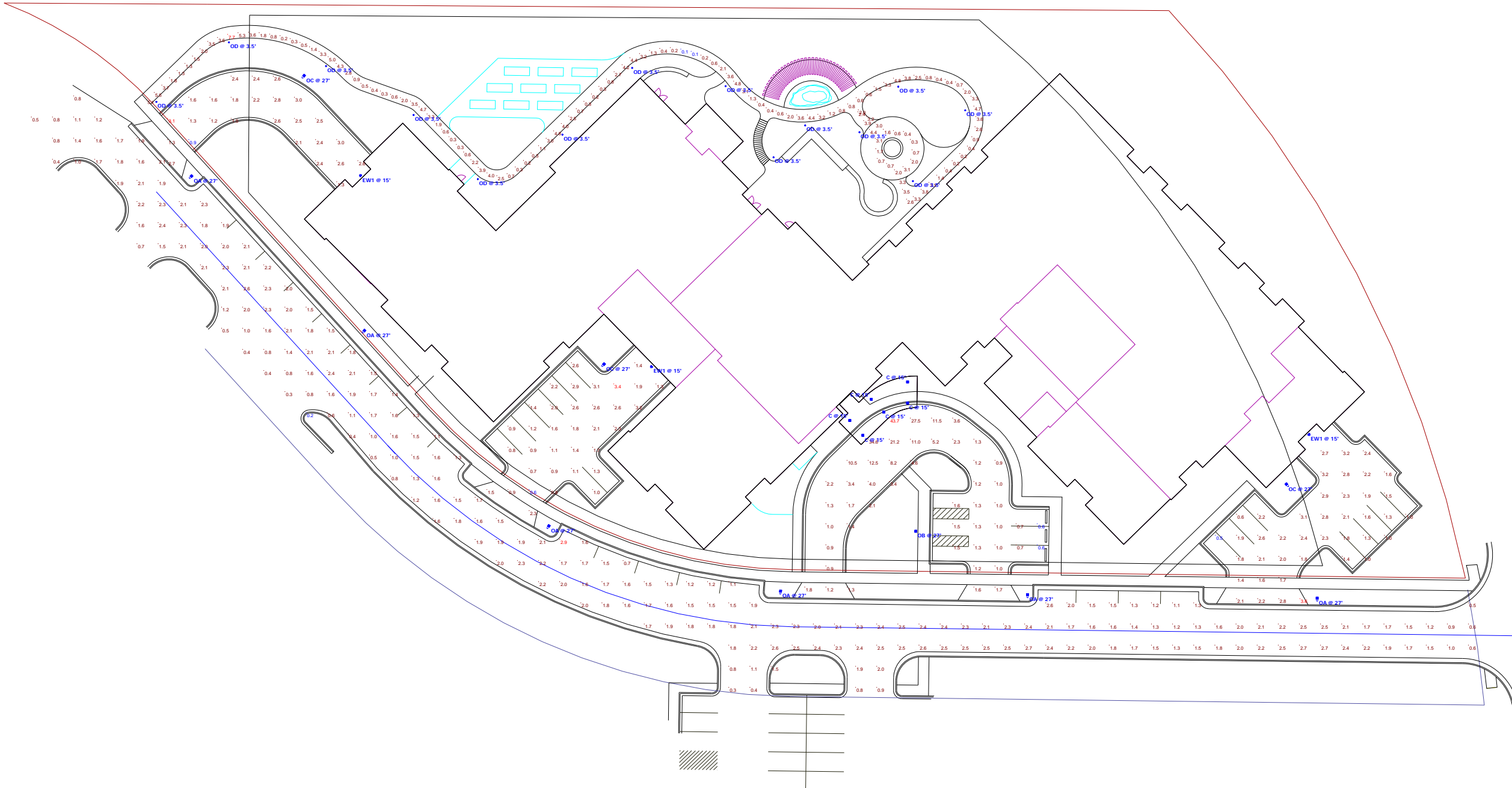
Landscape Plan

L104

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	C	6	Cree Inc	CPY250-B-xx-F-B-UL-xx-	Canopy Fixture	LED 3000K	1	CPY250-B-XX-F-B-UL-XX-30K_CONFIGURED.ies	11846	1	96
	OA	6	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-SL2-7030-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE II SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	LED 3000K	32	GLEON-AF-02-LED-E1-SL2-7030-HSS.ies	305	1	113
	OB	1	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-03-LED-E1-SWQ-7030	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE V WIDE OPTICS	LED 3000K	48	GLEON-AF-03-LED-E1-SWQ-7030.ies	386	1	166
	OC	3	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-03-LED-E1-SL4-7030-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	LED 3000K	48	GLEON-AF-03-LED-E1-SL4-7030-HSS.ies	297	1	166
	EW1	3	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	1ST-E01-LED-E1-BL3-7030	IMPACT ELITE LED LUMINAIRE (1) LIGHTBARS WITH AccuLED OPTICS - TYPE 3 W/ BACK LIGHT CONTROL	LED 3000K	21	1ST-E01-LED-E1-BL3-7030.ies	117	1	24.7
	OD	14	RAB LIGHTING INC. RC LIGHTING	BLEDR24Y, (42" ROUND BOLLARD)	3.5' Bollard	LED 3000K	20	rab03645.ies	109	1	22.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entrance Drive	+	2.2 fc	3.1 fc	0.9 fc	3.4:1	2.4:1
Parking Lot 1	+	1.7 fc	3.4 fc	0.6 fc	5.7:1	2.8:1
Parking Lot 2	+	5.1 fc	43.7 fc	0.6 fc	72.8:1	8.5:1
Parking Lot 3	+	2.0 fc	3.6 fc	0.5 fc	7.2:1	4.0:1
Roadway	+	1.7 fc	2.9 fc	0.2 fc	14.5:1	8.9:1
Sidewalk	+	2.1 fc	7.7 fc	0.1 fc	77.0:1	21.0:1

Note
 FC Measured at 0' AFG
 Pole Mounted Fixtures = 27' AFG
 (25' Pole + 2' Base)



Plan View
 Scale - 1" = 25ft

CPY Series - Version B

CPY250 LED Canopy/Suffit Luminaire

Product Description
The CPY250 LED Canopy/Suffit Luminaire has an extremely thin profile constructed of rugged cast aluminum...

Performance Summary

- Assembled in the USA of U.S. and imported parts
Initial Delivered Lumen Up to 30,000
Efficiency Up to 151 L/W
CRI Minimum 90 CRI
Color Rendering Index (CRI) 90, 95, 100, 100, 100, 100
Up to 30,000 Initial Delivered Lumen Up to 30,000

Accessories

- Direct Mount Luminaire
Compatible with Up to 250W
Direct Mount Luminaire
Compatible with Up to 250W
Direct Mount Luminaire
Compatible with Up to 250W

Ordering Information

Options: CRCT, CRCT, CRCT

