

CITY OF MADISON

Proposed Plat & Rezoning

Plat Name: Blackhawk Church Town Center

Location: 9602 Mineral Point Road

Applicant: Nancy Smith - Blackhawk Church/
Kevin Pape - D'Onofrio Kotke/
Steve Kleckhafer - Plunkett Raysich Architects

Preliminary Within City

Final Outside City

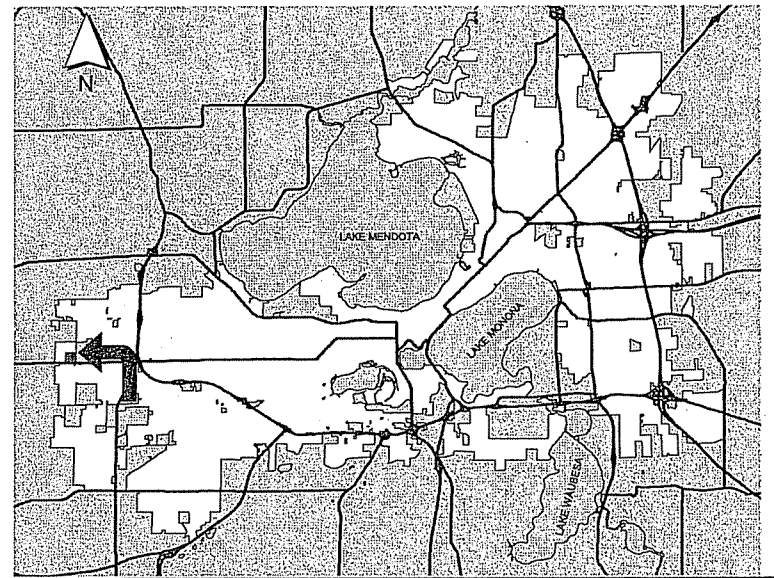
From PUD(GDP) To: Amended PUD(GDP-SIP)

Proposed Use: _____

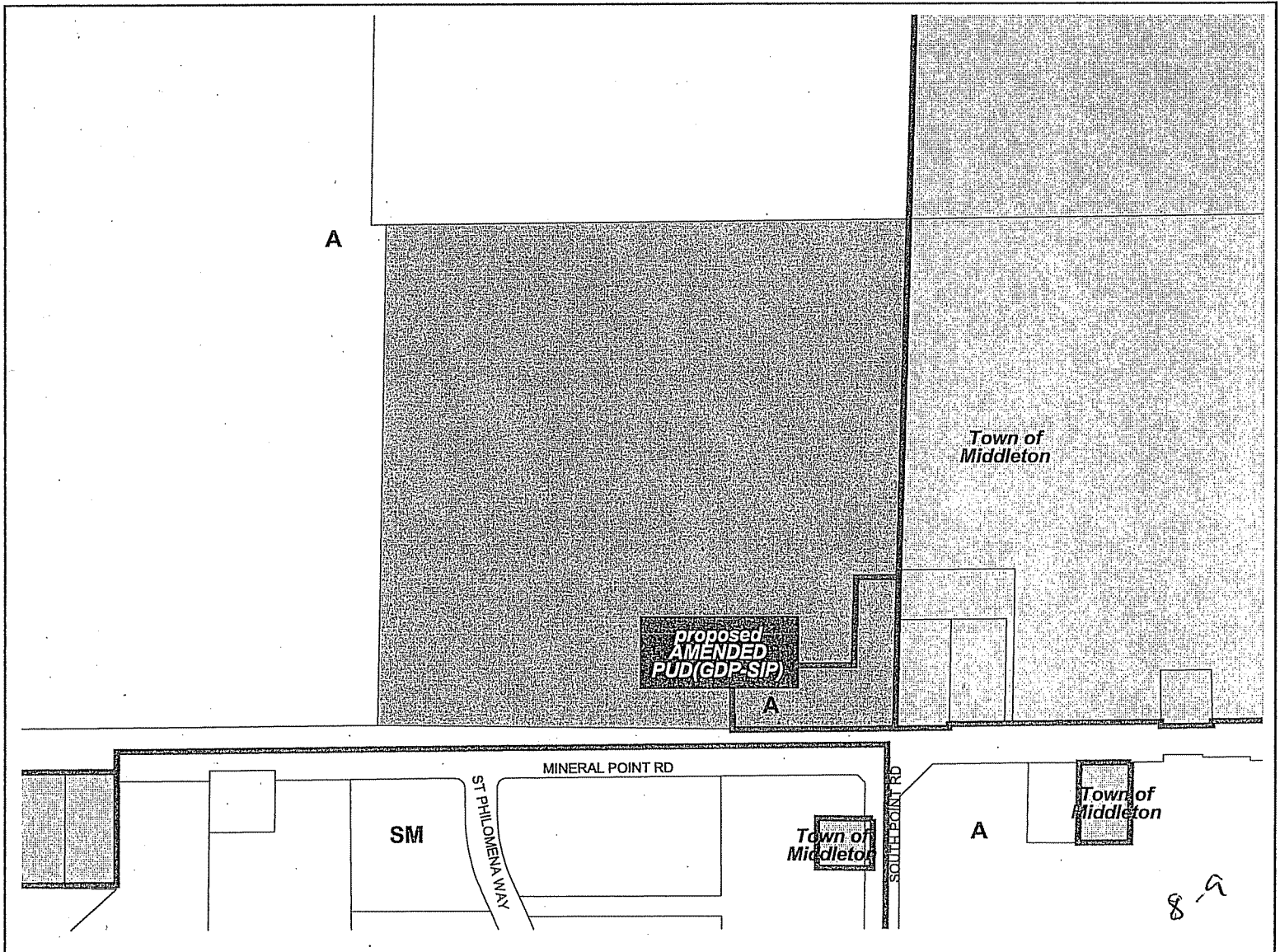
Public Hearing Dates:

Plan Commission 10 October 2005

Common Council 18 October 2005



For Questions contact: Bill Roberts at: 266-5974 or broberts@cityofmadison.com or City Planning at 266-4635

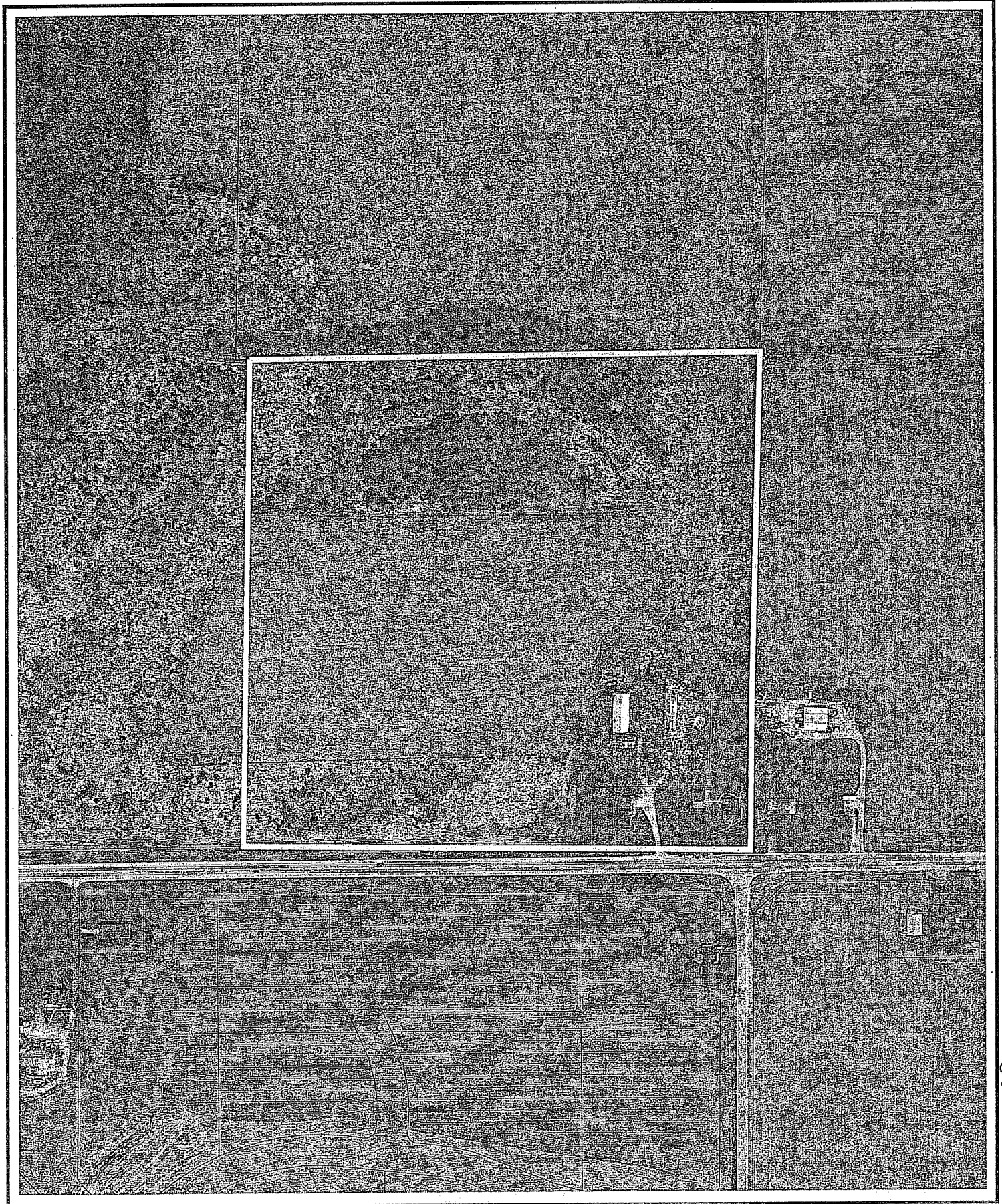


9602 Mineral Point Road

400 0 400 Feet



Date of Aerial Photography - April 2003



8-1



SUBDIVISION APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

Date Stamp

**** Please read both pages of the application completely and fill in all required fields****
This application form may also be completed online at www.cityofmadison.com/planning/plan.html

1a. Application Type. (Choose ONE)

- Preliminary Subdivision Plat Final Subdivision Plat Land Division/ Certified Survey Map (CSM)

If a Plat, Proposed Subdivision Name: BLACKHAWK CHURCH TOWN CENTER PLAT

1b. Review Fees. Make checks payable to "City Treasurer."

- For Preliminary and Final Plats, an application fee of \$200, plus \$35 per lot and outlot contained on the plat drawing.
 For Certified Survey Maps, an application fee of \$200 plus \$150 per lot and outlot contained on the certified survey map.

2. Applicant Information.

Name of Property Owner: BLACKHAWK EVANGELICAL CHURCH Representative, if any: NANCY SMITH
 Street Address: 110 N. WHITNEY WAY City/State: MADISON, WI Zip: 53705
 Telephone: (608) 238-0183 Fax: () Email: _____

Firm Preparing Survey: D'ONOFRIO, KOTTKE + ASSOC. Contact: KEVIN RAPE
 Street Address: 7530 WESTWARD WAY City/State: MADISON, WI Zip: 53717
 Telephone: (608) 833-7530 Fax: (608) 833-1089 Email: krape@donofrio.cc

Check only ONE – ALL Correspondence on this application should be sent to: Property Owner Survey Firm

3a. Project Information.

Parcel Address: 9602 MINERAL PT RD in the City or Town of: MADISON
 Tax Parcel Number(s): 070821300789; 070821398954; 070821398409; 070821398605 School District: MIDDLETON/CROSS PLAINS
 Existing Zoning District(s): A; DANE COUNTY A-1 Development Schedule: FALL 2005
 Proposed Zoning District(s) (if any): PUD - SIP Provide a Legal Description of Site on Reverse Side

3b. For Surveys Located Outside the Madison City Limits and in the City's Extraterritorial Jurisdiction:

Date of Approval by Dane County: _____ Date of Approval by Town: _____
 In order for an exterritorial request to be accepted, a copy of the approval letters from both the town and Dane County must be submitted.
 Is the subject site proposed for annexation? No Yes If YES, approximate timeframe: _____

4. Survey Contents and Description. Complete table as it pertains to the survey; do not complete gray areas.

Land Use	Lots	Outlots	Acres
Residential			
Retail/Office	11		
Industrial			
Outlots Dedicated to City			
Homeowner Assoc. Outlots			
Other (state use)	1	1	
TOTAL	12	1	

Describe the use of the lots and outlots on the survey
ALL LOTS RETAIL/OFFICE
EXCEPT LOT 10 WHICH WILL BE
A CHURCH SITE.
OL 1. WILL BE USED FOR
STORMWATER MANAGEMENT.

5. Required Submittals. Your application is required to include the following (check all that apply):

- Surveys** (prepared by a Registered Land Surveyor):
 - For Preliminary Plats, **eighteen (18) copies** of the drawing drawn to scale are required. The drawing is required to provide all information as it pertains to the proposed subdivision as set forth in Section 16.23 (7)(a) of the Madison General Ordinances. The drawings shall include, but are not limited to, a description of existing site conditions and natural features, delineation of all public and private utilities that serve the site (denote field located versus record drawings), the general layout of the proposed subdivision, the dimensions of lots and outlots, widths of existing and proposed rights of way, topographic information, and any other information necessary for the review of the proposed subdivision.
 - For Final Plats, **sixteen (16) copies** of the drawing are required to be submitted. The final plat shall be drawn to the specifications of Section 236.20 of the Wisconsin Statutes.
 - For Certified Survey Maps (CSM), **sixteen (16) copies** of the drawing are required. The drawings shall include all of the information set forth in Sections 16.23 (7)(a) and (d) of the Madison General Ordinances, including existing site conditions, the nature of the proposed land division and any other necessary data. Utility data (field located or from utility maps) may be provided on a separate map submitted with application.
 - All surveys submitted with this application are required to be collated, stapled and folded so as to fit within an 8 1/2" X 14" case file. In addition, an **8-1/2 X 11 inch reduction of each sheet** must also be submitted.
- Report of Title and Supporting Documents:** All plats and certified surveys submitted to the City of Madison for approval shall include a Report of Title satisfactory to the Real Estate Division as required in Section 16.23 of the Madison General Ordinances. A minimum of **two (2) copies** of the City of Madison standard 60/30 year Report of Title shall be obtained from a local, reputable title insurance company. **Title insurance or a title commitment policy is NOT acceptable** (i.e. a Preliminary Title Report or a Record Information Certificate). The owner or applicant must deliver a **third copy** of the Report of Title to the survey firm preparing the plat or CSM. The applicant shall submit a copy of all documents listed in the Report of Title for each copy of the report submitted.
- For Residential Preliminary Plats ONLY:** If the proposed project will result in **ten (10) or more dwelling units**, it is required to comply with the City's Inclusionary Zoning requirements under Section 28.04 (25) of the Zoning Ordinance. A separate *INCLUSIONARY ZONING DWELLING UNIT PLAN APPLICATION* explaining the project's conformance with these ordinance requirements shall be submitted with your application.
- For Surveys Creating Residential Lots:** The applicant shall include a certified copy of the accepted option or offer, including all terms of the purchase and any other information that may be deemed necessary by the Real Estate Division to assist them in determining Fair Market Value for the purpose of establishing park fees.
- For Surveys Outside the Madison City Limits:** A copy of the approval letters from both the town in which the property is located and Dane County must be submitted with your request. The City of Madison may not consider a survey within its extraterritorial jurisdiction without it first having been approved by the **town and Dane County**.
- For Surveys Conveying Land to the Public:** A Phase I Environmental Site Assessment Report may be required if any interest in these lands are to be conveyed to the public. Please contact the City's Real Estate Division at 267-8719, ext. 305 for a determination as soon as possible.
- Completed application and required Fee (from Section 1b on front):** \$ 655 Make all checks payable to "City Treasurer."
- Electronic Application Submittal:** All applicants are required to submit a copy of the completed application form, legal description and preliminary and/or final plats or certified survey map as individual Adobe Acrobat PDF files compiled either on a non-returnable CD-ROM to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Unit at 266-4635 for assistance.

