



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>9-21-2016</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>10-05-2016</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 223 AND 219 West Gilman Street
Project Title (if any): Chabad House Addition and Renovation

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Rabbi Menachem Mendel Matusof Company: Chabad Lubavitch, Inc
 Street Address: 223 West Gilman Street City/State: Madison, WI Zip: 53703
 Telephone: (608) 257-1757 Fax: (608) 231-3790 Email: rabbimendel@jewishwvmadison.com

Project Contact Person: Hamid Noughani Company: Assemblage Architects
 Street Address: 7427 Elmwood Avenue City/State: Middleton, WI Zip: 53597
 Telephone: (608) 827-5047 Fax: (608) 827-6960 Email: noughani@assemblagearchitects.com

Project Owner (if not applicant) : _____
 Street Address: _____ City/State: _____ Zip: _____
 Telephone: (____) _____ Fax: (____) _____ Email: _____

4. Applicant Declarations:

- A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on Sept. 9, 2015.
(name of staff person) (date of meeting)
- B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Rabbi Menachem Mendel Matusof Relationship to Property Owner
 Authorized Signature  Date 09-21-2016

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- A2.2 SOUTH ELEVATION
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- C-3.0 DEMOLITION PLAN
- C-4.0 CIVIL SITE PLAN
- C-5.0 UTILITY PLAN
- C-6.0 GRADING PLAN
- C-7.0 LANDSCAPE PLAN

- SITE LIGHTING PLAN, FIXTURE CUT SHEETS
- BIKE RACK CUT SHEET
- McNICHOLS GREEN SCREEN CUT SHEET



CHABAD HOUSE of Madison

assemblage ARCHITECTS

7433 Elmwood Avenue
Middleton, WI 53562
608.827.5047

09-21-16

STREET VIEW A.1
223 West Gilman Street



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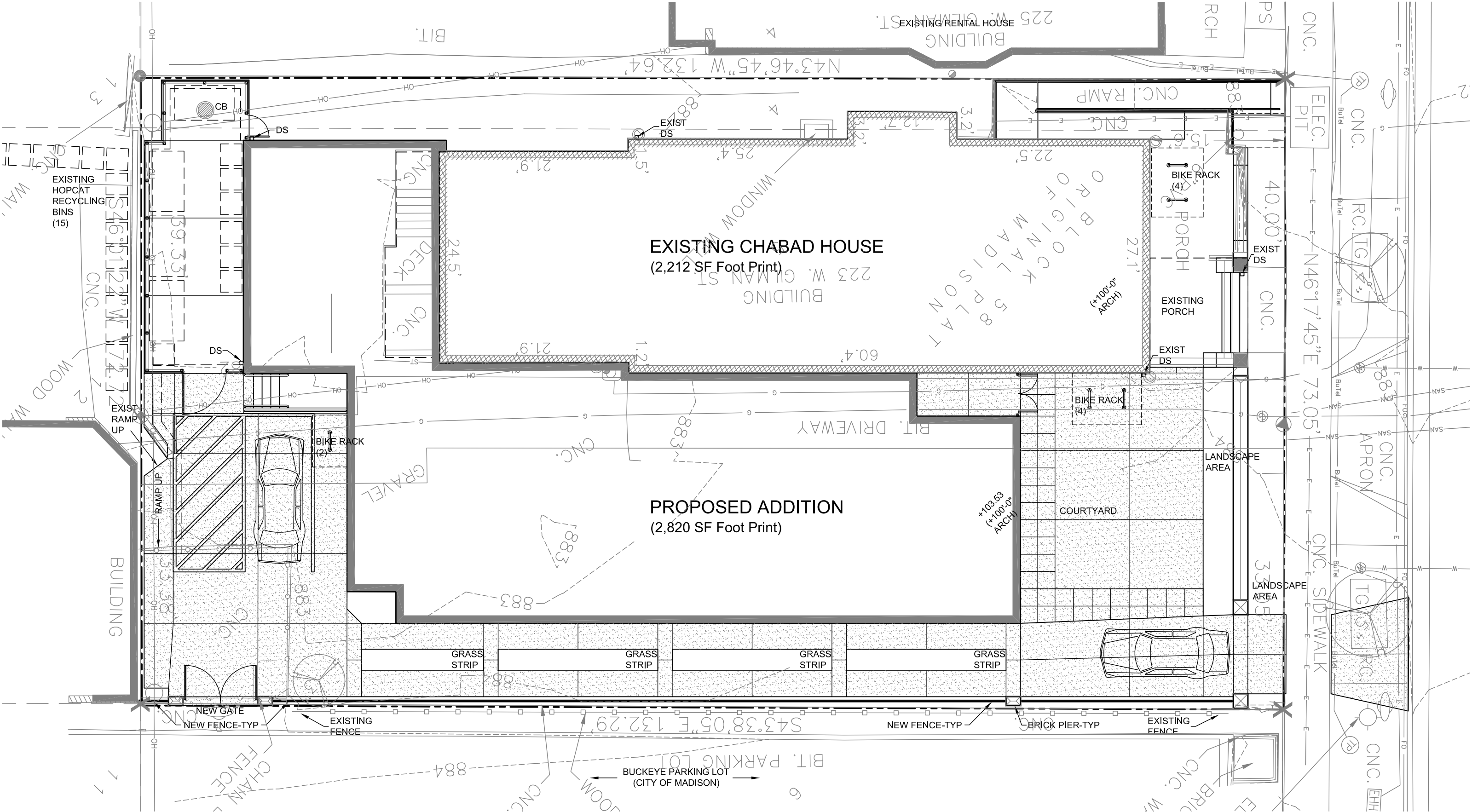
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CONTEXTUAL PLAN

NTS





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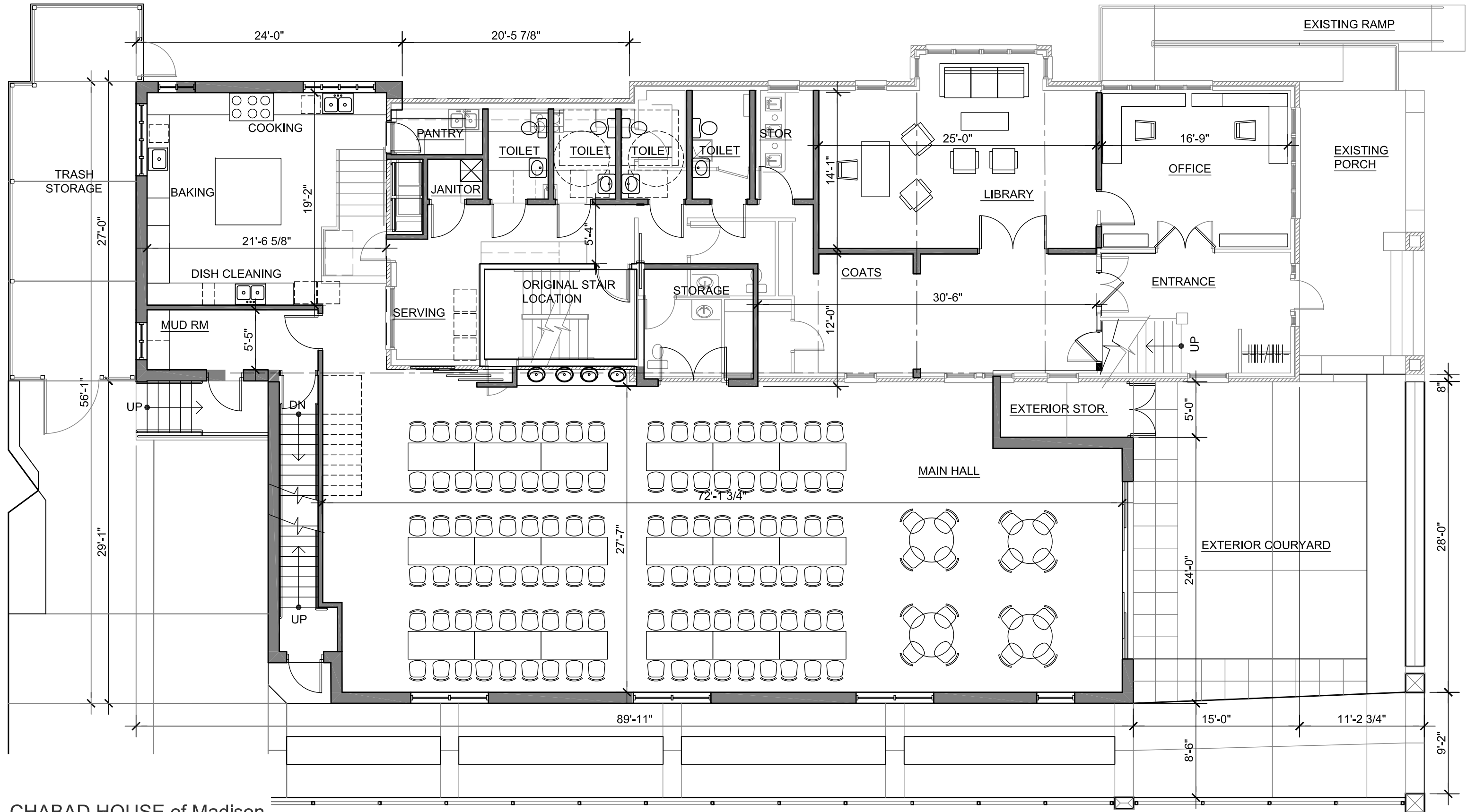
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ARCHITECTURAL SITE PLAN A1.0

