



City of Madison

Proposed Demolition, Rezoning & Certified Survey Map

Location
6301-6313 Odana Road

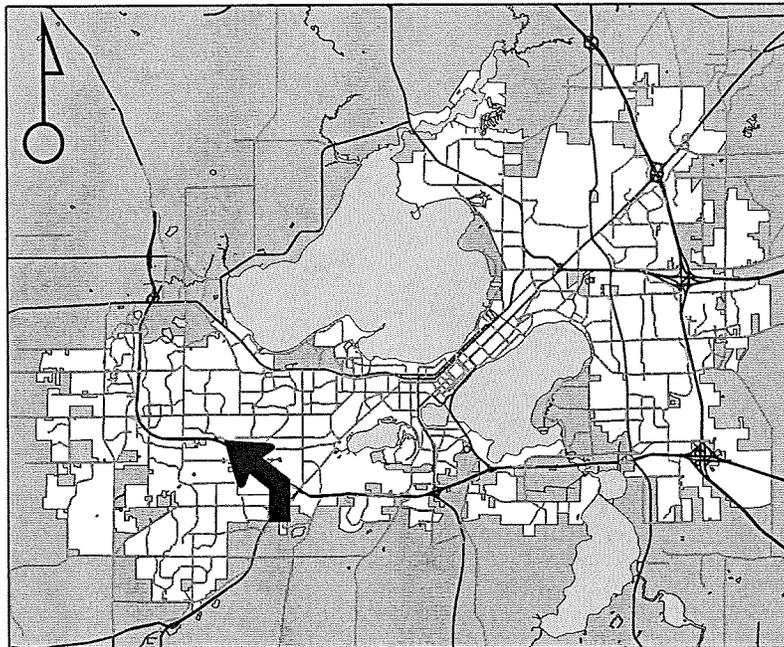
Applicant
Society of St. Vincent de Paul/
Bill Montelbano, Architect

From: SE To: CC

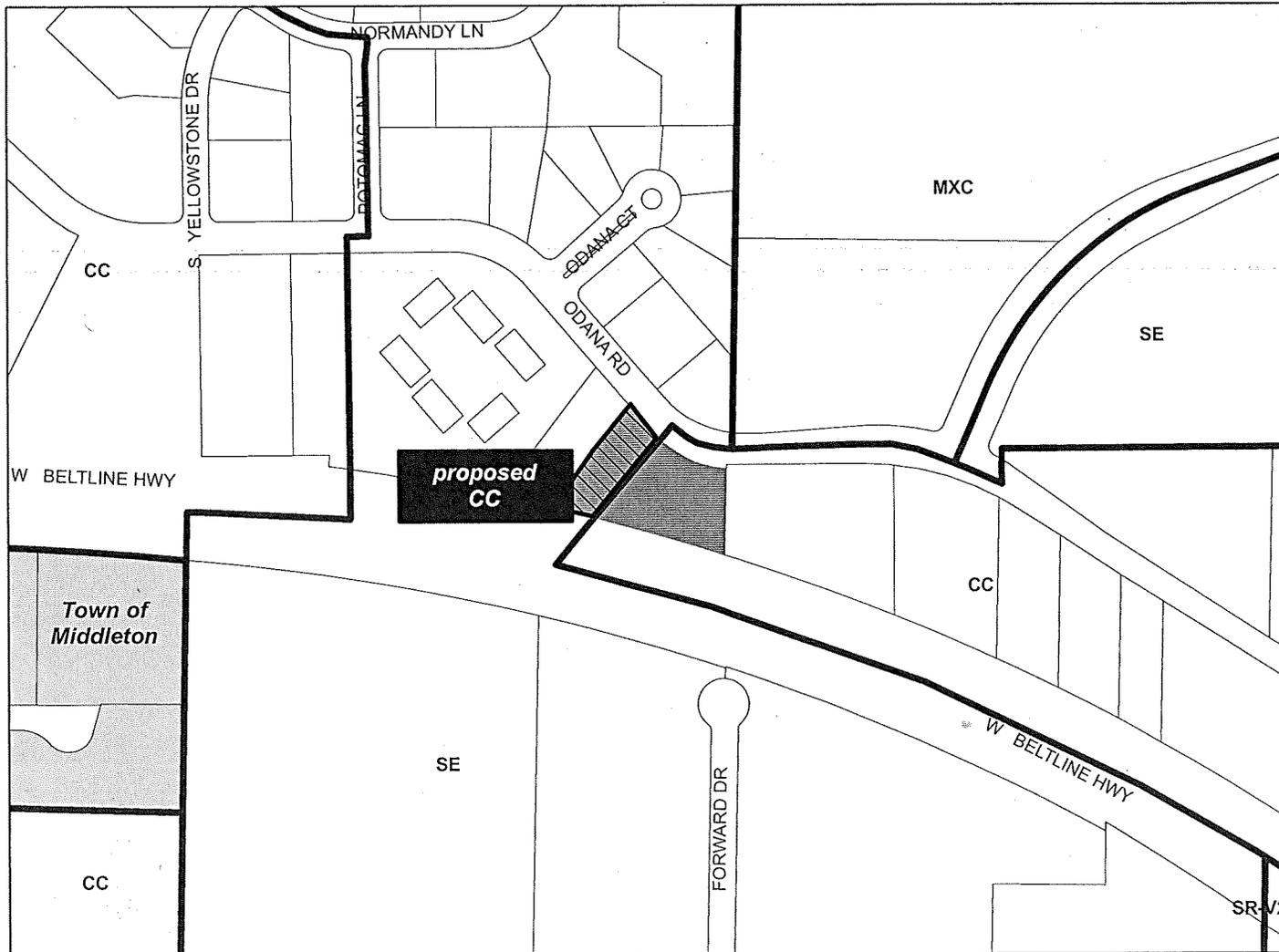
Existing Use
Retail buildings

Proposed Use
Demolish retail building and rezone
6313 Odana Road to allow construction of an
addition to retail building at 6301 Odana Rd;
create 1 lot for retail development and; rem ove
highway setback