The signer attests that this application has been completed accurately and all required materials have been submitted:

Applicant's Printed Name KEVIN PAPE Signature *Kevin Pape*
 Date 7/13/05 Interest In Property On This Date SURVEYOR 8-9

For Office Use Only	Date Rec'd:	PC Date	Alder District	Amount Paid: \$
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LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:	
Amt. Paid \$ <u>3050</u>	Receipt No. <u>62650</u>
Date Received <u>7-13-05</u>	
Received By <u>RT</u>	
Parcel No. <u>0708-213-0098-9</u>	
Aldermanic District <u>9, Paul Skidmore</u>	
GQ <u>OK</u>	
Zoning District <u>A to PUD</u>	
For Complete Submittal	
Application <input checked="" type="checkbox"/>	Letter of Intent <input checked="" type="checkbox"/>
IDUP <input checked="" type="checkbox"/>	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets <input checked="" type="checkbox"/>	Zoning Text <input checked="" type="checkbox"/>
Alder Notification <input type="checkbox"/>	Waiver <input type="checkbox"/> ?
Ngrbrhd. Assn Not. <input type="checkbox"/>	Waiver <input type="checkbox"/> ?
Date Sign Issued _____	

1. **Project Address:** 9602 Mineral Point Road **Project Area in Acres:** 10

Project Title (if any): Blackhawk Church

2. **This is an application for:** (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input checked="" type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Blackhawk Church Company: Blackhawk Church
 Street Address: 110 N. Whitney Way City/State: Madison, WI Zip: 53705
 Telephone: (608) 238-0183 Fax: (608) 238-4972 Email: info@blackhawkchurch.org

Project Contact Person: Steve Kieckhafer Company: Plunkett Raysich Architects
 Street Address: 2810 Crossroads Drive City/State: Madison, WI Zip: 53718
 Telephone: (608) 240-9900 Fax: (608) 240-9690 Email: skieckhafer@prarch.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Relocation of Blackhawk Church facility as the anchor tenant of the Blackhawk Church Town Center including church building, parking, landscaping, and construction components of the Specific Implementation Plan.

Development Schedule: Commencement Site improvements Fall'05 Completion Bldg. Construction Summer'07

CONTINUE →

8-9



5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 3,050 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

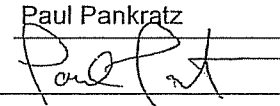
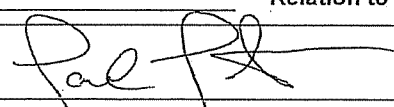
6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:
→ *The site is located within the limits of* Elderberry Neighborhood *Plan, which recommends:*
Office/Employment and Neighborhood Commercial/Activity *for this property.*

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
→ *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
Paul Skidmore, Alderperson
If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
Planner Bill Roberts Date 7-7-05 | Zoning Staff Al Martin Date 7-7-05

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Paul Pankratz Date 7-13-05
 Signature  Relation to Property Owner Board Chair
 Authorizing Signature of Property Owner  Date 7-13-05 8-9



2810 Crossroads Drive, Suite 1000
Madison, WI 53718
Tel 608 240-9900
Fax 608 240-9690
www.prarch.com

Blackhawk Church Town Center

Building Sites 10 and 8
9602 Mineral Point Road
Madison, Wisconsin

Specific Implementation Plan July 13, 2005

Milwaukee, WI ▲ Madison, WI ▲ Northbrook, IL

Partners: Kim D. Hassell, Mark C. Herr, Scott A. Kramer, James G. Plunkett, David J. Raysich, Michael H. Scherbel, Michael J. Sobczak

Intelligent Designs Inspired Results

8-9

July 13, 2005

Mr. Brad Murphy
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985

Re: Letter of Intent
Blackhawk Church

Dear Mr. Murphy:

On behalf of Blackhawk Church., we are pleased to submit the first SIP submittal for the creation of the Blackhawk Church Town Center. This submittal creates the relocation opportunity for the Blackhawk Church facility, the anchor tenant of the town center, and is consistent with the General Development Plan submitted on May 11, 2005.

The following plan, plat, application, and zoning text are submitted for staff, plan commission, and council review and approval. The design and development team is excited to continue the development and implementation process for this unique mixed use center.

Submittal Contents:

SIP Location Plan
Blackhawk GDP Plan
C1.1 Plan A Site Plan
C1.2 Plan A Site Grading and Erosion Control Plan
C1.3 Plan A Site Utility Plan
C1.4 Plan B Site Site Plan
C1.5 Plan B Grading and Erosion Control Plan
C1.6 Plan B Site Utility Plan
C1.7 Detention Basin
C1.8 Details
Landscape Plan Plan A
Landscape Plan Plan B
007 Lower Level Site Plan – Plan A
008 Upper Level Site Plan – Plan A
009 Site Plan – Plan B
010 Site Signage
E001 Plan A Site Lighting
E002 Plan B Site Lighting
200 Lower Level Floor Plan
201 First Floor Plan
400 Exterior Elevations
401 Exterior Elevations
402 Exterior Elevations
404 Exterior Elevations

Applicant/Owner:

Blackhawk Church
110 North Whitney Way
Madison, Wisconsin 53705
Tel: (608)238-0183
Fax: (608) 238-4972

Paul Pankratz

Design Team:

Architecture:

Plunkett Raysich Architects, LLP Paul Schmidt
2810 Crossroads Drive, Suite 1000 Michael Brush
Madison, Wisconsin 53718
Tel: (608)240-9900
Fax: (608)240-9690
pschmidt@prarch.com

Planning:

Vandewalle & Associates Brian Munson
120 East Lakeside Street
Madison, Wisconsin 53715
Tel: (608) 255-3988
Fax: (608)255-0814
bmunson@vandewalle.com

Engineering:

D'Onofrio Kottke Bill Suick
7530 Westward Way
Madison, Wisconsin 53717
Tel: (608) 833-7530
Fax: (608) 833-1089
bsuick@donofrio.cc

Landscape Architecture:

L.J. Geer Design Lisa Geer
2554 East Johnson Street
Madison, Wisconsin 53704
Tel: (608) 244-6369
Fax: (608) 239-8375
ljgeer@sbcglobal.net

Development Information:

Blackhawk Church Town Center is located within the Elderberry Neighborhood at the intersection of Mineral Point Road and South Point Road (See attached document for precise location maps).

Project Schedule:

Phase One Public Improvement Construction Fall 2005

Project Narrative:

The Blackhawk Church forms the anchor tenant and cornerstone element for the implementation of the vision framed within The Blackhawk Church Town Center General Development Plan. This new GDP was designed to create the neighborhood center and employment district envisioned in the Elderberry Neighborhood Plan, while accommodating the relocation of the Blackhawk Church. Placed within a framework of pedestrian oriented buildings, walkable streetscapes, and interconnected streets, this combined town center will offer a unique and vibrant mixed use destination within the growing Westside of Madison.

The relocation of Blackhawk Church to a landmark facility forms the first component of the town center and will function as the anchor tenant within the development. The attached plans and elevations cover the 9 acre church site including the phase one church building, landscaping plans, site details, and construction components of the Specific Implementation Plan.

The concept for this site was to create a focal point visually accessible from Mineral Point Road, yet remaining as a pedestrian focused anchor use for the town center within a network of street, sidewalk, and path connections to the adjoining uses. Through the use of high quality architecture and materials, this site sets the stage for a unique multi-service worship experience; as well as, setting a high mark for future buildings and site design.

Parking within the site will be accommodated through a combination of surface, structured, and shared parking and will be accented through the continued use of transit and private busing already utilized at the existing church site. While it is the intent of the church to build a parking structure on-site so as to minimize reliance on surface parking and to maximize the potential for shared parking; the financial implications of constructing the church to a high level of materials and designs may require a phased installation of the parking deck. Option A (see attached site plans) shows the full build-out of the parking structure and may be built as part of the initial construction. In the event that the economic impact of constructing the church exceeds the ability to supply the parking as part of the initial construction Option B (see attached) highlights the initial installation that will be utilized.

The church recognizes that the parking deck is vital to the continued growth of their facilities, as well as the ability to construct the adjoining parcels to the desired higher density. In the event that Option B is utilized as an interim site construction plan, the Church offers the following requirements detailing specific triggers for the construction of the upper parking deck:

- 1.) The lower level of the parking deck, including concrete pad, foundations, and pier bases will be installed as part of the initial construction, so as to ease the construction of the full parking deck and as an assurance that the design and facilitation of the deck is included as part of the initial construction.
- 2.) Prior to the recording of any SIP amendments detailing an addition to the church facility, the church will be required to begin the construction of the site and parking ramp to Option A standards.
- 3.) Prior to the recording of any SIP documents for the construction of buildings on the adjoining Sites 6, 7, and 9, the church will be required to begin the construction of the site and parking ramp to Option A standards.

We look forward to working with you and your staff on this plan and the development of a unique place on the west side of Madison.

Thank you for your time in reviewing this project.

ZONING TEXT

BLACKHAWK CHURCH TOWN CENTER

DISTRICT I: BLACKHAWK CHURCH

Description

Blackhawk Church forms the anchor tenant and civic component of the town center. This institutional use is projected for an initial capacity (on-site at one time) of approximately 2,000 people and is projected to grow to 3,000 people through additions to the building. This site has been designed to accommodate a two story facility with structured parking. The parking demand will also be addressed through shared parking agreements and coordinated transit/off-site busing of UW students and access to Madison Metro bus service.

Building placement within this district will be required to front onto the public street system, with parking predominately located within the core of the block.

Future growth needs for the site are also accommodated through the designation of Lot 8 as a future growth area. Buildout of this area will be set as a future SIP submittal, but is intended to facilitate office or residential use that may be associated with the Church or sold for development.

Comparable Zoning District:	none
<u>Building Sites</u>	<u>10, 8</u>

Permitted Uses

Institutional

Office

Residential

- Two Story Building Minimum

Yard Requirements

Minimum Lot Area	as shown in SIP drawings
Minimum Front Yard Setback	as shown in SIP drawings
Minimum Side Yard Setback	as shown in SIP drawings
Minimum Rear Yard Setback	as shown in SIP drawings
Minimum Building Separation	as shown in SIP drawings
Maximum Impervious Surface Ratio	as shown in SIP drawings
Maximum Floor Area Ratio	as shown in SIP drawings
Off-Street Parking and Loading	as shown in SIP drawings

Site Requirements

- Shared parking and access agreements will be required for all adjoining lots.
- Primary Church facility shall front onto Brader Way
- Secondary buildings may front onto "A" Street
- Structured parking required

SITE TEN 10

Description:

- 9.0 Acres

Use: ▪ Blackhawk Church
Institutional Uses
Uses ancillary to the church's

programming

(ie. Daycare, office, educational)

- Square feet total: As Shown on SIP

Submittal

- o 2 Story Building

Approximate Parking Configuration

- Surface Parking: 113 parking stalls
- Structured Parking 2 levels
545 parking stalls
- Underground Parking: no
- Shared Parking: required

Setbacks

Brader Way: as shown in SIP drawings
West Property Line: as shown in SIP drawings
North Property Line: as shown in SIP drawings
East Property Line: as shown in SIP drawings

Building Envelope: as shown in SIP drawings

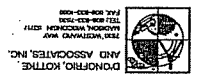
SITE EIGHT 9

Description:

- 1.8 Acres
- Optional Future Development Site
- Any future development other than surface parking will require a minor amendment to the GDP outlining the proposed building size and configuration of the site, as well as a separate SIP submittal
- Near term overflow surface parking for church, potential long term office / residential use.
- Stormwater treatment/infiltration swale connected with Site 7 stormwater management facilities.

