

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
Madison Municipal Building, Suite 017  
215 Martin Luther King, Jr. Blvd.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Date Received 7/10/23 9:59 a.m.  Initial Submittal  
Paid \_\_\_\_\_  Revised Submittal

**Complete all sections of this application, including the desired meeting date and the action requested.** If your project requires both UDC and Land Use application submittals, a completed [Land Use Application](#) and accompanying submittal materials are also required to be submitted.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the Planning Division at (608) 266-4635.*

*Si necesita interprete, traductor, materiales en diferentes formatos, u otro tipo de ayuda para acceder a estos formularios, por favor llame al (608) 266-4635.*

*Yog tias koj xav tau ib tug neeg txhais lus, tus neeg txhais ntawv, los sis xav tau cov ntaub ntawv ua lwm hom ntawv los sis lwm cov kev pab kom paub txog cov lus qhia no, thov hu rau Koog Npaj (Planning Division) (608) 266-4635.*

## 1. Project Information

Address (list all addresses on the project site): 722 John Nolen Drive

Title: Fairfield by Marriott Hotel

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested March 29, 2023 AUGUST 16, 2023

- New development  Alteration to an existing or previously-approved development  
 Informational  Initial Approval  Final Approval

## 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
 General Development Plan (GDP)  
 Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Modifications of Height, Area, and Setback  
 Sign Exceptions as noted in [Sec. 31.043\(3\)](#), MGO

### Other

- Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

**Applicant name** Josh Wilcox  
**Street address** 2248 Deming Way, Suite 120  
**Telephone** 608-829-1750

**Company** GBA architecture | design  
**City/State/Zip** Middleton, WI 53562  
**Email** josh.wilcox@garybrink.com

**Project contact person** Josh Wilcox  
**Street address** 2248 Deming Way, Suite 120  
**Telephone** 608-829-1750

**Company** GBA architecture | design  
**City/State/Zip** Middleton, WI 53562  
**Email** josh.wilcox@garybrink.com

**Property owner (if not applicant)** DeFoor Brothers, LLC  
**Street address** 801 Broad Street, Suite 200  
**Telephone** 423-308-1830

**City/State/Zip** Chattanooga, TN 37402  
**Email** blake@defoorbrothers.com

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. A request for an Informational Presentation to the UDC may be requested prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design efforts. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Modification requests)
- Initial Approval. Applicants may, at their discretion, request Initial Approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the Initial Approval must be addressed at this time.

## Presentations to the Commission

The Urban Design Commission meets virtually via Zoom, typically on the second and fourth Wednesdays of each month at 4:30 p.m. Applicant presentations are strongly encouraged, although not required. Prior to the meeting, each individual speaker is required to complete an online registration form to speak at the meeting. A link to complete the online registration will be provided by staff prior to the meeting. Please note that individual presentations will be limited to a **maximum of three (3) minutes**. The pooling of time may be utilized to provide one speaker more time to present, however the additional time will be based on the number of registrants from the applicant team, i.e. two (2) applicant registrants = six (6) minutes for one (1) speaker.

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics. Please note that presentation slides, in a PDF file format, are required to be submitted **the Friday before** the UDC meeting.

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimum application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

*\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)*

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in **both** black & white and color for all building sides, including material and color callouts
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus**:

- Grading Plan
- Lighting Plan, including fixture cut sheets and photometrics plan (must be legible)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- Site Plan showing site amenities, fencing, trash, bike parking, etc. (if applicable)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials
- Proposed sign areas and types (if applicable)

## 4. Signage Approval (*Comprehensive Design Review (CDR), Sign Modifications, and Sign Exceptions (per [Sec. 31.043\(3\)](#))*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Modifications criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets [Ch. 31, MGO](#) compared to what is being requested
- Graphic of the proposed signage as it relates to what the [Ch. 31, MGO](#) would permit

**5. Required Submittal Materials**

- Application Form**
  - A completed application form is required for each UDC appearance. For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (Initial or Final Approval) from the UDC.
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required.
  - For signage applications, a summary of how the proposed signage is consistent with the applicable Comprehensive Design Review (CDR) or Signage Modification review criteria is required.
- Development Plans** (Refer to checklist on Page 4 for plan details)
- Filing Fee** (Refer to Section 7 (below) for a list of application fees by request type)
- Electronic Submittal**
  - Complete electronic submittals must be received prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. All plans must be legible and scalable when reduced. Individual PDF files of each item submitted should be submitted via email to [UDCapplications@cityofmadison.com](mailto:UDCapplications@cityofmadison.com). The email must include the project address, project name, and applicant name.
  - Email Size Limits. Note that an individual email cannot exceed 20MB and it is the responsibility of the applicant to present files in a manner that can be accepted. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.
- Notification to the District Alder**
  - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn & Jenny Kirchgatter on 1/26/23.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Josh Wilcox Relationship to property Architect

Authorizing signature of property owner  Date 1/27/23

**7. Application Filing Fees**

Fee payments are due by the submittal date. Payments received after the submittal deadline may result in the submittal being scheduled for the next application review cycle. Fees may be paid in-person, via US Mail, or City drop box. If mailed, please mail to: *City of Madison Building Inspection, P.O. Box 2984, Madison, WI 53701-2984*. The City's drop box is located outside the Municipal Building at 215 Martin Luther King, Jr. Blvd. on the E Doty Street side of the building. Please make checks payable to *City Treasurer*, and include a completed application form or cover letter indicating the project location and applicant information with all checks mailed or submitted via the City's drop box.

