



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>February 8, 2017</u>	<input checked="" type="checkbox"/> Informational Presentation <input type="checkbox"/> Initial Approval <input type="checkbox"/> Final Approval
UDC Meeting Date: <u>February 22, 2017</u>	
Combined Schedule Plan Commission Date (if applicable): _____	

1. **Project Address:** 4601 Frey Street
Project Title (if any): Frey Street Mixed Use

2. **This is an application for** (Check all that apply to this UDC application):

New Development **Alteration to an Existing or Previously-Approved Development**

A. Project Type:

- Project in an Urban Design District*** (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX)** (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)**
- Planned Development (PD)**
 - General Development Plan (GDP)**
 - Specific Implementation Plan (SIP)**
- Planned Multi-Use Site or Planned Residential Complex**

B. Signage:

- Comprehensive Design Review*** (public hearing-\$300 fee) **Street Graphics Variance*** (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District** (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Frey Street Lodging Associates, LLC
Street Address: 8333 Greenway Blvd., Suite 200
Telephone: (608-662-8334) **Fax:** (_____) _____

Company: Raymond Management Company
City/State: Middleton/WI **Zip:** 53562
Email: perkel@raymondteam.com

Project Contact Person: Josh Wilcox
Street Address: 7780 Elmwood Avenue, Suite 204
Telephone: (608-829-1750) **Fax:** (608-829-3056)

Company: Gary Brink & Associates, Inc.
City/State: Middleton/WI **Zip:** 53562
Email: josh.wilcox@garybrink.com

Project Owner (if not applicant) : _____
Street Address: _____
Telephone: (_____) _____ **Fax:** (_____) _____

City/State: _____ **Zip:** _____
Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 10/27/16.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Josh Wilcox

Relationship to Property Architect

Authorized Signature

Date 2/8/17

FREY STREET - MIXED USE DEVELOPMENT

4601 FREY STREET
 MADISON, WISCONSIN

LAND USE APPLICATION
 FEBRUARY 8, 2017

JOB #201525

PROJECT ROOM MATRIX:

Frey Street, Madison, WI													
Floor	G1	1st	2nd	3rd	4th	5th	6th	7th	8th	9th	10th	11th	Total
Hotel Area	10,157	17,022				14,069	14,069	14,069	14,069	14,069	14,069	14,069	125,662
Parking Area	13,202	18,338	35,202	35,202									101,944
Office Area/Mechanical		453			25,904								26,357
Total Floor Area	23,359	35,813	35,202	35,202	25,904	14,069	14,069	14,069	14,069	14,069	14,069	14,069	253,363
Accessible Parking Stalls	2	1	1	3									7
Compact Parking Stalls	4	3	7	27									41
Standard Parking Stalls	13	22	73	57									163
Total Parking Stalls	19	26	81	87									213
Accessible King													0
Standard King Rooms						13	13	13	13	13	13	13	91
King "A"						4	4	4	4	4	4	4	28
Accessible D/Q						1	1	1	1	1	1	1	6
Standard D/Q Rooms						9	8	8	8	8	8	8	57
Total Rooms						26	26	26	26	25	26	26	182
Bike Stalls	19	10											29
Total Site Square Footage	43,549												

SHEET INDEX:

T-1 COVER SHEET & PROJECT CONTACTS

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- A7.01 BUILDING SECTIONS

PROJECT LOCATION:



DEVELOPER:

FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 8333 GREENWAY BLVD., SUITE 200
 MIDDLETON, WISCONSIN 53562
 PHONE: (608) 662-9334
 EMAIL: perkel@raymondteam.com, steinhauer@raymondteam.com
 PRINCIPAL CONTACT: BARY PERKEL, LISA STEINHAUER



ARCHITECT:

GARY BRINK & ASSOCIATES, INC.
 7780 ELMWOOD AVENUE, SUITE 204
 MIDDLETON, WISCONSIN 53562
 PHONE: (608) 828-1750
 EMAIL: josh.wilcox@garybrink.com
 PRINCIPAL CONTACT: JOSH WILCOX



LANDSCAPE ARCHITECT

KEN SAIKI DESIGN, INC.
 303 S. PATTERSON, SUITE ONE
 MADISON, WISCONSIN 53703
 PHONE: (608) 251-3600
 EMAIL: amolien@ksd4a.com
 PRINCIPAL CONTACT: ABBIE MOILIEN



STRUCTURAL ENGINEER

ONEIDA TOTAL INTEGRATED ENTERPRISES (OTIE)
 5100 EAST PARK BLVD., SUITE 300
 MADISON, WI 53718
 PHONE: (608) 241-6717
 EMAIL: jhall@otie.com
 PRINCIPAL CONTACT: JAMES J. HALL



CIVIL ENGINEER

VIERBICHER
 999 FOURIER DRIVE, #201
 MADISON, WISCONSIN 53717
 PHONE: (608) 828-0532
 EMAIL: tsch@vierbicher.com
 PRINCIPAL CONTACT: TIMOTHY SCHLEEPER

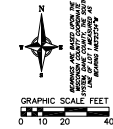


GENERAL CONTRACTOR

KRAEMER BROTHERS, LLC
 925 PARK AVENUE
 PLAIN, WISCONSIN 53577
 PHONE: (608) 546-2411

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 CLIENT: RAYMOND MANAGEMENT COMPANY
 ARCHITECT: GARY BRINK & ASSOCIATES, INC.
 LANDSCAPE ARCHITECT: KEN SAIKI DESIGN, INC.
 STRUCTURAL ENGINEER: ONEIDA TOTAL INTEGRATED ENTERPRISES (OTIE)
 CIVIL ENGINEER: VIERBICHER
 GENERAL CONTRACTOR: KRAEMER BROTHERS, LLC
 DATE: 02/08/17
 SCALE: FULL
 SHEET: T-1 OF 1
 DRAWN BY: JH
 CHECKED BY: JH
 PROJECT NO: 201525

SURVEY LEGEND
 ● FOUND 7/8" # IRON ROD
 ○ FOUND 3/4" # IRON ROD
 ▲ FOUND P.I. NAIL
 () INDICATES RECORDED AS
 [] SEE NOTES



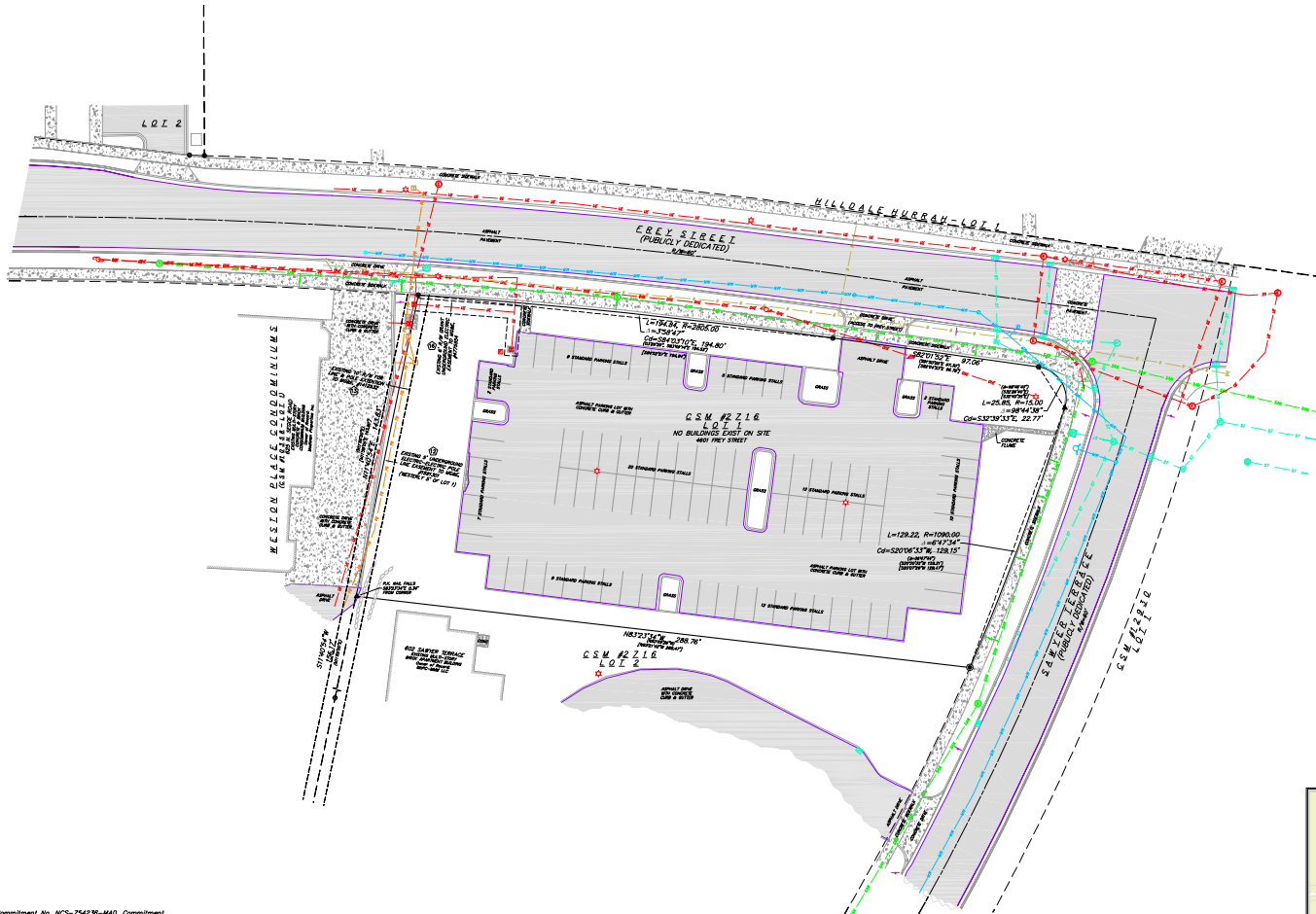
DESIGNED FOR:
 The Raymond Group
 c/o: Gary Fowler
 8333 Greenway Blvd.,
 Suite 200
 Madison, WI 53762

DATE: 05/16/16
 Vierbicher Associates, Inc.
 959 Fourstar Drive
 Suite 201
 Madison, WI 53717
 (608) 821-8505
 rfw@v4ierbicher.com

ALTA/ACM CERTIFICATION
 To the Registered Civil Engineer: HILLARY PARSONS, NATIONAL ASSOCIATION of State Engineers and Engineers of Professional Engineers of the Insurance Company National Commercial Services
 This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACM Land Title Surveys, which are published and updated by ALTA, Inc. and include items 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19 and 20 of Item 2. However, the full code was cancelled on November 16, 2015.

Vierbicher Associates, Inc.
 By: Andrew S. Warty
 Dated the 11th day of December, 2015.

MINOR C. MAP P.L.C. No. 2467



- NOTES:**
1. [] Indicates information as obtained on ALTA Survey by Francis A. Bousquet, dated January 26, 2016, Project Number 160306. See on file in the Town County Surveyor's Office, file No. 2015-0042.
 2. This survey was prepared based upon information provided in the Title Commitment No. NC-754238-MAD, dated September 16, 2015 in Volume 902 of the Records, from First American Title Insurance Company National Commercial Services.
 3. Parcel number and address per title commitment No. 231-030-202-020-16 4801 Frey Street, Madison, WI 53703.
 4. Area of parcel surveyed is 0.2449 acres, that more or less.
 5. This survey is based upon an ALTA/ACM Land Title Survey by Vierbicher Associates, Inc., dated June 8, 2015, Map No. 16181 and on file in the Town County Surveyor's Office, Map 2015-0059 and upon that survey and portions of November 16, 2015. Any changes in site conditions after November 16, 2015 are not reflected by this survey.
 6. Utility locations were field checked based upon information, which, upon ground observation, upon maps provided by the property owner, upon meetings with the ground owner or utility companies and/or their agents. No attempt is made to verify the location of utility lines or other subsurface utilities. The accuracy and reliability of utility locations are not guaranteed by this survey.
 7. No attempt has been made to locate or identify any utility lines or other subsurface utilities, or capacity of any utility or manhole/structure service facility. For information regarding these utilities contact the appropriate utility or manhole/structure service facility.
 8. Surveyor has made no investigation or independent search for easements of record, encroachments, restrictive covenants, or easements of law.
 9. No public parking area has been shown on this survey.
 10. During the course of field survey work there was no observed evidence of which the surveyor is aware, of current or former utility vaults, utility construction or utility facilities.
 11. During the course of field survey work there was no observed evidence of which the surveyor is aware, of current or former utility vaults, utility construction or utility facilities.
 12. There was no observed change in ground level or any other feature of which the surveyor is aware. During the course of field survey work, there was no observed evidence of which the surveyor is aware, of current or former utility vaults, utility construction or utility facilities.
 13. Town of Madison information obtained herein is per information obtained from the City of Madison Assessor's website on November 16, 2015.
 14. No methods were delineated at the time the field survey work was completed.
 15. Current zoning classification and information obtained from the City of Madison Assessor's website on May 21, 2015 is RD-Planned Development District.
 16. There are a total of 86 observed parking stalls on the parcel surveyed.