Setbacks

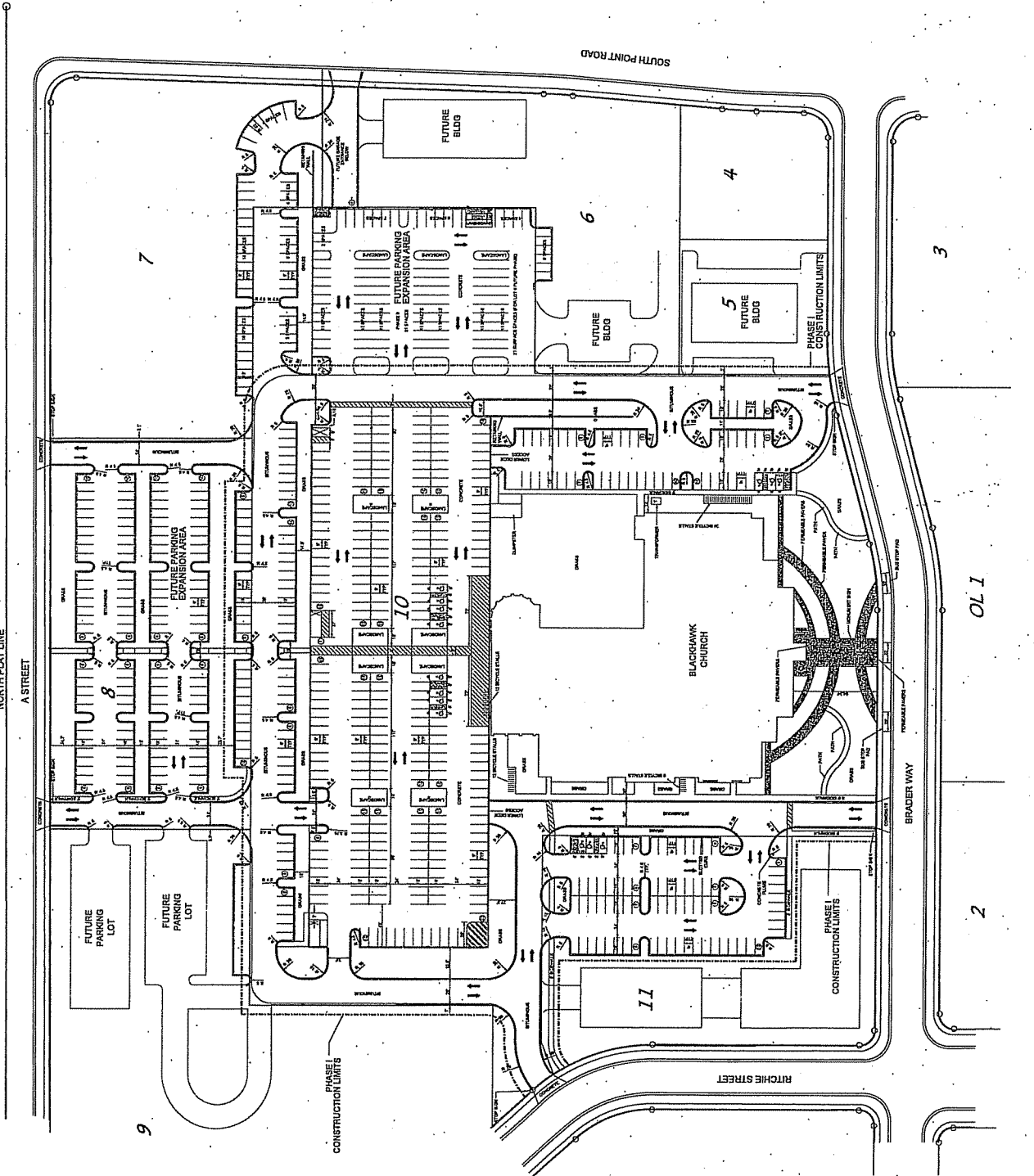
Brader Way: 10' Minimum
West Property Line: varies (will be set in SIP)
North Property Line: varies (will be set in SIP)
East Property Line: varies (will be set in SIP)
Building Envelope: varies (will be set in SIP)



ALTERNATE 1 SITE PLAN
BLACKHAWK CHURCH
BRAUER WAY
MADISON, WISCONSIN

DATE: 07-13-05
REV.
SHEET NO. 130
SHEET 13 OF 130

ITEM	DESCRIPTION	AMOUNT	UNIT
1	TOTAL SQUARE FOOTAGE OF BUILDING	10,000	SQ. FT.
2	TOTAL SQUARE FOOTAGE OF PARKING	10,000	SQ. FT.
3	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
4	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
5	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
6	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
7	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
8	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
9	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
10	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
11	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
12	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
13	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
14	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
15	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
16	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
17	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
18	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
19	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.
20	TOTAL SQUARE FOOTAGE OF DRIVEWAYS	10,000	SQ. FT.



5-8

8-9



C1.2

DONORFIO, KOTTRE AND ASSOCIATES, INC. 1830 WESTVALE WAY, SUITE 200, DENVER, CO 80202, PHONE 303-638-3800, FAX 303-638-3801, WWW.DONORFIOKOTTRE.COM

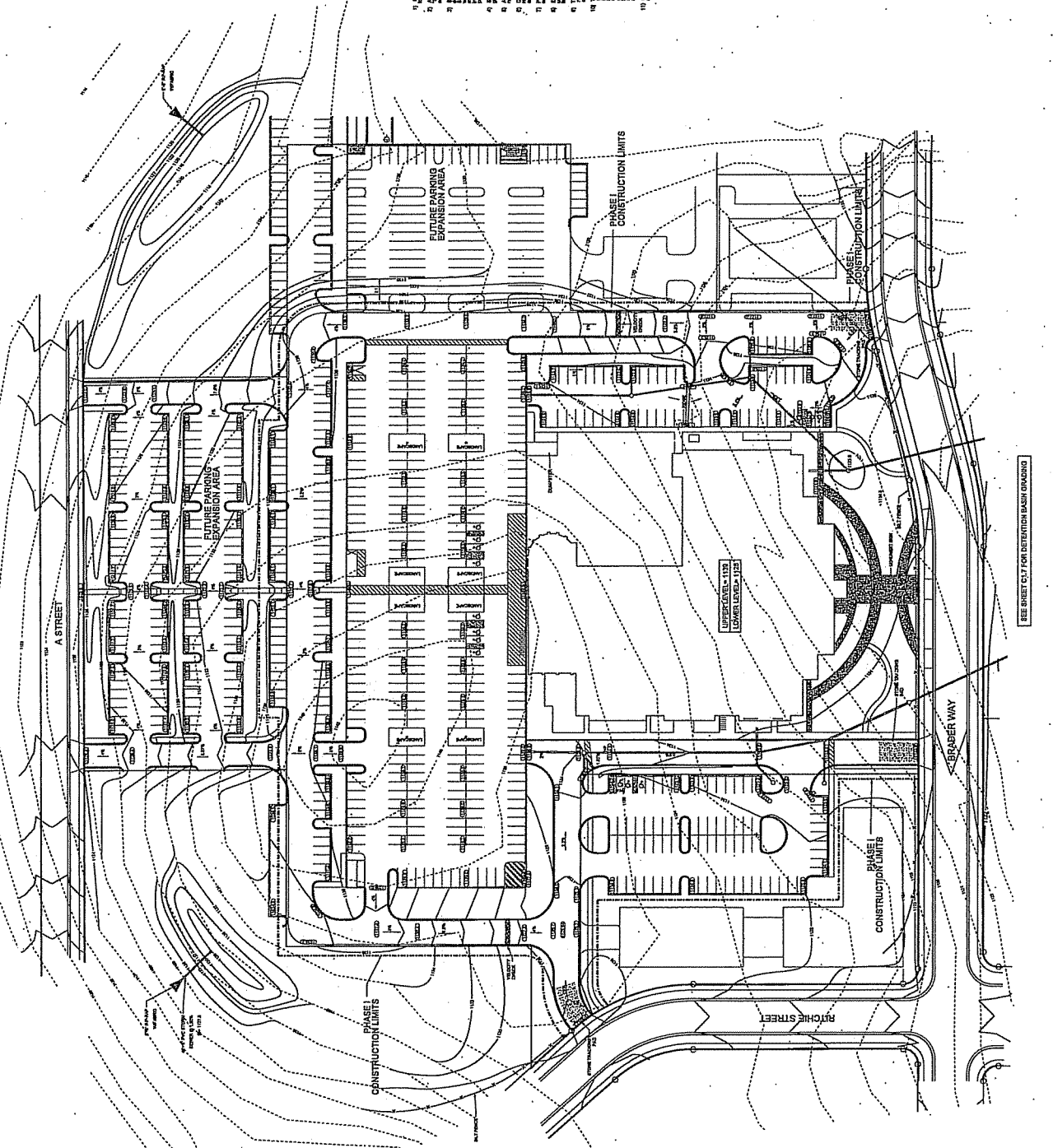
ALTERNATE 1 SITE GRADING & EROSION CONTROL PLAN
BLACKHAWK CHURCH
BRABER WAY
MADISON, WISCONSIN

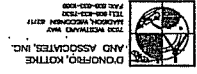
DATE: 07-13-05
REV:
PA: 05-05-130

- SITE GRADING AND EROSION CONTROL NOTES:**
- 1) All elevations are in feet, unless otherwise noted.
 - 2) The proposed grading shall be consistent with the approved site plan.
 - 3) Erosion control measures shall be installed on all exposed earth surfaces within 14 days of construction start.
 - 4) Areas not to be graded shall be marked with "X".
 - 5) Areas to be excavated shall be marked with "E".
 - 6) The proposed grading shall be consistent with the approved site plan.
 - 7) All grading shall be within the approved limits.
 - 8) The proposed grading shall be consistent with the approved site plan.
 - 9) Erosion control measures shall be installed on all exposed earth surfaces within 14 days of construction start.
 - 10) All grading shall be within the approved limits.
 - 11) The proposed grading shall be consistent with the approved site plan.
 - 12) All grading shall be within the approved limits.

LEGEND

- PROPOSED GRADE
- - - EXISTING GRADE
- PROPOSED SIDEWALK
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY
- PROPOSED DRIVEWAY



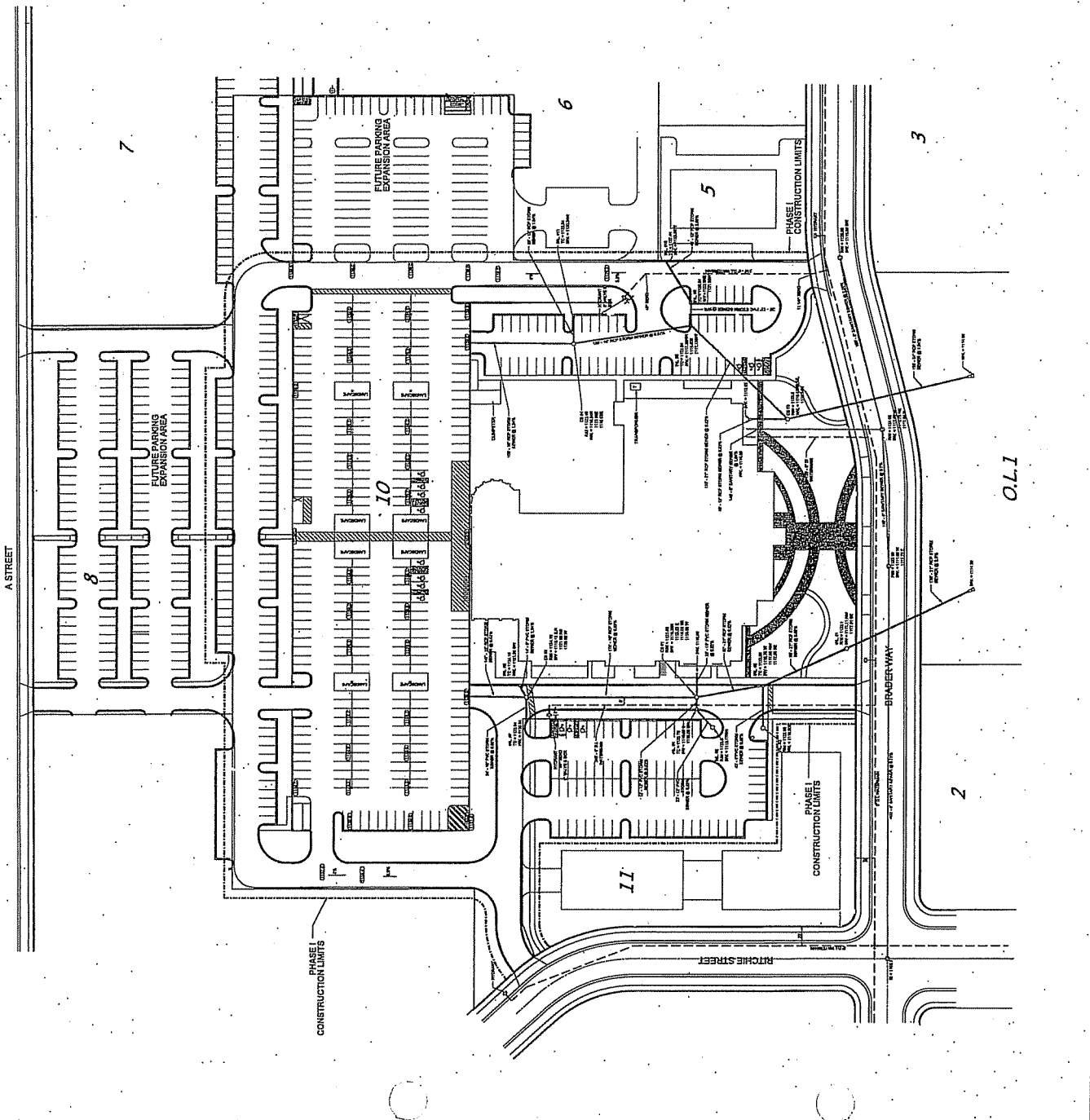
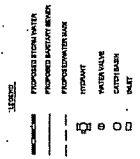


ALTERNATE 1 SITE UTILITY PLAN
BLACKHAWK CHURCH
BRADEN WAY
MADISON, WISCONSIN

DATE: 07-13-05
REV:
RF: 05-05-120

SCALE: 1" = 40'

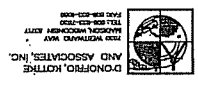
- UTILITY NOTES:**
- All new utility work shall conform to the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
 - Utility work shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.
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 - Utility work shall be installed in accordance with the City of Madison Standard Specifications for Public Works Construction, Section 100.00, and to the City of Madison Standard Specifications for Public Works Construction, Section 100.01.