SCALE: 1" = 10'-0"





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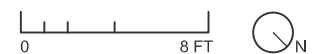
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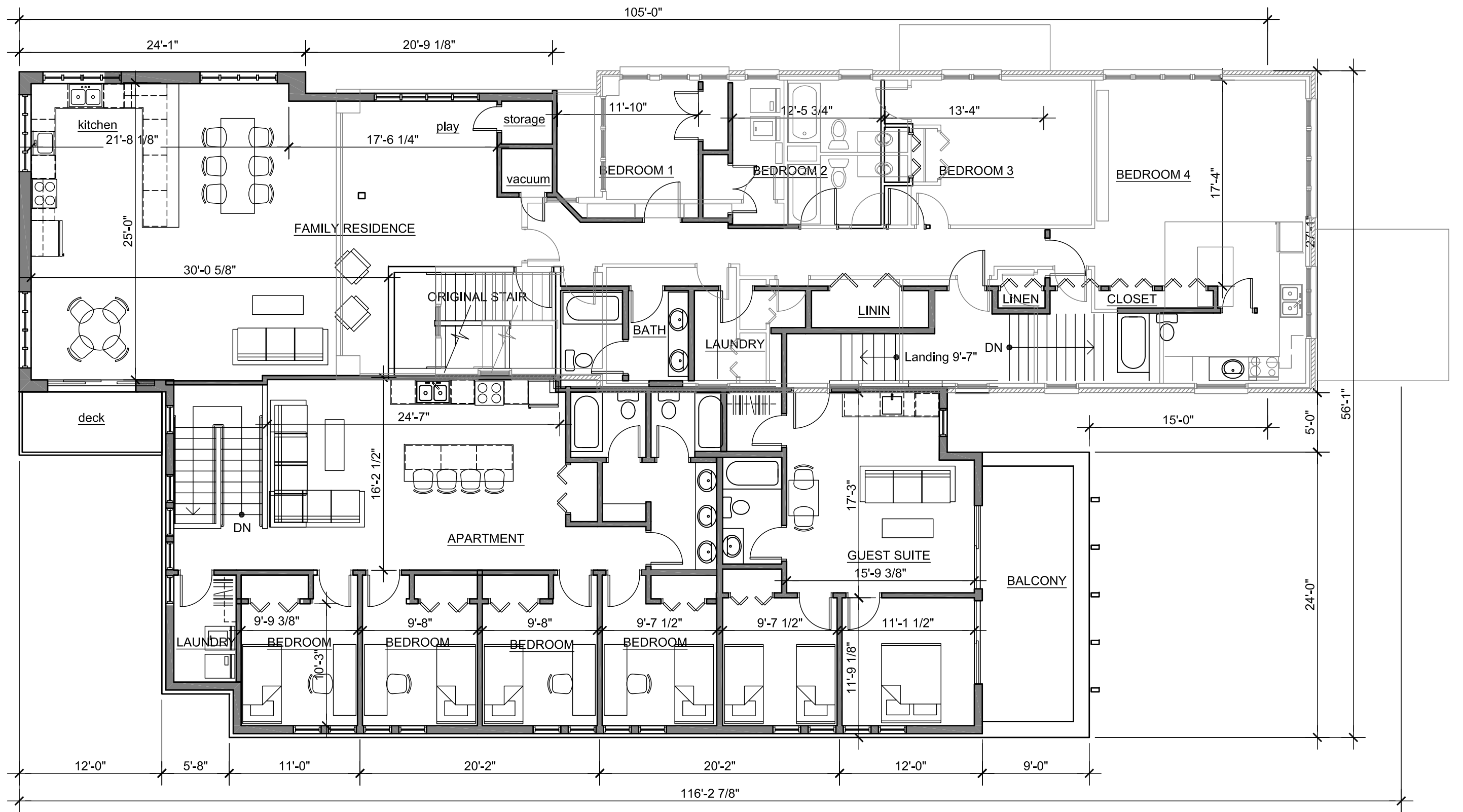
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FIRST FLOOR PLAN A1.1

SCALE: 1/8" = 1'-0"





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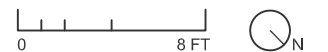
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SECOND FLOOR PLAN A1.2

SCALE: 1/8" = 1'-0"





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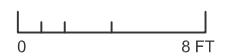
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09-21-16

NORTH ELEVATION **A2.1**

SCALE: 1/8" = 1'-0"





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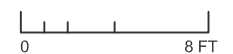
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09-21-16

SOUTH ELEVATION **A2.2**

SCALE: 1/8" = 1'-0"





- ASPHALT SHINGLES
- STONE CAP
- BRICK VENEER
- PAINTED STEEL GUARDRAIL
- STONE CAP
- GREEN SCREEN
- STAINED WOOD SLAT GATE
- EPDM ROOF
- PREFINISHED METAL FLASHING AND FASCIA
- ALUMINUM CLAD WOOD WINDOWS WITH STAINED WOOD TRIM
- STAINED WOOD COLUMNS
- FIBER CEMENT PANELS
- STONE CAP
- BRICK VENEER
- EXISTING CITY FENCE

CHABAD HOUSE of Madison

assemblage ARCHITECTS
 7433 Elmwood Avenue
 Middleton, WI 53562
 608.827.5047

09-21-16

EAST ELEVATION **A2.3**

SCALE: 1/8" = 1'-0"
 0 8 FT



ASPHALT SHINGLES TO MATCH EXISTING

ALUMINUM CLAD WOOD WINDOWS WITH STAINED WOOD TRIM

FIBER CEMENT PANELS

STAINED WOOD FASCIA

STONE CAP

BRICK VENEER

STAINED WOOD SLATS OVER PAINTED STEEL FRAME

CHABAD HOUSE of Madison

assemblage ARCHITECTS

7433 Elmwood Avenue
Middleton, WI 53562
608.827.5047

09-21-16

WEST ELEVATION **A2.4**

SCALE: 1/8" = 1'-0"



ALL OF LOT 5 AND PART OF LOT 4, BLOCK 58, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

NOTES:

- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose. Survey was performed without the benefit of a title report.
- 2) No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- 4) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 5) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 6) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20162802927, 20162802933 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
- 7) Elevations are based upon NAVD88 datum. Surveyor transferred elevations to the site with RTK GPS surveying observing the WISCORS network.
- 8) Date of field work: 07-08-2016
- 9) Total parcel area = 9,654 square feet

Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9266
Fax: 608-250-9266
e-mail: mburse@BSE-INC.net
www.bursesurveyengr.com

APPROVALS	DATE
PROJECTED BY	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
IN CHARGE	DATE

CHABAD HOUSE
223 W GILMAN STREET
MADISON, WI 53703
CHABAD LUBAVITCH, INC.
1722 REGENT ST
MADISON, WI 53726

PROJECT #: BSE1880
PLOT DATE: 09/21/2016

REVISION DATES:
09/21/2016

ISSUE DATES:
UDC 08/01/2016
IDC Revisions 09/21/2016

EXISTING CONDITIONS

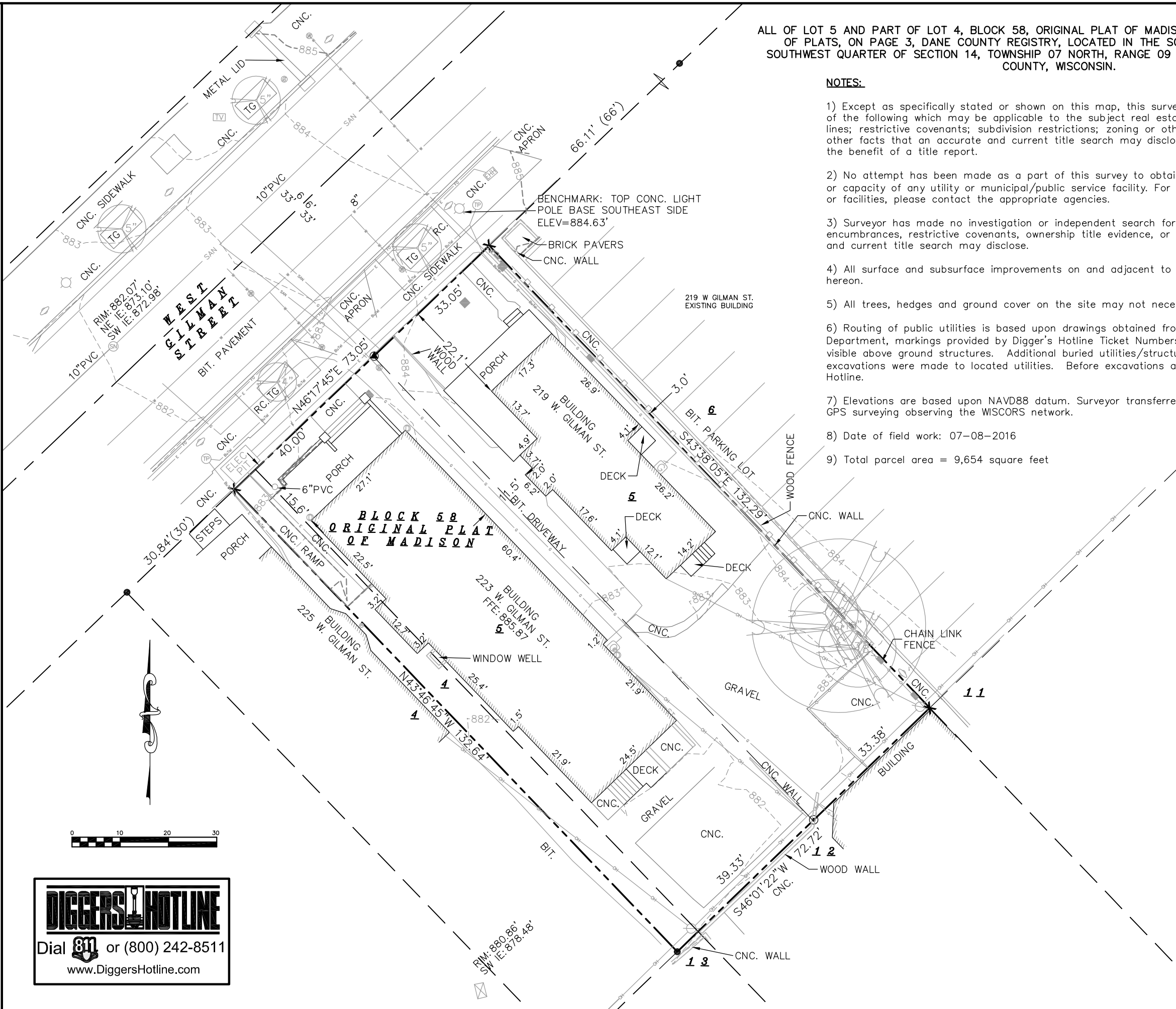
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Dial 811 or (800) 242-8511
www.DiggersHotline.com