Public Hearing Date
Plan Commission
12 May 2014
Common Council
20 May 2014



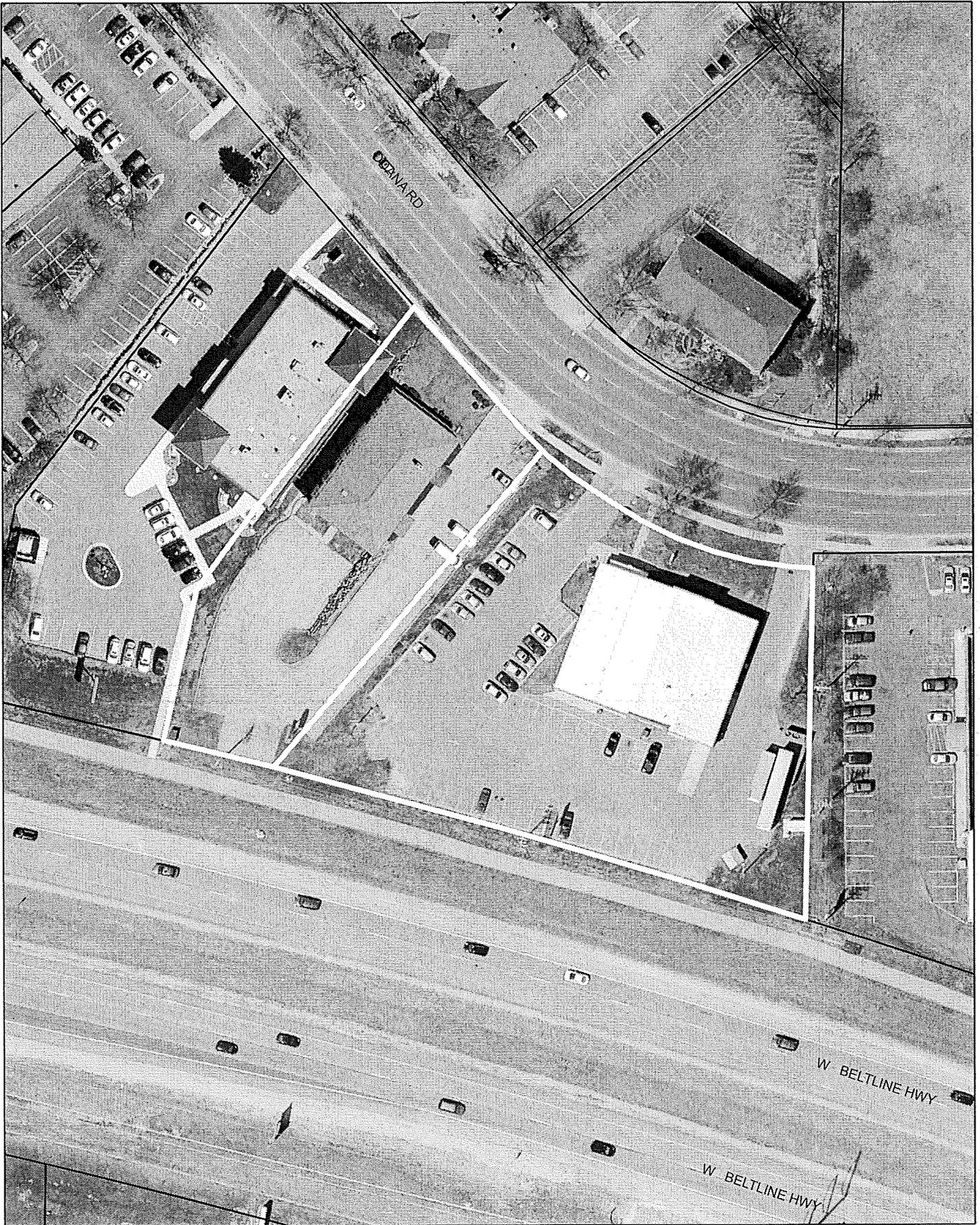
For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 30 April 2014

9-11





LAND USE APPLICATION

CITY OF MADISON

+ \$950 rezone
600 demo
1550

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

& 6313 Odana Rd

FOR OFFICE USE ONLY:

Amt. Paid \$1550 Receipt No. 152097
 Date Received 3/12/14
 Received By JK
 Parcel No. 0708-254-0103-0
 Aldermanic District 19-Mark Clear
 Zoning District SE
 Special Requirements Landscape
 Review Required By: buffer

Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 6301 ODANA ROAD
Project Title (if any): ADDITION TO ST. VINCENT DE PAUL STONE

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from SE to CC
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: BILL MONTELBANO Company: BILL MONTELBANO, ARCHITECT
Street Address: B E. HUDSON ST. City/State: MADISON, WI Zip: 535100
Telephone: 608 725-4540 Fax: () Email: MONTELBA @ YMAIL.COM

Project Contact Person: BILL MONTELBANO Company: _____
Street Address: _____ City/State: _____ Zip: _____
Telephone: () Fax: () Email: _____

Property Owner (if not applicant): SOCIETY OF ST. VINCENT DE PAUL
Street Address: P.O. BOX 259066 City/State: MADISON, WI Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: PURCHASE PARCEL TO WEST AT 6313 ODANA RD, RAZE EXISTING BLDG FOR PARKING FOR 6301 BLDG. ADDITION.
Development Schedule: Commencement JUNE 2014 Completion OCTOBER 2014

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the Urban Design Commission, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: City Treasurer.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

SEE ATTACHMENT FOR ADOPTED WAIVER

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: D.A.T. Team Date: 2.20 Zoning Staff: MARY TUCKER Date: 2.20

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant BILL MONTELEONE Relationship to Property: ARCHITECT

Authorizing Signature of Property Owner Mary Hammond Date 3-12-14

LETTER OF INTENT

The Society of Saint Vincent de Paul is the contract Owner of 6313 Odana Road and is making application to rezone 6313 Odana Road (described as Lot 2 of CSM 1578) from SE to CC zoning and to make application to obtain a Permit for Demolition to all existing improvements currently located on 6313 Odana Road. The existing improvements at 6313 Odana Road are a two story wood frame with a partial basement that is currently used as a retail sales (Leather Furniture) and office building.

The purpose of acquiring 6313 Odana Road is to expand the current Saint Vincent de Paul (SVDP) retail store located at 6301 Odana Road (described as Lots 3 & 4 of CSM 1578). The current SVDP retail location is currently zoned CC and is immediately east and adjoins the 6313 Odana Road property.

The addition of the 6313 Odana Road property containing 28,750 sf, will allow the existing SVDP retail facility to expand by 11,276 sf from 7,873 sf to 19, 149 sf with a total of 64 parking stalls and a Bio-Retention system of 2,200 sf. The sales floor will increase by 150% from 5,860 sf to 14,605 sf. Additional features of the building expansion are the construction of a semi-truck loading dock, and enclosed Donation unloading/customer loading area, along with a store room of 1,100 sf connecting the semi-dock and the Donation unloading /customer loading area.