Table with 5 columns: Product, Series, Mounting, Size, and Price. Lists various CPY250 models.



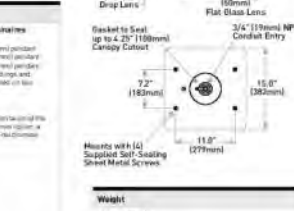
McGraw-Edison

DESCRIPTION
The GLEON® LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform, anti-glare illumination for use in workshops, parking lots, roadways, building areas and secure facility applications.



SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and cap enclosure houses a die-cast aluminum heat sink. A unique, patented heat sink design features a multi-layered heat sink structure with superior structural rigidity...



Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are primarily designed to shape the output into a beam that maintains efficiency and application specific...

Weight
Direct Mount Luminaire
Compatible with Up to 250W
Direct Mount Luminaire
Compatible with Up to 250W



McGraw-Edison

DESCRIPTION
The GLEON® LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform, anti-glare illumination for use in workshops, parking lots, roadways, building areas and secure facility applications.



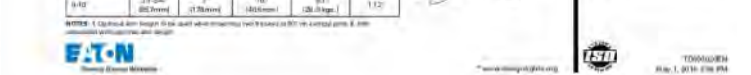
SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and cap enclosure houses a die-cast aluminum heat sink. A unique, patented heat sink design features a multi-layered heat sink structure with superior structural rigidity...



Optics
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are primarily designed to shape the output into a beam that maintains efficiency and application specific...

Weight
Direct Mount Luminaire
Compatible with Up to 250W
Direct Mount Luminaire
Compatible with Up to 250W



ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-73-GM-O

Table with columns: Product Family, Light Engine, Drive Current, Lamp Type, Voltage, Distribution, Color, Mounting. Lists various GLEON models.

Options (Add as Suffix)

- 9020-70-CR 1200W CCT
9030-70-CR 3000K
9040-70-CR 3000K
9050-70-CR 3000K
9060-70-CR 3000K

Notes

1. Not available with certain options.
2. Not available with certain options.
3. Not available with certain options.



GLEON GALLEON LED

Product Family, Light Engine, Drive Current, Lamp Type, Voltage, Distribution, Color, Mounting.

Table with columns: Product Family, Light Engine, Drive Current, Lamp Type, Voltage, Distribution, Color, Mounting. Lists various GLEON GALLEON models.