Description as provided in Title Commitment No. NC-754238-MAD, Commitment Date November 16, 2015 in Volume 902 of the Records, from First American Title Insurance Company National Commercial Services, 10 W. Mifflin Street, Suite 202, Madison, WI 53703.

Lot One (1) Certified Survey Map No. 2716, recorded in Volume 10, of Certified Survey Maps, Pages 388 and 387, as Document No. 1555494, located in the NE 1/4 of the NW 1/4 of Section 215, T1N, R10E, City of Madison, One County Wisconsin. TOGETHER with easements established in Declaration of Residential Easement Agreement recorded June 24, 2010 as Document No. 4667716.

NOTES:

This survey was prepared based upon information provided in Title Commitment No. NC-754238-MAD, Commitment Date November 16, 2015 in Volume 902 of the Records, from First American Title Insurance Company National Commercial Services, 10 W. Mifflin Street, Suite 202, Madison, WI 53703.

1. EXISTING 1/2" Coat of Easement to Madison Gas and Electric recorded September 16, 1978 in Volume 902 of the Records, Page 532, as Document No. 1591301. (Easement shown)

2. EXISTING 1/2" Easement for public utilities and incidental purposes as disclosed by Certified Survey Map No. 2716. (Easement shown. Easement recorded in the 5th of Records, Page 79, as Doc. #10243)

3. EXISTING 1/2" Easement and fourth on Certified Survey Map No. 2716 stating: The park fee has not been paid for Lots 1 and 3 and shall be paid prior to approving any plans for residential use for Lots 1 and 3.

4. EXISTING 1/2" Declaration of Residential Easement Agreement recorded June 24, 2010 as Document No. 4667716. (Easements general in nature and not patable. Refer to easement.)

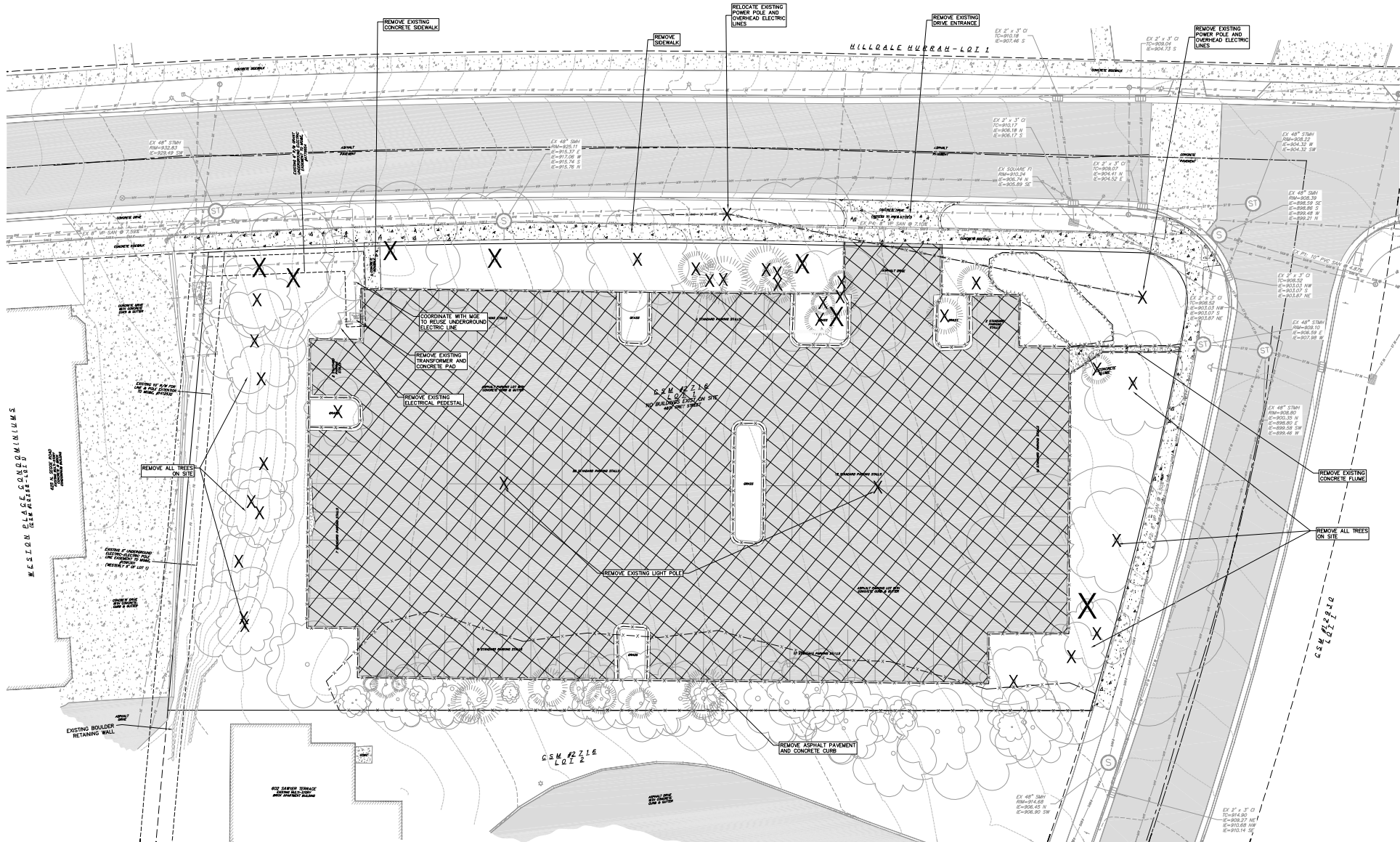
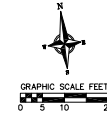
5. EXISTING 1/2" Affidavit or Notice of Agreement and Default, recorded November 16, 2011 in Document No. 4814662. (Not a survey item. Refer to easement.)

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING SIGN
 - EXISTING CURB INLET
 - EXISTING FIELD PALET
 - EXISTING STORM MANHOLE
 - EXISTING ONE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING CURB STOP
 - EXISTING WELL
 - EXISTING WATER MANHOLE
 - EXISTING GAS VALVE
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING TV PEDESTAL
 - EXISTING TELEPHONE PEDESTAL
- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING FIBER OPTIC LINE
 - EXISTING RETAINING WALL
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING WATER MAIN (SIZE NOTED)

- DEMOLITION KEY:**
1. CLEAR AND GRUB EXISTING TREE/BRUSH.
 2. COORDINATE THE REMOVAL/BURY OF THE EXISTING OVERHEAD POWER LINE/POLE WITH MGC.
 3. REMOVE EXISTING CURB & GUTTER (SEE DEMOLITION LEGEND).
 4. REMOVE EXISTING CONCRETE SIDEWALK (SEE DEMOLITION LEGEND).
 5. REMOVE EXISTING DRIVEWAY APPROX.
 6. REMOVE EXISTING PAVEMENT (SEE DEMOLITION LEGEND).

DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SANDCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL



PROJECT: FRY STREET - MIXED USE DEVELOPMENT
 CLIENT: FRY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1000 W. 10TH STREET, SUITE 200
 PHILADELPHIA, PA 19107

PROJECT: 201515
 DRAWN BY: DPER
 DATE: 2-8-2017
 SCALE: 1"=10'
 LOG # 11-16-2016
 LAD USE 01-08-2017

SITE CONSTRUCTION NOTES:

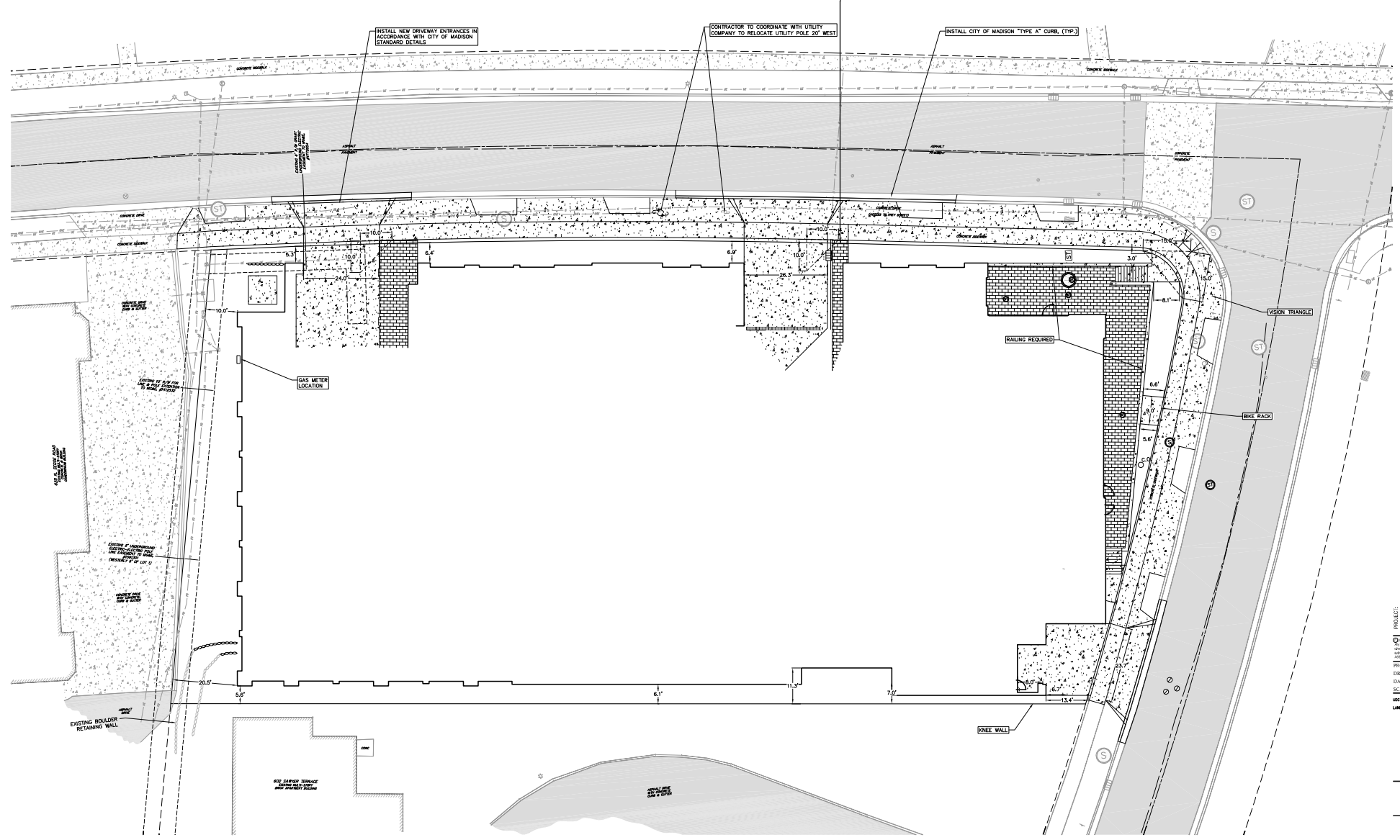
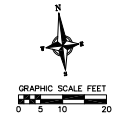
1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CURB FACE HEIGHT IN DRIVEWAYS SHALL BE 6 INCHES. CURB FACE IN PARKING LOTS SHALL BE 4 INCHES.
4. CONTRACTOR SHALL KEEP ALL DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ADJUTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DECEASABLE GRADE, REGARDLESS OF WHETHER THE CONDICTION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

DEMOLITION/EROSION CONTROL NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
11. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.