Project Team

Owner:

Society of Saint Vincent de Paul
PO Box 259686
Madison, WI
Gary Hammond
gary@svdpmadison.org
608-278-2920

Architect:

Bill Montelbano
8 East Hudson Street
Mazomanie, WI 53560
608-795-4540
montelba@gmail.com

Contractor:

Joe Daniels Construction Company
919 Applegate Road
Madison, WI
Joe Trainor
jtrainor@danielsco.com

608-271-4800

Engineer-Civil:

Quam Engineering, LLC
4804 Sigglekow Road
McFarland, WI 53558
608-838-7750
Aaron Falkosky
afalkosky@quamengineering.com

Surveyor:

Williamson Surveying
104-A West Main Street
Waunakee, WI
Chris Adams:
chris@williamsonsurveying.com
608-255-5705

Landscape:

A.L. Landscape
6602 Grand Teton Plaza, Suite 100A,
Madison, WI.
608-836-7852
Jack Ronne,
jacksdesign@tds.net

Existing Conditions

The existing improvements/conditions are that SVDP has outgrown its 7,873 sf single story metal frame building and desires to improve its operating efficiency with the addition of a truck dock and Donation unloading/Customer loading area. The exterior of the existing building is nearing the end of its useful life and is to be replaced with a variety of metal panel surfaces. The parking lot is going to be replaced with emphasis on a new customer entrance located at the northwest corner of the expanded facility.

Schedule

Demolition and new construction is scheduled to begin June 1, 2014. The facility is projected to operate during the expansion project, with a scheduled completion of October 2014

Proposed Uses

There is no change of use proposed. SVDP will continue retail sales and collection of donations at the combined site. Retail sales of leather furniture (currently conducted on 6313 Odana Road) will be discontinued on or about July 31, 2014.

Hours of Operation

Monday-Saturday 9:00 am to 9:00 pm
Sunday 11:00 am to 6:00 pm

Building Size and Parking Statistics

Retail sales floor area is increasing from 5,860 sf to 14,605 sf. The size of the building is increasing from 7,873 sf to 19,149 sf with a total of 64 parking spaces including 4 handicapped stalls. 9 bicycle-parking places are proposed.

Lot Coverage

Lot Size:	81,022 sf
Building:	19,149sf
Bio Retention	2,200 sf
Parking/walks	37,125 sf
Open Space	22,548 sf

Value of Land

Land to be acquired \$350,000.00

Estimate of Project Cost

\$850,000.00

Employment

Number of Construction Jobs
22 full time equivalent positions

Number of Full Time equivalent positions
15 Full Time

Public Subsidy

None.

11-9



11-5

LEATHER FURNITURE
Place



11-5

The
Leather
Furniture
Place

FURNIT
Place

Floor Sample
SALE

Symbol
Mattress
MATTRESS
SALE



11-9



The LEATHER FURNITURE Place

6313

Floor Sam's
SALE

Symbol
Mattress
MATTRESS
SALE

Floor Sam's
SALE

Symbol
Mattress
MATTRESS
SALE

Symbol Mattress
MATTRESS SALE

CLEARANCE
CLEARANCE
CLEARANCE

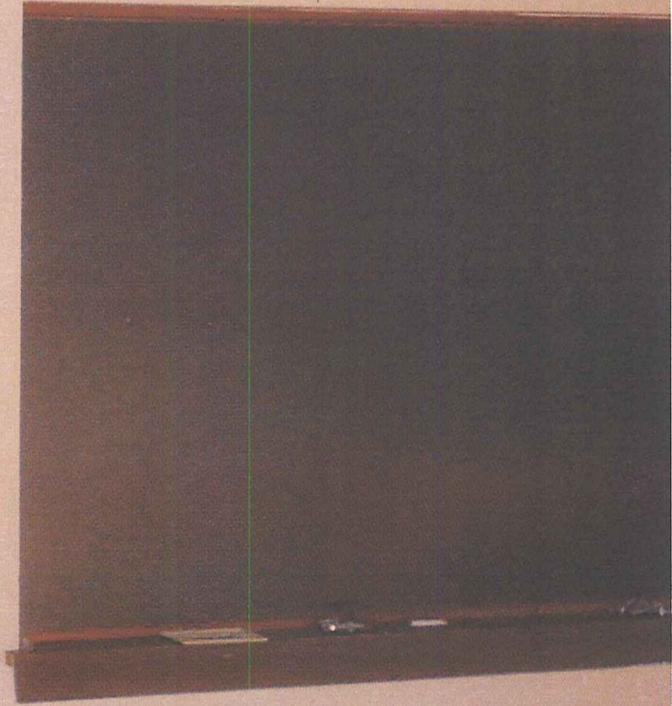
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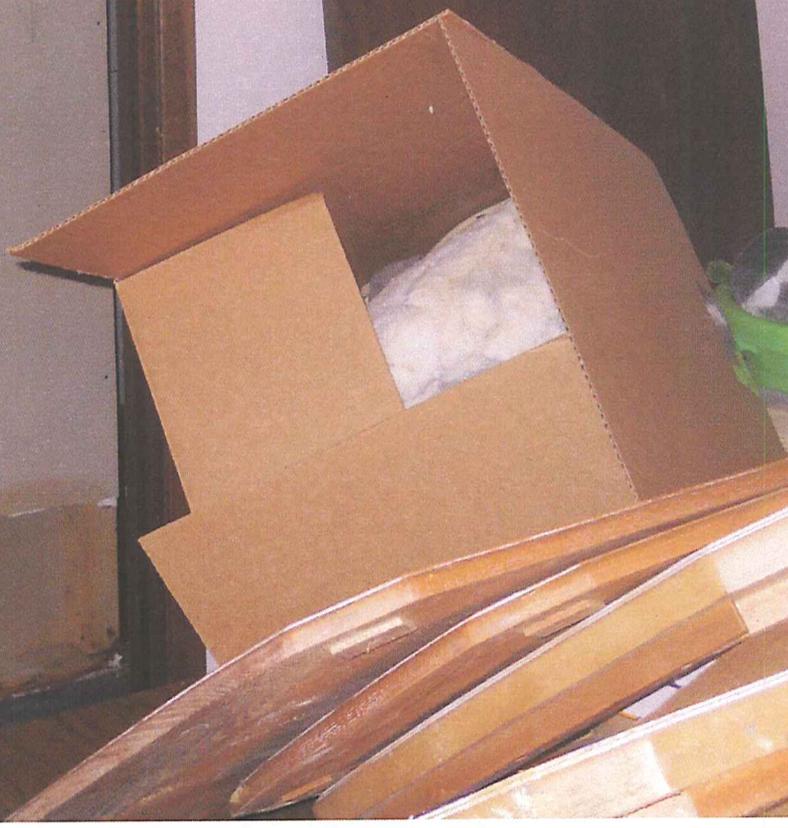
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11-5