8-9

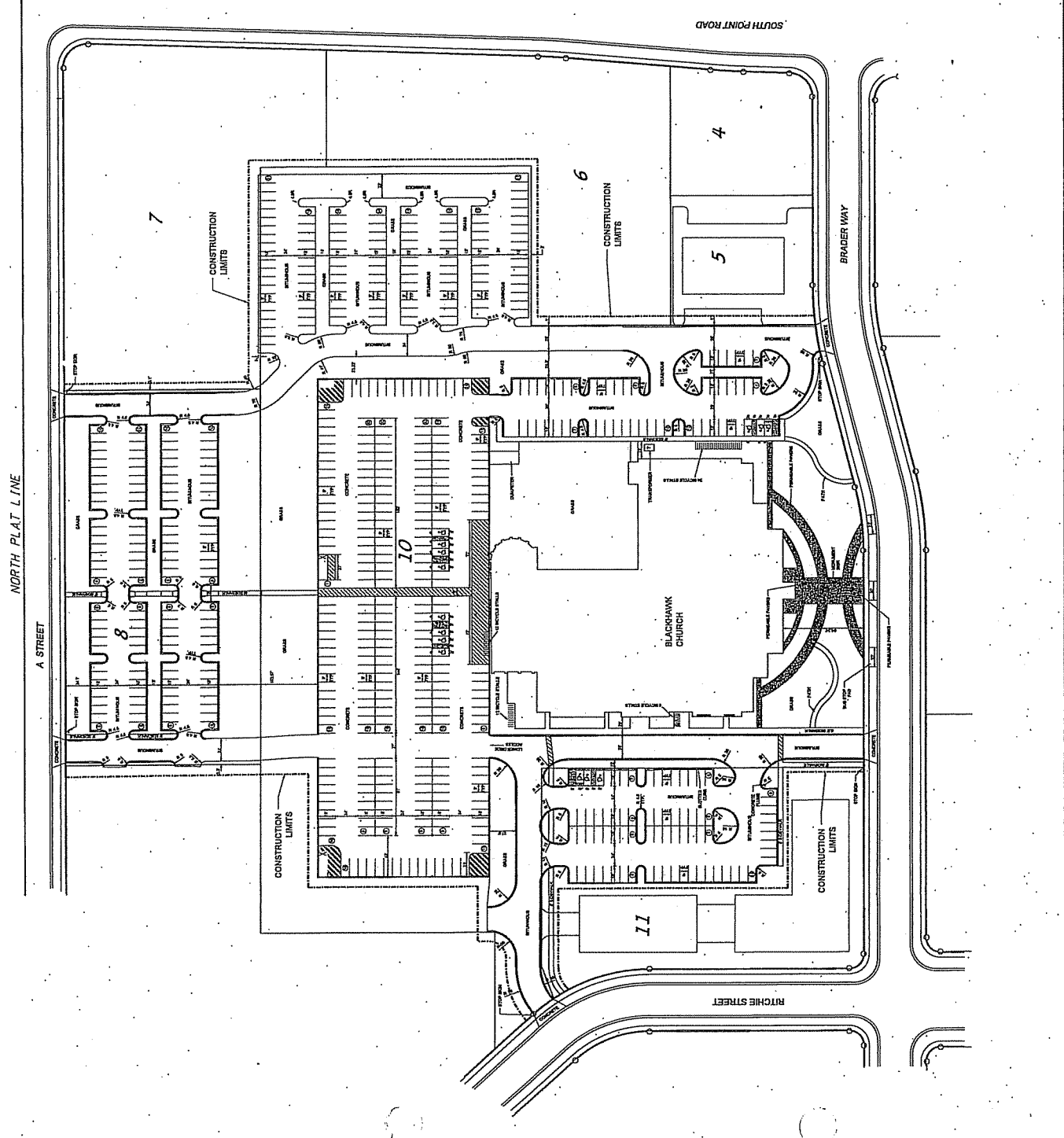
DATE: 07-13-05
 REV:
 BY: DS-05-120

ALTERNATE 2 SITE PLAN
 BLACKHAWK CHURCH
 BRADER WAY
 MADISON, WISCONSIN



C1.4

SITE INFORMATION	
NET AREA	11,852.42
NET AREA WITH CONSTRUCTION LIMITS	11,852.42
NUMBER OF BUILDING STORIES	1
TOTAL AREA OF BUILDING FOOTPRINT	11,852.42
TOTAL AREA OF PAVED DRIVEWAY	11,852.42
TOTAL AREA OF PAVED DRIVEWAY	11,852.42
NUMBER OF PARKING SPACES	11,852.42
NUMBER OF PARKING SPACES	11,852.42
TOTAL NUMBER OF PARKING SPACES	11,852.42



8-9

5-8

C1.5



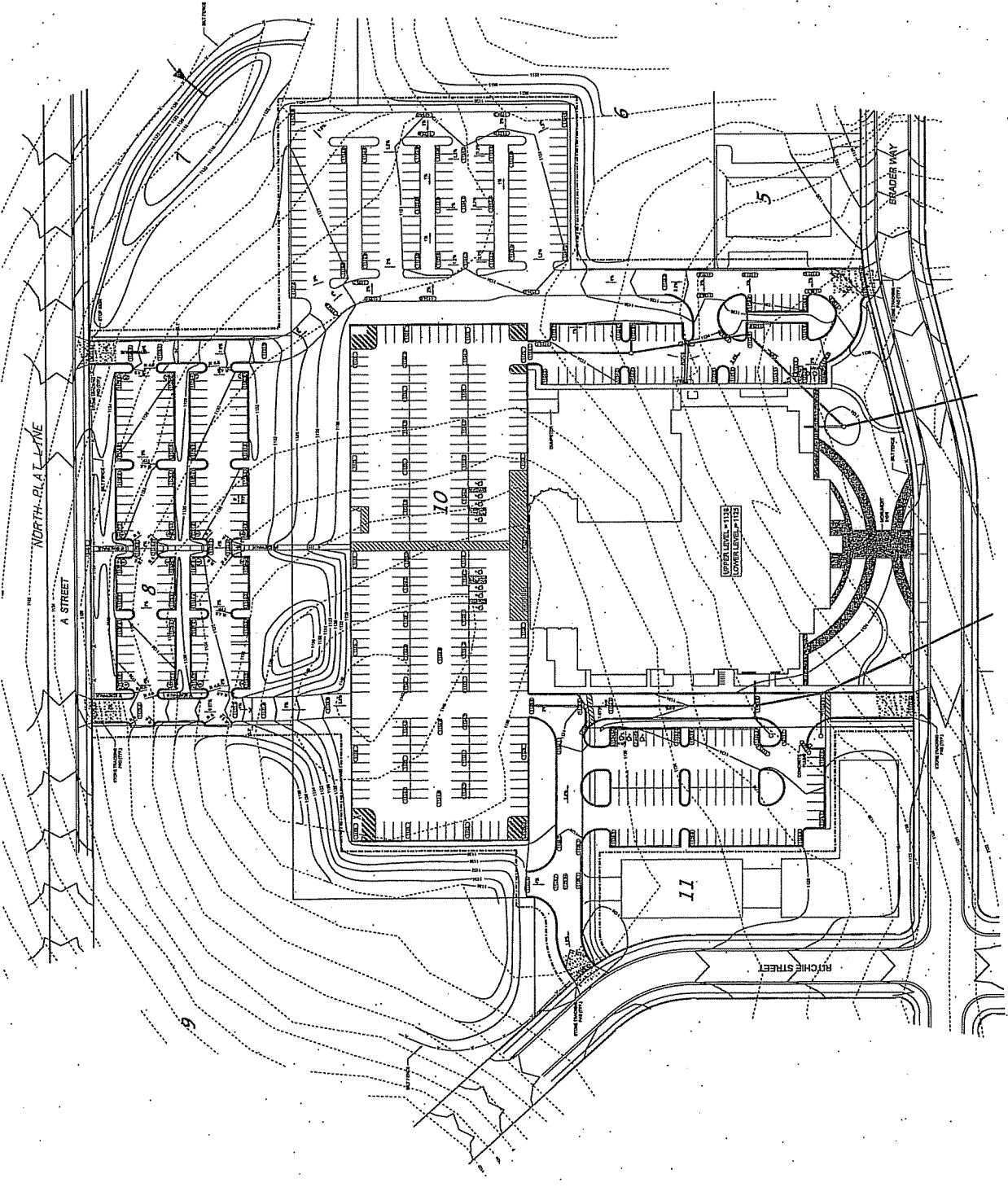
D'ONOFRIO, ROTTKER
AND ASSOCIATES, INC.
1750 WESTVALE WAY
MADISON, WISCONSIN 53704
TEL: 608-261-7333
FAX: 608-261-1038

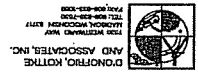
ALTERNATE 2 GRADING & EROSION CONTROL PLAN
BLACKHAWK CHURCH
BADGER WAY
MADISON, WISCONSIN

DATE: 07-13-05
REV:
RF: 05-05-120



- LEGEND**
- PROPOSED CENTERLINE
 - EXISTING CENTERLINE
 - PROPOSED STAKEOUT POINTS
 - PROPOSED EROSION CONTROL
 - EXISTING EROSION CONTROL
 - EXISTING DRIVE
 - EXISTING SIDEWALK
 - EXISTING DRIVE
 - EXISTING SIDEWALK
- NOTES**
1. SEE GRADING AND EROSION CONTROL NOTES.
 2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.
 11. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN EROSION CONTROL ACT AND RULES.



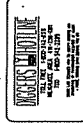


D'ONOFRIO, KOTHE
AND ASSOCIATES, INC.
1700 WESTINGHOUSE AVENUE
MADISON, WISCONSIN 53704
TEL: 608-261-7300
FAX: 608-261-7308

ALTERNATE 2 SITE UTILITY PLAN
BLACKHAWK CHURCH
BRAUER WAY
MADISON, WISCONSIN

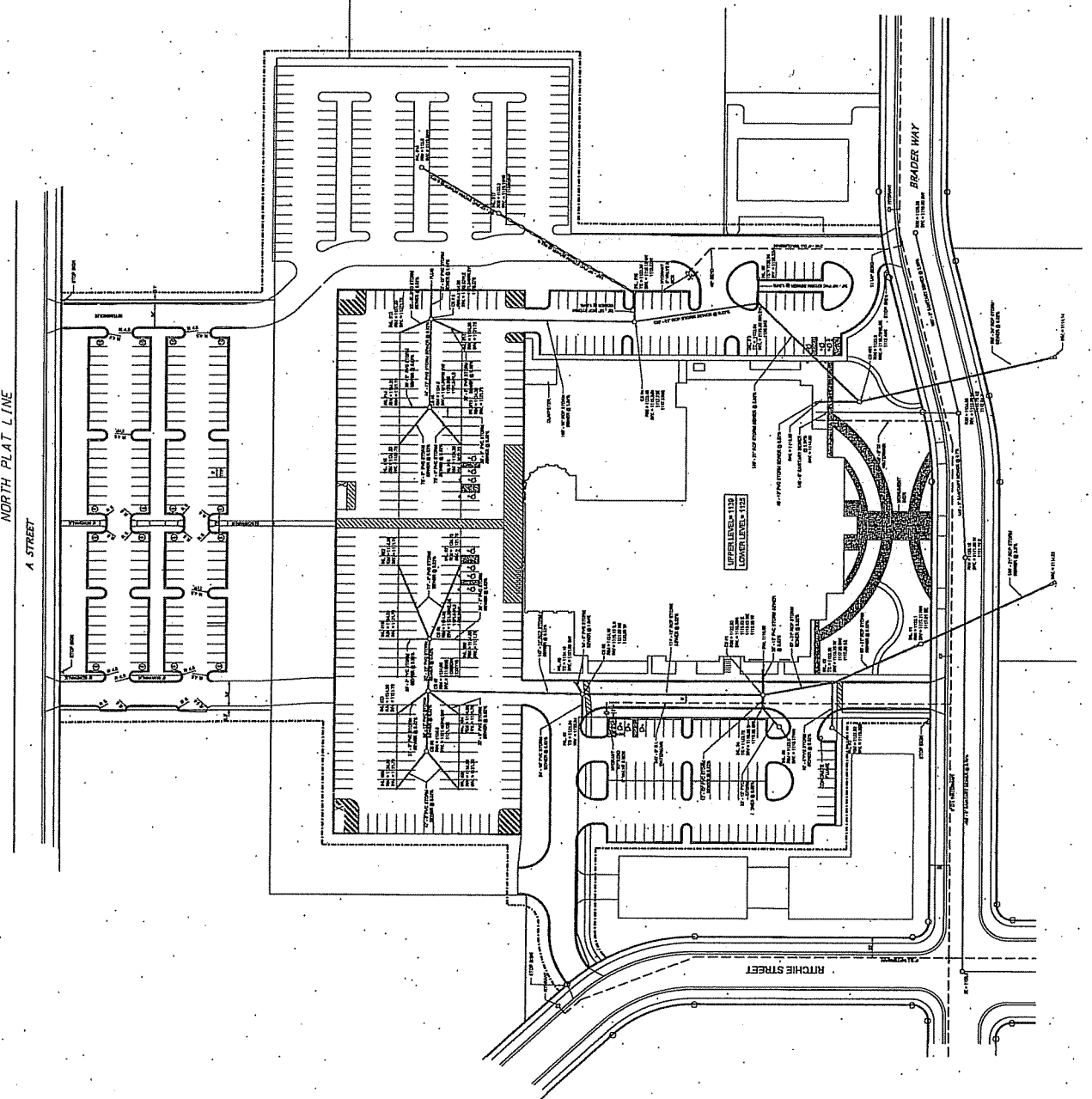
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REV:
FILE: 05-05-120

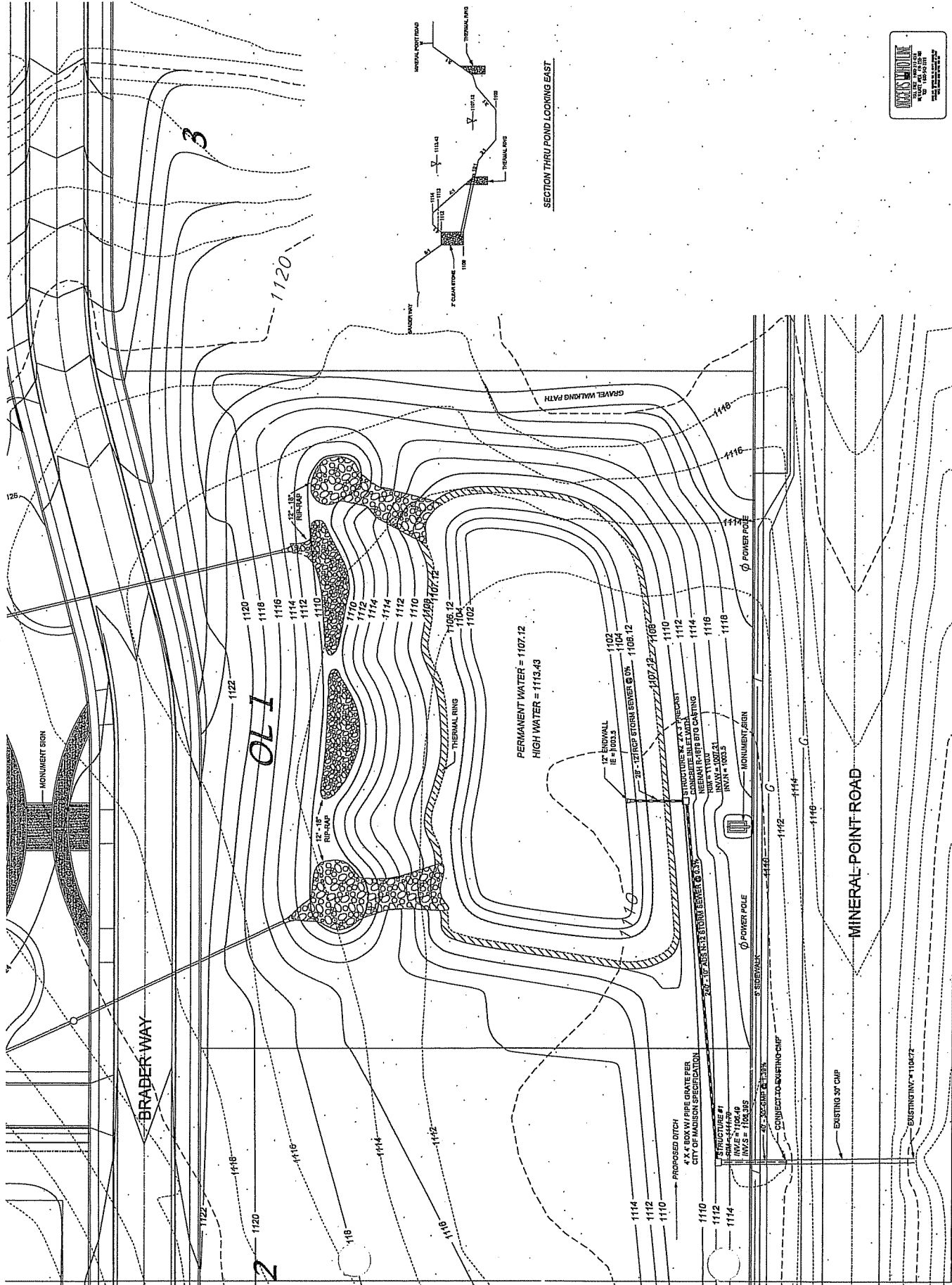
SHEET 15 OF 27



- UTILITY NOTES:
1. All work shall conform to the City of Madison Standard Specifications for Public Works.
 2. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.01.
 3. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.02.
 4. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.03.
 5. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.04.
 6. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.05.
 7. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.06.
 8. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.07.
 9. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.08.
 10. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.09.
 11. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.10.
 12. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.11.
 13. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.12.
 14. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.13.
 15. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.14.
 16. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.15.
 17. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.16.
 18. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.17.
 19. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.18.
 20. All work shall conform to the City of Madison Standard Specifications for Public Works, Chapter 23, Subchapter 1, Part 2.19.