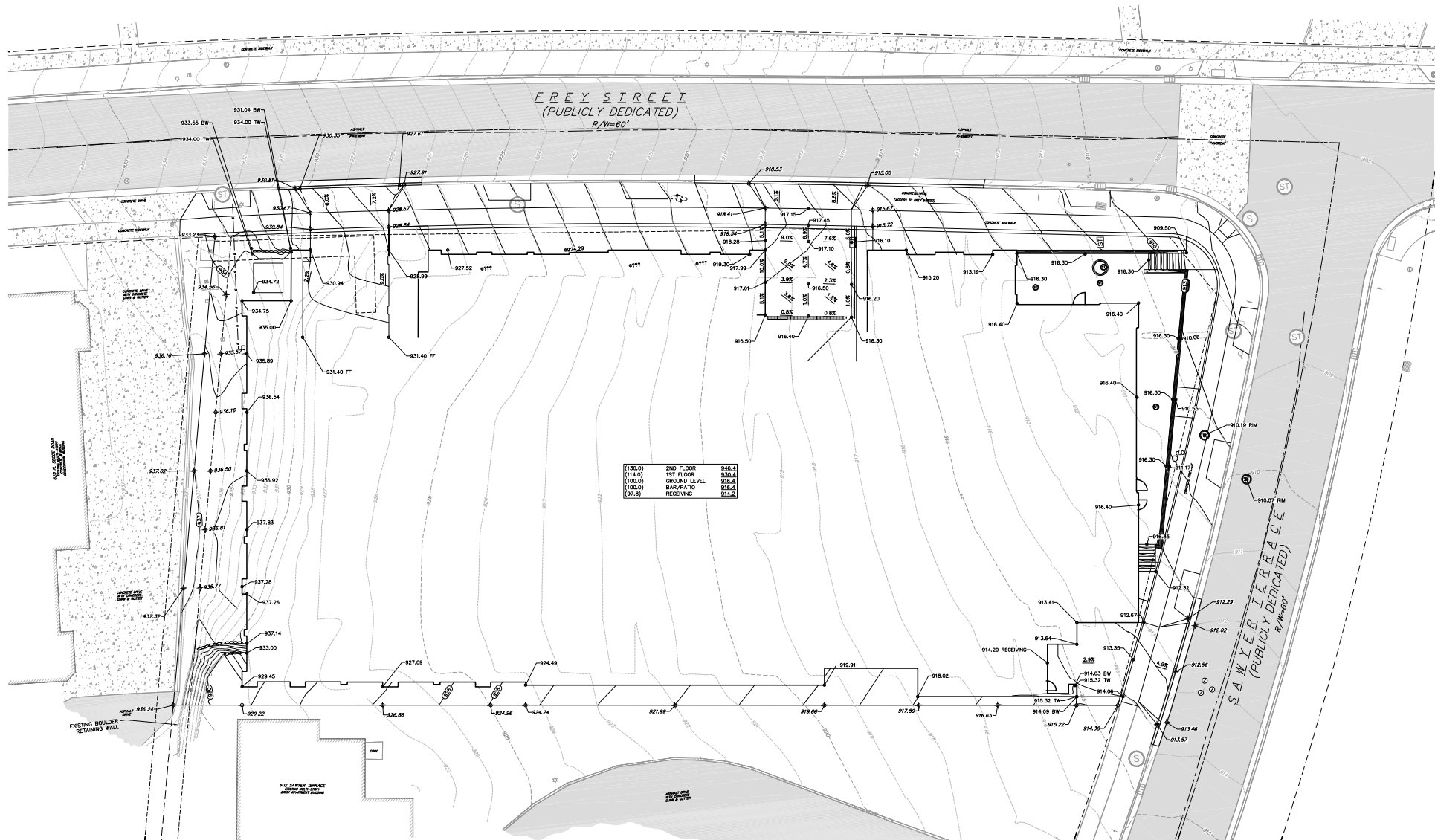
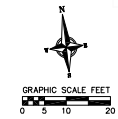
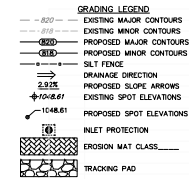
SITE PLAN LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPOSED LIGHT POLE



GRADING NOTES:

- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- INSTALL A 50' X 20' X 1.5" TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL 18" DOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND 18" DOT TYPE A IN FIELD INLETS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
- EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
- CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
- LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
- LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
- ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.



PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 DESIGNER: C/O RAYMOND MANAGEMENT COMPANY
 DATE: 2-8-2017
 SCALE: 1"=10'
 LWD: 11-16-2017

PROJECT: 201515
 DESIGNED BY: DPER
 DATE: 2-8-2017
 SCALE: 1"=10'
 LWD: 11-16-2017

UTILITY NOTES:

- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- FOR ALL SEWER AND WATER MAIN CROSSINGS, PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 10 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.300(3)(c).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.300(3)(c).
- PRIVATE WATER HYDRANTS SHALL BE YELLOW IN COLOR.
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUIVALENT MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.300(3)(c).

- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(X) AND SPS 382.40(8)(X).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(3).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES UNCONTROLLED AND RELOCATION OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION, THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.

EX. SANITARY SEWER CHART

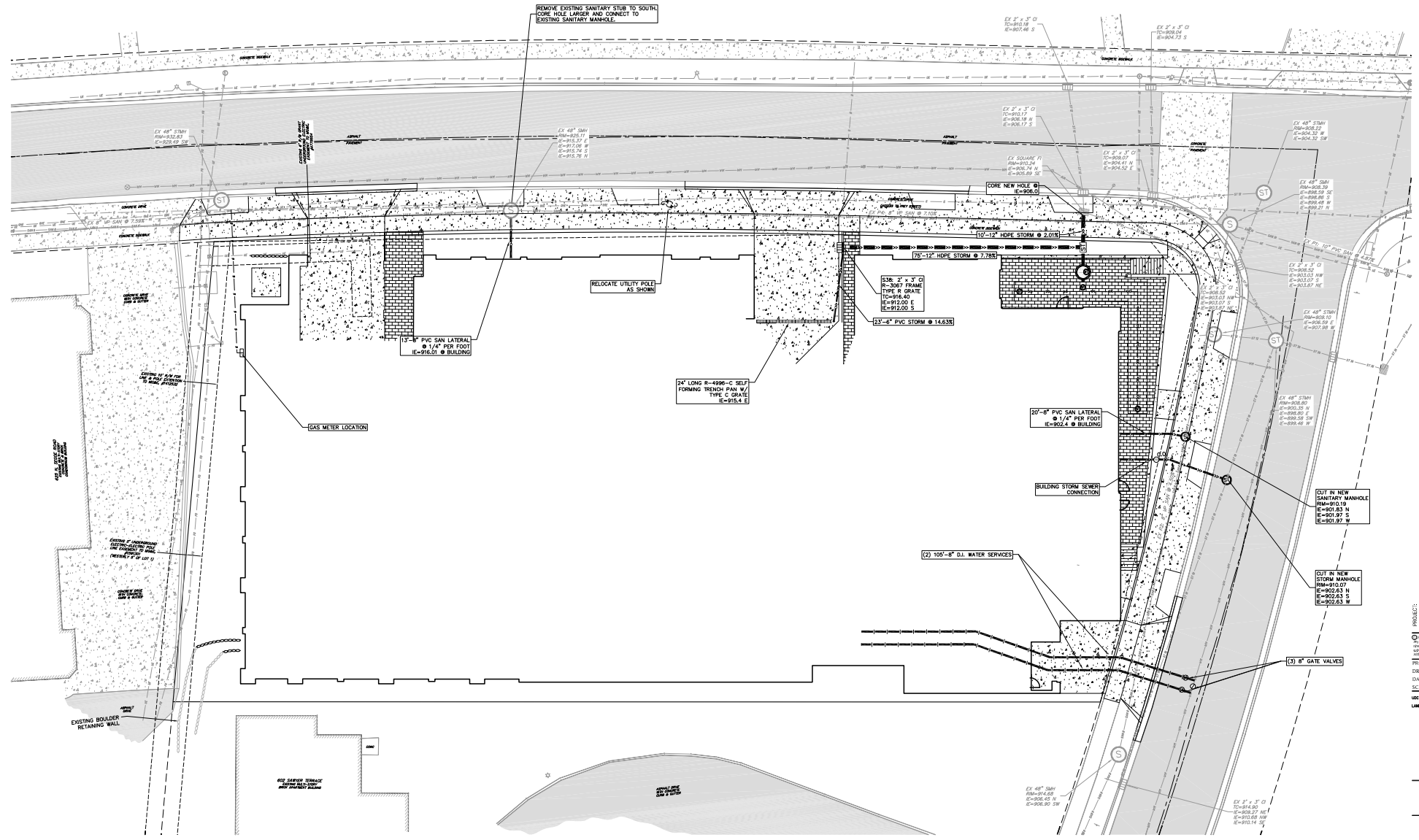
P1	= 8" @ 4.07%	CAPACITY=1,150 GPM
P2	= 8" @ 7.10%	CAPACITY=1,440 GPM
P3	= 8" @ 4.87%	CAPACITY=2,160 GPM
PROP. BUILDING 1200 GPM (PRELIMINARY ESTIMATE) = 240 GPM		

PROPOSED UTILITY LEGEND

- STORM SEWER PIPE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER CURB INLET W/MANHOLE
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER LATERAL PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER MAIN
- WATER SERVICE LATERAL PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE

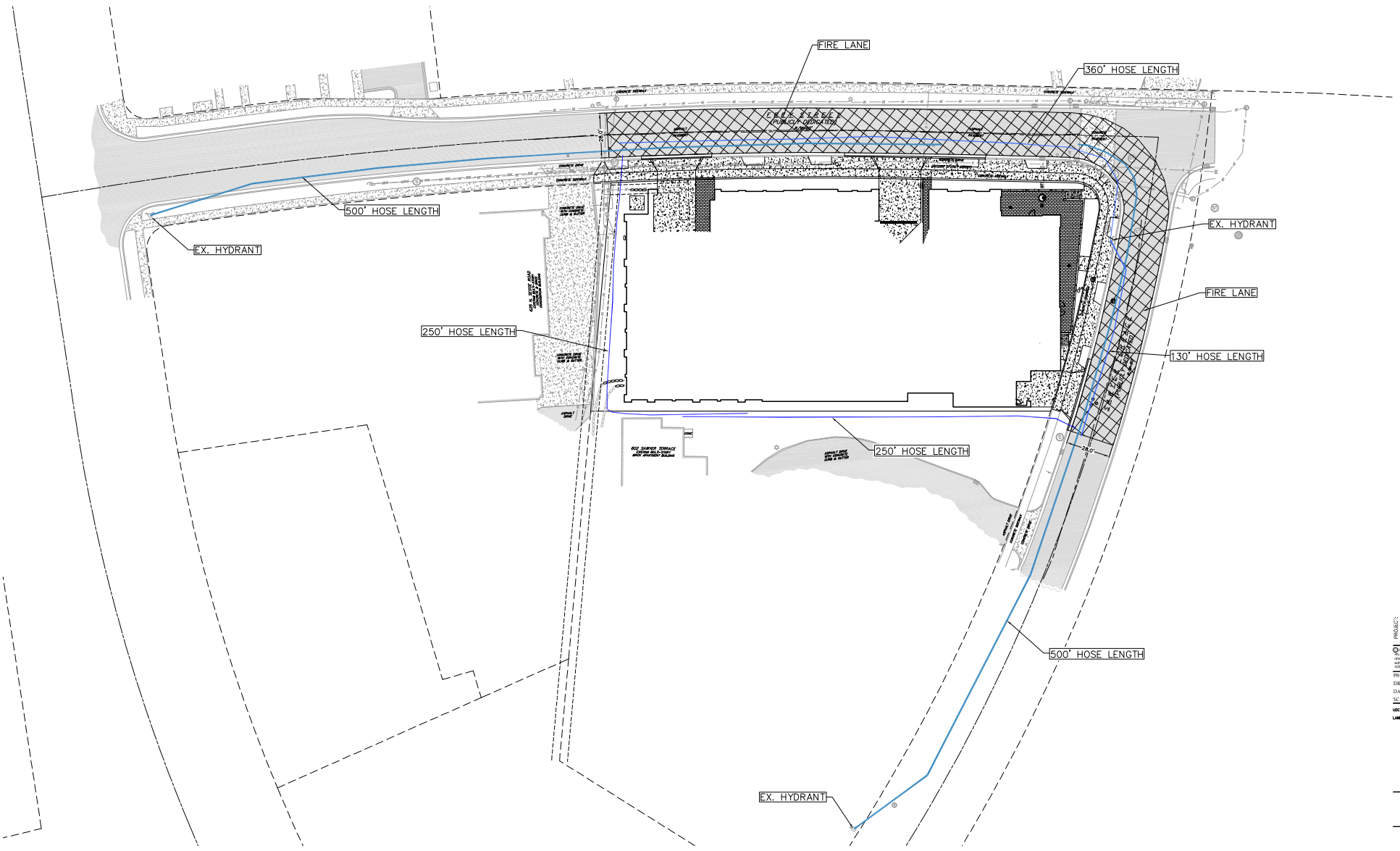
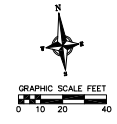
ABBREVIATIONS

- STORM MANHOLE
- FIELD STOP
- CURB INLET
- CURB STOP
- WATER VALVE MANHOLE
- GAS MAN
- ELECTRIC SERVICE



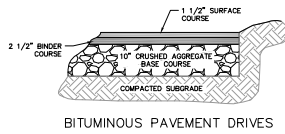
PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 10000 15th Avenue SW
 Everett, WA 98201
 425.771.1111

PROJECT: 201515
 DRAWN BY: DPER
 DATE: 2-8-2017
 SCALE: 1"=10'
 UIC #: 11-16-2008
 LWD IFC: 02-08-2017



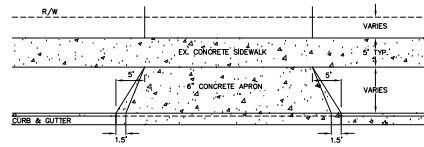
PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 1000 W. WASHINGTON ST. WISCONSIN 53102
 CLIENT: FREY STREET LODGING ASSOCIATES, LLC
 C/O RAYMOND MANAGEMENT COMPANY
 1000 W. WASHINGTON ST. WISCONSIN 53102