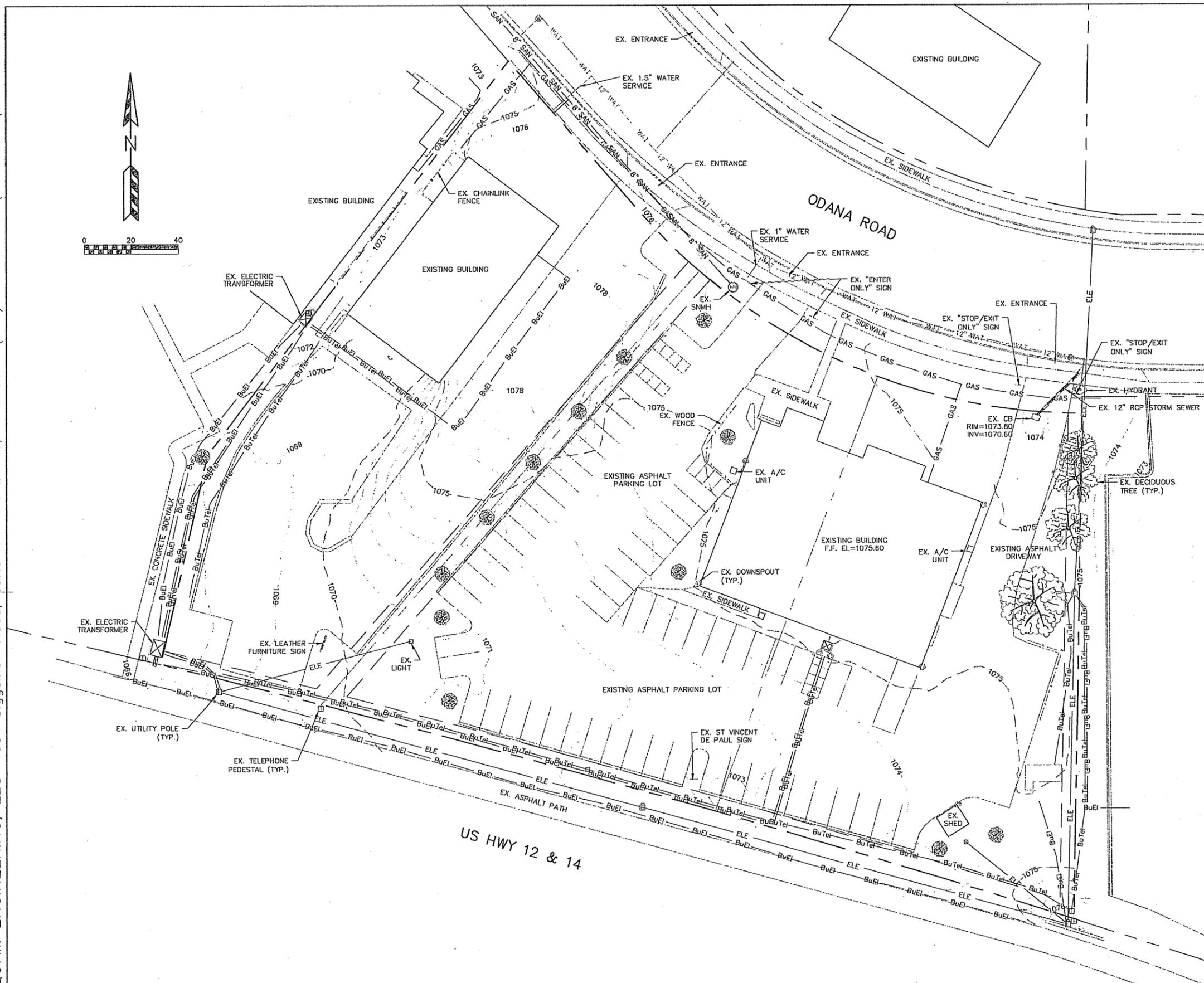
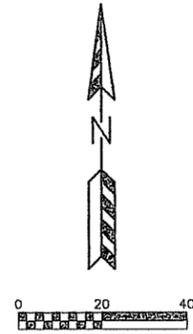
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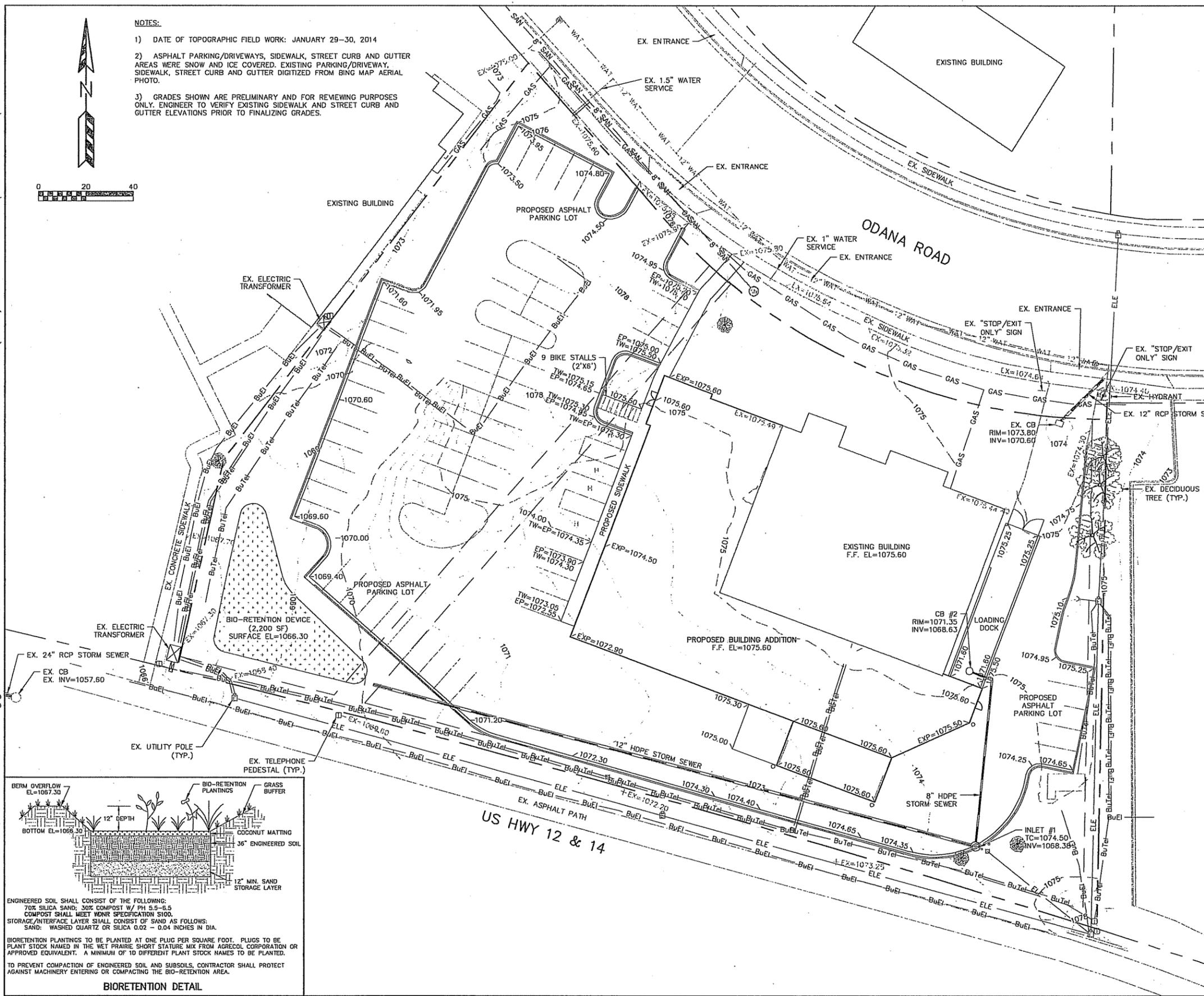
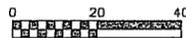
- NOTES:
- 1) DATE OF TOPOGRAPHIC FIELD WORK: JANUARY 29-30, 2014
 - 2) ASPHALT PARKING/DRIVEWAYS, SIDEWALK, STREET CURB AND GUTTER AREAS WERE SNOW AND ICE COVERED. EXISTING PARKING/DRIVEWAY, SIDEWALK, STREET CURB AND GUTTER EDGES DIGITIZED FROM BING MAP AERIAL PHOTO.