- LEGEND:
- PROPOSED UTILITY MAIN
 - EXISTING UTILITY MAIN
 - PROPOSED UTILITY BRANCH
 - EXISTING UTILITY BRANCH
 - PROPOSED UTILITY VALVE
 - EXISTING UTILITY VALVE
 - PROPOSED UTILITY METER
 - EXISTING UTILITY METER
 - PROPOSED UTILITY MANHOLE
 - EXISTING UTILITY MANHOLE
 - PROPOSED UTILITY STRUCTURE
 - EXISTING UTILITY STRUCTURE
 - PROPOSED UTILITY STRUCTURE FOUNDATION
 - EXISTING UTILITY STRUCTURE FOUNDATION
 - PROPOSED UTILITY STRUCTURE FOOTING
 - EXISTING UTILITY STRUCTURE FOOTING
 - PROPOSED UTILITY STRUCTURE WALL
 - EXISTING UTILITY STRUCTURE WALL
 - PROPOSED UTILITY STRUCTURE ROOF
 - EXISTING UTILITY STRUCTURE ROOF
 - PROPOSED UTILITY STRUCTURE FLOOR
 - EXISTING UTILITY STRUCTURE FLOOR
 - PROPOSED UTILITY STRUCTURE CEILING
 - EXISTING UTILITY STRUCTURE CEILING
 - PROPOSED UTILITY STRUCTURE INTERIOR FINISH
 - EXISTING UTILITY STRUCTURE INTERIOR FINISH
 - PROPOSED UTILITY STRUCTURE EXTERIOR FINISH
 - EXISTING UTILITY STRUCTURE EXTERIOR FINISH
 - PROPOSED UTILITY STRUCTURE PAINT
 - EXISTING UTILITY STRUCTURE PAINT





SECTION THRU POND LOOKING EAST

DATE: 07-13-05
 R/S:
 P/C: 05-05-120
 SCALE: 1" = 20'

DETONTON BASIN
 BLACKHAWK CHURCH
 BRADER WAY
 MADISON, WISCONSIN

D. O'NEILL, KOTTKE
 AND ASSOCIATES, INC.
 700 WESTINGHOUSE
 MADISON, WISCONSIN 53703
 TEL: 608-263-7800
 FAX: 608-263-1000



C17

58



LANDSCAPE PLAN B

Scale: 1"=40'-0"
 JULY 13, 2005
 Revisions:

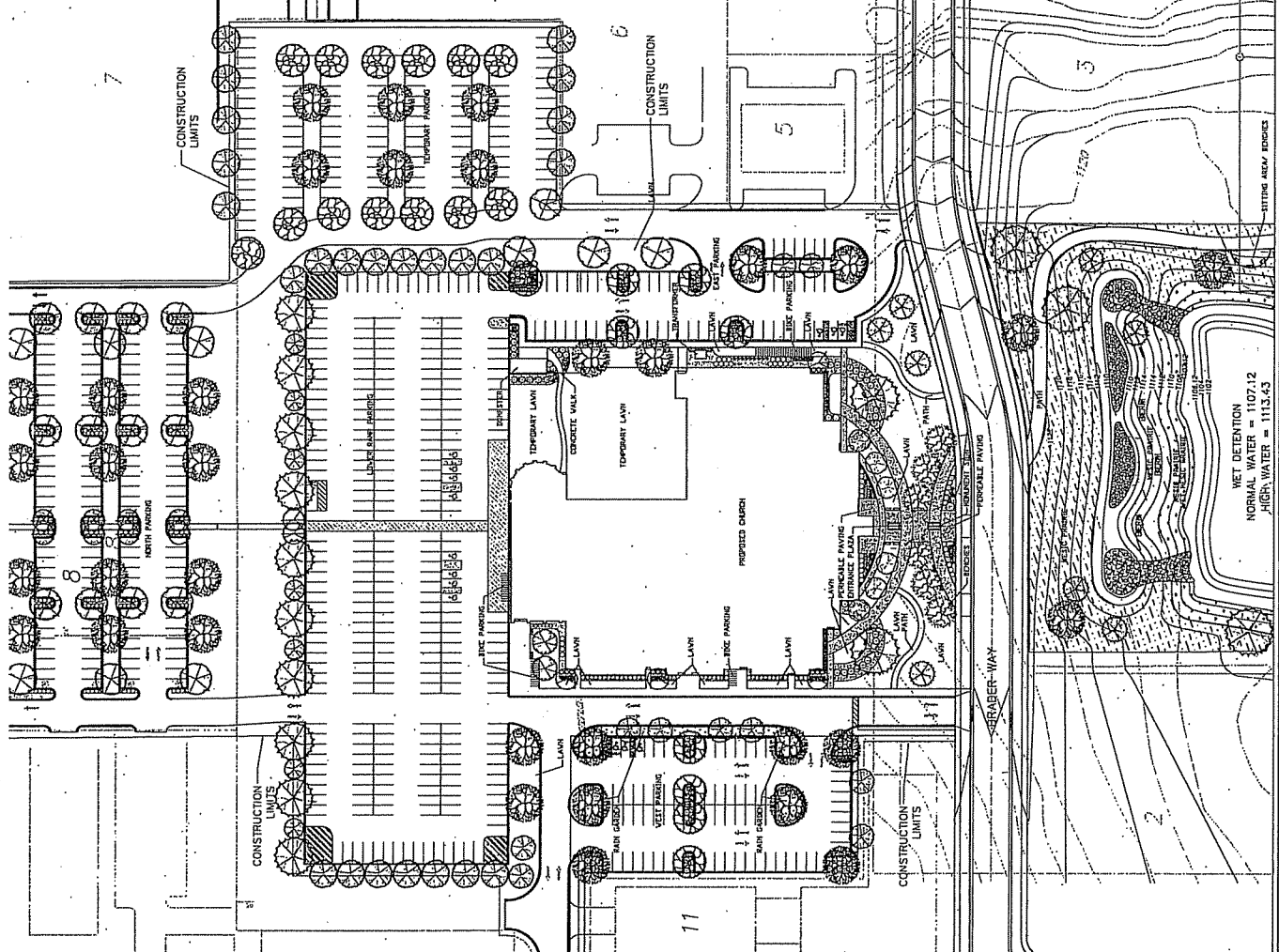
BLACKHAWK CHURCH

MADISON, WI

L.J. GEER DESIGN
 2554 E. Johnson St.
 Madison, WI 53704
 PH: 608-244-6399 F: 608-244-9416



LANDSCAPE WORKSHEET			
BLACKHAWK CHURCH - PLAN B - EAST LOT			
1. NUMBER OF TREES REQUIRED	25 TREES	2. NUMBER OF TREES PROVIDED	25 TREES
3. NUMBER OF TREES EXCESS	0 TREES	4. NUMBER OF TREES DEFICIENT	0 TREES
5. NUMBER OF TREES SHORTAGE	0 TREES	6. NUMBER OF TREES SURPLUS	0 TREES
7. NUMBER OF TREES EXCESS	0 TREES	8. NUMBER OF TREES DEFICIENT	0 TREES
9. NUMBER OF TREES SHORTAGE	0 TREES	10. NUMBER OF TREES SURPLUS	0 TREES
11. NUMBER OF TREES EXCESS	0 TREES	12. NUMBER OF TREES DEFICIENT	0 TREES
13. NUMBER OF TREES SHORTAGE	0 TREES	14. NUMBER OF TREES SURPLUS	0 TREES
15. NUMBER OF TREES EXCESS	0 TREES	16. NUMBER OF TREES DEFICIENT	0 TREES
17. NUMBER OF TREES SHORTAGE	0 TREES	18. NUMBER OF TREES SURPLUS	0 TREES
19. NUMBER OF TREES EXCESS	0 TREES	20. NUMBER OF TREES DEFICIENT	0 TREES
21. NUMBER OF TREES SHORTAGE	0 TREES	22. NUMBER OF TREES SURPLUS	0 TREES
23. NUMBER OF TREES EXCESS	0 TREES	24. NUMBER OF TREES DEFICIENT	0 TREES
25. NUMBER OF TREES SHORTAGE	0 TREES	26. NUMBER OF TREES SURPLUS	0 TREES
27. NUMBER OF TREES EXCESS	0 TREES	28. NUMBER OF TREES DEFICIENT	0 TREES
29. NUMBER OF TREES SHORTAGE	0 TREES	30. NUMBER OF TREES SURPLUS	0 TREES
31. NUMBER OF TREES EXCESS	0 TREES	32. NUMBER OF TREES DEFICIENT	0 TREES
33. NUMBER OF TREES SHORTAGE	0 TREES	34. NUMBER OF TREES SURPLUS	0 TREES
35. NUMBER OF TREES EXCESS	0 TREES	36. NUMBER OF TREES DEFICIENT	0 TREES
37. NUMBER OF TREES SHORTAGE	0 TREES	38. NUMBER OF TREES SURPLUS	0 TREES
39. NUMBER OF TREES EXCESS	0 TREES	40. NUMBER OF TREES DEFICIENT	0 TREES
41. NUMBER OF TREES SHORTAGE	0 TREES	42. NUMBER OF TREES SURPLUS	0 TREES
43. NUMBER OF TREES EXCESS	0 TREES	44. NUMBER OF TREES DEFICIENT	0 TREES
45. NUMBER OF TREES SHORTAGE	0 TREES	46. NUMBER OF TREES SURPLUS	0 TREES
47. NUMBER OF TREES EXCESS	0 TREES	48. NUMBER OF TREES DEFICIENT	0 TREES
49. NUMBER OF TREES SHORTAGE	0 TREES	50. NUMBER OF TREES SURPLUS	0 TREES
51. NUMBER OF TREES EXCESS	0 TREES	52. NUMBER OF TREES DEFICIENT	0 TREES
53. NUMBER OF TREES SHORTAGE	0 TREES	54. NUMBER OF TREES SURPLUS	0 TREES
55. NUMBER OF TREES EXCESS	0 TREES	56. NUMBER OF TREES DEFICIENT	0 TREES
57. NUMBER OF TREES SHORTAGE	0 TREES	58. NUMBER OF TREES SURPLUS	0 TREES
59. NUMBER OF TREES EXCESS	0 TREES	60. NUMBER OF TREES DEFICIENT	0 TREES
61. NUMBER OF TREES SHORTAGE	0 TREES	62. NUMBER OF TREES SURPLUS	0 TREES
63. NUMBER OF TREES EXCESS	0 TREES	64. NUMBER OF TREES DEFICIENT	0 TREES
65. NUMBER OF TREES SHORTAGE	0 TREES	66. NUMBER OF TREES SURPLUS	0 TREES
67. NUMBER OF TREES EXCESS	0 TREES	68. NUMBER OF TREES DEFICIENT	0 TREES
69. NUMBER OF TREES SHORTAGE	0 TREES	70. NUMBER OF TREES SURPLUS	0 TREES
71. NUMBER OF TREES EXCESS	0 TREES	72. NUMBER OF TREES DEFICIENT	0 TREES
73. NUMBER OF TREES SHORTAGE	0 TREES	74. NUMBER OF TREES SURPLUS	0 TREES
75. NUMBER OF TREES EXCESS	0 TREES	76. NUMBER OF TREES DEFICIENT	0 TREES
77. NUMBER OF TREES SHORTAGE	0 TREES	78. NUMBER OF TREES SURPLUS	0 TREES
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81. NUMBER OF TREES SHORTAGE	0 TREES	82. NUMBER OF TREES SURPLUS	0 TREES
83. NUMBER OF TREES EXCESS	0 TREES	84. NUMBER OF TREES DEFICIENT	0 TREES
85. NUMBER OF TREES SHORTAGE	0 TREES	86. NUMBER OF TREES SURPLUS	0 TREES
87. NUMBER OF TREES EXCESS	0 TREES	88. NUMBER OF TREES DEFICIENT	0 TREES
89. NUMBER OF TREES SHORTAGE	0 TREES	90. NUMBER OF TREES SURPLUS	0 TREES
91. NUMBER OF TREES EXCESS	0 TREES	92. NUMBER OF TREES DEFICIENT	0 TREES
93. NUMBER OF TREES SHORTAGE	0 TREES	94. NUMBER OF TREES SURPLUS	0 TREES
95. NUMBER OF TREES EXCESS	0 TREES	96. NUMBER OF TREES DEFICIENT	0 TREES
97. NUMBER OF TREES SHORTAGE	0 TREES	98. NUMBER OF TREES SURPLUS	0 TREES
99. NUMBER OF TREES EXCESS	0 TREES	100. NUMBER OF TREES DEFICIENT	0 TREES