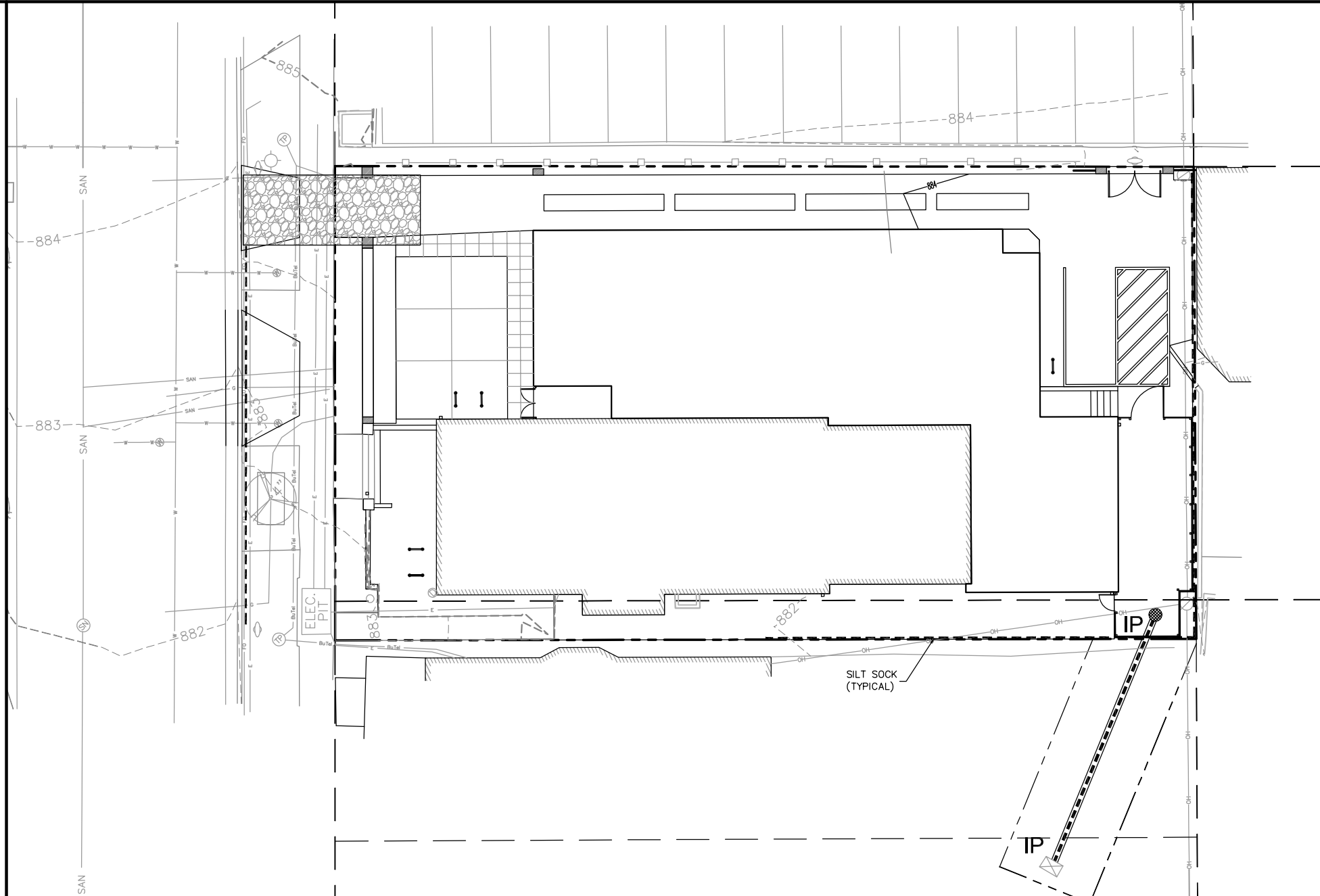
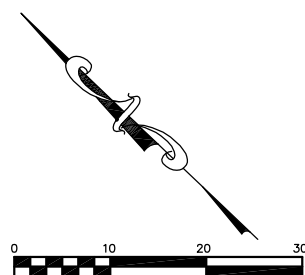
Erosion Control Notes/Specifications:

- Erosion control devices and/or structures shall be installed prior to clearing and grubbing operations. These shall be properly maintained for maximum effectiveness until vegetation is re-established.
- Erosion control is the responsibility of the contractor until acceptance of this project. Erosion control measures as shown shall be the minimum precautions that will be allowed. The contractor shall be responsible for recognizing and correcting all erosion control problems that are the result of construction activities. Additional erosion control measures, as requested in writing by the state or local inspectors, or the developer's engineer, shall be installed within 24 hours.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will follow an inspection within 24 hours. Inspection schedule and record keeping shall comply with NR 216.46(9), Wis. Adm. Code.
- Construction Entrances – Provide a stone tracking pad at each point of access. Install according to WDNR Standard 1057. Refer to WDNR's stormwater web page of technical standards at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. The Tracking Pad must be maintained in a condition that prevents the tracking of material onto the public street.
- Soil Stockpiles – A row of silt fence placed downslope and at least 10 feet away from the stockpile shall protect all stockpiles. Soil stockpiles that are inactive for more than 14 consecutive days shall be stabilized with seed & mulch, erosion mat, polymer, or covered with tarps or similar material. No stockpile shall be placed within 20 feet of a drainage way.
- Dewatering – Water pumped from the site shall be treated by using a temporary sedimentation basin, portable dewatering basin, geotextile bag, or an equivalent device. Show on the plan the anticipated locations of dewatering activity, and provide an engineering detail of the dewatering system. Devices shall comply with WDNR Technical Standard 1061 found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. This water shall be discharged in a manner that does not induce erosion of the site or adjacent property.
- Storm Sewer Inlets – Provide WDOT Type D "CatchAll" inlet protection or equivalent. Refer to WDOT Product Acceptability List at: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>. Inlet protection shall be installed prior to the storm sewer system receiving site runoff. Other than for performing maintenance, these devices shall not be removed until plot-level stabilization is complete.
- Building and waste materials shall be prevented from running-off the site and entering waters of the state in conformance with NR151.12(6m).
- No solid material shall be discharged or deposited into waters of the state in violation of Ch. 30 or 31 of the Wisconsin State Statutes or 33 USC 1344 permits.
- Erosion control devices shall adhere to the technical standards found at: <http://dnr.wi.gov/runoff/stormwater/techstds.htm> and comply with all City of Madison ordinances.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- All building and waste material shall be handled properly to prevent runoff of these materials off of the site.
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- All disturbed areas, except paved areas, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed, and mulch. Seed mixtures shall be selected appropriate to the intended function. A qualified Landscaping Contractor, Landscape Architect or Nursery can be consulted for recommendations. Seeding rates shall be based on pounds or ounces of Pure Live Seed per acre and shall be provided by the seed supplier. Fertilizer can be applied to help promote growth, but a soil test is recommended to determine the type and amount of fertilizer to be applied. All seeding and restoration shall be in conformance with WDNR Technical Standard 1059 found at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html. Seeding and sodding may only be used from May 1st to September 15th of any year. Temporary seed shall be used after September 15. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- For the first six (6) weeks after the initial stabilization of a disturbed area, watering shall be performed whenever more than seven (7) days of dry weather elapse.