PROJECT: 20-015
 DRAWN BY: DPER
 DATE: 2-8-2017
 SCALE: 1"=20'
 LSC #: 11-16-2016
 LSC REC: 02-08-2017

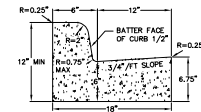


BITUMINOUS PAVEMENT DRIVES

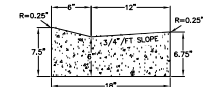
1 SITE PAVEMENT
 NOT TO SCALE



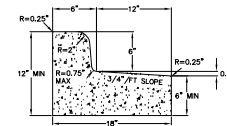
2 DRIVEWAY DETAIL
 NOT TO SCALE



CURB AND GUTTER
 CROSS SECTION



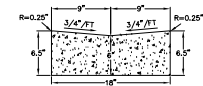
DRIVEWAY GUTTER
 CROSS SECTION



CURB AND GUTTER
 REJECT SECTION

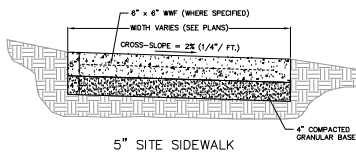


HANDICAP RAMP
 GUTTER CROSS SECTION

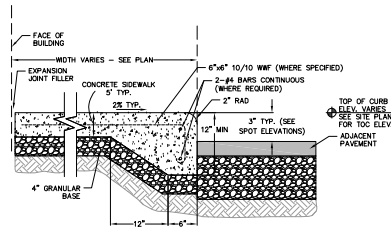


VALLEY CURB AND
 GUTTER CROSS SECTION

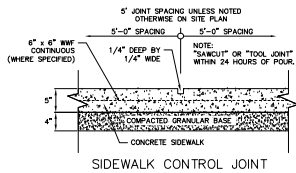
3 18" CONCRETE CURB AND GUTTER
 NOT TO SCALE



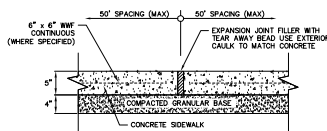
5" SITE SIDEWALK



5 CURBED SIDEWALK DETAIL
 NOT TO SCALE

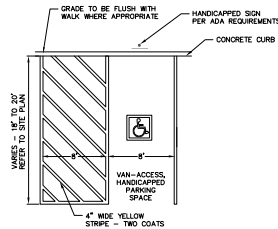


SIDEWALK CONTROL JOINT

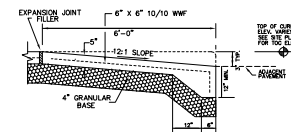


SIDEWALK EXPANSION JOINT

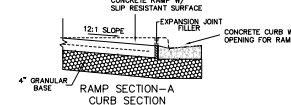
4 5" SIDEWALK
 NOT TO SCALE



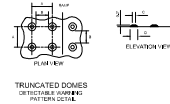
6 HANDICAP STRIPING
 NOT TO SCALE



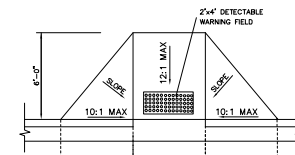
RAMP SECTION—A
 SIDEWALK / CURB COMBINATION



RAMP SECTION—A
 CURB SECTION



TRUNCATED DOMES
 DETECTABLE WARNING
 FIELD (TYPICAL)



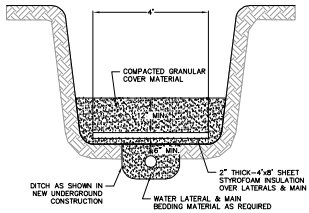
RAMP PROFILE VIEW

GENERAL NOTES:
 DETECTABLE DOME
 SQUARE SHALL BE BUILT AT 10:1 ON FLATTER
 WHEN NECESSARY, THE SIDEWALK ELEVATION
 MAY BE CORRECTED TO MEET THE HIGH POINT
 ON THE RAMP.

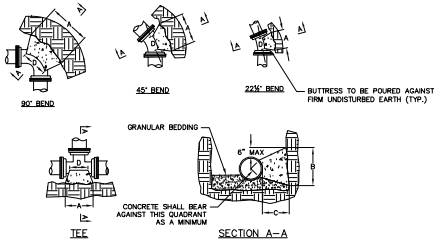


DETECTABLE WARNING
 FIELD (TYPICAL)

7 CURB RAMP DETAIL
 NOT TO SCALE



1 INSULATION DETAIL
 c2.2 NOT TO SCALE

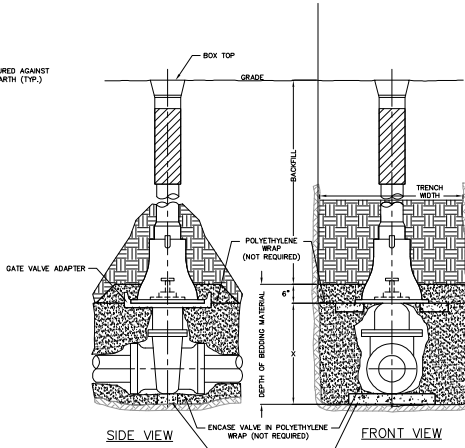


2 GATE VALVE AND GATE VALVE ADAPTOR
 c2.2 NOT TO SCALE

DIMENSION "D" SHALL BE AS LARGE AS POSSIBLE, BUT THE CONCRETE SHALL NOT INTERFERE WITH THE MECHANICAL JOINTS.
 DIMENSION "C" SHALL BE AT LEAST 6 INCHES, AND LARGE ENOUGH TO MAKE THE "D" ANGLE EQUAL TO OR GREATER THAN 45 DEGREES WITH THE DIMENSION "A" AS SHOWN ON THE TABLE, OR GREATER, AND WITH DIMENSION "D" AS LARGE AS POSSIBLE.

BUTRESS DIMENSIONS									
PIPE SIZE	TYPES	11" BEND	15" BEND	22 1/2" BEND	45° BEND	90° BEND	A	B	C
4	1	2 1/2"	2 1/2"	2 1/2"	2 1/2"	2 1/2"	1 1/2"	1 1/2"	1 1/2"
6	1	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	2 1/2"	2 1/2"	2 1/2"
8	1	4 1/2"	4 1/2"	4 1/2"	4 1/2"	4 1/2"	3 1/2"	3 1/2"	3 1/2"
10	1	5 1/2"	5 1/2"	5 1/2"	5 1/2"	5 1/2"	4 1/2"	4 1/2"	4 1/2"
12	1	6 1/2"	6 1/2"	6 1/2"	6 1/2"	6 1/2"	5 1/2"	5 1/2"	5 1/2"
14	1	7 1/2"	7 1/2"	7 1/2"	7 1/2"	7 1/2"	6 1/2"	6 1/2"	6 1/2"
16	1	8 1/2"	8 1/2"	8 1/2"	8 1/2"	8 1/2"	7 1/2"	7 1/2"	7 1/2"
18	1	9 1/2"	9 1/2"	9 1/2"	9 1/2"	9 1/2"	8 1/2"	8 1/2"	8 1/2"
20	1	10 1/2"	10 1/2"	10 1/2"	10 1/2"	10 1/2"	9 1/2"	9 1/2"	9 1/2"
22	1	11 1/2"	11 1/2"	11 1/2"	11 1/2"	11 1/2"	10 1/2"	10 1/2"	10 1/2"
24	1	12 1/2"	12 1/2"	12 1/2"	12 1/2"	12 1/2"	11 1/2"	11 1/2"	11 1/2"
26	1	13 1/2"	13 1/2"	13 1/2"	13 1/2"	13 1/2"	12 1/2"	12 1/2"	12 1/2"
28	1	14 1/2"	14 1/2"	14 1/2"	14 1/2"	14 1/2"	13 1/2"	13 1/2"	13 1/2"
30	1	15 1/2"	15 1/2"	15 1/2"	15 1/2"	15 1/2"	14 1/2"	14 1/2"	14 1/2"
32	1	16 1/2"	16 1/2"	16 1/2"	16 1/2"	16 1/2"	15 1/2"	15 1/2"	15 1/2"
34	1	17 1/2"	17 1/2"	17 1/2"	17 1/2"	17 1/2"	16 1/2"	16 1/2"	16 1/2"
36	1	18 1/2"	18 1/2"	18 1/2"	18 1/2"	18 1/2"	17 1/2"	17 1/2"	17 1/2"
38	1	19 1/2"	19 1/2"	19 1/2"	19 1/2"	19 1/2"	18 1/2"	18 1/2"	18 1/2"
40	1	20 1/2"	20 1/2"	20 1/2"	20 1/2"	20 1/2"	19 1/2"	19 1/2"	19 1/2"
42	1	21 1/2"	21 1/2"	21 1/2"	21 1/2"	21 1/2"	20 1/2"	20 1/2"	20 1/2"
44	1	22 1/2"	22 1/2"	22 1/2"	22 1/2"	22 1/2"	21 1/2"	21 1/2"	21 1/2"
46	1	23 1/2"	23 1/2"	23 1/2"	23 1/2"	23 1/2"	22 1/2"	22 1/2"	22 1/2"
48	1	24 1/2"	24 1/2"	24 1/2"	24 1/2"	24 1/2"	23 1/2"	23 1/2"	23 1/2"
50	1	25 1/2"	25 1/2"	25 1/2"	25 1/2"	25 1/2"	24 1/2"	24 1/2"	24 1/2"
52	1	26 1/2"	26 1/2"	26 1/2"	26 1/2"	26 1/2"	25 1/2"	25 1/2"	25 1/2"
54	1	27 1/2"	27 1/2"	27 1/2"	27 1/2"	27 1/2"	26 1/2"	26 1/2"	26 1/2"
56	1	28 1/2"	28 1/2"	28 1/2"	28 1/2"	28 1/2"	27 1/2"	27 1/2"	27 1/2"
58	1	29 1/2"	29 1/2"	29 1/2"	29 1/2"	29 1/2"	28 1/2"	28 1/2"	28 1/2"
60	1	30 1/2"	30 1/2"	30 1/2"	30 1/2"	30 1/2"	29 1/2"	29 1/2"	29 1/2"
62	1	31 1/2"	31 1/2"	31 1/2"	31 1/2"	31 1/2"	30 1/2"	30 1/2"	30 1/2"
64	1	32 1/2"	32 1/2"	32 1/2"	32 1/2"	32 1/2"	31 1/2"	31 1/2"	31 1/2"
66	1	33 1/2"	33 1/2"	33 1/2"	33 1/2"	33 1/2"	32 1/2"	32 1/2"	32 1/2"
68	1	34 1/2"	34 1/2"	34 1/2"	34 1/2"	34 1/2"	33 1/2"	33 1/2"	33 1/2"
70	1	35 1/2"	35 1/2"	35 1/2"	35 1/2"	35 1/2"	34 1/2"	34 1/2"	34 1/2"
72	1	36 1/2"	36 1/2"	36 1/2"	36 1/2"	36 1/2"	35 1/2"	35 1/2"	35 1/2"
74	1	37 1/2"	37 1/2"	37 1/2"	37 1/2"	37 1/2"	36 1/2"	36 1/2"	36 1/2"
76	1	38 1/2"	38 1/2"	38 1/2"	38 1/2"	38 1/2"	37 1/2"	37 1/2"	37 1/2"
78	1	39 1/2"	39 1/2"	39 1/2"	39 1/2"	39 1/2"	38 1/2"	38 1/2"	38 1/2"
80	1	40 1/2"	40 1/2"	40 1/2"	40 1/2"	40 1/2"	39 1/2"	39 1/2"	39 1/2"
82	1	41 1/2"	41 1/2"	41 1/2"	41 1/2"	41 1/2"	40 1/2"	40 1/2"	40 1/2"
84	1	42 1/2"	42 1/2"	42 1/2"	42 1/2"	42 1/2"	41 1/2"	41 1/2"	41 1/2"
86	1	43 1/2"	43 1/2"	43 1/2"	43 1/2"	43 1/2"	42 1/2"	42 1/2"	42 1/2"
88	1	44 1/2"	44 1/2"	44 1/2"	44 1/2"	44 1/2"	43 1/2"	43 1/2"	43 1/2"
90	1	45 1/2"	45 1/2"	45 1/2"	45 1/2"	45 1/2"	44 1/2"	44 1/2"	44 1/2"
92	1	46 1/2"	46 1/2"	46 1/2"	46 1/2"	46 1/2"	45 1/2"	45 1/2"	45 1/2"
94	1	47 1/2"	47 1/2"	47 1/2"	47 1/2"	47 1/2"	46 1/2"	46 1/2"	46 1/2"
96	1	48 1/2"	48 1/2"	48 1/2"	48 1/2"	48 1/2"	47 1/2"	47 1/2"	47 1/2"
98	1	49 1/2"	49 1/2"	49 1/2"	49 1/2"	49 1/2"	48 1/2"	48 1/2"	48 1/2"
100	1	50 1/2"	50 1/2"	50 1/2"	50 1/2"	50 1/2"	49 1/2"	49 1/2"	49 1/2"