LANDSCAPE LEGEND

1. ASPHALT DRIVE	10. BIRCH	19. SPRUCE
2. ASPHALT DRIVE	11. BIRCH	20. SPRUCE
3. ASPHALT DRIVE	12. BIRCH	21. SPRUCE
4. ASPHALT DRIVE	13. BIRCH	22. SPRUCE
5. ASPHALT DRIVE	14. BIRCH	23. SPRUCE
6. ASPHALT DRIVE	15. BIRCH	24. SPRUCE
7. ASPHALT DRIVE	16. BIRCH	25. SPRUCE
8. ASPHALT DRIVE	17. BIRCH	26. SPRUCE
9. ASPHALT DRIVE	18. BIRCH	27. SPRUCE
10. ASPHALT DRIVE	19. BIRCH	28. SPRUCE
11. ASPHALT DRIVE	20. BIRCH	29. SPRUCE
12. ASPHALT DRIVE	21. BIRCH	30. SPRUCE
13. ASPHALT DRIVE	22. BIRCH	31. SPRUCE
14. ASPHALT DRIVE	23. BIRCH	32. SPRUCE
15. ASPHALT DRIVE	24. BIRCH	33. SPRUCE
16. ASPHALT DRIVE	25. BIRCH	34. SPRUCE
17. ASPHALT DRIVE	26. BIRCH	35. SPRUCE
18. ASPHALT DRIVE	27. BIRCH	36. SPRUCE
19. ASPHALT DRIVE	28. BIRCH	37. SPRUCE
20. ASPHALT DRIVE	29. BIRCH	38. SPRUCE
21. ASPHALT DRIVE	30. BIRCH	39. SPRUCE
22. ASPHALT DRIVE	31. BIRCH	40. SPRUCE
23. ASPHALT DRIVE	32. BIRCH	41. SPRUCE
24. ASPHALT DRIVE	33. BIRCH	42. SPRUCE
25. ASPHALT DRIVE	34. BIRCH	43. SPRUCE
26. ASPHALT DRIVE	35. BIRCH	44. SPRUCE
27. ASPHALT DRIVE	36. BIRCH	45. SPRUCE
28. ASPHALT DRIVE	37. BIRCH	46. SPRUCE
29. ASPHALT DRIVE	38. BIRCH	47. SPRUCE
30. ASPHALT DRIVE	39. BIRCH	48. SPRUCE
31. ASPHALT DRIVE	40. BIRCH	49. SPRUCE
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40. ASPHALT DRIVE	49. BIRCH	58. SPRUCE
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42. ASPHALT DRIVE	51. BIRCH	60. SPRUCE
43. ASPHALT DRIVE	52. BIRCH	61. SPRUCE
44. ASPHALT DRIVE	53. BIRCH	62. SPRUCE
45. ASPHALT DRIVE	54. BIRCH	63. SPRUCE
46. ASPHALT DRIVE	55. BIRCH	64. SPRUCE
47. ASPHALT DRIVE	56. BIRCH	65. SPRUCE
48. ASPHALT DRIVE	57. BIRCH	66. SPRUCE
49. ASPHALT DRIVE	58. BIRCH	67. SPRUCE
50. ASPHALT DRIVE	59. BIRCH	68. SPRUCE
51. ASPHALT DRIVE	60. BIRCH	69. SPRUCE
52. ASPHALT DRIVE	61. BIRCH	70. SPRUCE
53. ASPHALT DRIVE	62. BIRCH	71. SPRUCE
54. ASPHALT DRIVE	63. BIRCH	72. SPRUCE
55. ASPHALT DRIVE	64. BIRCH	73. SPRUCE
56. ASPHALT DRIVE	65. BIRCH	74. SPRUCE
57. ASPHALT DRIVE	66. BIRCH	75. SPRUCE
58. ASPHALT DRIVE	67. BIRCH	76. SPRUCE
59. ASPHALT DRIVE	68. BIRCH	77. SPRUCE
60. ASPHALT DRIVE	69. BIRCH	78. SPRUCE
61. ASPHALT DRIVE	70. BIRCH	79. SPRUCE
62. ASPHALT DRIVE	71. BIRCH	80. SPRUCE
63. ASPHALT DRIVE	72. BIRCH	81. SPRUCE
64. ASPHALT DRIVE	73. BIRCH	82. SPRUCE
65. ASPHALT DRIVE	74. BIRCH	83. SPRUCE
66. ASPHALT DRIVE	75. BIRCH	84. SPRUCE
67. ASPHALT DRIVE	76. BIRCH	85. SPRUCE
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70. ASPHALT DRIVE	79. BIRCH	88. SPRUCE
71. ASPHALT DRIVE	80. BIRCH	89. SPRUCE
72. ASPHALT DRIVE	81. BIRCH	90. SPRUCE
73. ASPHALT DRIVE	82. BIRCH	91. SPRUCE
74. ASPHALT DRIVE	83. BIRCH	92. SPRUCE
75. ASPHALT DRIVE	84. BIRCH	93. SPRUCE
76. ASPHALT DRIVE	85. BIRCH	94. SPRUCE
77. ASPHALT DRIVE	86. BIRCH	95. SPRUCE
78. ASPHALT DRIVE	87. BIRCH	96. SPRUCE
79. ASPHALT DRIVE	88. BIRCH	97. SPRUCE
80. ASPHALT DRIVE	89. BIRCH	98. SPRUCE
81. ASPHALT DRIVE	90. BIRCH	99. SPRUCE
82. ASPHALT DRIVE	91. BIRCH	100. SPRUCE

5-8

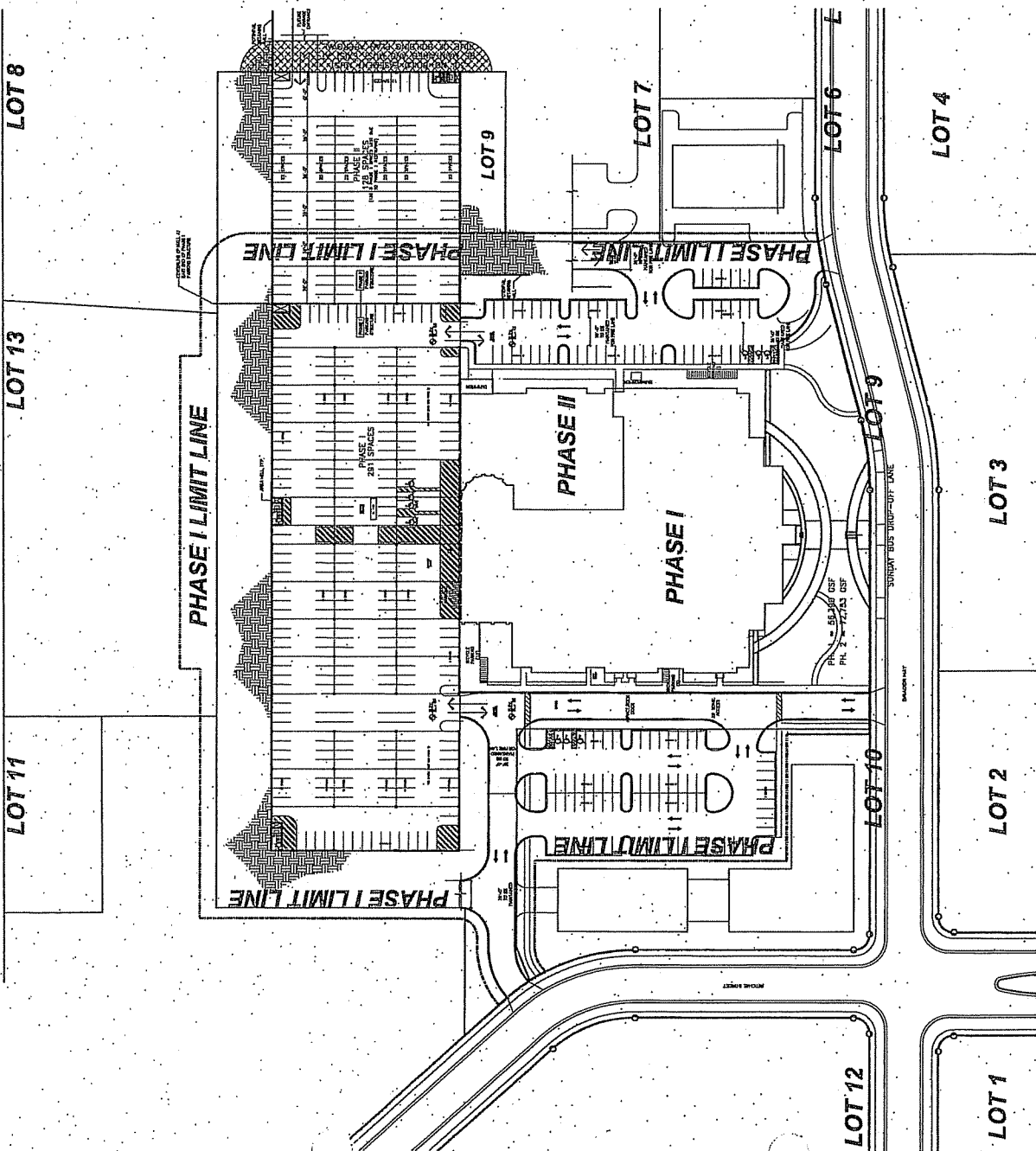
- SITE PLAN - SYMBOLS USED**
- ⊕ 10' CONCRETED DRIVE
 - ⊕ 15'-x-15' CONCRETED DRIVE
 - ⊕ 20'-x-20' CONCRETED DRIVE
 - ⊕ 30'-x-30' CONCRETED DRIVE
 - ⊕ 40'-x-40' CONCRETED DRIVE
 - ⊕ 50'-x-50' CONCRETED DRIVE
 - ⊕ 60'-x-60' CONCRETED DRIVE
 - ⊕ 70'-x-70' CONCRETED DRIVE
 - ⊕ 80'-x-80' CONCRETED DRIVE
 - ⊕ 90'-x-90' CONCRETED DRIVE
 - ⊕ 100'-x-100' CONCRETED DRIVE
 - ⊕ 120'-x-120' CONCRETED DRIVE
 - ⊕ 150'-x-150' CONCRETED DRIVE
 - ⊕ 200'-x-200' CONCRETED DRIVE
 - ⊕ 300'-x-300' CONCRETED DRIVE
 - ⊕ 400'-x-400' CONCRETED DRIVE
 - ⊕ 500'-x-500' CONCRETED DRIVE
 - ⊕ 600'-x-600' CONCRETED DRIVE
 - ⊕ 700'-x-700' CONCRETED DRIVE
 - ⊕ 800'-x-800' CONCRETED DRIVE
 - ⊕ 900'-x-900' CONCRETED DRIVE
 - ⊕ 1000'-x-1000' CONCRETED DRIVE
- SITE PLAN - GENERAL NOTES**
1. FIELD VERIFY DIMENSIONS AND CONDITIONS AT JOB SITE.
 2. THIS SITE PLAN IS A PRELIMINARY PLAN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

- SITE PLAN NOTES**
- 1. COVERED DRIVE AND DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 2. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 3. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 4. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 5. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 6. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 7. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 8. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 9. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
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 - 12. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 13. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 14. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 15. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 16. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 17. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 18. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 19. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.
 - 20. COVERED DRIVEWAY, REFER TO DETAIL ARCHITECT.

- SITE PLAN DETAIL NOTES**
- 1. MATCH DETAIL ARCHITECT.
 - 2. MATCH DETAIL ARCHITECT.
 - 3. MATCH DETAIL ARCHITECT.
 - 4. MATCH DETAIL ARCHITECT.
 - 5. MATCH DETAIL ARCHITECT.
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 - 19. MATCH DETAIL ARCHITECT.
 - 20. MATCH DETAIL ARCHITECT.

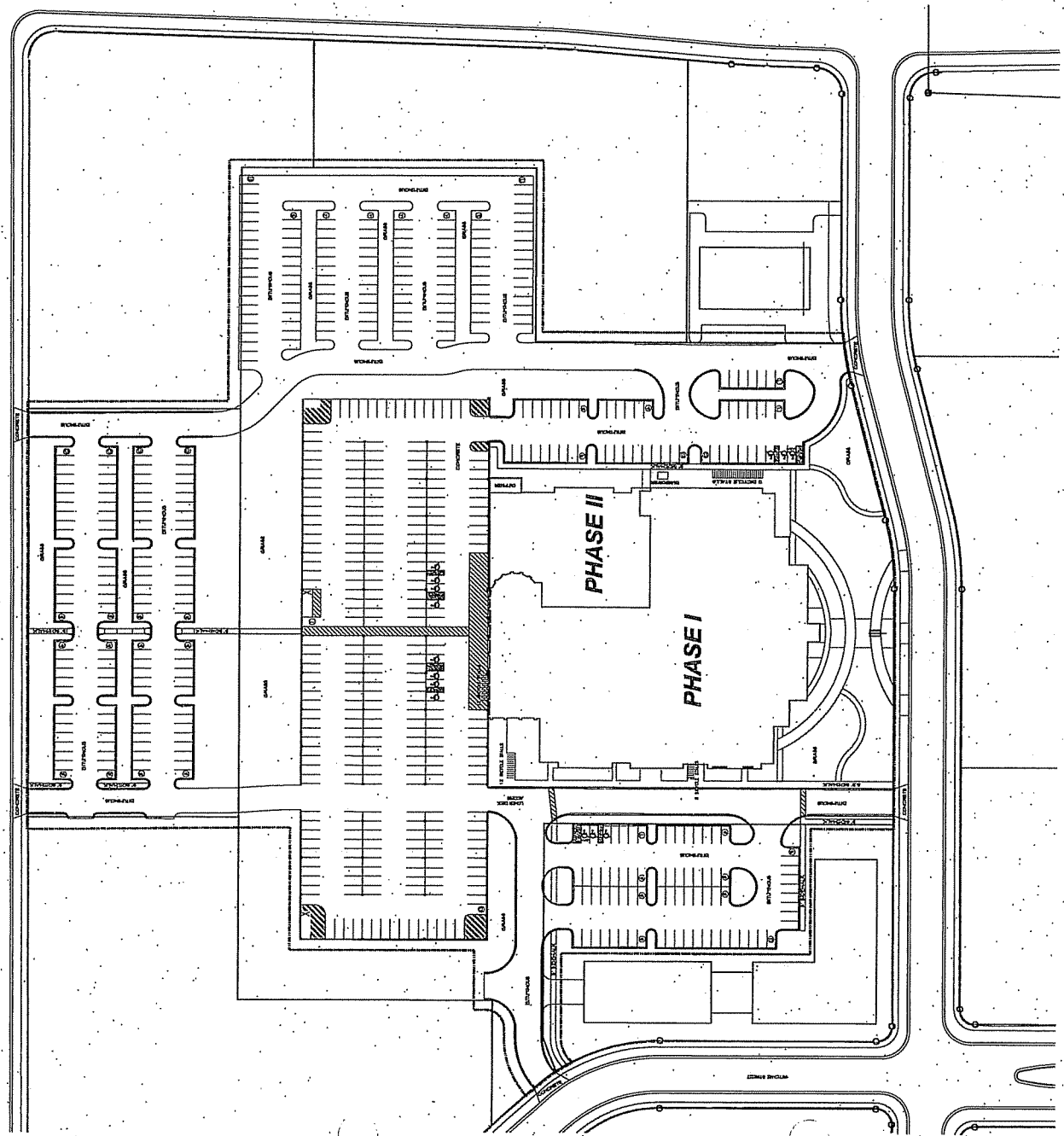
NOTATION BASED ON THIS DRAWING IS BASED ON AN ASSUMED MARKET DEVELOPED BY THE REGISTERED ARCHITECT IDENTIFIED HEREIN. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE ACCURACY AND COMPLETENESS OF THE MARKET AND INFORMATION ONLY AS A CONSIDERATION TO THE CONTRACTOR.