Emergency Contact
 Bauer and Rather Builders
 4801 Tradewinds Parkway, #201
 Madison, WI 53718
 (608) 222-8941

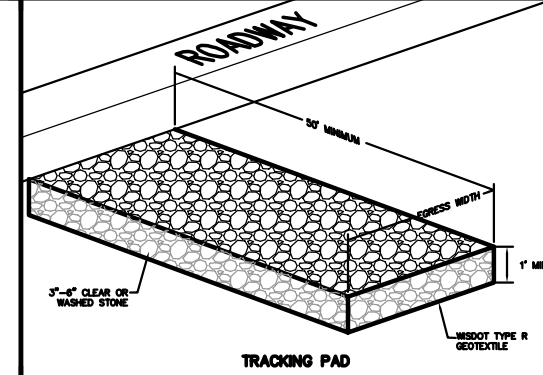
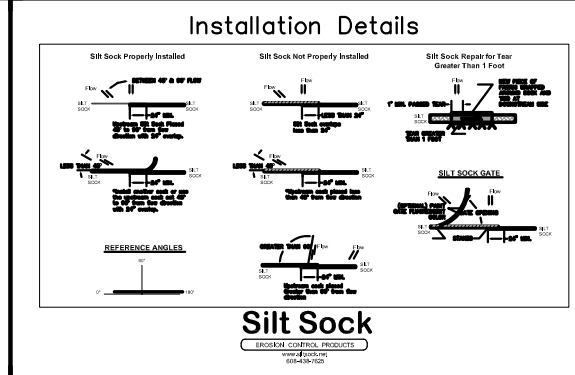
Schedule:

November 1, 2016	Install silt fence and construction entrance. Begin disturbance of site ground cover.
June 1, 2017	Base course installed. Apply seed and mulch to all disturbed areas.
August 1, 2017	Vegetation established.



LEGEND

--- 884 ---	EXISTING MINOR CONTOUR
--- 885 ---	EXISTING MAJOR CONTOUR
— 884 —	PROPOSED MINOR CONTOUR
— 885 —	PROPOSED MAJOR CONTOUR
---	STORM SEWER
[Pattern]	EROSION MATTING
- - -	SILT SOCK
[Symbol]	ROCK CHECK DAM
[Symbol]	INLET FILTER
[Pattern]	TRACKING PAD
[Pattern]	PUMP DISCHARGE FILTER BAG LOCATION
[Pattern]	CONCRETE MANAGEMENT LOCATION



DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
www.DiggersHotline.com

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 Surveying and Engineering, Inc.
 2801 International Lane, Suite 101
 Madison, WI 53704
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 e-mail: mburse@BSE-INC.net
www.bursesurveyengr.com

APPROVALS:	DATE:
PROJECTED:	DATE:
DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
IN CHARGE:	DATE:

CHABAD HOUSE
 223 W GILMAN STREET
 MADISON, WI 53703

CHABAD LUBAVITCH, INC.
 1722 REGENT ST
 MADISON, WI 53726

PROJECT #: BSE1880
PLOT DATE: 09/21/2016

REVISION DATES:
 09/21/2016

ISSUE DATES:
 UDC 08/01/2016
 IDC Revisions 09/21/2016

EROSION CONTROL

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APPROVALS	MLB	PDF	PDF	MLB	MLB
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DRAWN BY:	MLB	DATE:	09/21/2016	APPROVED BY:	MLB

CHABAD HOUSE
 223 W GILMAN STREET
 MADISON, WI 53703
CHABAD LUBAVITCH, INC.
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 MADISON, WI 53726

PROJECT #:	BSE1880
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UDC	08/01/2016
IDC Revisions	09/21/2016

DEMOLITION PLAN

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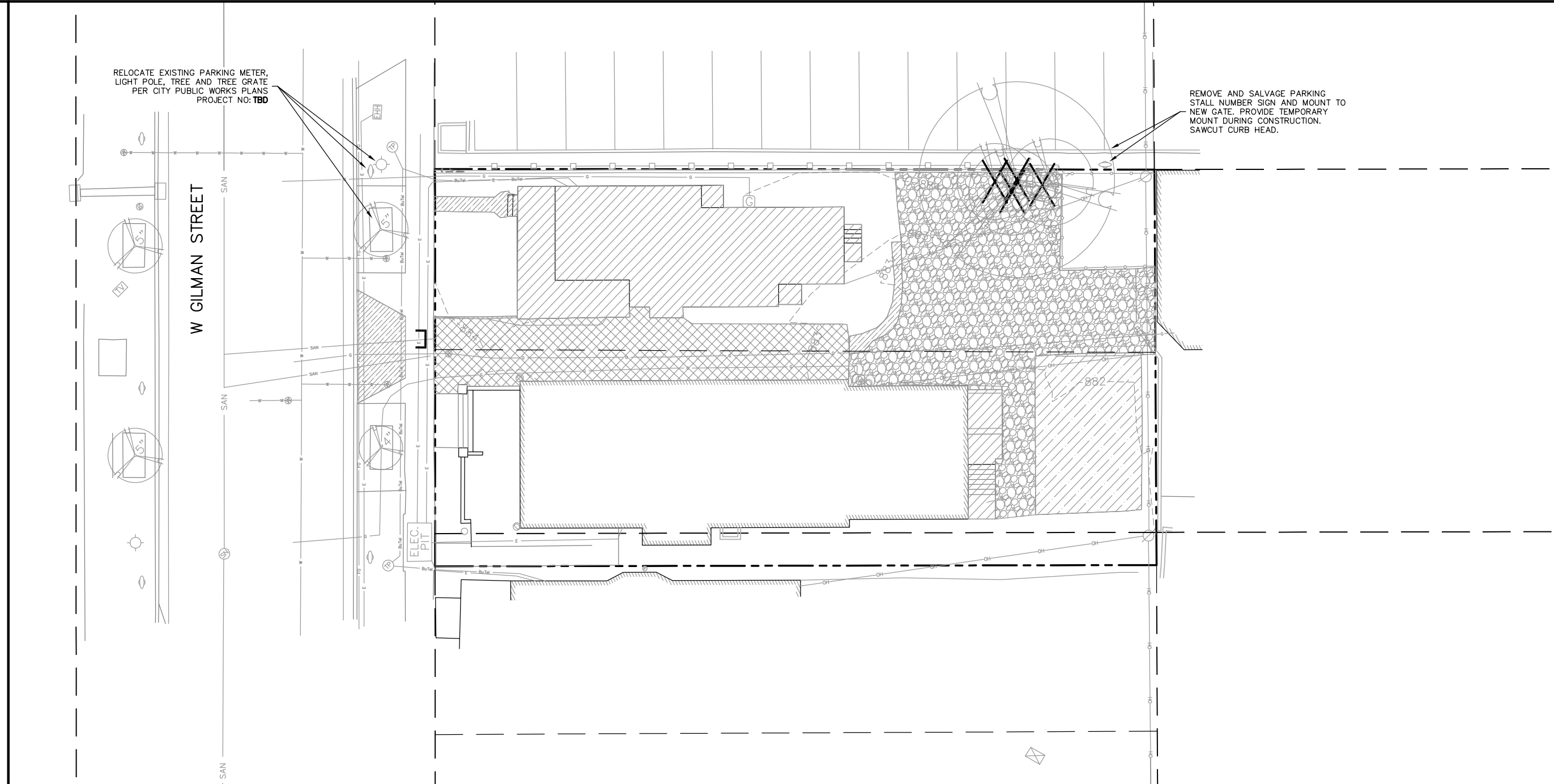
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RELOCATE EXISTING PARKING METER, LIGHT POLE, TREE AND TREE GRATE PER CITY PUBLIC WORKS PLANS PROJECT NO: TBD

REMOVE AND SALVAGE PARKING STALL NUMBER SIGN AND MOUNT TO NEW GATE. PROVIDE TEMPORARY MOUNT DURING CONSTRUCTION. SAWCUT CURB HEAD.