Please consult the schedule below for the appropriate fee for your request:

- Please Ignore
- Urban Design Districts: \$350 (per [§33.24\(6\) MGO](#)).
  - Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per [§33.24\(6\)\(b\) MGO](#))
  - Comprehensive Design Review: \$500 (per [§31.041\(3\)\(d\)\(1\)\(a\) MGO](#))
  - Minor Alteration to a Comprehensive Sign Plan: \$100 (per [§31.041\(3\)\(d\)\(1\)\(c\) MGO](#))
  - All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for Sign Modifications (of height, area, and setback), and additional sign code approvals: \$300 (per [§31.041\(3\)\(d\)\(2\) MGO](#))

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

7/13/23

To: City of Madison, Urban Design Commission

From: Mari Weisensel, serving as agent for the Fairfield by Marriot.

RE: Fairfield by Marriott  
722 John Nolan Drive,  
Madison, WI 53713

New Fairfield by Marriott ground sign and building signs.

Existing use of this site: Comfort Inn

Existing signage: All the existing signage meets the current sign code standard.

Request for approval Fairfield by Marriott is proposing:

- The applicant is asking for consideration for both wall signs to be more than 4' above the roofline per the sign code. The applicant is requesting 4'-5 11/16". The applicant is requesting exceptions to the UDD height requirements for wall signs. The two (2) wall signs square footage is larger than the 30% permitted by code. The code allows 35.13 square feet, the applicant is requesting 64.86 square feet. The applicant is requesting an exception for the monument setback in order to use the existing foundation and infrastructure. The monument sign will require a variance from Traffic Engineering to locate within the vision triangle for the UDD to grant an exception to the setback requirement.
1. The proposed Sign Plan will create a visual harmony between the North and West building elevations. Consistently carrying a neutral color scheme from the ground sign to the building wall signs. The lighting will be energy efficient and create enhanced visual presence.
  2. Each element of the proposed Sign Plan is found to be necessary due to the limitations with the building site location being on a frontage road. The space between the frontage road and John Nolan Drive has several trees and a bike path. The necessity for adequate identification of the customer's business to be seen from John Nolan Drive. To provide adequate visibility for their guests to easily identify the entrance, especially at night to avoid any sudden stops or cars looking to back up to enter the hotel. There is no other location for the ground sign due to the location of the entrance to the hotel and landscaping.

3. The Sign Plan does not violate any of the stated purposes described in Secs 31.02(1) and 33.24(2). The Sign Plan promotes public safety and aesthetic values while being functionally efficient & visually attractive.
4. The manufacturing of the proposed signage meets the standards set by the construction requirements under Sec. 31.04(5). The signage will be engineered by professionals and will pose no danger to public safety.
5. The proposed Sign Plan will not approve any advertising beyond the restrictions in Section 31.11 and conforms to all provisions.
6. The proposed Sign Plan does not violate any of the following elements:
  - a) The Sign Plan will not present any hazard to vehicular or pedestrian traffic on public or private property.
  - b) The Sign Plan will not obstruct views to any points of ingress or egress at the entrance way to the property.
  - c) The Sign Plan will not obstruct or visually impede the visibility of any other sign on adjacent property.
  - d) The Sign Plan will not negatively impact the visual quality of public or private open space.
7. The proposed Sign Plan will only encompass signs on private property of the zoning lot and building site in question and not on public property.

Thank you for your consideration.

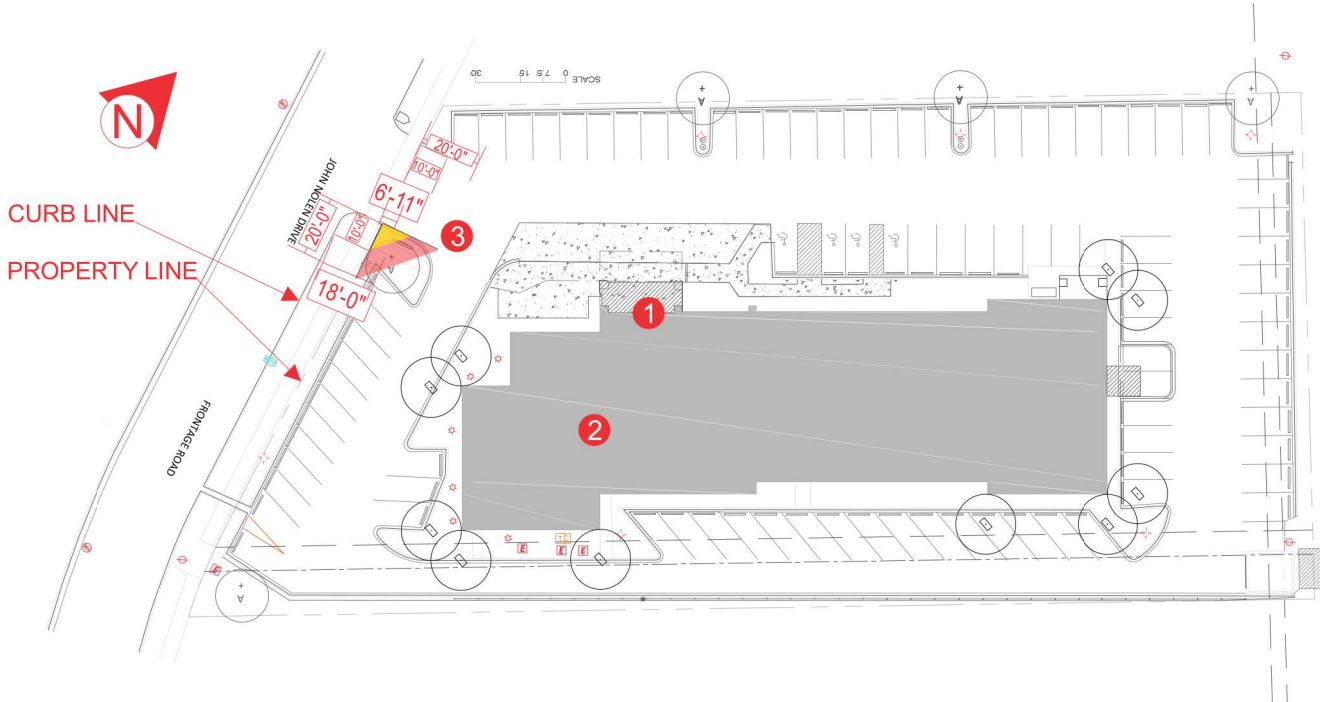
*Mari Weisensel*

Mari Weisensel  
La Crosse Sign Group – Madison Division  
[mari.weisensel@lacrossesign.com](mailto:mari.weisensel@lacrossesign.com)