LOWER LEVEL SITE PLAN - PLAN A
11/17



5-8

- SITE PLAN - SYMBOLOGY LEGEND
- X-0 SOLID FLOOR
- X-1 RETAINMENT
- O-1 SITE PLANTING
- O-2 SITE PLANTING NOTED
- X-3 SITE PLANTING NOTED
- X-4 CONSTRUCTION LAYER
- X-5 CONSTRUCTION LAYER
- X-6 CONSTRUCTION LAYER
- X-7 CONSTRUCTION LAYER
- X-8 CONSTRUCTION LAYER
- X-9 CONSTRUCTION LAYER
- X-10 CONSTRUCTION LAYER
- X-11 CONSTRUCTION LAYER
- X-12 CONSTRUCTION LAYER
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- X-36 CONSTRUCTION LAYER
- X-37 CONSTRUCTION LAYER
- X-38 CONSTRUCTION LAYER
- X-39 CONSTRUCTION LAYER
- X-40 CONSTRUCTION LAYER



THESE PLANS ARE TO BE USED ONLY AS A GUIDE AND AS A CHECK FOR THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE SITE AND MAKE ADEQUATE PROVISIONS FOR THE PROTECTION OF THE EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

SITE PLAN - GENERAL NOTES

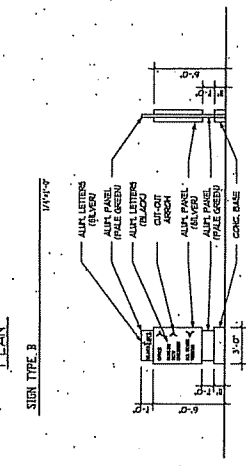
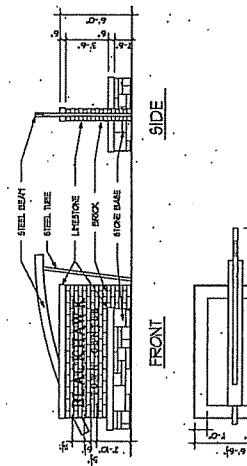
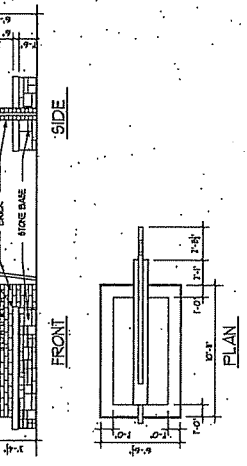
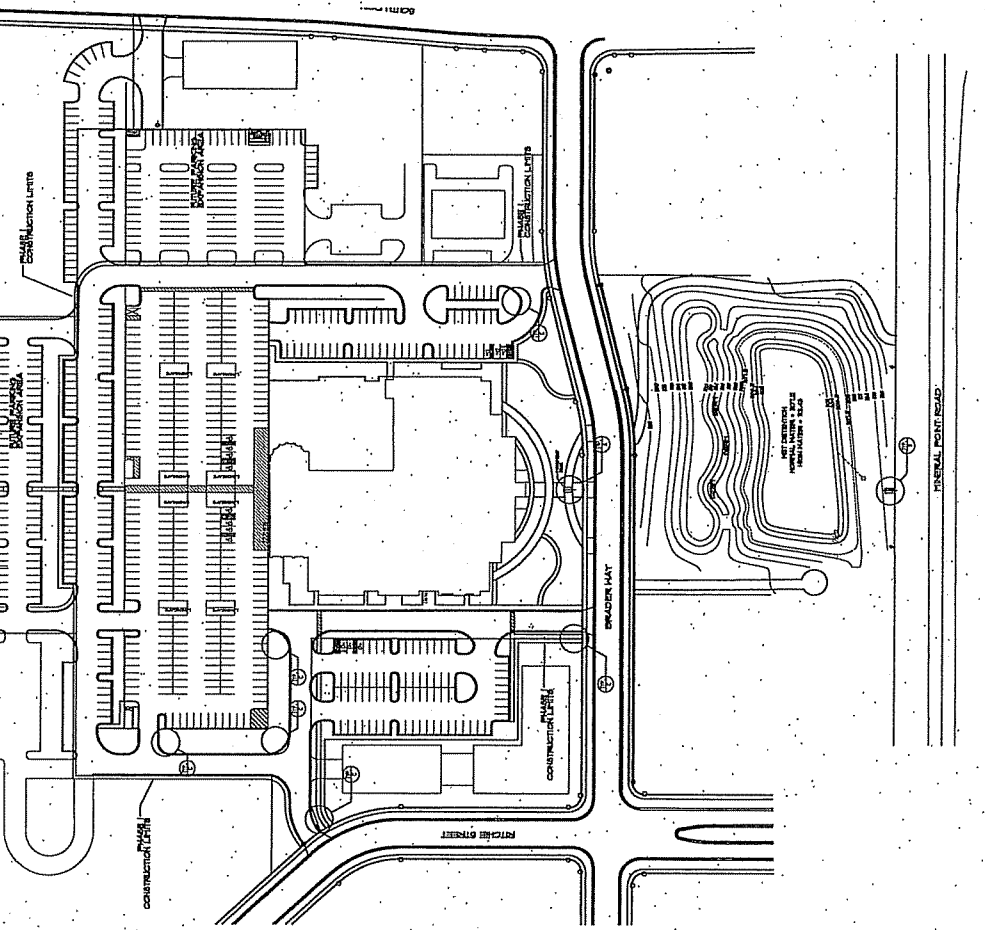
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE CITY OF MADISON, WISCONSIN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE STATE OF WISCONSIN.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE UNITED STATES OF AMERICA.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE INTERNATIONAL BUILDING CODES.



SITE PLAN NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE CITY OF MADISON, WISCONSIN.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE STATE OF WISCONSIN.
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4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING AND MECHANICAL CODES OF THE INTERNATIONAL BUILDING CODES.

6-8



SITE SIGNAGE PLAN
 1/4" = 1'-0"

5-8

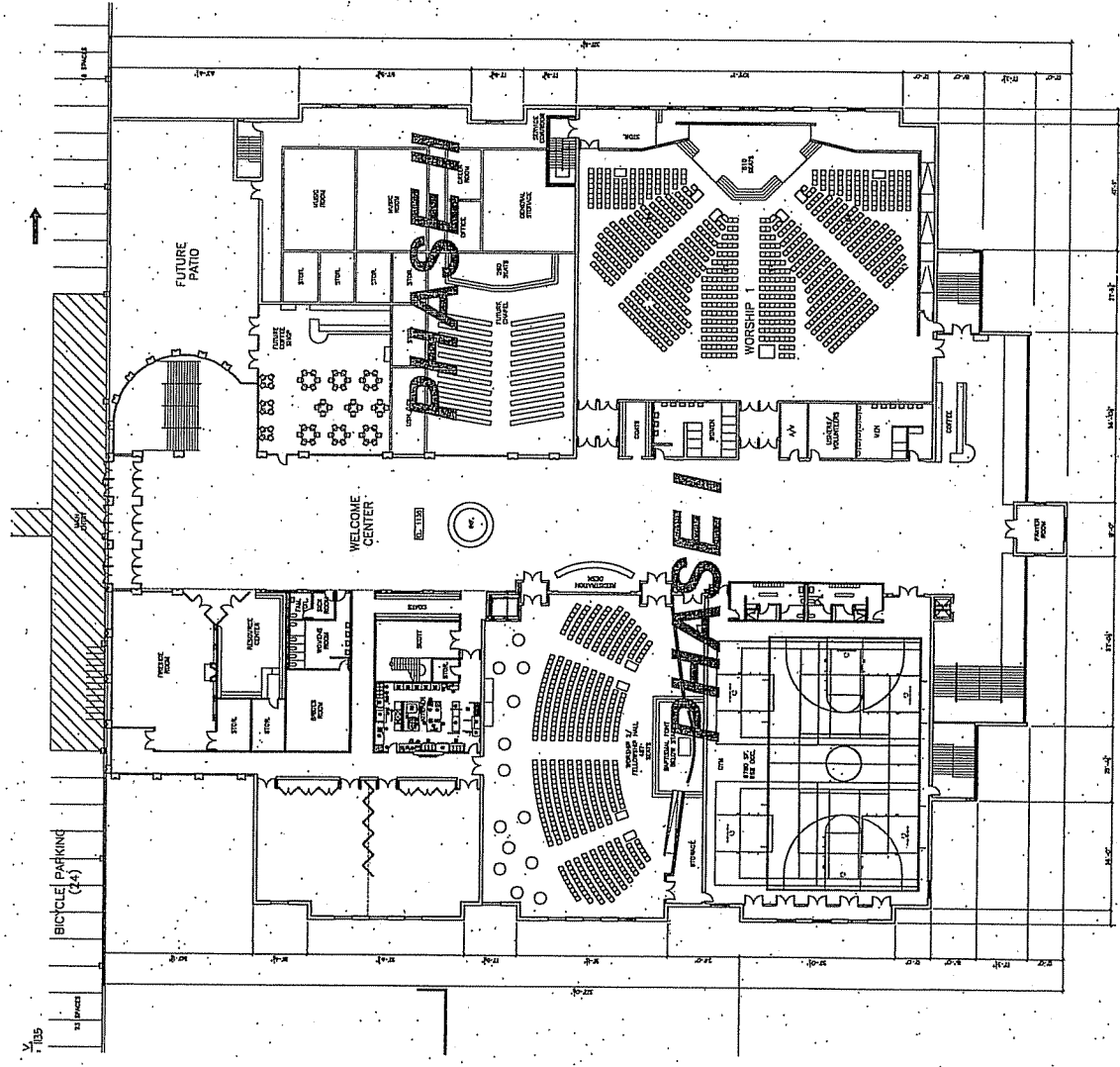
FLOOR PLAN - STRUCTURE LEGEND

- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
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- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR
- NO HALL / PARTITION
- NO DOOR

- CONSTRUCTION LIGHT
- NO CLASH THE RECURRING CONSTRUCTION

- FLOOR PLAN - GENERAL NOTES
1. ALL DIMENSIONS UNLESS NOTED OTHERWISE.
 2. VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE. VARIATIONS OF PARTS OR MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
 3. VERIFY ALL MATERIALS AND FINISHES AT THE WORK SITE PRIOR TO CONSTRUCTION.
 4. VERIFY ALL MATERIALS AND FINISHES AT THE WORK SITE PRIOR TO CONSTRUCTION.
 5. VERIFY ALL MATERIALS AND FINISHES AT THE WORK SITE PRIOR TO CONSTRUCTION.
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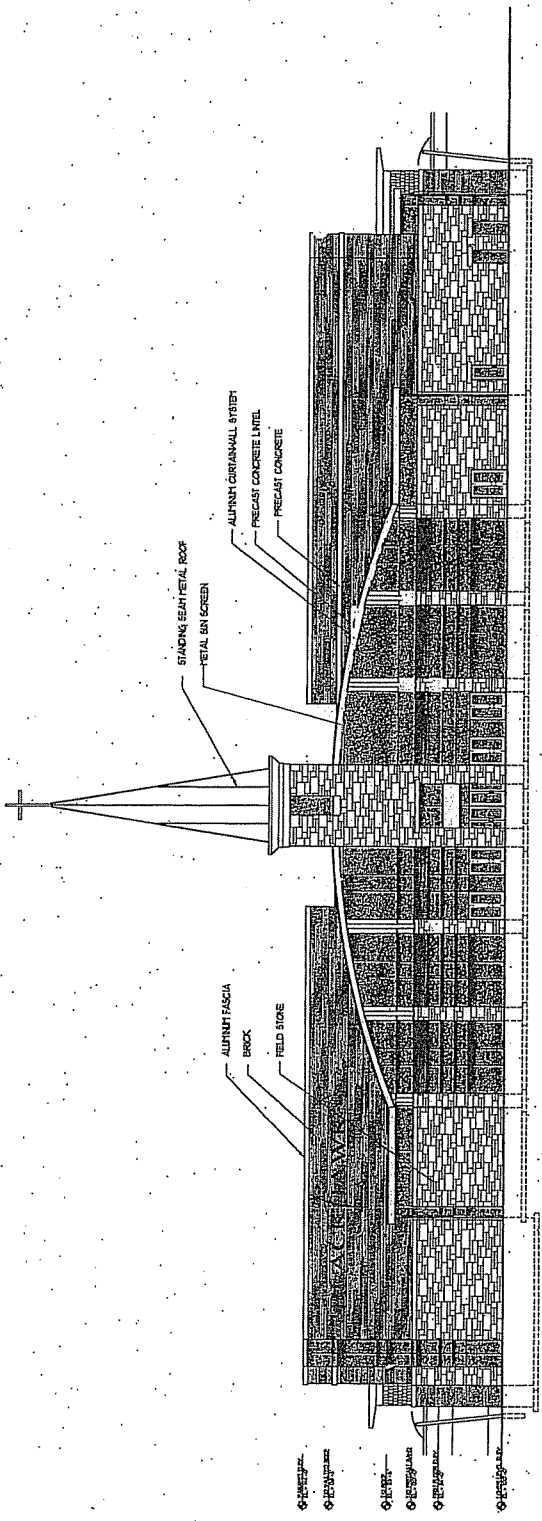
- FLOOR PLAN NOTES
- 1. SEE PLAN