ST VINCENT DE PAUL BUILDING & PARKING ADDN
 PRELIMINARY EXISTING SITE PLAN
 PAGE: 1 OF 3
 DATED: MARCH 3, 2014

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

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- 3) GRADES SHOWN ARE PRELIMINARY AND FOR REVIEWING PURPOSES ONLY. ENGINEER TO VERIFY EXISTING SIDEWALK AND STREET CURB AND GUTTER ELEVATIONS PRIOR TO FINALIZING GRADES.

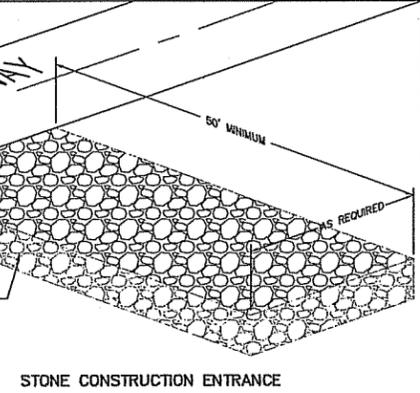
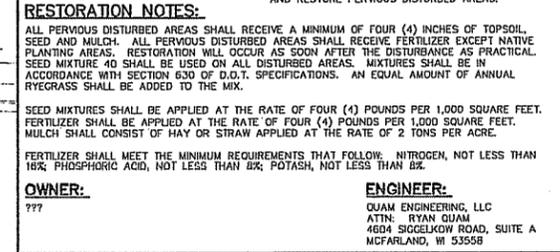


EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:
 ??? INSTALL INITIAL EROSION CONTROL DEVICES.
 ??? CONSTRUCT BUILDING & PARKING LOT ADDITIONS AND RESTORE PVIOUSLY DISTURBED AREAS.

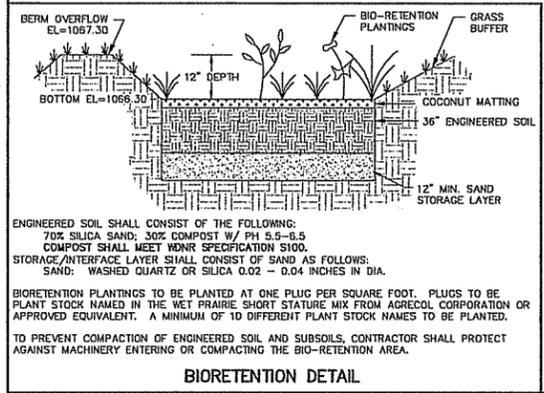
RESTORATION NOTES:
 ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 3%; POTASH, NOT LESS THAN 8%.

OWNER:
 ???
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



STONE CONSTRUCTION ENTRANCE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2288
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



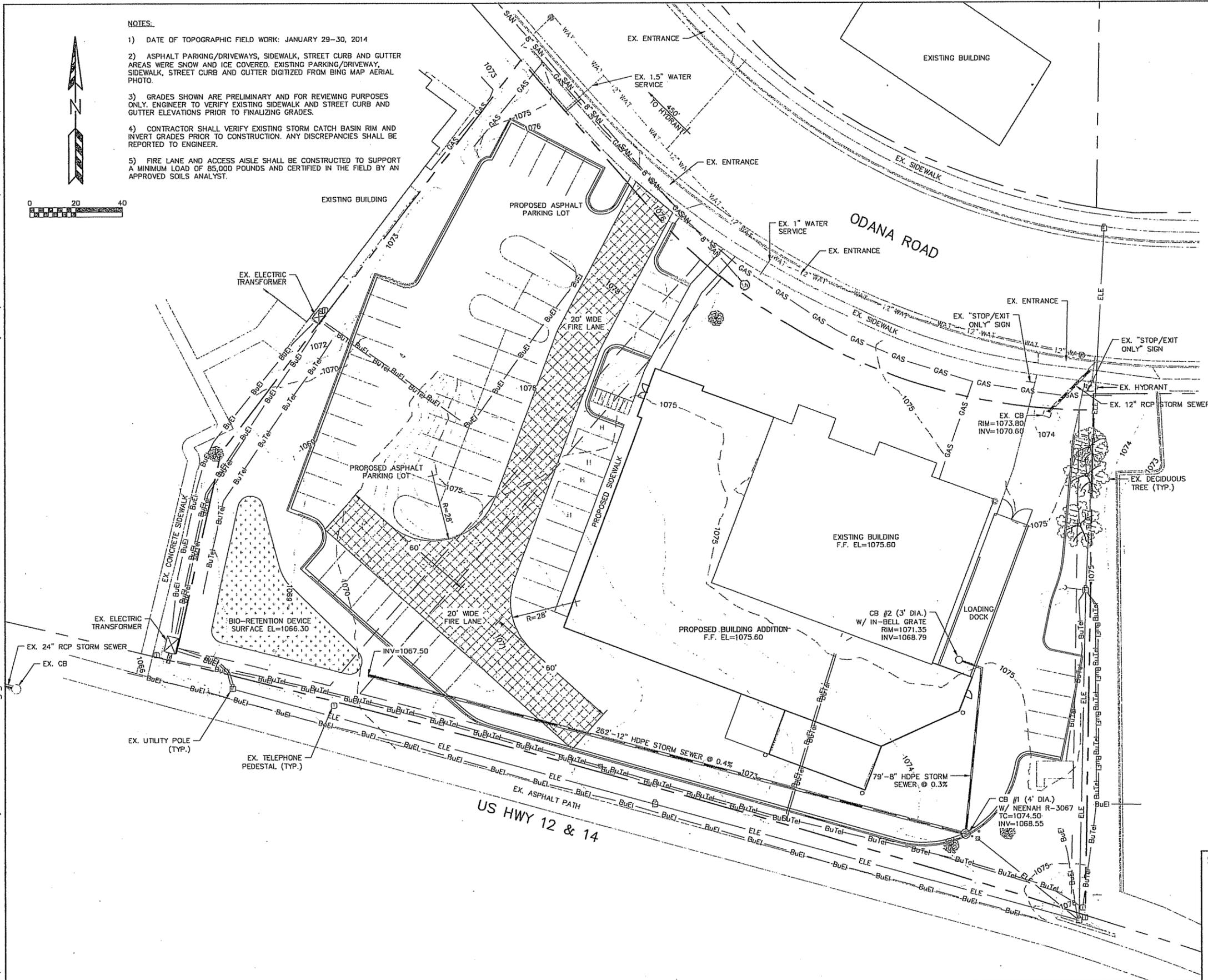
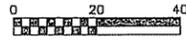
SILT FENCE CONSTRUCTION (SHEET FLOW)