WI. BUILDING CONTRACTOR REGISTRATION #1104371

**Fairfield**  
 BY MARRIOTT  
 722 JOHN NOLEN DR  
 MADISON, WI 53713

APN/PARCEL ID: 0709-253-0111-4  
 LEGAL DESCRIPTION:  
 CERTIFIED SURVEY MAP NO 6000, RECORDED  
 IN DANE COUNTY REGISTER OF DEEDS IN VOL 2 8,  
 PAGE 278 OF CERTIFIED SURVEYS. LOT 1



**PROPOSED SIGNS:**

- 1 NORTH FACING WALL SIGN  
 36" CHANNEL LETTERS  
 64.86 SQUARE FEET  
 OR  
 CODE COMPLIANT NORTH FACING  
 WALL SIGN  
 26 7/16" CHANNEL LETTERS  
 35.00 SQUARE FEET
- 2 WEST FACING WALL SIGN  
 36" CHANNEL LETTERS  
 64.86 SQUARE FEET
- 3 GROUND SIGN  
 4'3" X 7'5 9/16" MONUMENT  
 OAH AT 6'0"  
 44.78 SQUARE FEET



Persona Signs, LLC  
 700 21st Street Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
 1.800.843.9888 • www.personasigns.com

Customer:  
**FAIRFIELD**  
 Location:  
**MADISON, WI**  
 File Name:  
**399507 - R9 - MADISON, WI**

Project No.:  
**399507**  
 Request No.:  
**45713**  
 Prepared By:  
**QP/CM/JR/QP/JR/CM**  
 Date:  
**07/20/23**  
 Revision:  
**9**

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.  
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Customer Approval (Please Initial):  
 Approval Date:

**Fairfield**  
BY MARRIOTT

722 JOHN NOLEN DR  
MADISON, WI 53713



LOCATION MAP



**FAIRFIELD INN & SUITES CONVERSION**  
MADISON, WISCONSIN

AERIAL IMAGES | LR  
2023-01-20 | V1.2

202223



Persona Signs, LLC  
700 21st Street Southwest  
PO Box 210  
Watertown, SD 57201-0210  
1.800.843.9888 • www.personasigns.com

Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45713</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>JR</b>	
File Name: <b>399507 - R9 - MADISON, WI</b>	Date: <b>06/01/23</b>	Revision: <b>9</b>

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Customer Approval (Please Initial):
Approval Date:



# Fairfield

BY MARRIOTT

722 JOHN NOLEN DR  
MADISON, WI 53713



AERIAL VIEW OF SITE LOOKING NORTH



AERIAL VIEW OF SITE LOOKING EAST



AERIAL VIEW OF SITE LOOKING SOUTH



AERIAL VIEW OF SITE LOOKING WEST



## FAIRFIELD INN & SUITES CONVERSION

MADISON, WISCONSIN

AERIAL VIEWS T-3  
2023-01-20 V1.2

202223



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PO Box 210  
Watertown, SD 57201-0210  
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Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45713</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>JR</b>	
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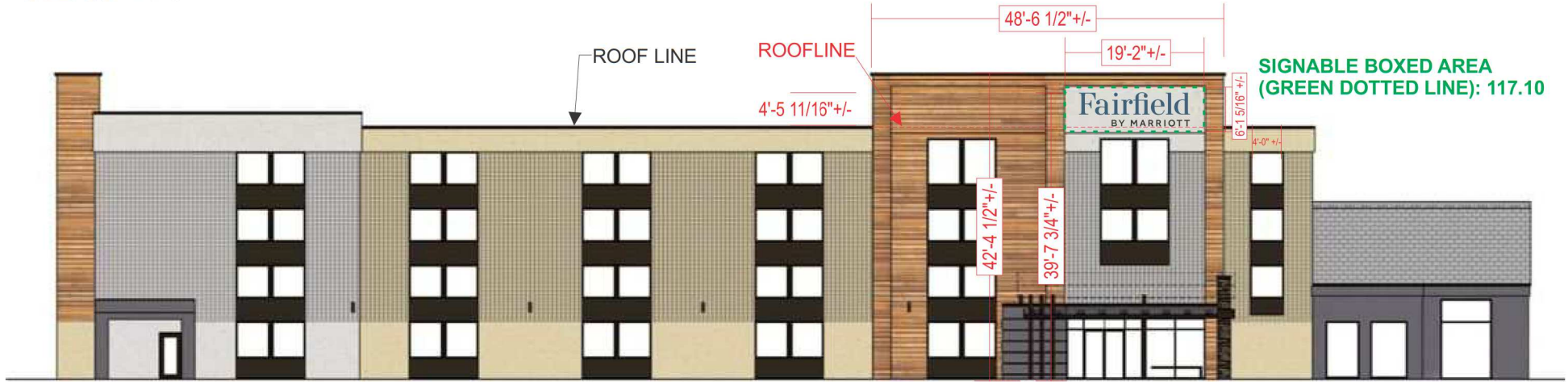
Customer Approval (Please Initial):

Approval Date:

# NORTH FACING WALL SIGN FRONT ELEVATION

SCALE: 3/64" = 1'-0"