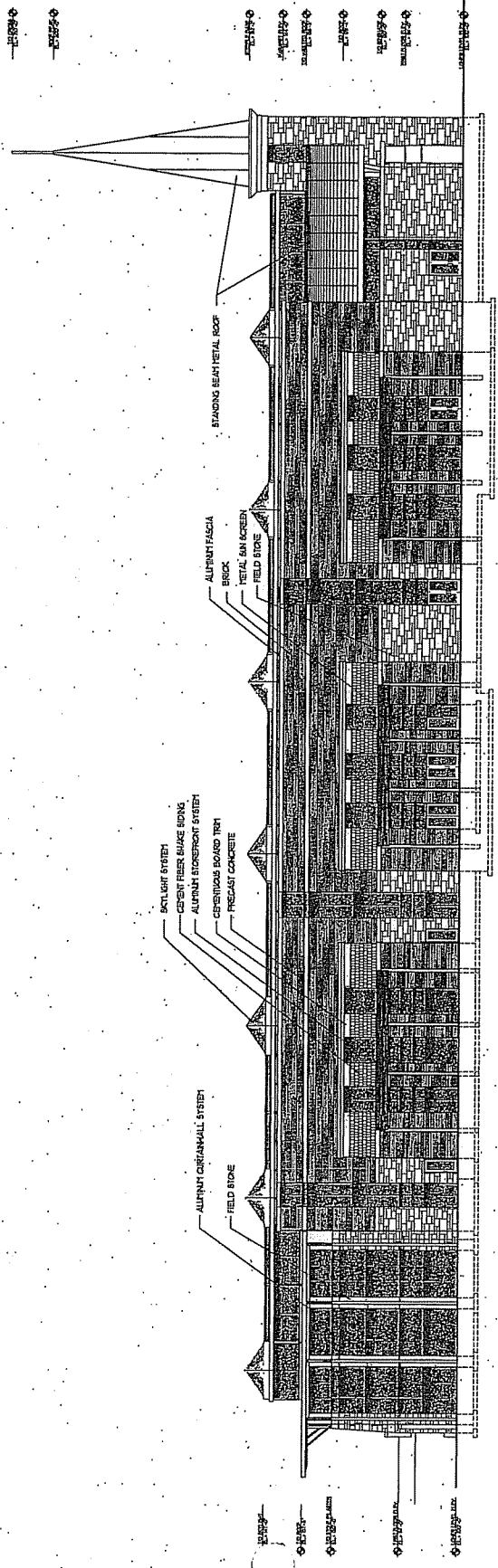
FIRST FLOOR PLAN

8-5

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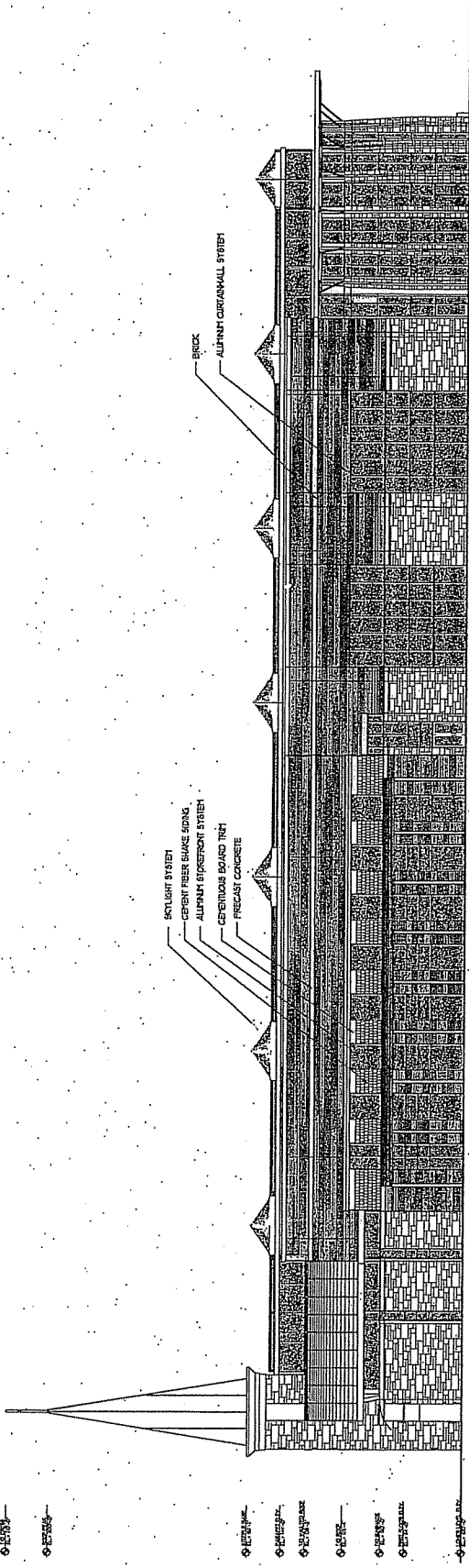


SOUTH ELEVATION

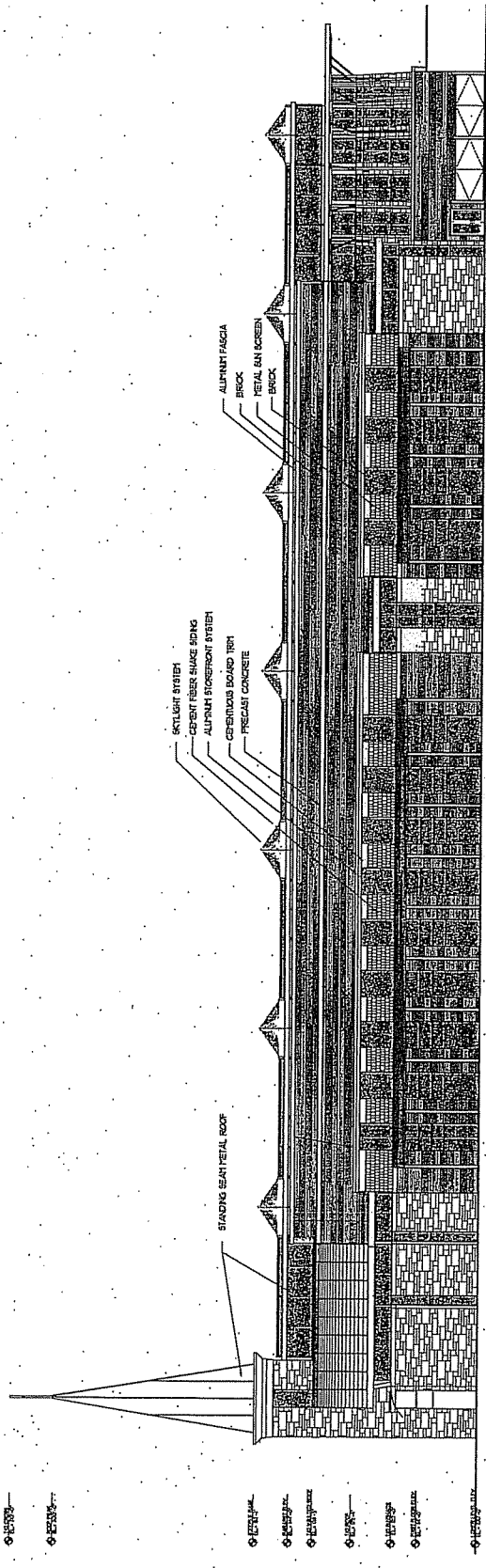


WEST ELEVATION

6-8

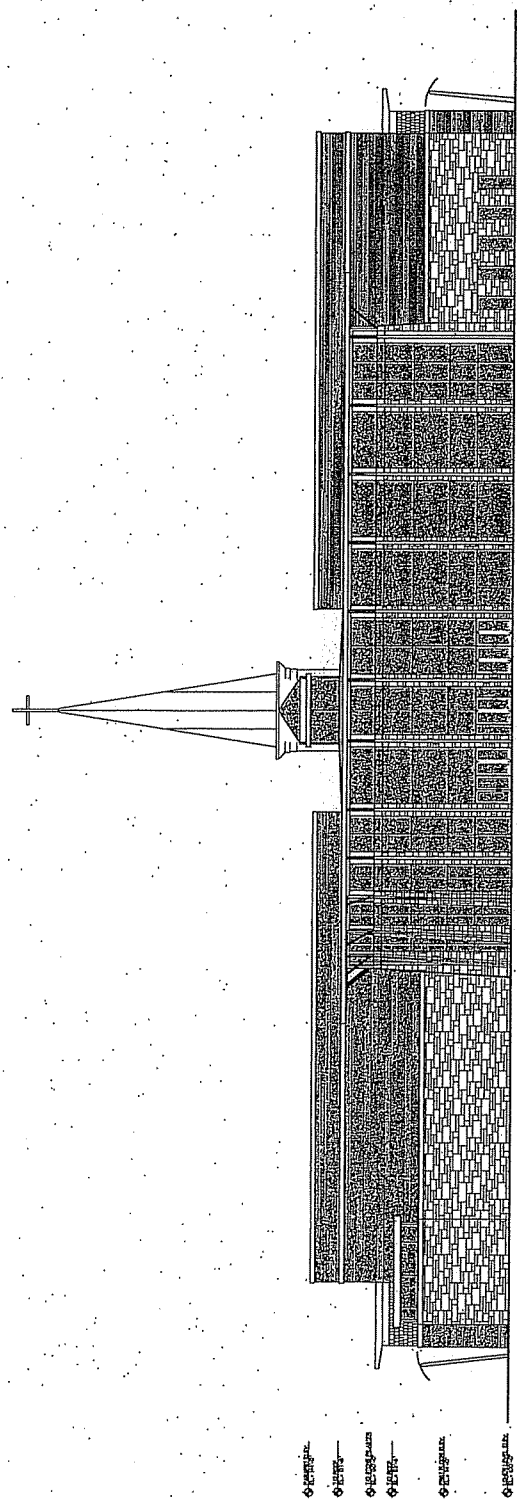


EAST ELEVATION - PHASE 1

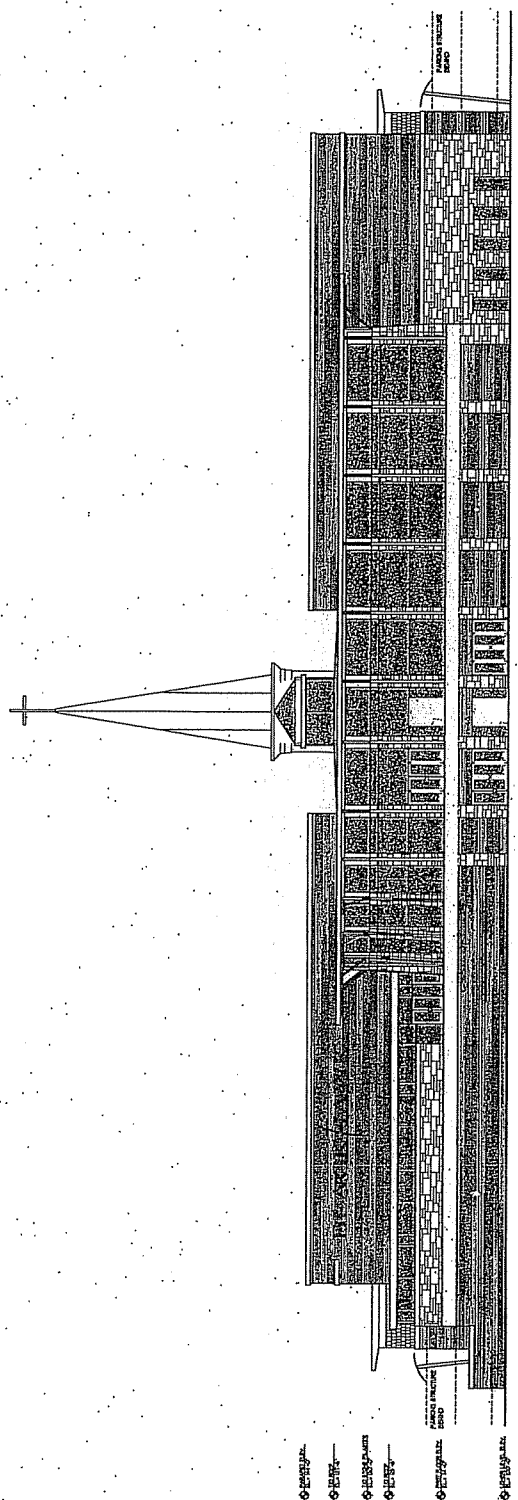


EAST ELEVATION - PHASE 2

6-8

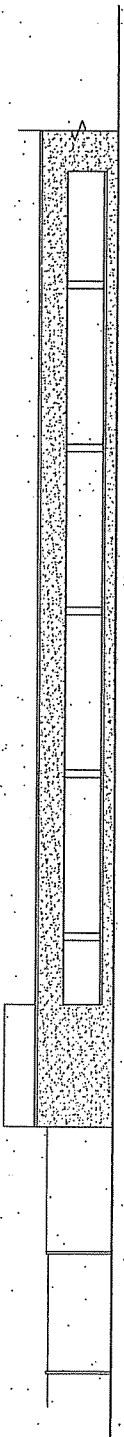


NORTH ELEVATION - PHASE 1

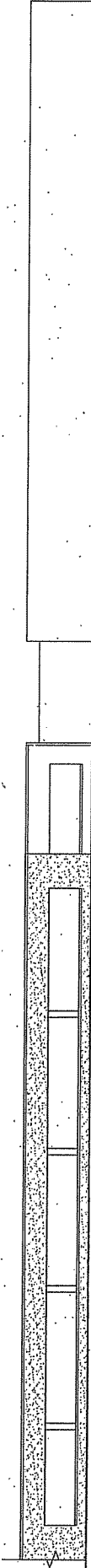


NORTH ELEVATION - PHASE 2

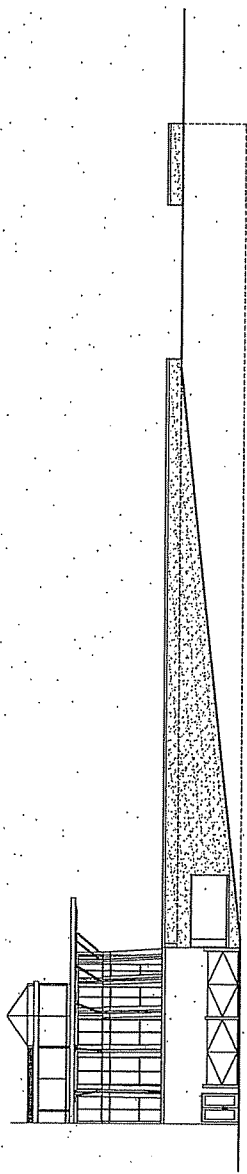
8-9



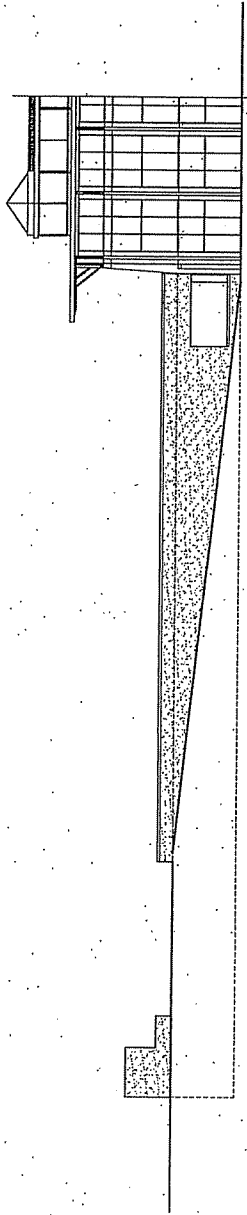
SOUTH ELEVATION - EAST SIDE



SOUTH ELEVATION - WEST SIDE



EAST ELEVATION



WEST ELEVATION

5-8