ST VINCENT DE PAUL BUILDING & PARKING ADDN
 PRELIMINARY GRADING AND EROSION CONTROL PLAN
 PAGE: 2 OF 3
 DATED: MARCH 5, 2014

QUAM ENGINEERING, LLC
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 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
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NOTES:

- 1) DATE OF TOPOGRAPHIC FIELD WORK: JANUARY 29-30, 2014
- 2) ASPHALT PARKING/DRIVEWAYS, SIDEWALK, STREET CURB AND GUTTER AREAS WERE SNOW AND ICE COVERED. EXISTING PARKING/DRIVEWAY, SIDEWALK, STREET CURB AND GUTTER DIGITIZED FROM BING MAP AERIAL PHOTO.
- 3) GRADES SHOWN ARE PRELIMINARY AND FOR REVIEWING PURPOSES ONLY. ENGINEER TO VERIFY EXISTING SIDEWALK AND STREET CURB AND GUTTER ELEVATIONS PRIOR TO FINALIZING GRADES.
- 4) CONTRACTOR SHALL VERIFY EXISTING STORM CATCH BASIN RIM AND INVERT GRADES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.
- 5) FIRE LANE AND ACCESS AISLE SHALL BE CONSTRUCTED TO SUPPORT A MINIMUM LOAD OF 85,000 POUNDS AND CERTIFIED IN THE FIELD BY AN APPROVED SOILS ANALYST.




 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD (FOR THE HEARING IMPAIRED) (800) 542-2289
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ST VINCENT DE PAUL BUILDING & PARKING ADDN
 PRELIMINARY UTILITY AND FIRE LANE PLAN
 PAGE: 3 OF 3
 DATED: MARCH 5, 2014

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2 EXISTING HONEYLOCUSTS, 3" DIAMETER
3 SPRUCE, BLACK HILLS, 6' BB

37 EXISTING ASSORTED SHRUBS, 3-5' TALL

HONEYLOCUST, SKYLINE, 2.5' BB

2 OAK, SWAMP WHITE, 2.5' BB

BIO RETENTION AREA EXTENT (2200 SF)

BIO RETENTION PLANTINGS (SEE PLANT SCHEDULE FOR VARIETIES)

6 DOGWOOD, ALLEMANS COMPACT, 5 GAL

COFFEETREE, KENTUCKY ESPRESSO, 2.5' BB

3"-6" COBBLESTONE DRAINAGE SWALE AT CURB OPENINGS 4 FT. WIDE (1'-0")

EXISTING TREE

2 MAPLE, SIENNA GLEN, 2.5' BB

OAK, SWAMP WHITE, 2.5' BB

3 SPIREA, NEON FLASH, 3 GAL

CRAB, PRAIRIE FIRE, 1.5' BB

9 DAYLILY, STELLA DE ORO, GAL

LILAC, MISS KIM, 5 GAL

7 SUMAC, GRO-LOW, 5 GAL

5 HOSTA, PATRIOT, GAL

5 YEW, TAUNTON, 1.5' BB

5 BOXWOOD, CHICAGOLAND GREEN, 5 GAL

5 FERN, LADY, GAL

DECORATIVE BOULDER

4 ASTILBE, MONTGOMERY, GAL

2 VIBURNUM, ARROWWOOD, 4' BB

5 HOSTA, BLUE ANGEL, GAL

EXISTING CHERRY TREE, 1.8"

3 EXISTING CRAB TREES, 1.8" TALL

5 GRASS, PRAIRIE DROPSIED, GAL

6 SALVIA, MAY NIGHT, GAL

HONEYLOCUST, SKYLINE, 2.5' BB

2 COFFEETREE, KENTUCKY ESPRESSO, 2.5' BB

MAPLE, SIENNA GLEN, 2.5' BB

5 LILAC, MISS KIM, 5 GAL

1/2 SALVIA, MAY NIGHT, GAL

3 JUNIPER, KALLEY, 5 GAL

CRAB, PRAIRIE FIRE, 1.5' BB

6 GRASS, PRAIRIE DROPSIED, GAL

EXISTING ASH TREE, 24" DIAMETER

10 CONEFLOWER, PIXIE MEADOWBRIDE, GAL

MAPLE, SIENNA GLEN, 2.5' BB

TOTAL DEVELOPED AREA: 40220 SQUARE FEET
TOTAL LANDSCAPING POINTS REQUIRED FOR DEVELOPED SQUARE FOOTAGE: 670 POINTS

NOTES:
-ALL NEW AND DISTURBED LAWN AREAS TO BE SEED AND MULCH
-ALL PLANTING BED AREAS, TREE RINGS, AND BIO RETENTION AREA TO BE BARK MULCHED. PRE-EMERGENT WEED CONTROL WITH A SHOVEL CUT NATURAL EDGE