W GILMAN STREET

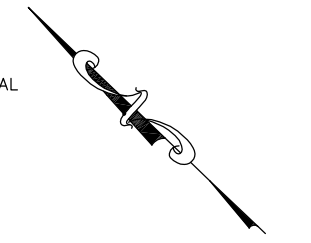


DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
5. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER COPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
7. CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
8. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
9. THE CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR IN KIND.
10. DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
11. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES

LEGEND

- REMOVE BITUMINOUS PAVEMENT
- RAZE BUILDING
- REMOVE UTILITY LINE
- REMOVE CONCRETE
- REMOVE GRAVEL
- REMOVE TREE
- PERMANENTLY PLUG/CAP LATERAL



DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

CONSTRUCT NEW DRIVEWAY APRON PER CITY STANDARD SPECIFICATIONS SAWCUT EXISTING CURB HEAD AS NEEDED

RELOCATE EXISTING PARKING METER PER THE DIRECTION OF TRAFFIC ENGINEERING

PUBLIC PARKING LOT

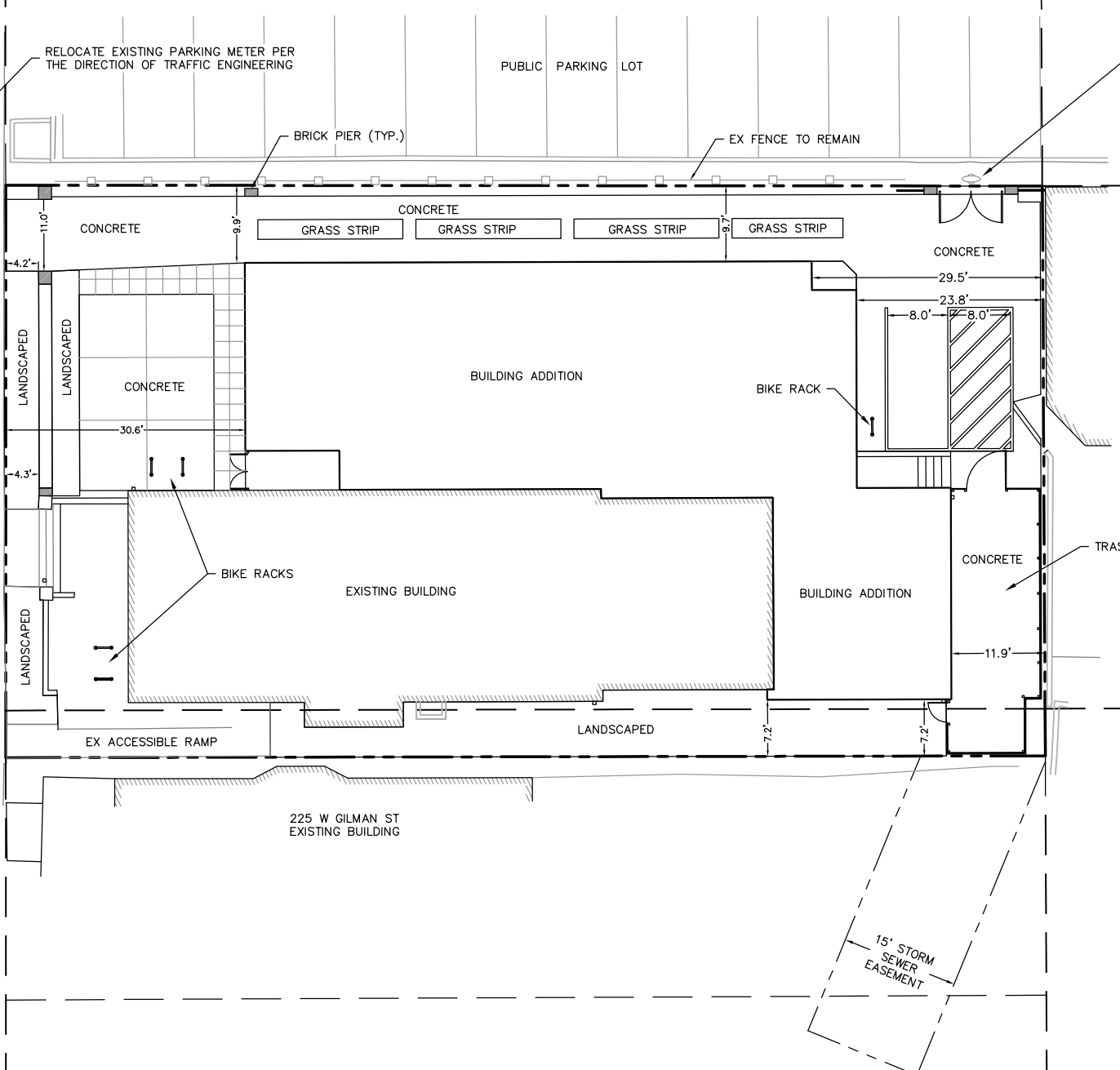
TRASH DUMPSTER ACCESS POINT

BRICK PIER (TYP.)

EX FENCE TO REMAIN

W GILMAN STREET

REPLACE EX DRIVEWAY CURB AND APRON WITH STANDARD TYPE A CURB AND CONCRETE TERRACE PER CITY STANDARD SPECIFICATIONS



Burse
Surveying and Engineering, Inc.
2801 International Lane, Suite 101
Madison, WI 53704
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: mburse@BSE-INC.net
www.bursesurveyengr.com

APPROVALS	DATE
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CHABAD HOUSE
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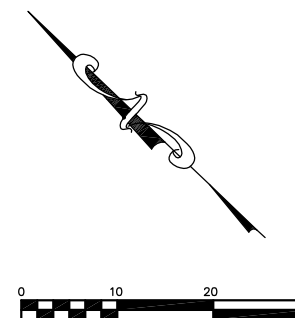
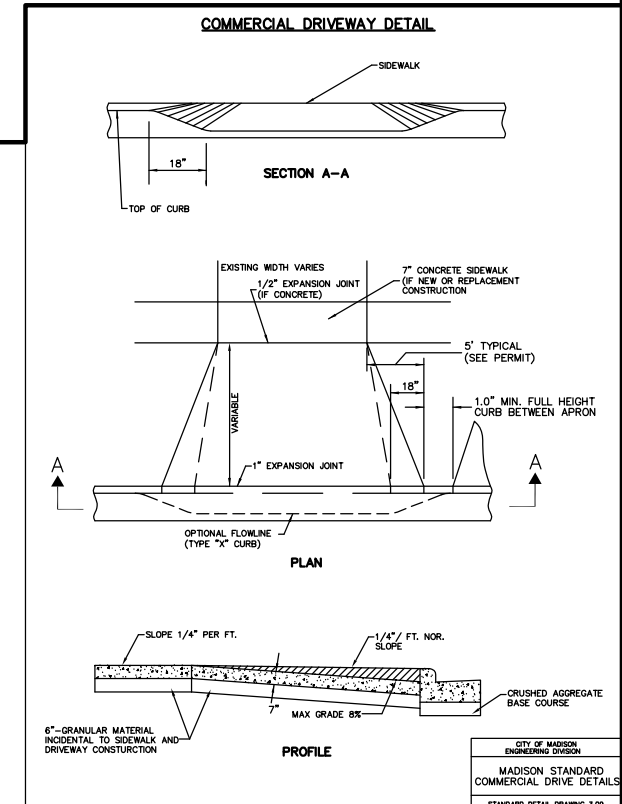
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NOTES:

1. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE.
2. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK.
3. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, THE CONTRACTOR SHALL CONTACT CITY FORESTRY (608-266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.
4. TREE PRUNINGS SHALL BE COORDINATED WITH CITY FORESTRY.
5. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
6. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72-HOUR WAITING PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

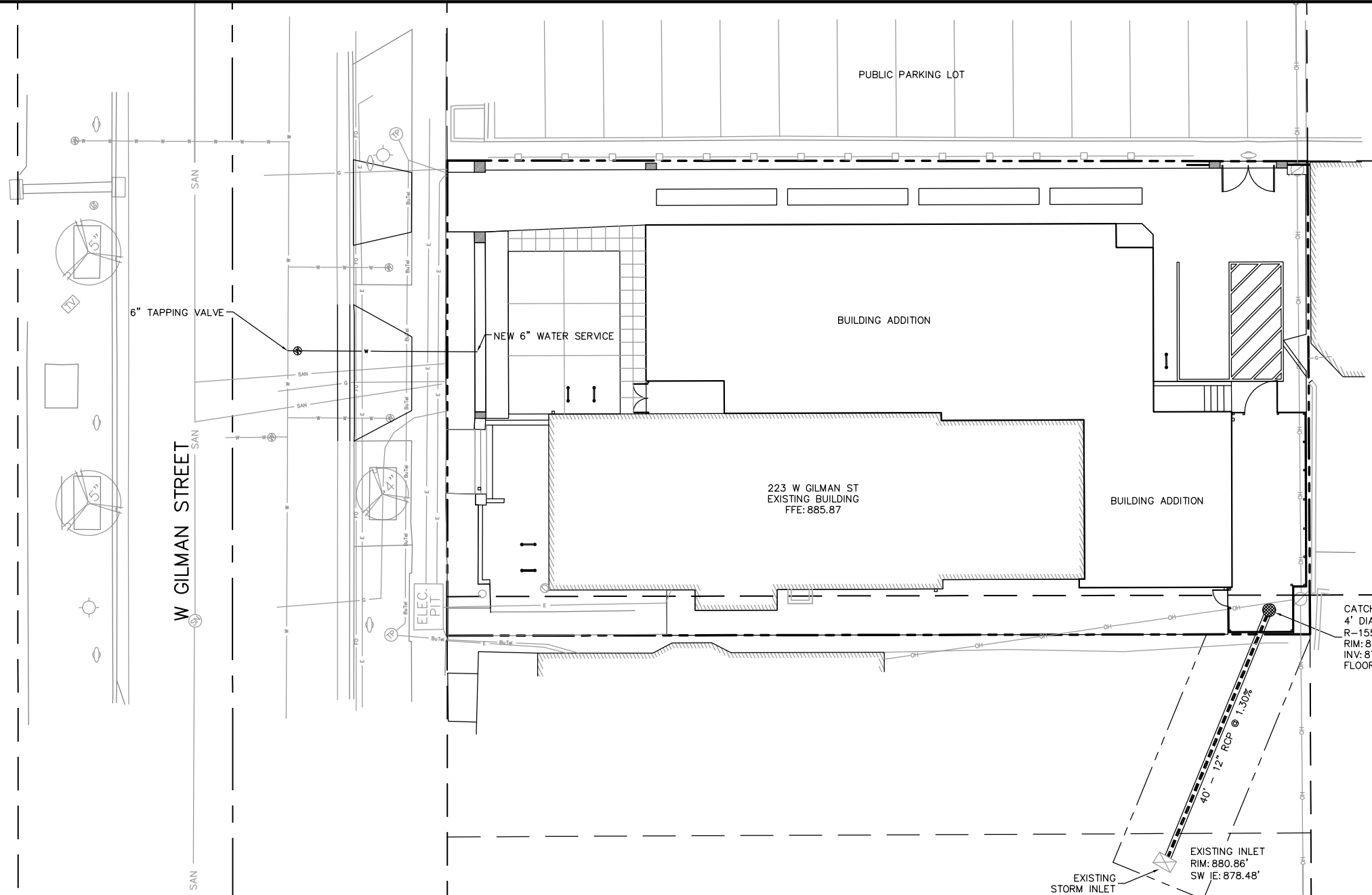
CIVIL SITE PLAN

Burse
Surveying and Engineering, Inc.