Options (Add as Suffix)

- 9020-70-CR 1200W CCT
9030-70-CR 3000K
9040-70-CR 3000K
9050-70-CR 3000K
9060-70-CR 3000K

Notes

1. Not available with certain options.
2. Not available with certain options.
3. Not available with certain options.



McGraw Edison

Project, Date, Comments, Prepared by.



Impact Elite

IST-AF-350-LED-E1-SL3-BZ-7030

Table with columns: Catalog Number, Object Type, Quantity, Quote Price, Extended Price.

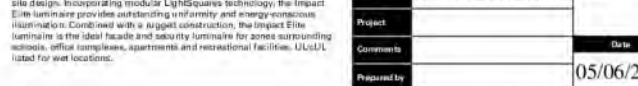
Configuration Details

Table with columns: Series, Number of Light Squares, Drive Current, Lamp Type, Voltage, Distribution, Color, CRV/CCT, Photo Control, After Hours Dim, Sensor, Battery, LCF, HSS, Shield, ULG, TR, X-Drive Surge Protection, Only.



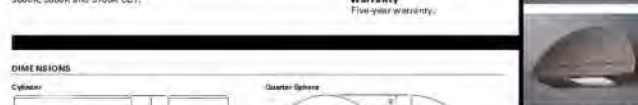
McGraw-Edison

DESCRIPTION
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-efficient illumination.



SPECIFICATION FEATURES

Construction
Heavy-wall, die-cast aluminum housing and removable hinged door frame for greater maintenance control and reusability. Hinged door inset for clean meeting with two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandalism resistant access to the electrical chamber.



Options (Add as Suffix)

- 7030-70-CR 1200W CCT
7040-70-CR 3000K CCT
7050-70-CR 3000K CCT
7060-70-CR 3000K CCT
7070-70-CR 3000K CCT

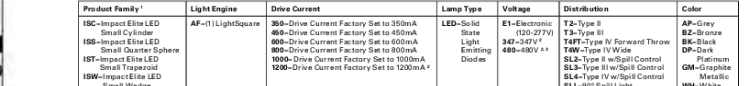
Notes

1. Not available with certain options.
2. Not available with certain options.
3. Not available with certain options.



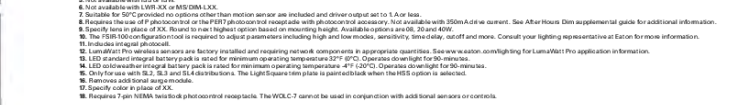
McGraw-Edison

DESCRIPTION
The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-efficient illumination.



SPECIFICATION FEATURES

Construction
Heavy-wall, die-cast aluminum housing and removable hinged door frame for greater maintenance control and reusability. Hinged door inset for clean meeting with two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandalism resistant access to the electrical chamber.



Options (Add as Suffix)

- 7030-70-CR 1200W CCT
7040-70-CR 3000K CCT
7050-70-CR 3000K CCT
7060-70-CR 3000K CCT
7070-70-CR 3000K CCT

Notes

1. Not available with certain options.
2. Not available with certain options.
3. Not available with certain options.



ORDERING INFORMATION

Sample Number: ISC-AF-350-LED-E1-73-BZ

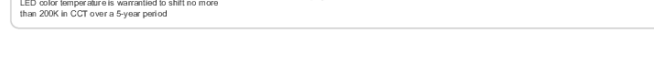
Table with columns: Product Family, Light Engine, Drive Current, Lamp Type, Voltage, Distribution, Color, Mounting. Lists various ISC-AF models.

Options (Add as Suffix)

- 7030-70-CR 1200W CCT
7040-70-CR 3000K CCT
7050-70-CR 3000K CCT
7060-70-CR 3000K CCT
7070-70-CR 3000K CCT

Notes

1. Not available with certain options.
2. Not available with certain options.
3. Not available with certain options.



ORDERING INFORMATION

Sample Number: ISC-AF-350-LED-E1-73-BZ

Table with columns: Product Family, Light Engine, Drive Current, Lamp Type, Voltage, Distribution, Color, Mounting. Lists various ISC-AF models.

Options (Add as Suffix)

- 7030-70-CR 1200W CCT
7040-70-CR 3000K CCT
7050-70-CR 3000K CCT
7060-70-CR 3000K CCT
7070-70-CR 3000K CCT

Notes

1. Not available with certain options.
2. Not available with certain options.
3. Not available with certain options.



Capri Madison Development REV11

Table with columns: Designer, Date, Scale, Note to Scale, Drawing No., Summary.