LANDSCAPING PLAN

Quantity	Common Name	Latin Name	Size	Root Condition	Points Per Plant	Point Sub Total
Existing 1	Cherry Tree		15'	N/A	200	200
Existing 3	Crab Tree		6"	N/A	112	336
Existing 1	Ash Tree		22"	N/A	200	200
Existing 1	Honey Locust		5"	N/A	42	42
Existing 37	Medium Assorted Shrubs		3'-5'	N/A	3	111
New 2	Swamp White Oak	Quercus bicolor	2.5'	BB	35	70
New 4	Sienna Glen Maple	Acer x fraxinoides 'Sienna Glen'	2.5'	BB	35	140
New 2	Kentucky Coffeetree 'Espresso'	Gymnocladia dioica 'Espresso'	2.5'	BB	35	70
New 2	Thornless Honeylocust 'Skyline'	Gleditsia triacanthos f. inermis	2.5'	BB	35	70
New 2	Kelly Compact Juniper	Juniperus x media 'Kelly Compact'	1.5'	BB	4	8
New 2	Black Hills Spruce	Picea nigra var. densata	6"	BB	35	70
New 2	Arrowwood Viburnum	Viburnum dentatum	4'	BB	3	6
New 6	Miss Kim Yew	Syringa patula 'Miss Kim'	5.5 Ga	Pot	3	18
New 6	Boxwood, Chicagoland Green	Buxus x 'Chicagoland Green'	3.5 Ga	Pot	3	18
New 7	Gro-Low Sumac	Rhus glabra 'Gro-Low'	5.5 Ga	Pot	3	21
New 5	Yew, Taunton	Taxus x media 'taunton'	1.5'	BB	4	20
New 5	Blue Angel Hosta	Hosta 'Blue Angel'	1.5 Ga	Pot	2	10
New 4	Montgomery Astilbe	Astilbe japonica 'Montgomery'	1.5 Ga	Pot	2	8
New 5	Lady Fern	Adiantum liliifolium	1.5 Ga	Pot	2	10
New 5	Patriot Hosta	Hosta 'Patriot'	1.5 Ga	Pot	2	10
New 6	Stella De O'c Daylily	Hemerocallis 'Stella De O'c'	1.5 Ga	Pot	2	12
New 3	Neon Flash Spirea	Spiraea japonica 'Neon Flash'	3.5 Ga	Pot	3	9
New 2	Prairie Fire Crab	Malva x 'Prairie Fire'	1.5'	BB	35	70
New 6	Allema's Compact Dogwood	Cornus sericea 'Allema's Compact'	5.5 Ga	Pot	3	18
New 6	Hydrangea, Annabelle	Hydrangea arborescens 'Annabelle'	5.5 Ga	Pot	3	18
New 11	Prairie Dropsied Grass	Sporobolus heterostachyus	1.5 Ga	Pot	2	22
New 10	May Night Salvia	Salvia x sylvestris 'May Night'	1.5 Ga	Pot	2	20
New 10	Pixel Meadowbrite Coneflower	Echinacea 'Pixel Meadowbrite'	1.5 Ga	Pot	2	20
New 08	New Eng. Aster (Bio Ret. Area)	Symphyotrichum novae-angliae	2.5" Cent	Pot	N/A	N/A
New 08	Golden Alexander (Bio Ret. Area)	Zizia aurea	2.5" Cent	Pot	N/A	N/A
New 08	Joe Pye Weed (Bio Ret. Area)	Eupatorium maculatum	3.5" Cent	Pot	N/A	N/A
New 08	Snowflake (Bio Ret. Area)	Halepium sibiricum	2.5" Cent	Pot	N/A	N/A
New 08	Blue Flag Iris (Bio Ret. Area)	Iris versicolor	2.5" Cent	Pot	N/A	N/A
Total Points For Plant Schedule						1,337



THIS PLAN IS THE PROPERTY OF ALL LTD. LANDSCAPING. ANY USE OF THIS PLAN WITHOUT WRITTEN APPROVAL CONSTITUTES A PLAN VIOLATION SUBJECT TO A DESIGN FEE.

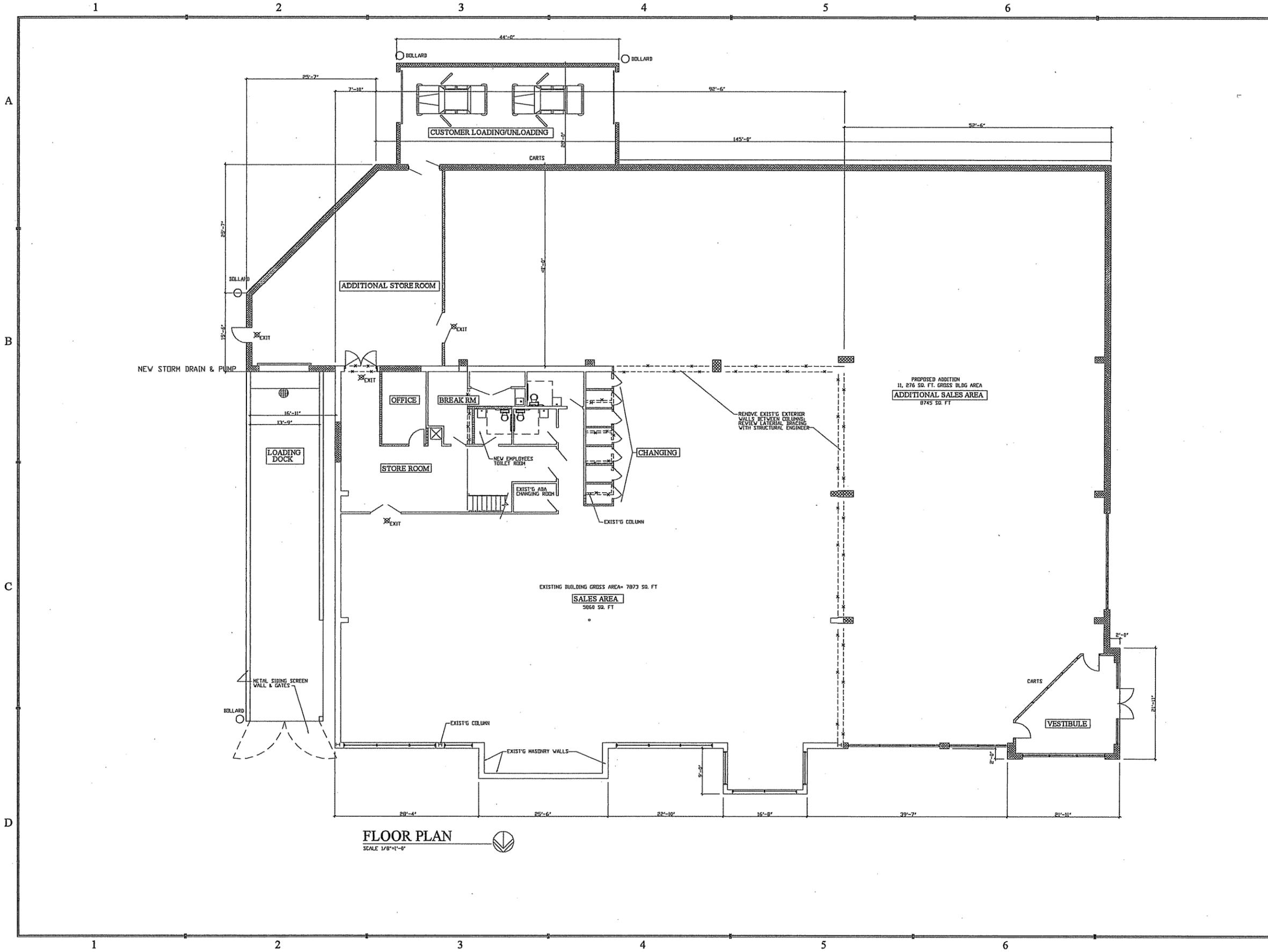


St Vincent De Paul Building Addition
6301 Odana Rd
Madison WI

Scale: 1" = 20'-0"
Designed By: Jack Ronne ASLA

Date: 2-17-2014
Revised: 3-3-2014





FLOOR PLAN
SCALE 1/8"=1'-0"