## PROPOSED WALL SIGN



"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
 "BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
 TOTAL SIGN BOXED AREA: 64.86 SQ FT

CHANNEL LETTER DETAIL  
 SCALE: 1/4" = 1'-0"

**TECH SURVEY REQUIRED PRIOR TO PRODUCTION  
 TO CONFIRM EXACT WALL SPACE**



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 Watertown, SD 57201-0210  
 1.800.843.9888 • www.personasigns.com

Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45713</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>QP/JR/QP/JR</b>	
File Name: <b>399507 - R9 - MADISON, WI</b>	Date: <b>07/07/23</b>	Revision: <b>9</b>

UL	This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
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Customer Approval (Please Initial):

Approval Date:

**Fairfield**  
BY MARRIOTT

722 JOHN NOLEN DR  
MADISON, WI 53713



NORTH ELEVATION - EXISTING



NORTH ELEVATION - PROPOSED



**FAIRFIELD INN & SUITES CONVERSION**  
MADISON, WISCONSIN

BUILDING ELEVATIONS A&01  
2023-01-27 V1.3  
SCALE 0 5' 10' 20'

202223



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Watertown, SD 57201-0210  
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Customer: **FAIRFIELD**  
Location: **MADISON, WI**  
File Name: **399507 - R9 - MADISON, WI**

Project No.: **399507**  
Request No.: **45713**  
Prepared By: **JR**  
Date: **06/01/23**  
Revision: **9**

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Customer Approval (Please Initial):  
  
Approval Date:

**Fairfield**  
BY MARRIOTT

722 JOHN NOLEN DR  
MADISON, WI 53713



SOUTH ELEVATION - EXISTING



SOUTH ELEVATION - PROPOSED



**FAIRFIELD INN & SUITES CONVERSION**  
MADISON, WISCONSIN

BUILDING ELEVATIONS: A6.01  
2023-01-27 V1.3  
SCALE 0 5 10 20'  
202223



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Customer: **FAIRFIELD**  
Location: **MADISON, WI**  
File Name: **399507 - R9 - MADISON, WI**

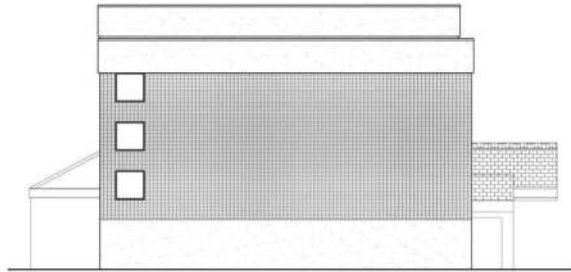
Project No.: **399507**  
Request No.: **45713**  
Prepared By: **JR**  
Date: **06/01/23**  
Revision: **9**

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Customer Approval (Please Initial):  
  
Approval Date:

**Fairfield**  
BY MARRIOTT

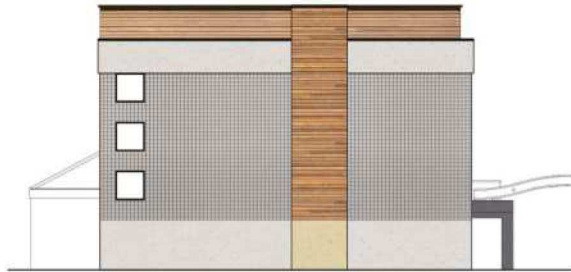
722 JOHN NOLEN DR  
MADISON, WI 53713



EAST ELEVATION - EXISTING



WEST ELEVATION - EXISTING



EAST ELEVATION - PROPOSED



WEST ELEVATION - PROPOSED



**FAIRFIELD INN & SUITES CONVERSION**  
MADISON, WISCONSIN

BUILDING ELEVATIONS | A8.02  
2022-01-27 | V1.3  
SCALE 0 5 10 20  
202223

**persona**  
SIGNS | LIGHTING | IMAGE

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Watertown, SD 57201-0210  
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Customer:  
**FAIRFIELD**  
Location:  
**MADISON, WI**  
File Name:  
**399507 - R9 - MADISON, WI**

Project No.:  
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Revision:  
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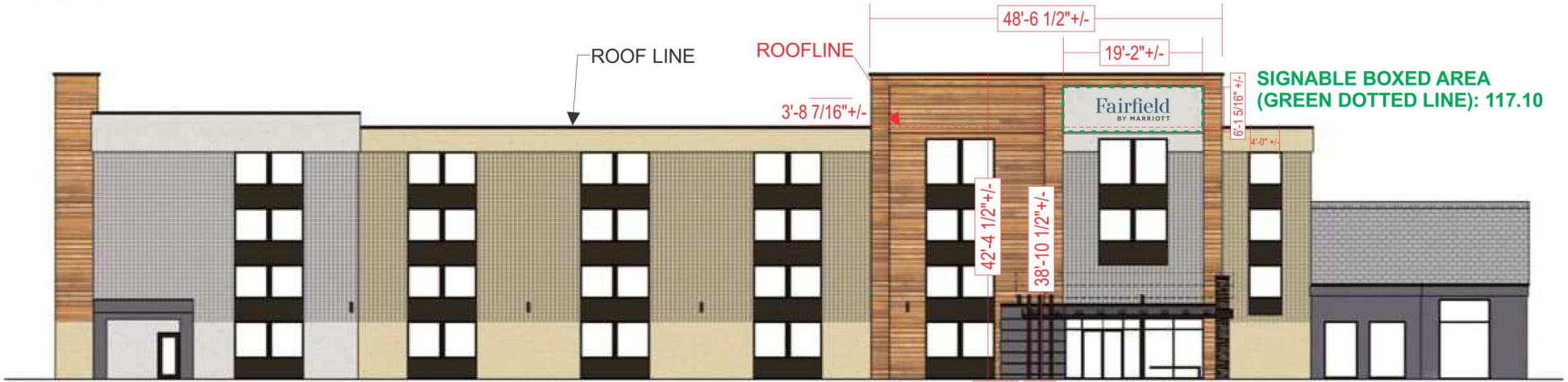
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Customer Approval (Please Initial):  
  