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DRAWING NUMBER
C-4.0

CITY OF MADISON
ENGINEERING DIVISION
MADISON STANDARD
COMMERCIAL DRIVE DETAILS
STANDARD DETAIL DRAWING 3.09

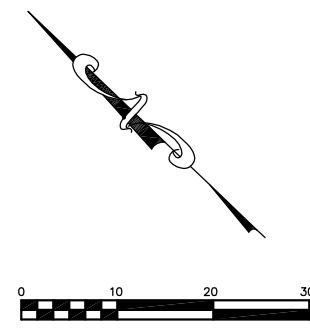


CATCH BASIN #1
 4' DIA. PRECAST
 R-1550 CASTING W/R-2578 GRATE
 RIM: 883.00
 INV: 879.00
 FLOOR: 876.00

EXISTING INLET
 RIM: 880.86'
 SW IE: 878.48'

NOTES:

1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON'S STANDARD SPECIFICATION.



DIGGERS HOTLINE
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 www.DiggersHotline.com

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 Surveying and Engineering, Inc.
 2801 International Lane, Suite 101
 Madison, WI 53704
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: Mburse@BSE-INC.net
 www.bursesurveying.com

APPROVALS	DATE	BY
PROJECTED BY:	MLB	
DRAWN BY:	PDF	
CHECKED BY:	PDF	
INVESTIGATED BY:	MLB	
DATE:	MLB	

CHABAD HOUSE
 223 W GILMAN STREET
 MADISON, WI 53703
CHABAD LUBAVITCH, INC.
 1722 REGENT ST
 MADISON, WI 53726

PROJECT #: BSE1880
 PLOT DATE: 09/21/2016

REVISION DATES:
 09/21/2016

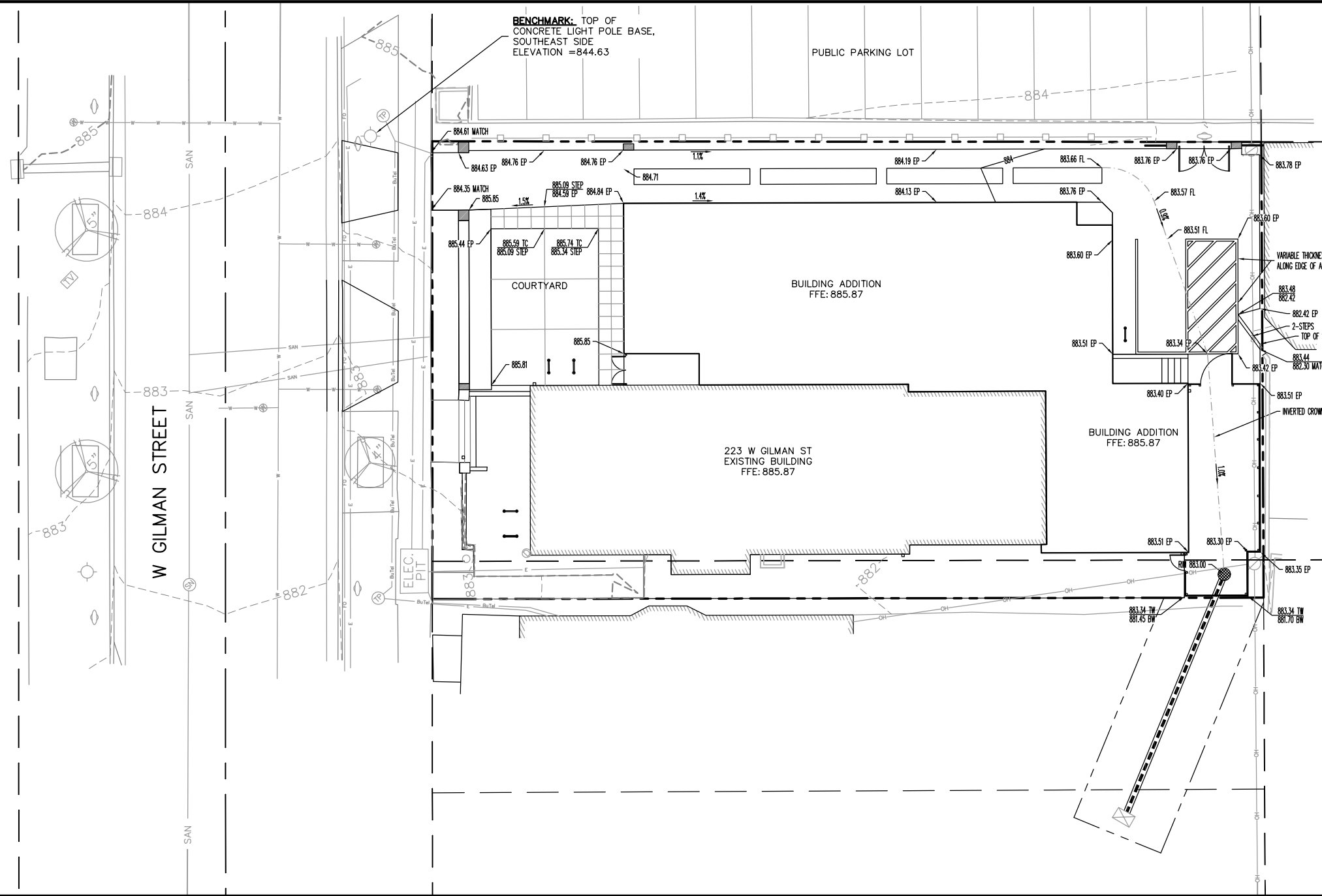
ISSUE DATES:
 UDC 08/01/2016
 IDC Revisions 09/21/2016

UTILITY PLAN

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www.bursesurveying.com

APPROVALS	DATE	BY
PROJECTED BY:	DATE:	BY:
DRAWN BY:	DATE:	BY:
CHECKED BY:	DATE:	BY:
IN CHARGE:	DATE:	BY:

CHABAD HOUSE
223 W GILMAN STREET
MADISON, WI 53703

CHABAD LUBAVITCH, INC.
1722 REGENT ST
MADISON, WI 53726

PROJECT #:	BSE1880
PLOT DATE:	09/21/2016
REVISION DATES:	09/21/2016

ISSUE DATES:	
UDC	08/01/2016
IDC Revisions	09/21/2016

GRADING PLAN

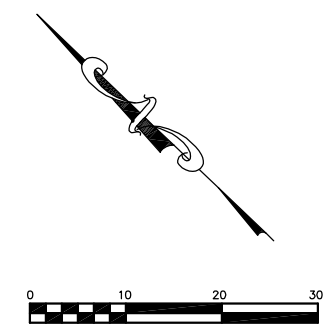
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LEGEND

---884---	EXISTING MINOR CONTOUR
---885---	EXISTING MAJOR CONTOUR
—884—	PROPOSED MINOR CONTOUR
—885—	PROPOSED MAJOR CONTOUR
---	STORM SEWER
855.00 EP	PROPOSED EDGE OF PAVEMENT ELEVATION
855.00 SW	PROPOSED SIDEWALK ELEVATION
855.00 TC	PROPOSED TOP OF CURB/CONCRETE ELEVATION
855.0 FL	PROPOSED FLOW LINE ELEVATION

Printed: Sep 20, 2016 - 2:25pm Printed By: Peter

M:\BSE1880\Engineering\BSE1880Fig.dwg

VINE NOTES -
 Install vines every other green screen panel.
 Alternate vine types. Mulch base of vine bed with 3" shredded dark brown bark mulch.
 Train staked vine toward green screen panels.