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506

Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 7043 Tree Lane

Contact Name & Phone #: Bruce Hollar 608-833-7530

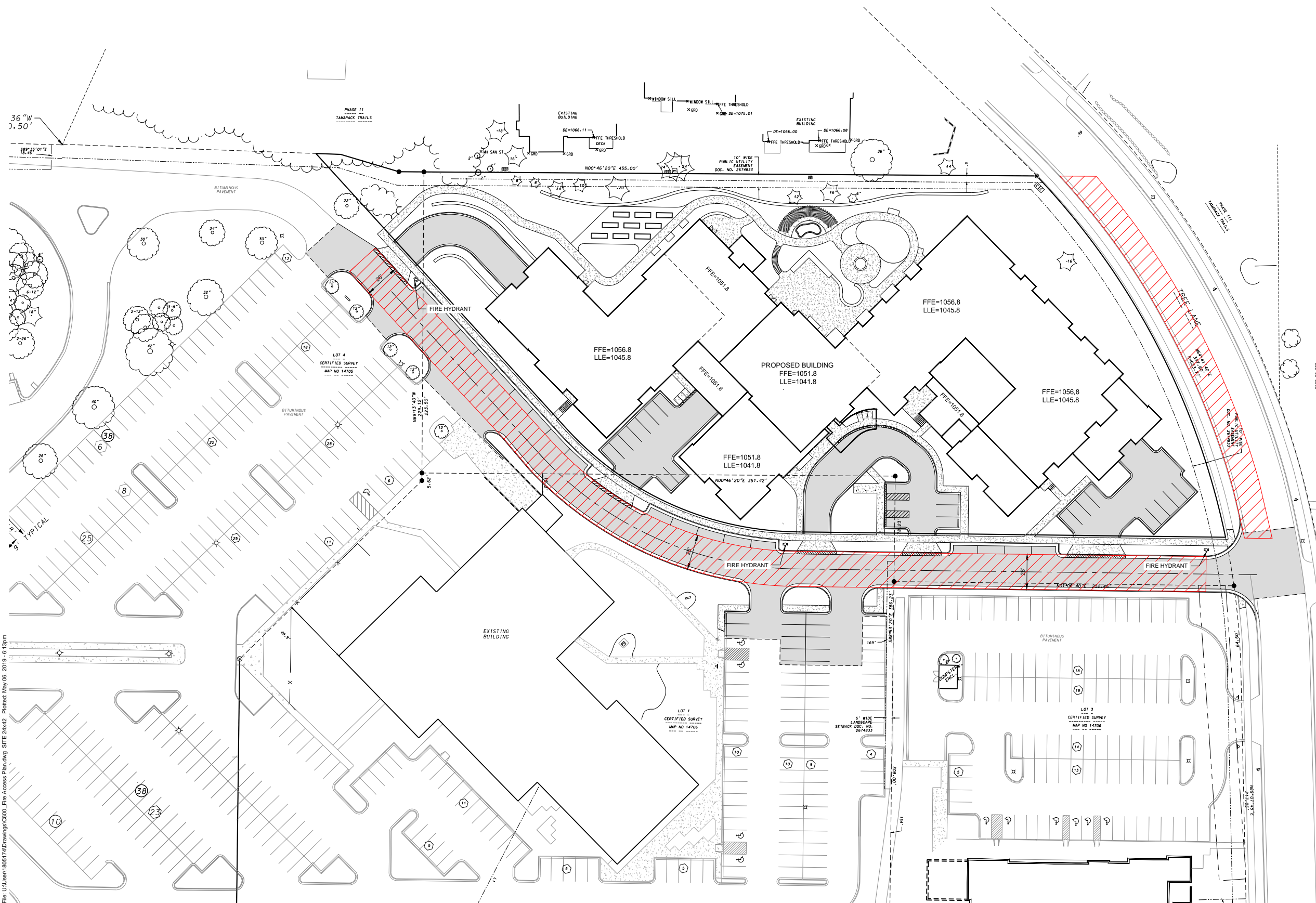
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A		
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

File: U:\User\1805174\Drawings\C600_Fire Access Plan.dwg SITE 24x42 Printed: May 06, 2019 - 6:13pm



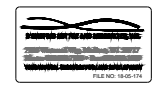
FIRE RESCUE VEHICLE

Overall Length	43.250ft
Overall Width	8.333ft
Overall Body Height	11.000ft
Min Body Ground Clearance	1.393ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°

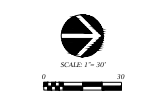
TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 HARBORWOOD AVE.
 WAUKESHA, WI 53189
 414.481.8181 TEL
 414.481.8881 FAX
 WWW.ASARCH.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 DiggersHotline.com



THE DRAWING IS DESIGN CONCEPT AND NOT FINAL. THE USER IS RESPONSIBLE FOR ALL UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN.
 DRAWN BY: ---
 DATE: 8 MAY 2019
 PROJECT: 181801
 SHEET NO. ---



Policy and Procedure

Category: Emergency Plan	Policy #:
Title: Fire Drill and Evacuation Procedure	Effective Date:

DRAFT – TREE LANE MADISON DEVELOPMENT – *final review and approval by local authority having jurisdiction*

Policy:

It is the company's policy to conduct monthly fire drills and simulate evacuation of the facility during each drill. At least one simulated night drill will be conducted annually with participants being staff members normally assigned to work the night shift. It is the company's policy to safely evacuate residents in danger during a fire emergency.