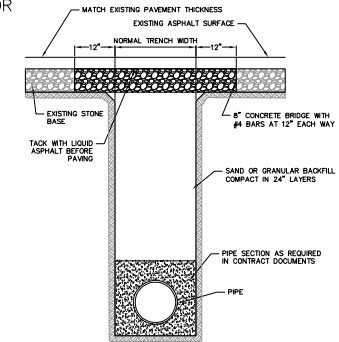
DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/50 FT.
 * * * FOR SEE THIS WILL BE THE BRANCH PIPE.
 CONCRETE SHALL BE CLASS "A"



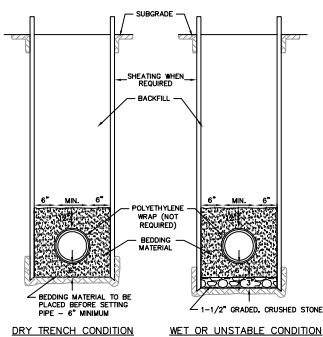
3 BUTRESS FOR BENDS
 c2.2 NOT TO SCALE

PIPE DIA. INCHES	X-SETTING INCHES
2	6
3	7
4	8
6	12
8	15
12	21
16	30

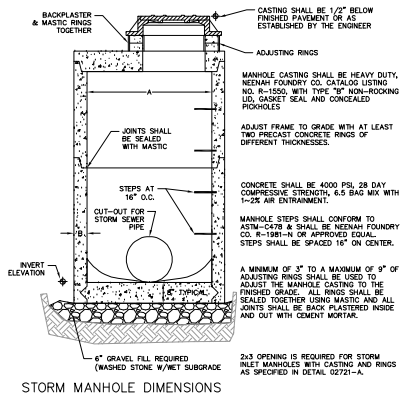
4 STANDARD GATE VALVE BOX SETTING
 c2.2 NOT TO SCALE



5 CUT PAVEMENT TRENCH SECTION
 c2.2 NOT TO SCALE

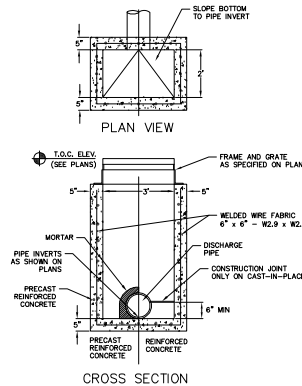


6 STANDARD WATERMAIN TRENCH SECTION
 c2.2 NOT TO SCALE

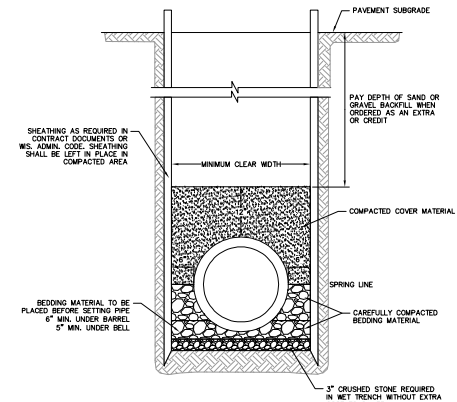


MANHOLE SIZE	DIMENSION	
	A (MIN.)	B (MIN.)
48"	48"	6"
60"	60"	6"
72"	72"	6"
84"	84"	6"
96"	96"	6"

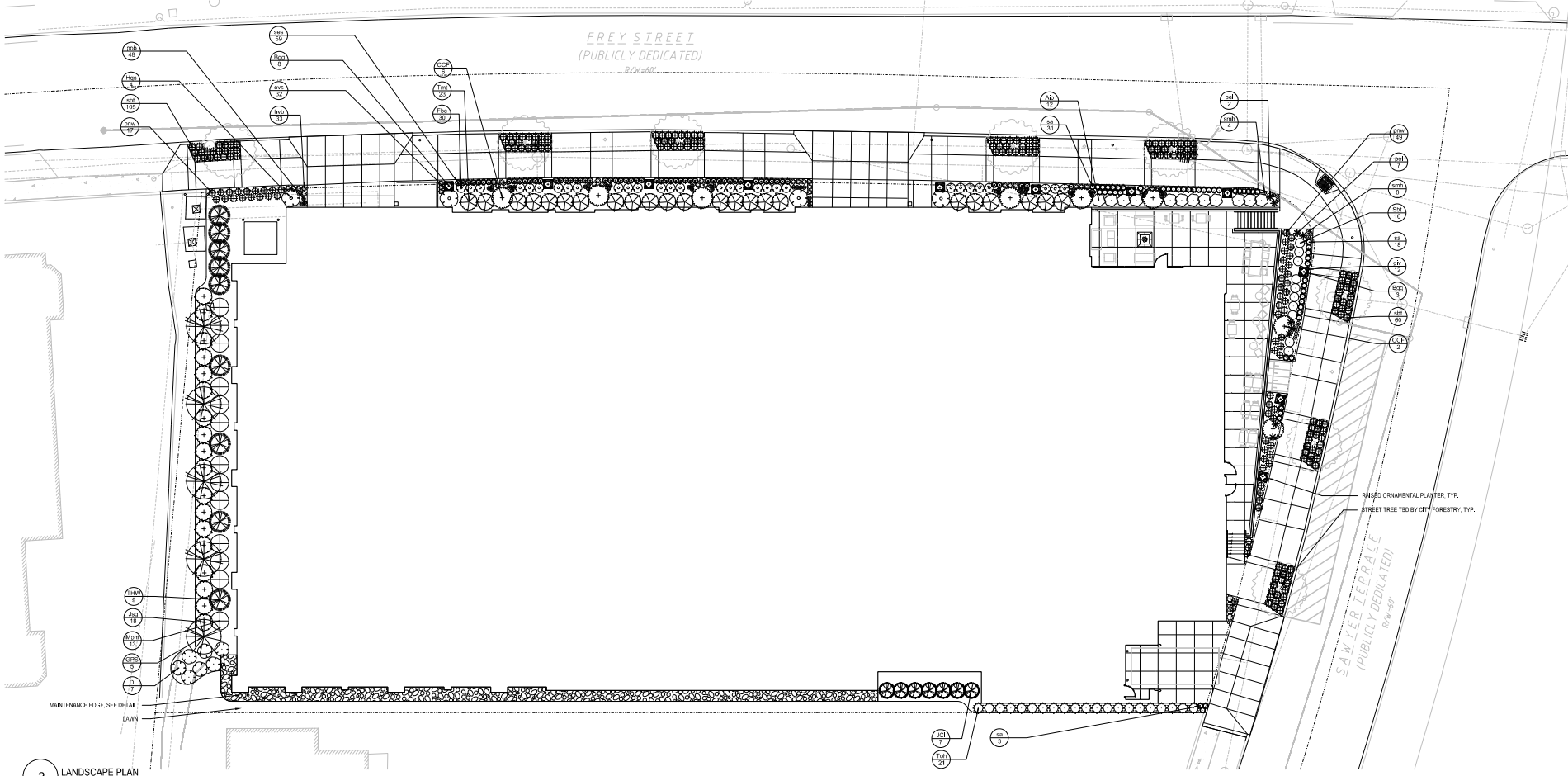
7 STORM SEWER MANHOLE
 c2.2 NOT TO SCALE



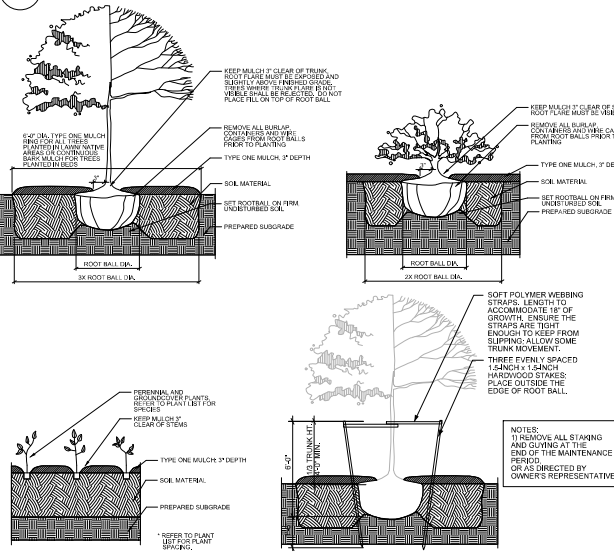
8 CURB INLET - TYPE 3, 2' x 3' BASIN
 c2.2 NOT TO SCALE



9 CLASS B BEDDING COMPACTED SECTION
 c2.2 NOT TO SCALE



2 LANDSCAPE PLAN
 1"=10'-0" on 36"x48" sheet



Frey Street Redevelopment

Element	Point Value	Quantity Proposed	Quantity Existing	Points Assigned
Developed Lots	10	118	0	118
Development Frontage	10	14	0	14
Element	Point Value	Quantity Proposed	Quantity Existing	Points Assigned
Overstory Deciduous Tree	10	0	0	0
Tall Evergreen Tree	5	0	0	0
Overstory Tree	10	0	0	0
Upright Evergreen Shrub	3	50	0	150
Ornamental Shrub	3	50	0	150
Shrub, evergreen	3	50	0	150
Overstory Conifer/Decid	2	10	0	20
Development Frontage Points Total				716

Element	Point Value	Quantity Proposed	Quantity Existing	Points Assigned
Overstory Deciduous Tree	10	0	110	110
Tall Evergreen Tree	5	0	0	0
Overstory Tree	10	0	0	0
Upright Evergreen Shrub	3	10	0	30
Ornamental Shrub	3	21	0	63
Shrub, evergreen	3	0	0	0
Overstory Conifer/Decid	2	0	0	0
Overstory Deciduous Tree	10	0	0	0
Development Frontage Points Total				193

TOTAL LANDSCAPE POINTS 1710

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	COLT	COLT	COLT	COLT
OR	ORNAMENTAL TREES	BT	CA	DE	OT
SH	SHRUBS	BT	CA	DE	OT
GR	GRASSES	BT	CA	DE	OT
FR	FERTILIZER	BT	CA	DE	OT
PR	PERMANENT PERENNIALS	BT	CA	DE	OT
OR	ORNAMENTAL TREES	BT	CA	DE	OT
SH	SHRUBS	BT	CA	DE	OT
GR	GRASSES	BT	CA	DE	OT
FR	FERTILIZER	BT	CA	DE	OT
PR	PERMANENT PERENNIALS	BT	CA	DE	OT

- NOTES:**
- Contractor shall contact City Forestry at least 48 hours prior to any work on street trees.
 - The planned removal of trees includes all brush and stump removal.
 - Approval and permitting of street tree removals and street tree planting shall be obtained from the City Forester and/or the Board of Public Works prior to the approval of the site plan. Any tree removals that are required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry to notify the Alder of the change in the tree plan.
 - Street trees shall be planted per planting specifications found in section 209 of City of Madison Standard Specifications for Public Works Construction.
 - All at-grade planting areas shall receive 18" topsoil minimum, 2" of compost meeting N10000 specification S100 shall be tilled into the top 6" of topsoil. Topsoil shall meet City of Madison Standard Specifications for Public Works Construction.
 - All raised planters shall receive 18" planter soil minimum. Basis of design is PM15 Planter Mix by Midwest Trading (http://www.midwesttrading.com/product/PM15-Planter-Mix) or approved equal.
 - All plant beds shall be treated with pre-emergent herbicide after planting and prior to mulching. Apply per manufacturer's specifications.
 - All plant beds shall have 3" shredded hardwood bark mulch unless otherwise noted.
 - All plant beds not adjacent to hardscape shall have a shock-cut edge unless otherwise noted.
 - All plant material shall be warranted for 12 months following substantial completion. All plants shall be in healthy, flourishing condition at installation and through warranty period as determined by landscape architect. Contractor will be required to replace unacceptable plants.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN IS FOR INFORMATION ONLY. THE EXACT LOCATION OF ANY UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

CALL DIGGERS HOTLINE
 1-800-442-8019
 TOLL FREE

EX. A - STATE #202, 9744
 TDD FOR HEARING IMPAIRED: 1-800-542-2289
 RE: STATE #202, 9744
 NOTICE: NO EXCAVATION

GRAPHIC SCALE FEET
 0 5 10 20

L1.01

LANDSCAPE PLAN

Post and Ring



Product Information

Bollard
TF 6030

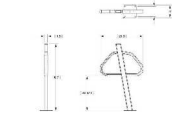


- Size: 12" Sq. x 30"
- Weight: 380 Lbs.
- Material: Recycled concrete
- Reinforcing: 1/4" & 3/8" Dia. steel rebar
- Core Size: 47 3/8" x 14 1/8"
- Mounting Options: Colors A or B