NOTES -
 Mulch three planting beds with 3" of shredded dark brown bark mulch.

v-ig
4

v-hm
5

g-sa
3

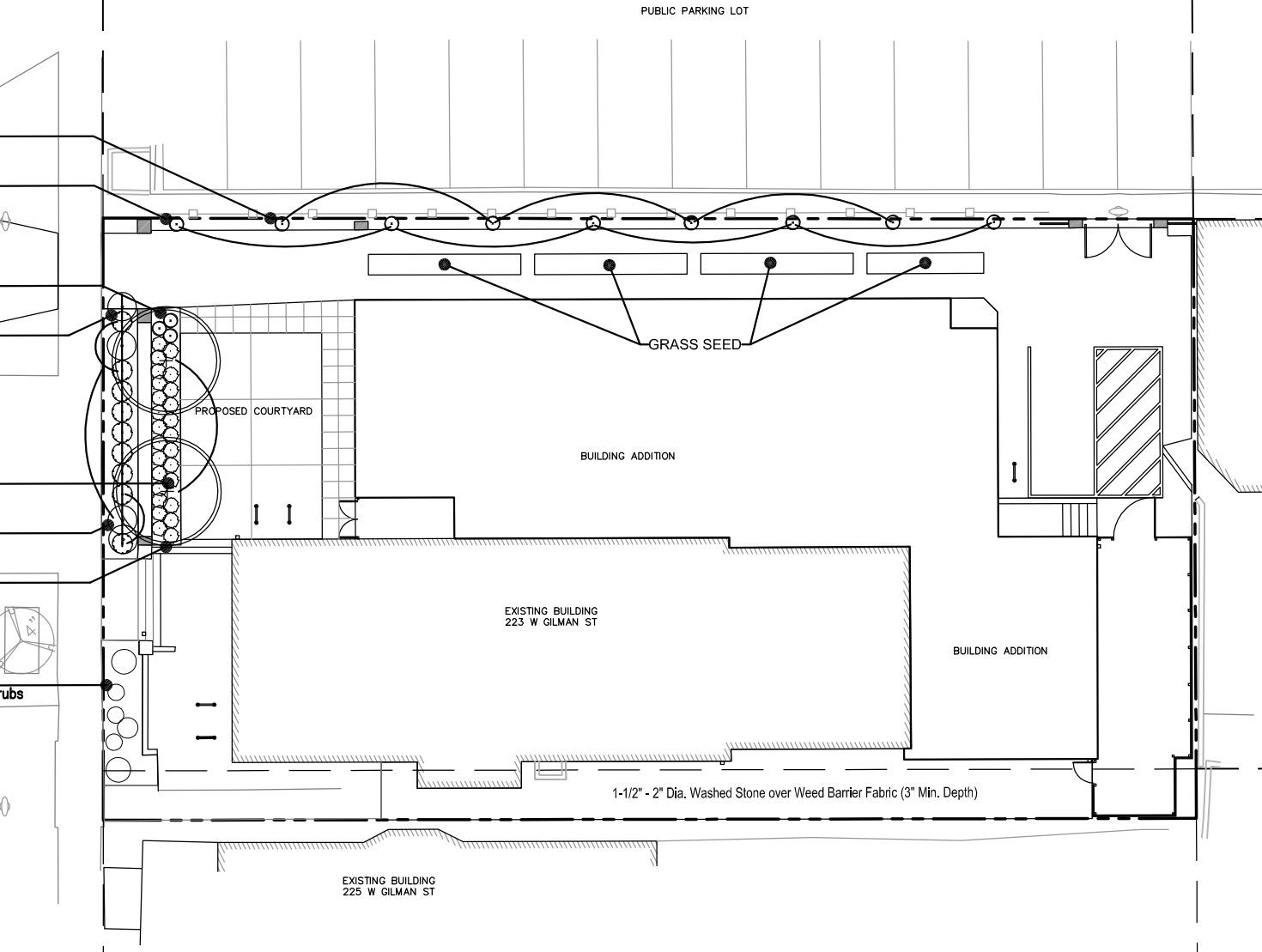
Bmg
9

SRW
2

Hpl
2

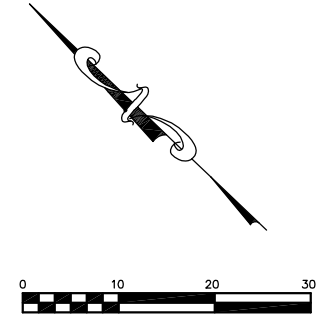
gcb
26

6 - Existing
Deciduous Shrubs



Key	Developmt. Frontage Landsc.	Botanical Name	Common Name	Quantity	Points Per Plan	Points Subtotal	Size	Root	Comments	Nursery / Availability (Or other Suppliers)	Mature Size
CHABAD PLANT LIST & CITY OF MADISON WORKSHEET - Landscape Materials											
Ornamental Trees / Small Shade Trees											
SRW	X	<i>Syringa reticulata</i> 'Williamette'	Ivory Pillar Tree Lilac	2	0	0	1 3/4" Cal.	B&B	8 Ht. min. Tree form, higher branching	Johnson's	20-25' Ht. x 10-15' Spr.
Deciduous Shrubs											
Hpl		<i>Hydrangea paniculata</i> 'Little Quick Fire'	Little Quick Fire Hydrangea	2	3	6	2' Ht.	Cont.	Space 3 1/2' O.C., 3 Gal. min.	Johnson's, Beaver Creek	3-5' Ht. x 3-5' Spr.
X		Existing Deciduous Shrubs		3	0	0					
		Existing Deciduous Shrubs		3	3	9					
Evergreen Shrubs											
Bgg	X	<i>Buxus microphylla</i> var. <i>koreana</i> x <i>sempervirens</i> 'Green Gem'	Green Gem Boxwood	9	0	0	18" Ht.	Cont.	Space 2'-6" O.C., 3 Gal. min.	Johnson's, Beaver Creek	2-3' Ht. x 2-3' Spr.
Perennials & Groundcovers											
gcb		<i>Geranium x cantabrigiense</i> 'Blokovo'	Blokovo Geranium	26	2	52	4.5"	CG	Space 20" O.C.	Hortech 800-875-1392 Or W. & E. Radtke	8-12" Ht. x 15"+ Spr.
Grasses											
g-sa		<i>Sesleria autumnalis</i>	Autumn Moor Grass	3	2	6	4.5"	CG	Space 20" O.C.	W. & E. Radtke	16-30" Ht. x 18-20" Spr.
Vines											
v-hm		<i>Hydrangea anomala</i> subsp. <i>Petiolaris</i>	Miranda Hydrangea Vine	5	2	10	1 Gal.	CG	Space per plan, train staked	Monrovia	15' Ht. x 5' Spr.
v-ig		<i>Lonicera x heckrottii</i> 'Goldflame'	Goldflame Honeysuckle Vine	4	2	8	1 Gal.	CG	vines toward green screens	Monrovia	10' Ht. X 3-6' Spr.
Ornamental / Decorative Fencing or Wall											
		Front Masonry Wall		42 LF	4 / 10 LF	16.8					
		Side Green Screen Fence		112 LF	4 / 10 LF	44.8					
X	=	DEVELOPMENT FRONTAGE LANDSCAPING	TOTAL LANDSCAPE POINTS PROVIDED			152.6					
		TOTAL LF OF FRONTAGE: 73 LF									
		[1 Tree/30 LF = 2.4 Trees Required & 5 Shrubs/30 LF = 12 Shrubs Required]									
		Provided With:									
		2 Ornamental Trees, 3 Ex. Shrubs & 9 Evergr. Shrubs.									
		[Limited space restricts more trees - so use of walls and additional shrubs is requested for requirement]									
		TOTAL SF OF DEVELOPED AREA	TOTAL LANDSCAPE POINTS REQUIRED FOR DEVELOPED AREA			57.56					
		[Lot 9654 SF - Bldg. Footprint 5382 SF - 3 Unpaved Edge Areas 818 SF = 3454 SF Total Developed Area]									
		[3454 x 5 = 17270 / 300 = 57.56]									
		TOTAL LANDSCAPE POINTS PROVIDED				152.6					