Procedure:

In the event of actual fire or smoke, all staff should immediately revert to the Evacuation Procedures within this document.

DRILL

- 1) Upon hearing the fire alarm, the Lead Caregiver on duty will proceed to the fire panel located at the front door of main entrance and front door of Memory Care entrance. The fire panel will provide a general location of the alarm. All other staff not providing direct care to a resident should report to the main lobby to confirm the location of the fire. Should a Lead Caregiver not be present in the building, this responsibility will move to the 1st floor medication passer. The fire alarm **SHOULD NOT BE SILENCED** at this time.
- 2) During an after hour fire emergency all staff should consider the Lead Caregiver or the 1st floor medication passer the person in charge.
- 3) The person in charge will relay the location of the alarm to all staff present and assign staff member(s) to investigate the extent of the fire.
- 4) Fire Emergency Assignment cards will be kept in the emergency boxes located in each laundry room. There will be an assignment card for each floor, kitchen staff, and the person in charge. Those individuals not in immediate proximity to the alarm location will head to their emergency box and begin completing the tasks on their Emergency Assignment Cards. There are additional Emergency Assignment Cards located in the Kitchen, the Front Office, and duplicate master posted in the staff rooms.
- 5) When the extent and location of the fire is confirmed, the staff member at the scene of the alarm will immediately report back to the person in charge what they have found by using the hand held radio or direct verbal communication if the hand held radios cannot be properly used.

- 6) If a fire has been found and the alarm is legitimate, the person in charge will be notified of details. The individual who found the fire will immediately begin assessing the environment for safe evacuation of residents.
- 7) The person in charge will proceed to notify remaining staff of the location of the fire. The person in charge will proceed to the fire location to assist with staff evacuation.
- 8) In order to ensure the safety of all residents, each floor or department should complete their respective Emergency Assignment Card prior to proceeding to the location of fire and assisting with evacuation. Upon completion of their Emergency Assignment Cards remaining staff should head directly to fire location to aid in evacuation/relocation of residents.
- 9) In the performance of a fire drill or false alarm, the person in charge will relay an "all clear" call to all floors using the hand held radio when the drill is completed. If the person in charge has not already done so they will proceed to silence the fire alarm system using the system control panel. In the event of a fire the system should NOT be reset, this should be left for the local fire department. Should the alarm be connected to a scheduled exercise, person in charge will reset the alarm after successful completion of the drill.
- 10) If the alarm was intentionally tripped as part of a scheduled fire drill, the person in charge will finish the exercise by completing a *Fire Drill/Evacuation Form*.

EVACUATION:

- 1) If a fire is found on a unit and cannot be easily extinguished within 30 seconds staff should begin evacuation procedures. **REMEMBER TRASH CAN RULE:** *if a fire appears to be larger than a small office trash can- you should not attempt to extinguish- begin evacuation and relocation immediately.]*
- 2) **STOP-** has a fire alarm been pulled, has 911 been called? Confirm emergency personnel have been dispatched before you begin evacuation procedures.
- 3) The person in charge should direct evacuation with the goals of efficiency, accountability, and safety in mind. The evacuating staff should never endanger themselves or other residents in order to complete an evacuation (**safety**). Staff will focus on properly assisting as many residents to safety as quickly as possible (**efficiency**). The person in charge should have the updated resident roster and staff schedule to make note of the remaining residents (**accountability**). This information is to be relayed to emergency personnel as soon as they arrive on the premises.
- 4) The facility's elevators cannot be used in a fire emergency. Only residents who can safely manipulate stairs independently should be directed to use the stairwells as a means of evacuation.
- 5) Residents that can be safely evacuated should be escorted to _____ **TBD** _____. If residents are being evacuated, a staff member must remain with the residents. Evacuated residents should never be left alone and should be supervised by at least one staff member whenever possible (**safety and accountability**).
- 6) During an evacuation residents on safe floors are protected by the facility's fire rated construction and should not be evacuated unless their room is directly above, below, or

adjacent to the location of the fire. Residents should be escorted to their rooms and remain with their doors closed until an “all clear” announcement is made over the hand held radios or further direction from emergency services is provided.