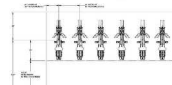
Finish Options
Standard
Exposed Aggregate
Weatherstone



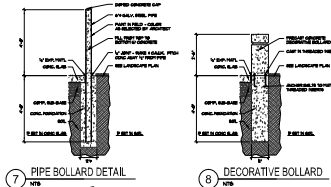
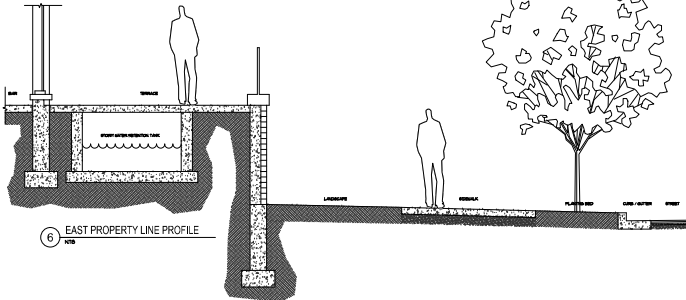
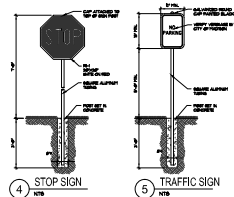
DECORATIVE BOLLARD PRODUCT INFO



Recommended Spacing



BIKE RACK PRODUCT INFO



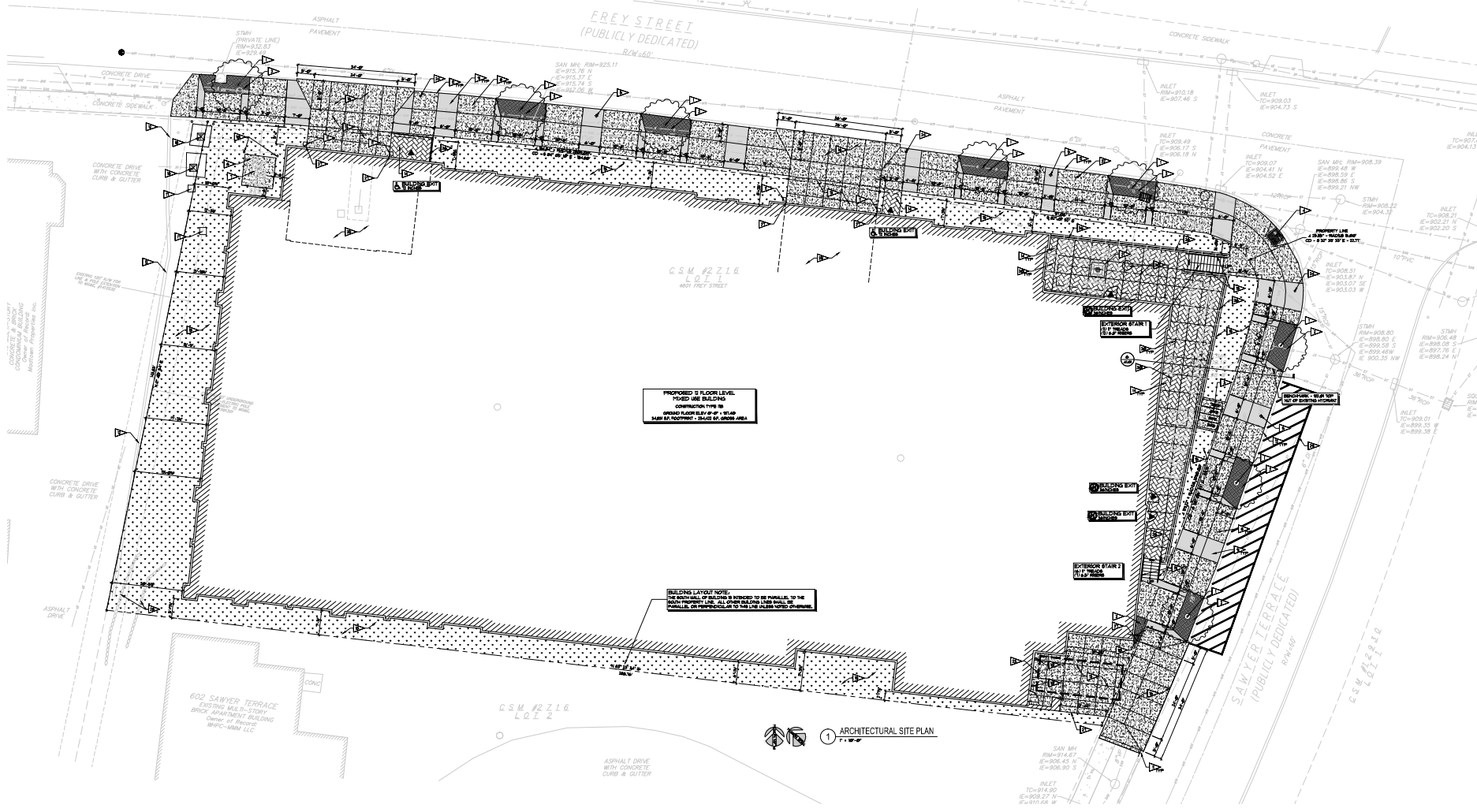
GENERAL PLAN NOTES

1. ANY CHANGE TO THESE PRODUCT BILL REQUIRE REVISION IN ACCORDANCE WITH PLAN PERIODIC SYSTEM.
2. THE USER SHALL VERIFY ANY OTHER NOTES ON THE PROPERTY PLAN IS COMPLETED BY THE CONTRACTOR ON AN INDIVIDUAL BASIS AND RESPONSIBILITY OF THE USER OF THESE CITY ENGINEERING DRAWINGS TO THE CONTRACTOR DURING THE CONSTRUCTION OF THIS PROJECT.
3. ALL NOTES ON THESE DRAWINGS SHALL BE SUPERSEDED BY ANY CITY ENGINEERING DRAWING THAT IS SUPPLEMENTED BY ANY CITY ENGINEERING DRAWING.
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SYMBOL LEGEND

KEY NOTES - SITE PLAN

- 1. SEE PLAN FOR LOCATION OF ALL STRUCTURES.
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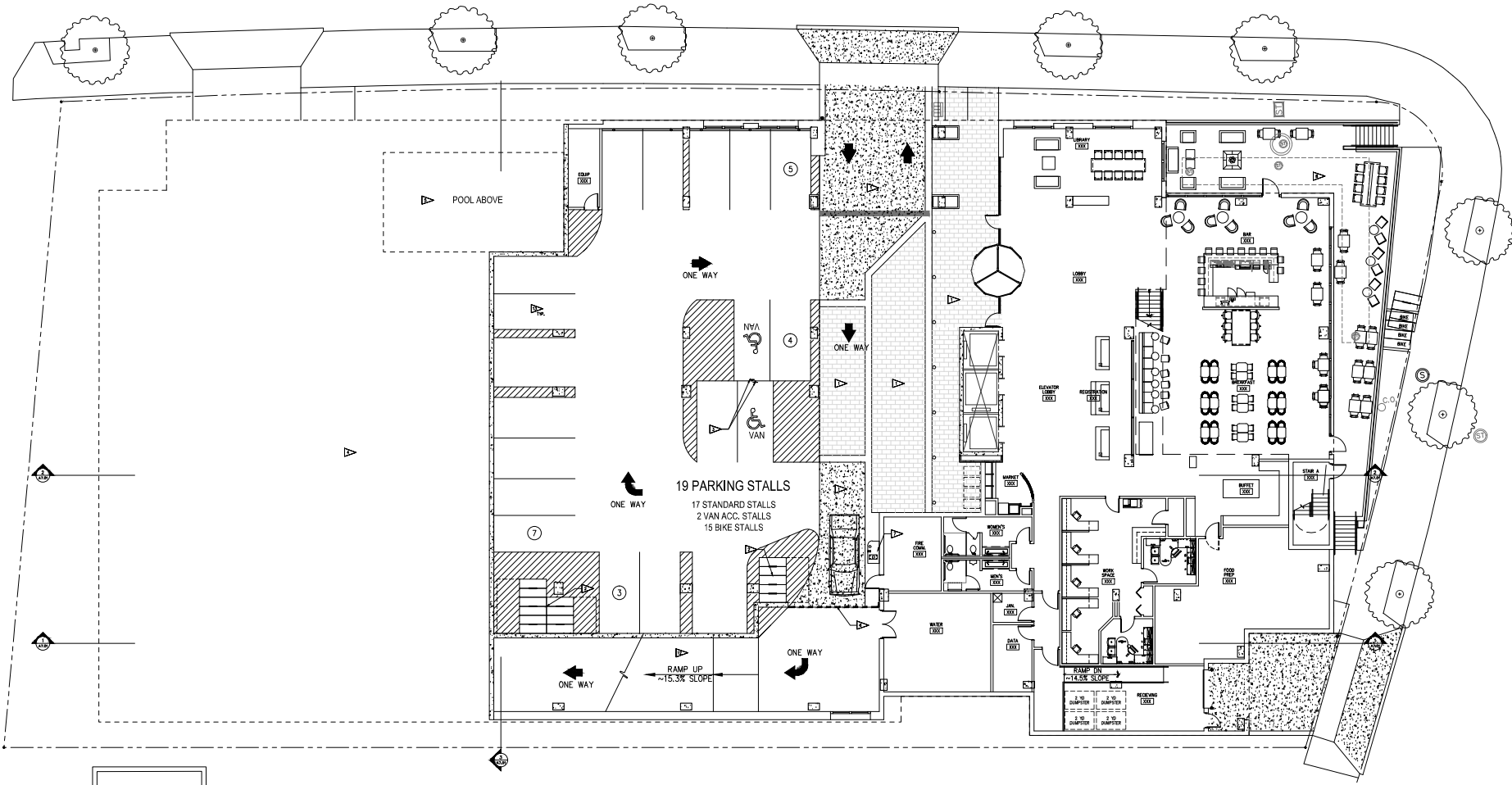
PROPOSED 2 FLOOR LEVEL
FIXED USE BUILDING
CONSTRUCTION TIME IS
SPRING 2018 - SLATE BY 2020

BUILDING LAYOUT NOTE:
THE INTERIOR OF THIS PLAN IS INTENDED TO BE PARALLEL TO THE
ADJACENT PROPERTY LINES, AND OTHER SPACING IS TO BE
PARALLEL TO THE ADJACENT PROPERTY LINES.

ARCHITECTURAL SITE PLAN

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
ARCHITECT: C/O RAYMOND MANAGEMENT COMPANY
DATE: 08/08/18
SCALE: AS NOTED
LAD: 2018

SITE PLAN



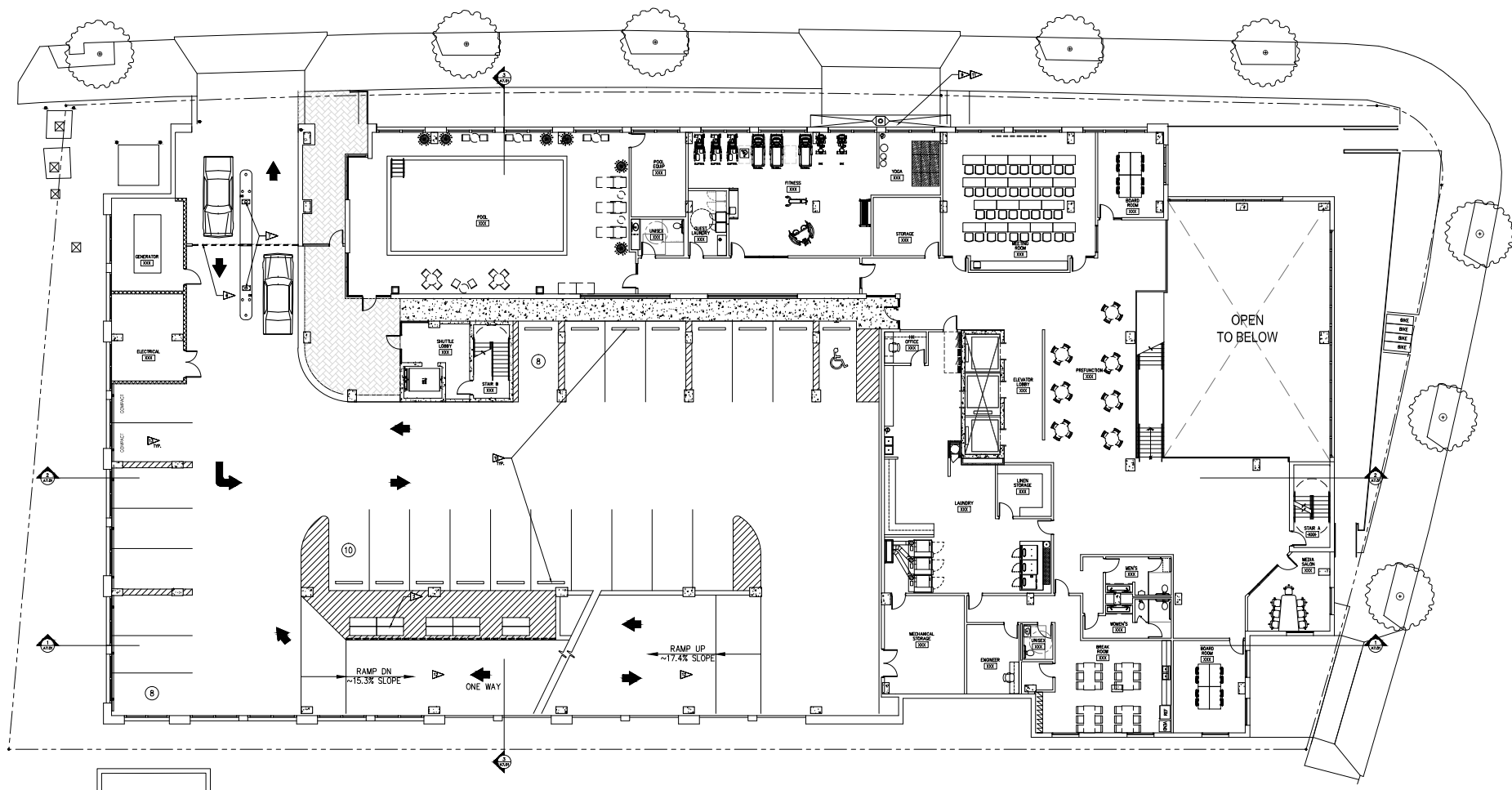
FLOOR PLAN
 GROUND LEVEL
 1/8" = 1'-0"