Approval Date:

FRONT ELEVATION

SCALE: 3/64" = 1'-0"



OPTION 1



"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
 "BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
 TOTAL BOXED AREA: 28.83 SQ FT

CHANNEL LETTER DETAIL  
 SCALE: 3/8" = 1'-0"

**TECH SURVEY REQUIRED PRIOR TO PRODUCTION  
 TO CONFIRM EXACT WALL SPACE**



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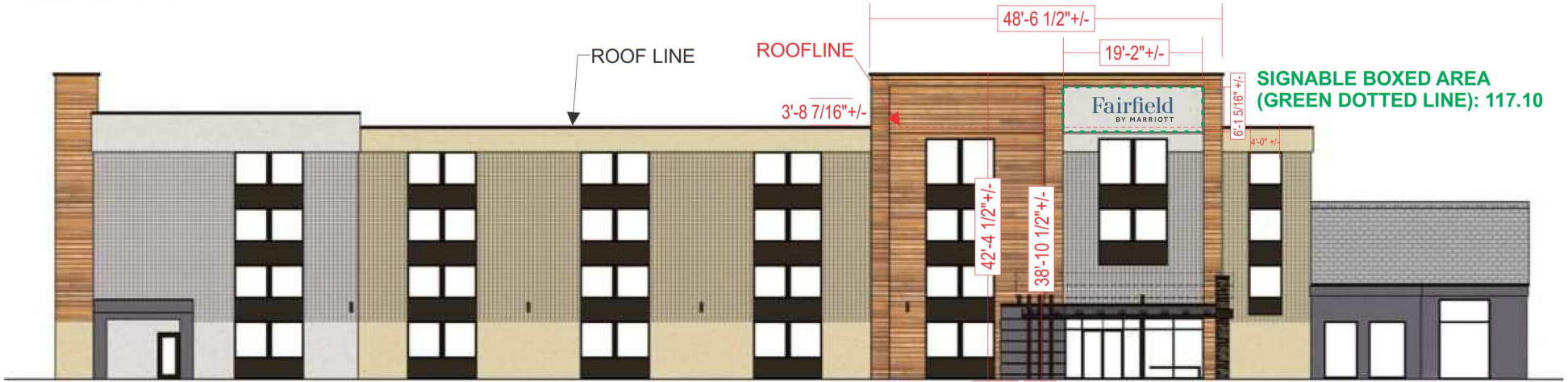
Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45713</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>QP/JR/QP/JR/CM</b>	
File Name: <b>399507 - R9 - MADISON, WI</b>	Date: <b>07/20/23</b>	Revision: <b>9</b>

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Customer Approval (Please Initial):
Approval Date:

FRONT ELEVATION

SCALE: 3/64" = 1'-0"



OPTION 2



CHANNEL LETTER DETAIL

SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
 "BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
 TOTAL BOXED AREA: 35.00 SQ FT

**TECH SURVEY REQUIRED PRIOR TO PRODUCTION  
 TO CONFIRM EXACT WALL SPACE**



Persona Signs, LLC  
 700 21st Street Southwest  
 PO Box 210  
 Watertown, SD 57201-0210  
 1.800.843.9888 · www.personasigns.com

Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45713</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>QP/JR/QP/JR/CM</b>	
File Name: <b>399507 - R9 - MADISON, WI</b>	Date: <b>07/20/23</b>	Revision: <b>9</b>

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 Approval Date:

WEST FACING WALL SIGN  
SIDE ELEVATION  
SCALE: 1/16" = 1'-0"

PROPOSED WALL SIGN



SIGNABLE BOXED AREA (GREEN DOTTED LINE):  
446.05 SQ FT



"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
"BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
TOTAL SIGN BOXED AREA: 64.86 SQ FT

CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

TECH SURVEY REQUIRED PRIOR TO PRODUCTION  
TO CONFIRM EXACT WALL SPACE



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Location: <b>MADISON, WI</b>	Prepared By: <b>QP/JR/QP/JR</b>	
File Name: <b>399507 - R9 - MADISON, WI</b>	Date: <b>07/07/23</b>	Revision: <b>9</b>

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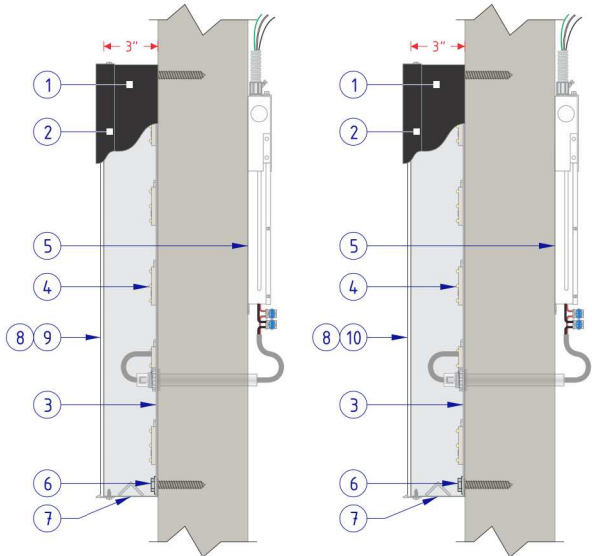