EMERGENCY EVENT BACKUPS

Evacuation Safe Shelter

Determine with fire department

Emergency Medication Supply

Determine at occupancy

Emergency Food Supply

American Red Cross

Determine location



Parking Adjustments

(To be accompanied by a site plan and information supporting the requested adjustment.)

FOR OFFICE USE ONLY
Date:
Received by:
Zoning District:
Parcel No.:
Special Conditions:

Type or print, using pen, not pencil. Check the parking adjustment(s) which is requested.

- | | |
|---|--|
| <input type="checkbox"/> Deferred provision of parking | <input type="checkbox"/> Off-site parking availability |
| <input type="checkbox"/> Shared parking (see separate request form) | <input type="checkbox"/> Moped substitution |
| <input type="checkbox"/> Parking stall reduction | <input type="checkbox"/> Bicycle substitution |
| <input checked="" type="checkbox"/> Bicycle parking reduction | <input type="checkbox"/> Parking exceeding maximum |
| <input type="checkbox"/> Shared car availability | |
| <input type="checkbox"/> Transit corridor proximity | |

Address of Property: 7043 Tree Lane	
Name & Address of Owner: Capri Senior Communities	
20875 Crossroads Circle, Suite 400 Waukesha, WI 53186	
Name & Address of Applicant (or owner's representative): same as above	
owner's representative: Amy Schoenemann	
Phone Number: 262-289-2759	Email: aschoenemann@capricommunities.com
Brief Summary of Proposal:	

The bike parking requirement indicates 1:1 independent units, 1:4 assisted living units, 1:5 employees. The proposed Tree Lane senior development will include 150 independent units (150 bikes), 32 assisted living units (8 bikes) and will accommodate 28 staff members (6 bikes) which requires 164 total bicycle stalls.

Capri has 27-years of experience owning and operating senior communities across Wisconsin. Our portfolio includes 17 campuses comprised of over 2,200 units with diversity across urban and suburban locations, most of which offer a micro-continuum of services for independent, assisted, memory care and employees over 600 team members. Statistically, Capri's resident bicycle ownership averages 3 bikes: 100 independent living units, 1 bike: 50 assisted living units, and 2 staff bikes: building. Applying this data would suggest a total of 8 bicycle stalls at Tree Lane. Capri is currently constructing a 118-unit senior development in downtown Milwaukee along the Van Buren bus line in a high-density area in which 12 parking stalls were required (70% inside / 30 % public) by the Department of Community Development (DCD). The average age of our independent living residents is 83 years old; whereas Capri is trying to attract a younger demographic target of 75 years old at the Madison development. For this reason and due to the micro-cultural differences in wellness & fitness in the city of Madison, we believe 32 stalls (a 300% increase over Capri's existing campuses) would provide adequate bicycle parking.

The following section is to be filled in by the applicant with Zoning staff assistance. The applicant must submit information to support the request for a parking adjustment.

1) On bus route: YES NO

2) Within 1000 feet of bicycle path: YES NO

3) Bicycle rack on private property: YES NO

4) Public bike parking in public right of way within 200 feet: YES NO

If yes, number of bike stalls:

5) Hours of operation: 7am to 8pm* *appx 3 care staff on site 24 x 7

6) Is this peak demand time for other uses: YES NO

7) Is this a change of use? NO

8) New Building: YES

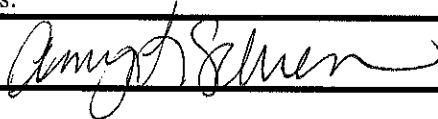
9) Addition to existing building: NO

10) Existing or potential shared parking: YES NO

If yes, address:

Number of stalls:

Applicant's Signature:



Date:

5.6.2019

Parking Adjustments To Be Filled in by Zoning Staff

Existing Parking Requirement:	Existing Number of Stalls Provided:
Proposed Parking Requirement:	Proposed Number of Stalls Provided:
Number of Stalls Adjusted:	Percent of Adjustment Requested:

11) Availability & Accessibility of Alternative Parking [1=Plenty available, 5=Little available (*bad*):

a) On-street availability (Rate 1 to 5):

b) Public parking within 500 feet: _____ stalls

c) Other _____ stalls

12) Impact on adjacent residential neighborhoods. Rate 1 to 5 [1=Low impact, 5=High impact (*bad*):

13) Number of residential parking permits issued in the block (if applicable): n/a.

14) Anticipated increased demand. Rate 1 to 5 [1=Low, 5=high (*bad*):

Because of the diversity of situations and neighborhoods, some of the above criteria have greater influence on the parking stall reduction request. The following criteria are significant in this case.