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE-OF-WALL UNLESS NOTED OTHERWISE.		○ DECATUR CONCRETE FINISH BY/ RAMPING REBAR.	
2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHES (OR MARKING).		○ BAKE FINISH DOOR. SEE ALSO FOR DETAILS.	
3. CONDITIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARIOUS LAYERS OF FINISHES, WALLS, GROUND, OR FINISHES WHICH WILL BE ADAPTED BY THE CONTRACTOR.		○ HANDSPRINK FINISH. SEE ALSO FOR DETAILS.	
4. SEE I/P PLAN FOR DIMENSIONS OF SPECIFIC AREAS.		○ UNINDICATED WALLS BELOW FIRST FLOOR.	
5. SEE SHEET 12 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.		○ POOL FINISH.	
6. EXISTING WALLS TO REMAIN. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.		○ HIGH SPEED REAR DOOR.	
7. EXISTING WALLS TO REMAIN. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.		○ HIGH SPEED REAR DOOR.	
8. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM FINISH WALL.		○ HIGH SPEED REAR DOOR.	
		○ DOOR ACCESS CONTROL SYSTEM.	
		○ ELEVATED ENTRANCE BY STORM WATER RETENTION FOR OIL DRAINAGE.	
		○ CANNOPY REBAR.	
		○ WHEEL STOP FOR ALUM.	
		○ BALLASTED BLACK BISHOP OVER 4" MIN. OF POLY FILL.	
		○ CONCRETE SPEED RAMP W/ TRANSITION AT TOP & BOTTOM.	
		○ COMPACT FINISHES SHALL USE FINISHES AS NOTED. ALL ARE GREATER THAN 4'-11" IN WIDTH & 4'-11" HIGH.	
		○ FINISHED ALUMINUM FINISHES.	
		○ METEORICAL FINISH BY ALUMINUM FINISHES.	
		○ OUTLINE OF HOTEL, OTHER AREAS.	

PLAN SYMBOLS	
○	WALL-INDICATED THE EXTERIOR FINISHES (A,B,C,D,E,F,G,H,I,J,K,L,M,N,O,P,Q,R,S,T,U,V,W,X,Y,Z) SHALL BE THE FINISHES INDICATED BY THE MANUFACTURER'S COMPANY OR APPROVED EQUAL.
○	WALL-INDICATED THE EXTERIOR FINISHES (A,B,C,D,E,F,G,H,I,J,K,L,M,N,O,P,Q,R,S,T,U,V,W,X,Y,Z) SHALL BE THE FINISHES INDICATED BY THE MANUFACTURER'S COMPANY OR APPROVED EQUAL.
○	WALL-INDICATED THE EXTERIOR FINISHES (A,B,C,D,E,F,G,H,I,J,K,L,M,N,O,P,Q,R,S,T,U,V,W,X,Y,Z) SHALL BE THE FINISHES INDICATED BY THE MANUFACTURER'S COMPANY OR APPROVED EQUAL.
○	FLOOR FINISH.
○	DOOR LEADER. REFER TO PLUMBING.
○	DOOR TYPE. REFER TO FINISHES SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.
○	DOOR/INTERIOR FINISHES. REFER TO FINISHES SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.

PROJECT: GREENTREE - MIXED USE DEVELOPMENT
 ARCHITECT: GBA
 CLIENT: GREENTREE DEVELOPMENT
 FREY STREET LODGING ASSOCIATES, LLC
 GO RAYMOND MANAGEMENT COMPANY
 11/18/2016

PROJECT: 201225
 DRAWN BY: BLM
 DATE: 12-15-2016
 SCALE: 1/8" = 1'-0"
 IUC #: 11-18-2016
 LAND USE: 02-08-2017



FLOOR PLAN
FIRST FLOOR
1/8" = 1'-0"

GENERAL PLAN NOTES		KEY NOTES	
1.	ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.	○	DECORATIVE CONCRETE FINISH BY ROOM/AREA.
2.	EXTERIOR DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE (ON BALCONY).	○	BIKE PARKING DOOR. SEE ALSO FOR DETAILS.
3.	CONCRETE FLOORING DO NOT TAKE INTO ACCOUNT THE VARIING LAYERS OF CONCRETE. CONCRETE IS TO BE CAST ON A COMPACTED SUBGRADE.	○	HANDICAP SIGN. SEE ALSO FOR DETAILS.
4.	SEE 'LAV' PLAN FOR DIMENSIONS OF BATHS AND TOILETS.	○	UNDEVELOPED AREA BELOW FIRST FLOOR.
5.	SEE 'LAV' PLAN FOR DIMENSIONS OF BATHS AND TOILETS.	○	POOL NOTE.
6.	WHEN RATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD FLOOR OR CEILING, INDICATE TO COVER THE SYSTEMS BY CONTINUING WORK TO MATCH THE WALL IN THE OPEN.	○	HIGH SPEED HEAD DOOR.
7.	SEE SHEET 2 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.	○	DOOR ACCESS CONTROL SYSTEM.
8.	COVERED JOIST, PROVIDE ALL JOIST SECURED FROM BOUNCE INCLUDING OCCUPANT SPACE AND ALL NEARING EXISTING FLOORING.	○	ELEVATED TERRACE BY STONE WALKER RECEPTION FOR OIL DRUMS.
9.	VALUED NOTES OF SHOW CHANGES. ALL CHANGES ARE TO BE LOCATED 4" FROM EXISTING WALL.	○	CANOPY REAR.

PLAN SYMBOLS	
○	WALL-MOUNTED FIRE EXTINGUISHER. I.A. RATED. 10-LB. NOMINAL CAPACITY APPROXIMATE CAPACITY BY LABEL. MANUFACTURER COMPANY, OR MANUFACTURER COMPANY OF APPROVED EQUIVALENT.
○	WALL-MOUNTED FIRE EXTINGUISHER. I.A. RATED. 10-LB. NOMINAL CAPACITY APPROXIMATE CAPACITY BY LABEL. MANUFACTURER COMPANY, OR MANUFACTURER COMPANY OF APPROVED EQUIVALENT.
○	INDICATE WALL TYPE. REFER TO SHEET 2 FOR WALL TYPE CONSTRUCTION.
○	FLOOR DOOR.
○	DOOR LEADER. REFER TO PLUMBING.
○	DOOR TYPE. REFER TO FINISHES SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.
○	DOOR/WINDOW OPENING NUMBER. REFER TO FINISHES SCHEDULE FOR WINDOW AND WINDOW OPENING SCHEDULE.

FIRST FLOOR PLAN	
○	WALL STOP FOR ALUM.
○	BALLASTED GLASS BLOW OVER 4" MIN. OF POLY INS.
○	CONCRETE SPEED RAMP R/L TRANSITION AT TOP & BOTTOM.
○	COMPACT GRANULAR FILL. SEE FINISHES IN MANUAL. ALL ARE DEEPER THAN 4" IN WIDTH & 4" AT DEPT.
○	PAVED ALUMINUM FLOOR.
○	METALLIC WHT R/L ALUMINUM SCREEN.
○	DETAILS OF HOTEL NUMBER PANEL.

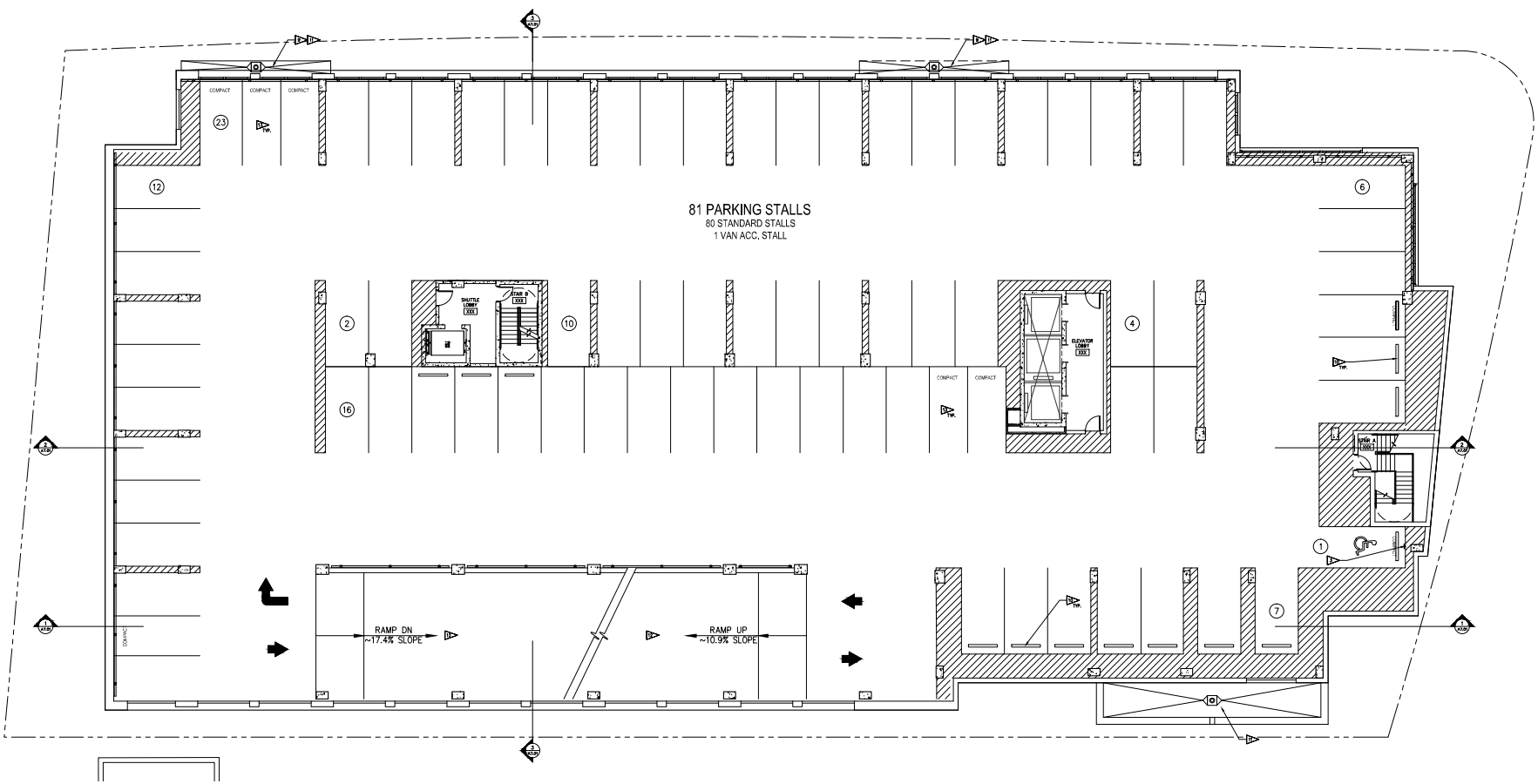
PROJECT: CENTREPOINT - MIXED USE DEVELOPMENT
7700 F STREET, SUITE 200
BETHESDA, MD 20814
FREY STREET LODGING ASSOCIATES, LLC
GUY RAYMOND MANAGEMENT COMPANY
ARCHITECTURAL FIRM 10/2016

PROJECT: 201225
DRAWN BY: BLM
DATE: 12-15-2016
SCALE: 1/8" = 1'-0"

ISSUE # 11-16-2016
LAND USE 02-08-2017

FIRST FLOOR PLAN

A2.02



FLOOR PLAN
SECOND FLOOR
 1/8" = 1'-0"

GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE-OF-WALL UNLESS NOTED OTHERWISE.
2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHES OR MARKING.
3. CONSTRUCTION JOINS, DO NOT TAKE INTO ACCOUNT THE VARIOUS LAYERS OF CONCRETE WALL, CORES, TO PREVENT CRACKS. WALL THICKNESS OFFSET INTO FLOOR AS REQUIRED BY THE CONSTRUCTION.
4. SEE IAC PLAN FOR DIMENSIONS OF SPECIFIC WALLS.
5. SEE SHEET 17 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
6. CONCRETE SHALL PROVIDE ALL CODE REQUIRED FROM SOURCE INCLUDING OCCUPANT LOADS AT ALL FINISHED FLOOR LEVELS.
7. VALUED NOTES OF SHOW OTHERWISE, ALL COURES ARE TO BE LOCATED 4" FROM FINISHED WALL.