FAIRFIELD REMOTE LED CHANNEL LETTER SPECIFICATIONS - BLUE OPTION	
NO.	PART/DESCRIPTION
1	.040" X 3" PRE-FINISHED BLACK ALUMINUM RETURNS
2	1" BLACK TRIM CAP
3	.063" ALUMINUM BACK
4	GE 7100K WHITE LED'S AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	NON-CORROSIVE MOUNTING HARDWARE AS REQUIRED BY SITE CONDITIONS
7	DRAIN HOLES WITH LIGHT Baffles AS REQUIRED
8	3/16" 2447 WHITE ACRYLIC FACE
9	3M DN00482 BLUE DUAL-COLOR FILM (1ST SURFACE)
10	3M 3635-222 BLACK DUAL-COLOR FILM (1ST SURFACE)

- NOTES:
- CHANNEL LETTER INTERIORS TO BE REFLECTIVE WHITE
  - U.L. LISTED
  - ELECTRICAL: 120 VOLTS / 1.10 AMPS
  - BOXED AREA: 72.05 SQ FT
  - ACTUAL FACE AREA: 17.76 SQ FT

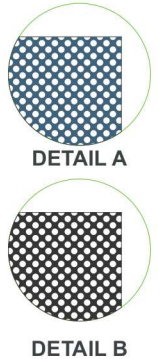


NIGHTTIME ILLUMINATION  
NOT TO SCALE

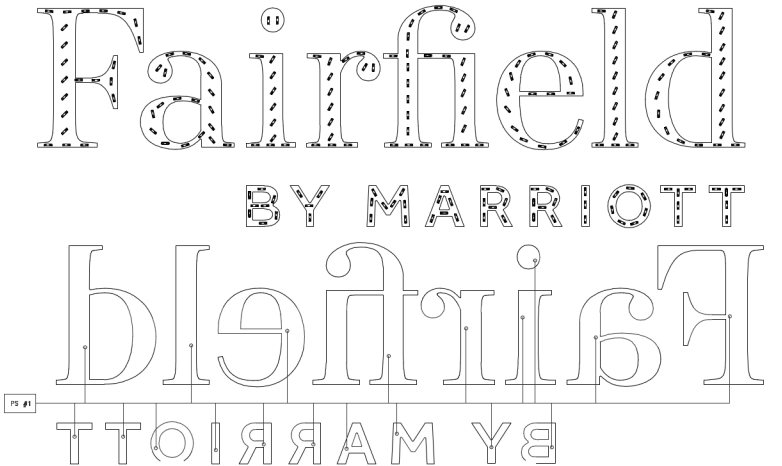


"FAIRFIELD"  
REMOTE LED CHANNEL  
LETTER PROFILE  
NOT TO SCALE

"BY MARRIOTT"  
REMOTE LED CHANNEL  
LETTER PROFILE  
NOT TO SCALE



DETAIL A  
DETAIL B



LED LAYOUT / WIRING DIAGRAM  
NOT TO SCALE

**persona**  
SIGNS | LIGHTING | IMAGE

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Customer: **FAIRFIELD**  
Location: **MADISON, WI**  
File Name: **399507 - R9 - MADISON, WI**

Project No.: **399507**  
Request No.: **45713**  
Prepared By: **CM**  
Date: **03/30/23**  
Revision: **9**

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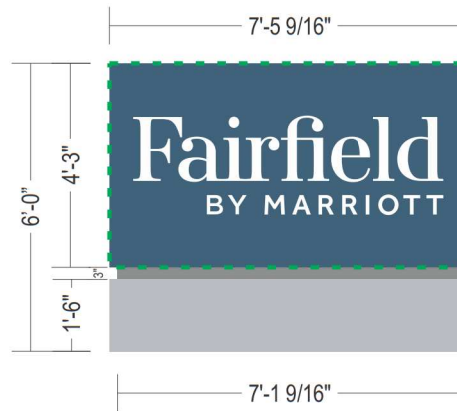


EXISTING  
7'8 3/4" x 6'5 5/8"  
OAH AT 11'0"

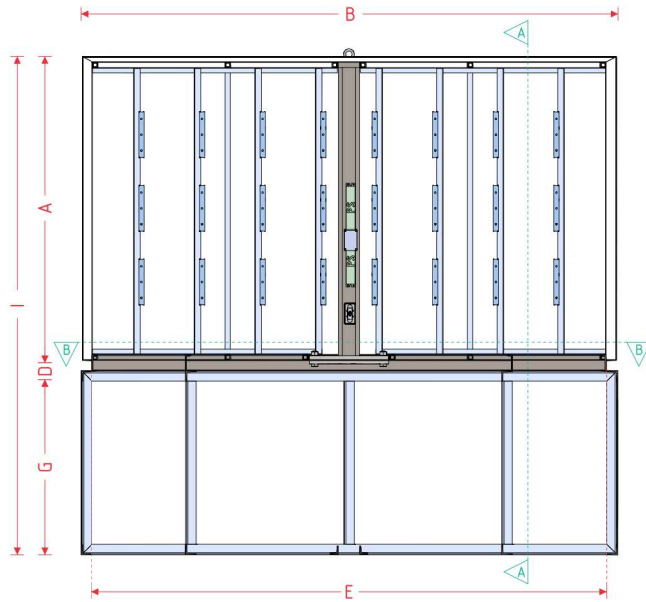
**NOTE: REQUEST TO USE EXISTING POLE FOUNDATION**

PROPOSED

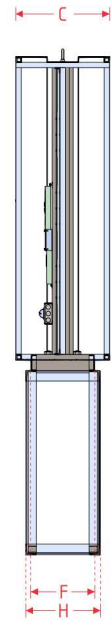
**BOXED AREA: 31.72 SQ FT**



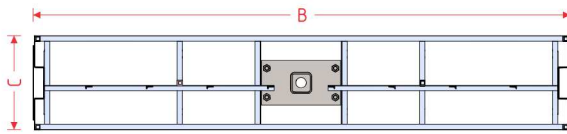
MONUMENT DETAIL  
SCALE: 1/4" = 1'-0"