BILL MONTELBANO ARCHITECT AIA
ARCHITECTURE INTERIORS PLANNING ENGINEERING
1 EAST WISCONSIN ST. BOX 100 MADISON WI 53703
608.261.0400 FAX 608.261.1800

DANIELS
General Contractors
719 Appleton Road
Madison WI 53704
608-271-1800

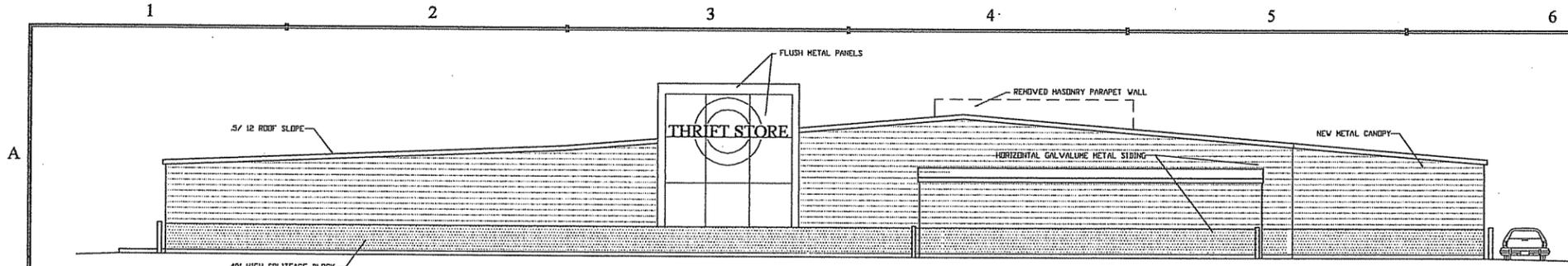
Building Addition
St Vincent de Paul, 6301 Odana Road, Madison, WI.

COMM. NO. 2013-30

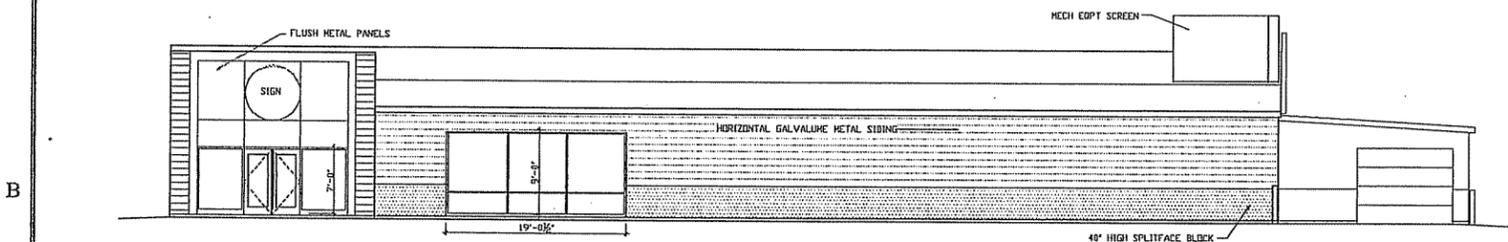
ISSUED FOR REVIEW

ISSUED 3-11-2014

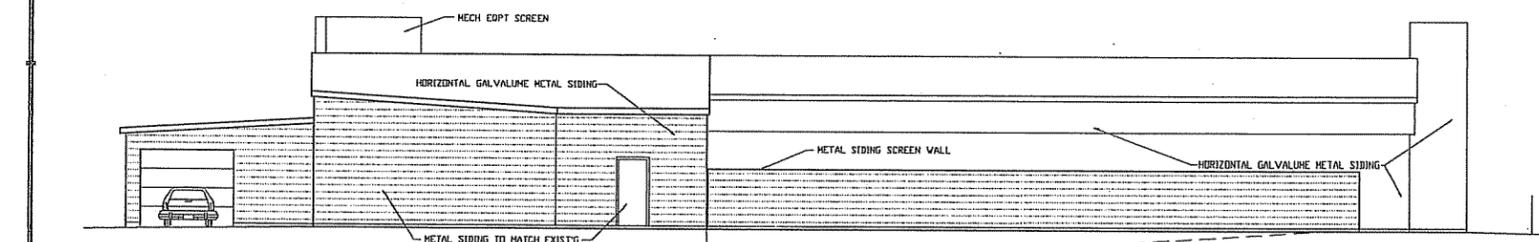
A1



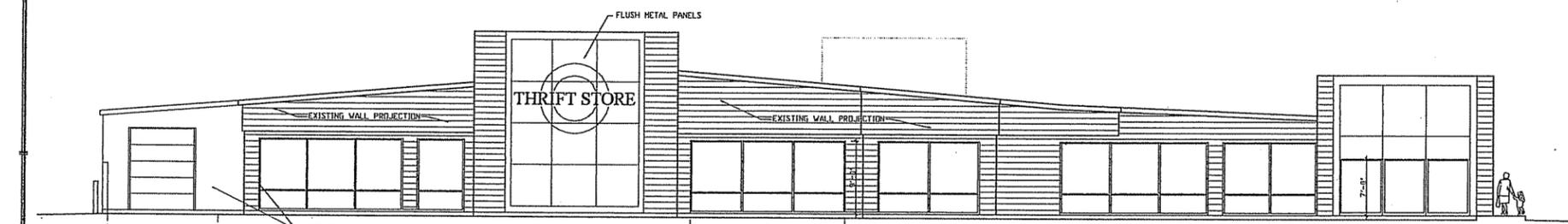
SOUTH ELEVATION SCALE: 1/8"=1'-0"



WEST ELEVATION SCALE: 1/8"=1'-0"
283 SQ. FT. GLASS SHOWN



EAST ELEVATION SCALE: 1/8"=1'-0"



NORTH ELEVATION SCALE: 1/8"=1'-0"
FACADE 2527 SQUARE FEET X 4= 1011 SQ. FT. REQUIRED, -879 SQ. FT. SHOWN PLUS 283 SQ. FT. @ WEST ELEV. = 1162 SQ. FT.

BILL MONTELBANO ARCHITECT AIA
ARCHITECTURE INTERIORS PLANNING ENGINEERING
8 EAST BROADWAY PO BOX 123 MADISON WI 53702
608-771-1010 FAX 608-771-1800

DANIELS
General Contractors
919 Applegate Road
Madison, Wisconsin
608-271-1800

Building Addition
St Vincent de Paul, 6301 Odana Road, Madison, WI.

COMM. NO.	2013-30
ISSUED FOR	REVIEW
ISSUED	3-11-2014

A2