1	4	7	11.a.	10
2	5	8	11.b.	12
3	6	9	11.c.	13

Administrative Approval of Parking Stall Reduction Request

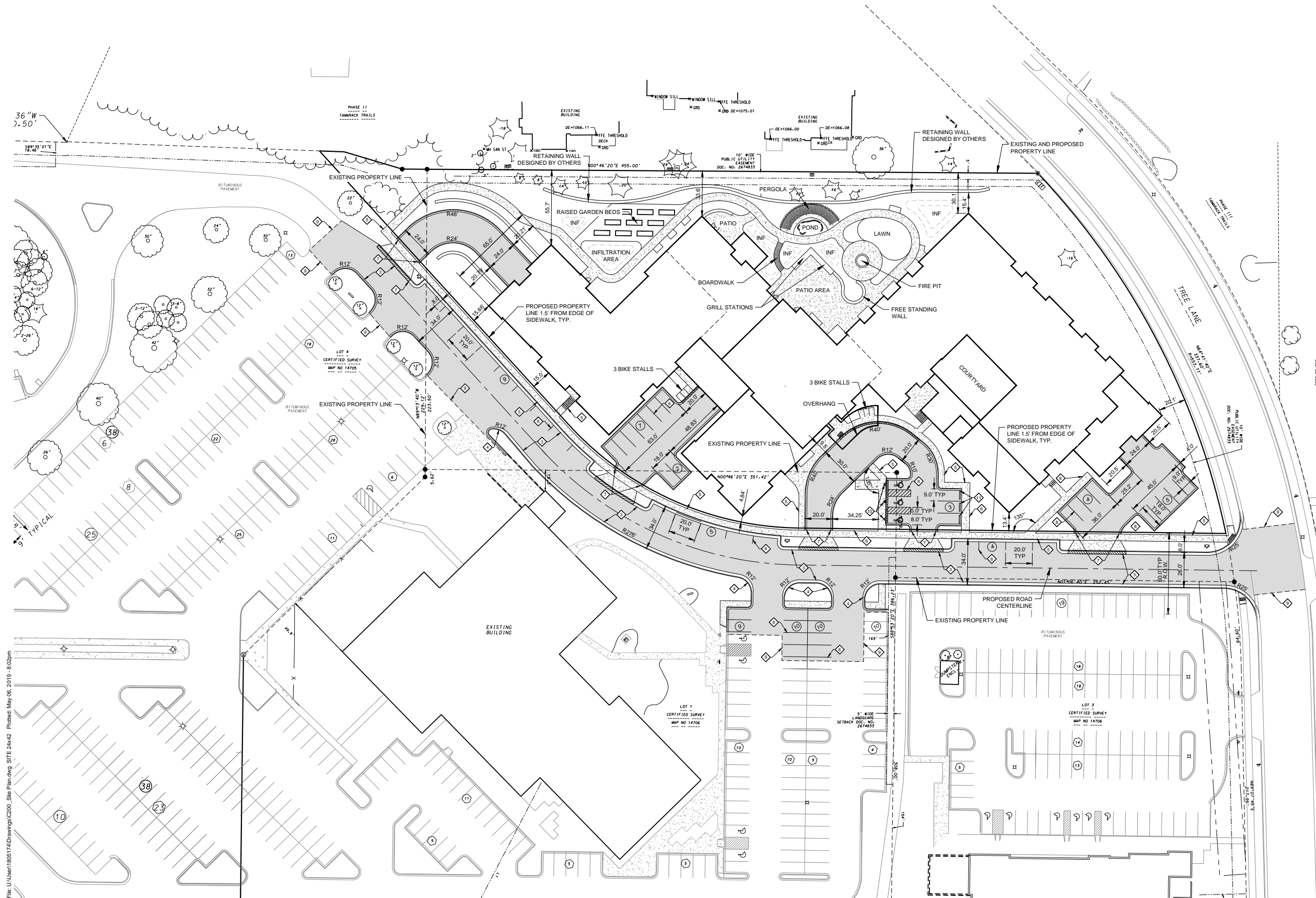
Parking requirement reduced by the greater of 5 parking stalls or 10% of the required parking: Applicant:
Parking reduction up to 20 parking stalls: Zoning Administrator:
Parking reduction of more than 20 stalls but less than 25% of the required parking: Director of Planning & Community & Economic Development:

Zoning Administrator: _____

Administrative Approval of Parking in Excess of the Maximum Number of Stalls

Parking exceeding the requirement by the lesser of 5 parking stalls or 10% of maximum: Applicant:
Parking exceeding maximum by up to 20 stalls: Zoning Administrator:
Parking exceeding maximum by more than 20 stalls but not more than 10% of the maximum: Director of Planning & Community & Economic Development:

Zoning Administrator: _____



- LEGEND**
- FOUND 3/4" SOLID ROUND IRON STAKE
 - FOUND 1-1/4" SOLID ROUND IRON STAKE
 - ✕ FOUND CHISEL ✕
 - ⊠ ELECTRIC TRANSFORMER/VALVE
 - ⊞ TELECOMMUNICATION PED
 - ⊞ LIGHT POLE
 - ⊞ HYDRANT
 - ⊞ SIGN
 - ⊞ PINE TREE
 - ⊞ TREE
 - ⊞ TREE LINE
 - ⊞ ACCESSIBLE PARKING SPACE
 - ⊞ NUMBER OF PARKING SPACES
 - ⊞ CONCRETE WALL
 - ⊞ CONC. CURB
 - ⊞ CONCRETE

SITE PLAN INFORMATION BLOCK

Existing Lot Area	138,244 sf
Proposed Lot Area	128,640 sf
Building Area	51,555 sf
Total Accessible Stalls	3
Total On-Site Standard Parking Stalls	21
Total Parallel Parking Stalls	18

- PROPOSED IMPROVEMENTS LEGEND**
- HMA PAVEMENT
 - CONCRETE PAVEMENT
 - ⊞ PROPOSED PARKING SPACE COUNT
 - ▨ DEPRESSED CURB

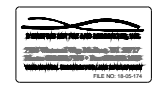
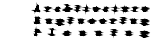
- KEYNOTES**
- ⊞ 18-INCH CURB & GUTTER (TYPE D - ACCEPTING PAN)
 - ⊞ 18-INCH CURB & GUTTER (TYPE D - REJECTING PAN)
 - ⊞ 30-INCH CURB & GUTTER
 - ⊞ TRANSITION FROM 18" TO 30" CURB
 - ⊞ 5' SIDEWALK
 - ⊞ 6' SIDEWALK
 - ⊞ 2' CURB TERMINUS
 - ⊞ PARKING SPACE STRIPING - TYP
 - ⊞ MEET EXISTING ASPHALT PAVEMENT
 - ⊞ ACCESSIBLE PARKING SIGN
 - ⊞ CONCRETE WHEEL STOP

- NOTES**
- SEE GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - PROVIDE CONTROL JOINTS 10'± O.C. PROVIDE EXPANSION JOINTS 50' O.C.
 - EARTHWORK CONTRACTOR TO SUBGRADE AND STONE 12" BEYOND BACK OF CURB TO PROVIDE COMPACTED LEVELING BASE FOR CURB AND GUTTER.
 - EARTHWORK CONTRACTOR TO REMOVE ALL EXCESS STONE BEHIND BACK OF CURB IN LANDSCAPE ISLANDS. THIS APPLIES TO EXCESS STONE BEYOND 12" AT BACK OF CURB.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH ASPHALT PAVING TO CONCRETE CURB. IF SURFACE COURSE IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.
 - IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REPLACE CURB AND GUTTER AND PAVEMENT WHICH ABUTS THE PROJECT AND IS DAMAGED BY CONSTRUCTION OR CURB AND GUTTER WHICH THE ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE.
 - ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 - ALL PARCELS WITHIN THIS DEVELOPMENT ARE BOUND BY THE CROSS ACCESS AGREEMENT ON FILE WITH THE REGISTER OF DEEDS.
 - UPON CONSULTATION, THE CITY TRAFFIC ENGINEER MAY DETERMINE A DELAY IN CONSTRUCTION OF THE STREETS IS APPROPRIATE.

TREE LANE DEVELOPMENT
SENIOR LIVING COMMUNITY
 Madison Wisconsin



1414 UNDERWOOD AVE.
 WAUKESHA, WI 53186
 414.481.0101 TEL
 414.481.0801 FAX
 WWW.AJAGARCH.COM



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE
 Dial 811 or
 (800) 242-8511
 DiggersHotline.com



THIS DRAWING IS DESIGN CONCEPT AND NOT FINAL. THE SOLE RESPONSIBILITY OF ANY UNDERGROUND FACILITIES BEING SHOWN SHALL NOT BE COMING BY ANY FORM OR MANNER WITHOUT WRITTEN AUTHORIZATION OF THE SUBMITTER.

DRAWN BY
 DATE
 8 MAY 2019
 PROJECT
 181801
 SHEET NO.

File: U:\User\1805174\Drawings\C200_Site Plan.dwg SITE 24442 Plotted: May 06, 2019 - 8:02pm