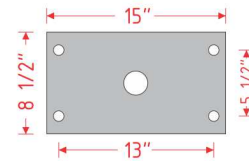
FRAME & LAMP DETAIL  
NOT TO SCALE



CROSS SECTION A-A  
NOT TO SCALE



CROSS SECTION B-B  
NOT TO SCALE

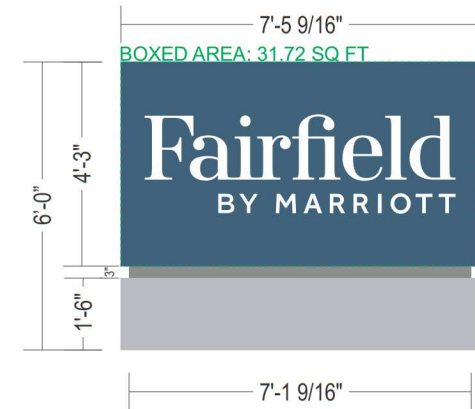


3/4" X 8 1/2" X 15" PLATES  
7/8" HOLES  
3/4" BOLTS  
PLATE ACCEPTS:  
8 1/2" OD PIPE  
8 1/2" SQ TUBE

PLATE DETAIL  
SCALE: 3/4" = 1'-0"

SPECIFICATIONS

- 1" X 1" X 1/8" ALUMINUM TUBE FRAME CONSTRUCTION
- BLEED FACE
- .080" ALUMINUM SKIN
- EXTERIOR FINISH: PAINT PANTONE® 877 C SILVLER, SATIN FINISH
- INTERIOR FINISH: PRIME STEEL COMPONENTS WHITE, MILL FINISH ALUMINUM
- REVEAL FINISH: PAINT PANTONE® 877 C SILVER, SATIN FINISH
- POLE COVER FINISH: PAINT MATTHEWS 41342SP BRUSHED ALUMINUM, SATIN FINISH
- FACES REMOVABLE FOR SERVICE ACCESS
- DISCONNECT SWITCH IN END OF CABINET
- GE 7100K WHITE LED'S AS REQUIRED
- U.L. LISTED
- PLATE/MATCH PLATE INSTALLATION
- .125" ROUNDED ALUMINUM SHOE BOX FACE WITH .118" WHITE SOLAR GRADE POLYCARB ONATE B ACKER PANEL
- FACE FINISH: PAINT PANTONE® 54.05 C BLUE, SATIN FINISH



MONUMENT DETAIL  
SCALE: 1/4" = 1'-0"

FAIRFIELD STANDARD MONUMENT SIGN SIZES											
ITEM NUMBER	CABINET HEIGHT	CABINET LENGTH	CABINET DEPTH	REVEAL HEIGHT	REVEAL LENGTH	REVEAL DEPTH	POLE COVER HEIGHT	POLE COVER DEPTH	OVERALL HEIGHT	ELECTRICAL REQUIREMENTS	BOXED SQUARE FOOTAGE
	A	B	C	D	E	F	G	H	I		
FAI21-4X7DRMONAT06-S	4'-3"	7'-5 9/16"	18"	3"	7'-1 9/16"	1'-0"	1'-6"	1'-2"	6'-0"	(1) 20A/120V CIRCUIT	31.72

# Color Specifications

Design intent is to ensure legibility based on site constraints for sight lines and distances.

New-build design development should include appropriate location and area for sign placement.

Backer board, raceways and wire-ways are not allowed.  
Letters to be flush mount on building.

## Channel Letter Color

Normally the sign letters are colored by day and white by night (dual-color film) when the wall background is light toned. Where the building color is dark toned, white faces by day and night should be used.

Alternate colors and materials should never be substituted on the illuminated channel letters shown in these guidelines.

Ground level monument signage is the main property identifier at street level, locations should be determined based on where the sign can be seen from vehicular traffic and where landscaping can best enhance the monument.

## Paint Finishes:



Matthews MAP-LVS929  
Carbon Black, satin finish  
RAL9004, satin finish



Pantone® 5405 C  
satin finish  
RAL5024, satin finish



Matthews 41342SP  
brushed aluminum, satin finish  
RAL9007, satin finish



Pantone® 877 silver  
satin finish  
RAL9006, satin finish

## Material Finishes:



.118" white solar grade polycarbonate  
3/16" 2447 white acrylic  
3/16" 7328 white acrylic  
3/16" Plaskolite 2406 white acrylic  
1/2" Plaskolite 2406 white acrylic  
4mm opal acrylic Plexiglas XT WN070  
3M Panagraphics III flexible face

## Scotchcal® Films



Pantone® 5405 C Blue  
RAL5024, satin finish



3M 3635-20B Black  
blockout film



Pantone® 5405 C Blue  
dual-color film  
RAL5024, satin finish



3M 3635-222  
dual-color film

## Brand Font

Aa

Chronicle Display Roman

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
1234567890!@#%&'()\*



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Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45713</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>CM</b>	
File Name: <b>399507 - R9 - MADISON, WI</b>	Date: <b>03/30/23</b>	Revision: <b>9</b>

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	Approval Date:

Customer Approval (Please Initial):
Approval Date:



PROPOSED NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 1



CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
 "BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
 TOTAL SIGN BOXED AREA: 64.86 SQ FT



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Approval Date:



PROPOSED NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 2



CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
 "BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
 TOTAL SIGN BOXED AREA: 64.86 SQ FT



PROPOSED NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 3



CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
"BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
TOTAL SIGN BOXED AREA: 64.86 SQ FT

1



PROPOSED NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 4



CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
"BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
TOTAL SIGN BOXED AREA: 64.86 SQ FT