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APPROVALS	PROJECTED	DATE	DATE
MBL	PDF	PDF	PDF
MBL	MBL	MBL	MBL

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LANDSCAPING PLAN

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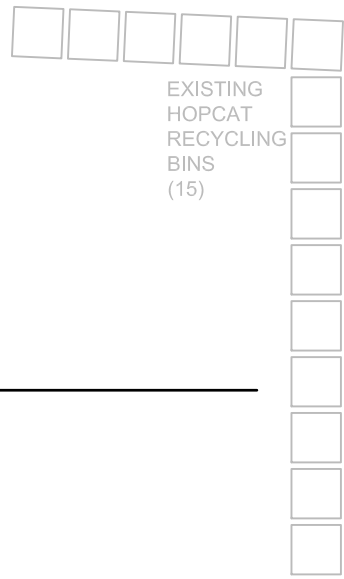
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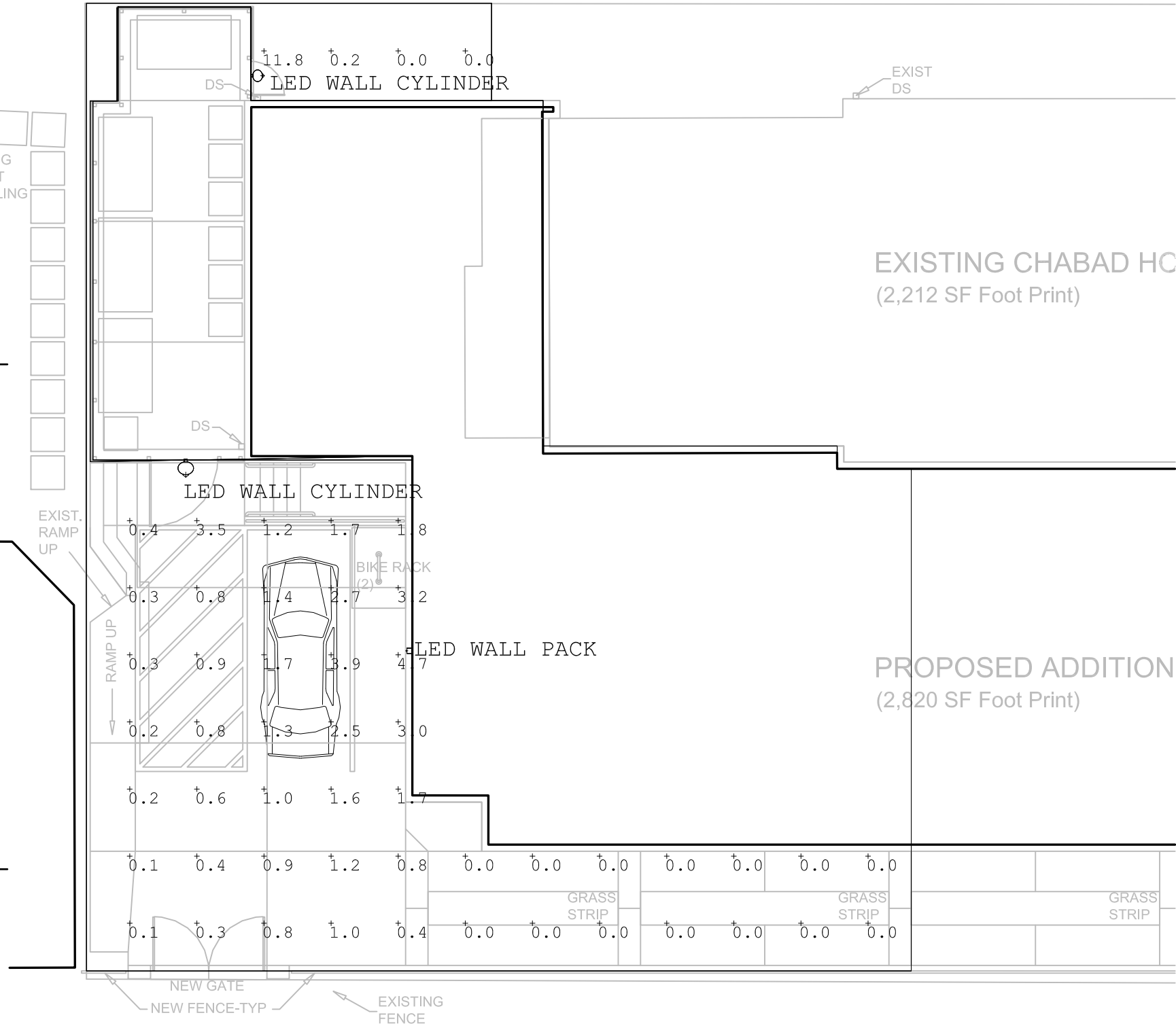
2 LED WALL CYLINDER
NO SCALE



3 LED WALL PACK
NO SCALE



EXISTING
HOPCAT
RECYCLING
BINS
(15)



11.8 0.2 0.0 0.0
LED WALL CYLINDER

EXISTING CHABAD HC
(2,212 SF Foot Print)

LED WALL CYLINDER

BIKE RACK
(2)

LED WALL PACK

PROPOSED ADDITION
(2,820 SF Foot Print)

GRASS
STRIP

GRASS
STRIP

GRASS
STRIP

NEW GATE
NEW FENCE-TYP

EXISTING
FENCE

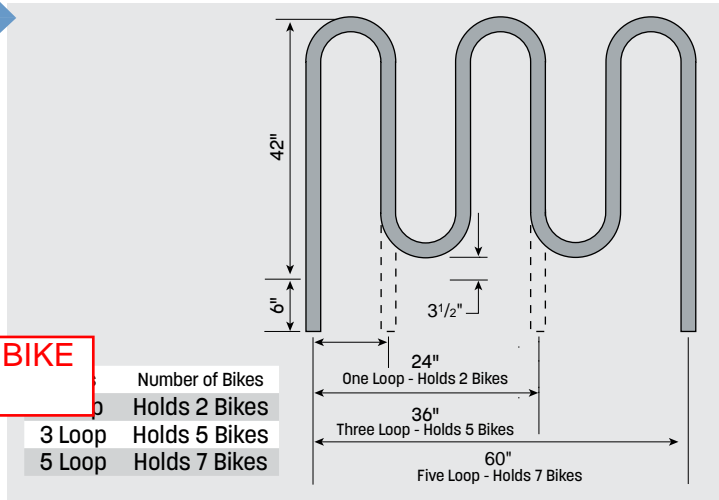
BUCKEYE PARKING LOT
(CITY OF MADISON)

1 PARTIAL SITE PLAN
NO SCALE

Wagner BikeRail

Made in MILWAUKEE

- Component System for **Bike Racks**
- Surface Mount Kit Includes All Hardware
- One, Three and Five Loop Stock **BikeRails**
- Produced from 2" **Galvanized Pipe**
- Available Galvanized, Unpainted; or Galvanized, Powder Coated Black Polyester
- Packaged to Ship by FedEx



PROPOSED BIKE RACK

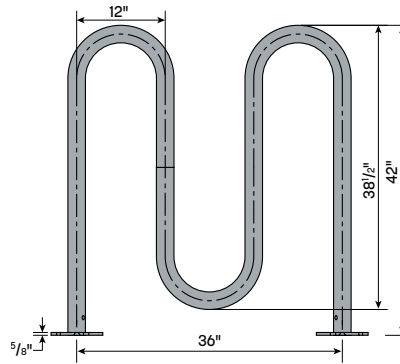
1 Loop BikeRail Kit
2" Galvanized Pipe (2.375" OD)

	SURFACE MOUNT GALVANIZED STEEL	EMBEDDED MOUNT GALVANIZED STEEL
Unpainted	SR1LW-SM	SR1LW
Black	SR1LW-SM-BLK	SR1LW-BLK

Embedded Mount Extensions

In embed applications where frost is a concern, use extensions to set **BikeRails** below frost line. Sold as a set of two extensions with two **Splice-Locks**.

Length	GALVANIZED STEEL
24"	SRLW24
36"	SRLW36
48"	SRLW48

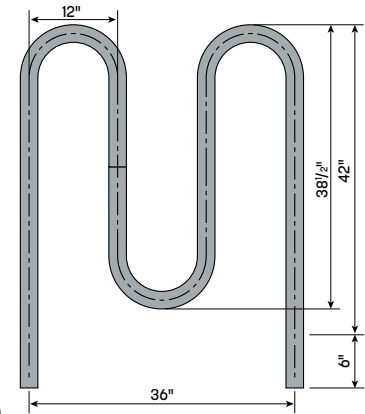


1 Loop BikeRail Kit
2" Galvanized Pipe (2.375" OD)

	SURFACE MOUNT GALVANIZED STEEL	EMBEDDED MOUNT GALVANIZED STEEL
Unpainted	SR1LW6-SM	SR1LW6
Black	SR1LW6-SM-BLK	SR1LW6-BLK

3 Loop BikeRail Kit

2" Galvanized Pipe (2.375" OD)

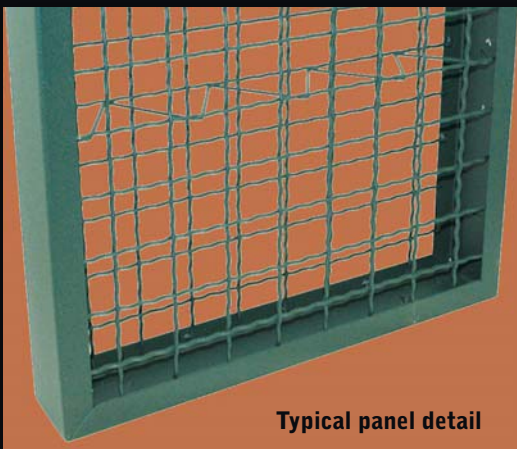


	SURFACE MOUNT GALVANIZED STEEL	EMBEDDED MOUNT GALVANIZED STEEL
Unpainted	SR3LW-SM	SR3LW
Black	SR3LW-SM-BLK	SR3LW-BLK

NUMBERS IN BOLD TYPE are typically in stock. Other items may not be available for immediate shipment or are made-to-order - requiring a minimum quantity and a longer lead time. Visit shopwagner.com for availability.



McNICHOLS® Plant Screens add aesthetic appeal to this exterior wall.



Typical panel detail

McNICHOLS ECO-MESH® System is a modular framework grid typically wall-mounted to exterior structures creating aesthetic living green facades. Grids are commonly used for partitions, canopies, arbors, and around columns for interior and outdoor spaces.

These high quality eco-units are constructed to accommodate a growing space for various plants and vines. The units also may be used for free-standing fencing panels.

Our highly trained Architectural Design Consultants are ready to assist with your next design project.

We look forward to serving you!



Mounted Trellis



Rock Wall Fencing



Columns



Trellis



Plant Wall



Plant Panels