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Customer: <b>FAIRFIELD</b>	Project No.: <b>399507</b>	Request No.: <b>45759</b>
Location: <b>MADISON, WI</b>	Prepared By: <b>CM</b>	
File Name: <b>399507 - R10 - MADISON, WI - NORTH WALL VISABILITY</b>	Date: <b>07/11/23</b>	Revision: <b>10</b>

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Approval Date:





PROPOSED NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 5



CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
 "BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
 TOTAL SIGN BOXED AREA: 64.86 SQ FT



PROPOSED NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 6



CHANNEL LETTER DETAIL  
SCALE: 1/4" = 1'-0"

"FAIRFIELD" BOXED AREA: 47.74 SQ FT  
 "BY MARRIOTT" BOXED AREA: 17.12 SQ FT  
 TOTAL SIGN BOXED AREA: 64.86 SQ FT



CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 1

PER MARRIOTT CORPORATE SIGN SPECIFICATIONS

OPTION 1



CHANNEL LETTER DETAIL

SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
"BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
TOTAL BOXED AREA: 28.83 SQ FT



CODE COMPLIANT NORTH FACING WALL SIGN  
 FRONT ELEVATION - PHOTO 2  
 PER MARRIOTT CORPORATE SIGN SPECIFICATIONS

OPTION 1



CHANNEL LETTER DETAIL  
 SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
 "BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
 TOTAL BOXED AREA: 28.83 SQ FT

1



CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 3

PER MARRIOTT CORPORATE SIGN SPECIFICATIONS

OPTION 1



CHANNEL LETTER DETAIL

SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
"BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
TOTAL BOXED AREA: 28.83 SQ FT



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Customer:  
**FAIRFIELD**

Location:  
**MADISON, WI**

File Name:  
**399507 - R10 - MADISON, WI - NORTH WALL VISABILITY**

Project No.:	Request No.:
<b>399507</b>	<b>45759</b>
Prepared By:	
<b>CM</b>	
Date:	Revision:
<b>07/21/23</b>	<b>10</b>



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CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 4

PER MARRIOTT CORPORATE SIGN SPECIFICATIONS

OPTION 1



CHANNEL LETTER DETAIL

SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
"BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
TOTAL BOXED AREA: 28.83 SQ FT

1



CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 5

PER MARRIOTT CORPORATE SIGN SPECIFICATIONS

OPTION 1



CHANNEL LETTER DETAIL

SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
"BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
TOTAL BOXED AREA: 28.83 SQ FT



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Customer:  
**FAIRFIELD**  
Location:  
**MADISON, WI**  
File Name:  
**399507 - R10 - MADISON, WI - NORTH WALL VISABILITY**

Project No.:  
**399507**  
Request No.:  
**45759**  
Prepared By:  
**CM**  
Date:  
**07/21/23**  
Revision:  
**10**



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Approval Date:

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CODE COMPLIANT NORTH FACING WALL SIGN  
 FRONT ELEVATION - PHOTO 6  
 PER MARRIOTT CORPORATE SIGN SPECIFICATIONS

OPTION 1



CHANNEL LETTER DETAIL  
 SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 21.22 SQ FT  
 "BY MARRIOTT" BOXED AREA: 7.61 SQ FT  
 TOTAL BOXED AREA: 28.83 SQ FT



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Customer:  
**FAIRFIELD**  
 Location:  
**MADISON, WI**  
 File Name:  
**399507 - R10 - MADISON, WI - NORTH WALL VISIBILITY**

Project No.:  
**399507**  
 Request No.:  
**45759**  
 Prepared By:  
**CM**  
 Date:  
**07/21/23**  
 Revision:  
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CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 1

PER MGO CH. 31

OPTION 2



CHANNEL LETTER DETAIL  
SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
"BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
TOTAL BOXED AREA: 35.00 SQ FT

1



CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 2

PER MGO CH. 31

OPTION 2



CHANNEL LETTER DETAIL  
SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
"BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
TOTAL BOXED AREA: 35.00 SQ FT



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Location: **MADISON, WI**  
File Name: **399507 - R10 - MADISON, WI - NORTH WALL VISABILITY**

Project No.: **399507**  
Request No.: **45759**  
Prepared By: **CM**  
Date: **07/21/23**  
Revision: **10**



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CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 3

PER MGO CH. 31

OPTION 2



CHANNEL LETTER DETAIL  
SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
"BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
TOTAL BOXED AREA: 35.00 SQ FT



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Approval Date:



CODE COMPLIANT NORTH FACING WALL SIGN  
 FRONT ELEVATION - PHOTO 4  
 PER MGO CH. 31

OPTION 2



CHANNEL LETTER DETAIL  
 SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
 "BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
 TOTAL BOXED AREA: 35.00 SQ FT

1



CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 5

PER MGO CH. 31

OPTION 2



CHANNEL LETTER DETAIL  
SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
"BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
TOTAL BOXED AREA: 35.00 SQ FT



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Location:  
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File Name:  
**399507 - R10 - MADISON, WI - NORTH WALL VISABILITY**

Project No.:  
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Prepared By:  
**CM**  
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**07/21/23**  
Revision:  
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CODE COMPLIANT NORTH FACING WALL SIGN  
FRONT ELEVATION - PHOTO 6

PER MGO CH. 31

OPTION 2



CHANNEL LETTER DETAIL  
SCALE: 3/8" = 1'-0"

"FAIRFIELD" BOXED AREA: 25.76 SQ FT  
"BY MARRIOTT" BOXED AREA: 9.24 SQ FT  
TOTAL BOXED AREA: 35.00 SQ FT



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Customer:  
**FAIRFIELD**  
Location:  
**MADISON, WI**  
File Name:  
**399507 - R10 - MADISON, WI - NORTH WALL VISABILITY**

Project No.:  
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Request No.:  
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Prepared By:  
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