PLAN SYMBOLS

- WALL-INDICATED FIRE EXTINGUISHER CABINET, MODEL NO. 1400-05, AND THE EXTINGUISHER IS TO BE 1/2" TO 3/4" NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- WALL-INDICATED FIRE EXTINGUISHER CABINET, MODEL NO. 1400-05, AND THE EXTINGUISHER IS TO BE 1/2" TO 3/4" NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- INDICATE WALL TYPE, REFER TO SHEETS 17 AND 18 FOR WALL TYPE CONSTRUCTION.
- FLOOR DRAIN
- DOWN LEADER, REFER TO PLUMBING
- DOWN LEADER, REFER TO PLUMBING
- DOOR TYPE, REFER TO DRAWING SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.

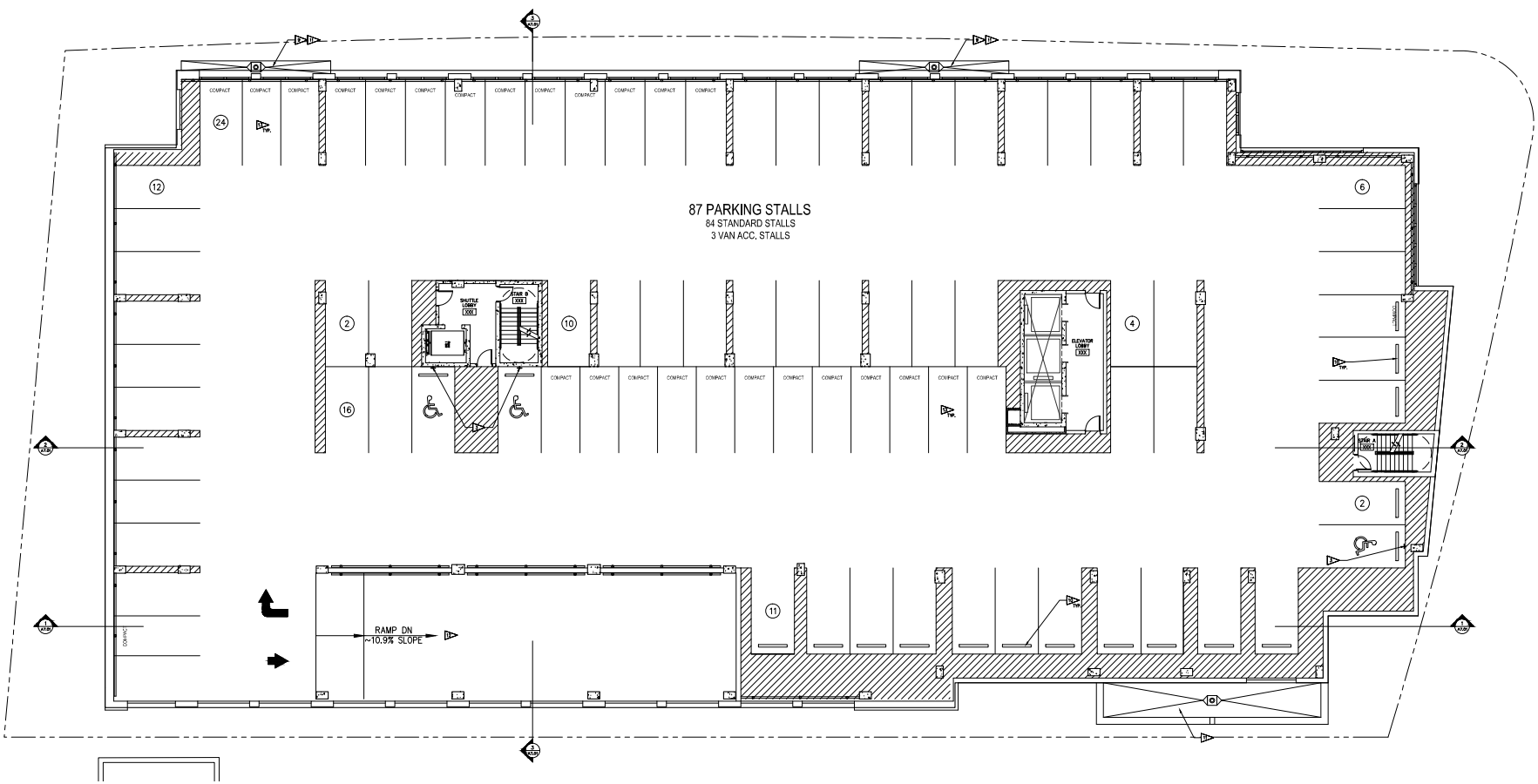
KEY NOTES

- ▷ COORDINATE CONCRETE FINISH BY ROOM/NO.
- ▷ MARK PARKING DOOR. SEE ALSO FOR DETAILS.
- ▷ HANDICAP SIGN. SEE ALSO FOR DETAILS.
- ▷ UNDEGRADED AREA BELOW FIRST FLOOR.
- ▷ POOL ROOM.
- ▷ HIGH SPEED HEAD DOOR.
- ▷ DOOR ACCESS CONTROL SYSTEM.
- ▷ ELEVATED TERRACE BY STORM WATER RETENTION FOR OIL DRAINAGE.
- ▷ CHIMNEY HEAD.
- ▷ WHEEL STOP FOR ALUM.
- ▷ BALLASTED BLADE SIGN OVER 4" MIN. OF POLY CON.
- ▷ CONCRETE SPEED RAMP R/L TRANSITION AT TOP & BOTTOM.
- ▷ COMPACT GRANITE STALLS USE FINISHES IN METAL. ALL ARE GREATER THAN 4'-1" IN WIDTH & 4'-0" HIGH.
- ▷ PAINTED ALUMINUM FINISH.
- ▷ METHWALM UNIT R/L ALUMINUM SCREEN.
- ▷ OUTLINE OF HOTEL TOWER SIGNAGE.

PROJECT: FREY STREET - MIXED USE DEVELOPMENT
ARCHITECT: GBA
DATE: 12-13-2016
PROJECT: 201225
DRAWN BY: BLM
DATE: 12-13-2016
SCALE: 1/8" = 1'-0"
ISSUE #: 11-18-2016
LAND USE: 02-08-2017

SECOND FLOOR PLAN

A2.03



87 PARKING STALLS
 84 STANDARD STALLS
 3 VAN ACC. STALLS

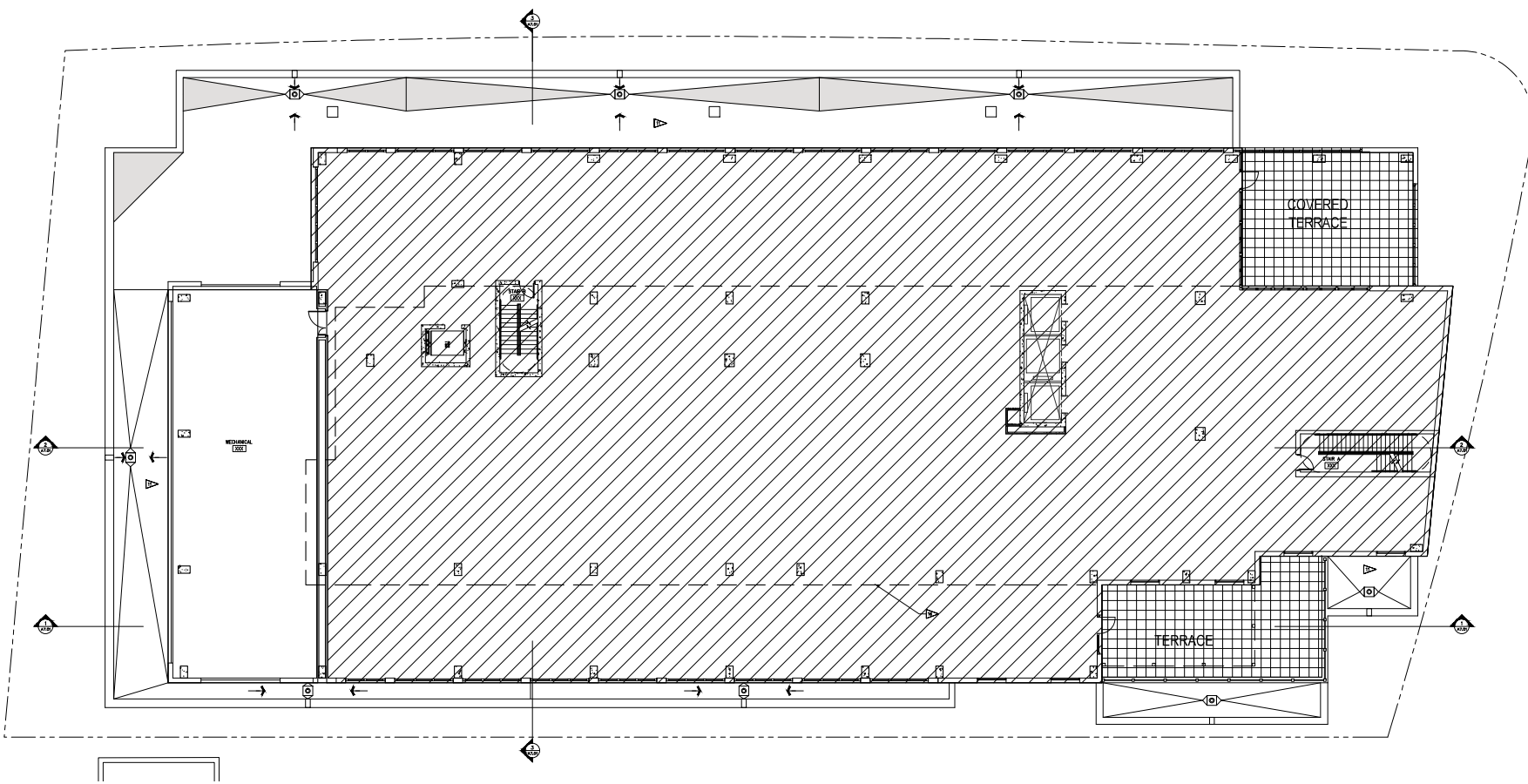
RAMP DN
 ~10.3% SLOPE

FLOOR PLAN
 THIRD FLOOR
 1/8" = 1'-0"

GENERAL PLAN NOTES		KEY NOTES	
1. ALL DIMENSIONS ARE TO FACE-OF-STEEL UNLESS NOTED OTHERWISE.	2. EXISTING DIMENSIONS ARE TO FACE-OF-EXISTING STRUCTURE OR FINISHING.	3. COMPARTMENT DOORS, DO NOT TAKE INTO ACCOUNT THE VARIOUS LAYERS OF DOOR AND WALL ASSEMBLY. TO AVOID GAPS, WALL THICKNESS MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION.	4. SEE L&P PLANS FOR DIMENSIONS OF SPECIFIC AREAS.
5. SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.	6. CORNER JOINTS, PROVIDE ALL CODE REQUIRED BOND BEHIND INCLUDING OCCUPANT SPACE IN ALL RELEVANT ROOMS.	7. VALVES, NOTES OF SHOWN OTHERWISE, ALL VALVES ARE TO BE LOCATED 4" FROM FINISH WALL.	8. DOOR ACCESS CONTROL SYSTEM.
9. ELEVATED TERRACE BY STORM WATER RETENTION FOR OIL DRAINAGE.	10. CANNOPY BEAM.	11. WHEEL STOP FOR ALUM.	12. BALLASTED BLADE BUSH OVER 4" DIA. OF POST ONLY.
13. CONCRETE SPEED RAMP R/L TRANSITION AT TOP & BOTTOM.	14. COMPACT STALLS SHALL USE MARKS IN METAL. ALL ARE GREATER THAN 6'-11" IN WIDTH & 8'-0" DEEP.	15. PAINTED ALUMINUM FILLERS.	16. METEORICAL INT BY ALUMINUM SCREENS.
17. OUTLINE OF HOTEL TOWER ABOVE.			

PROJECT: GREYFRIET - MIXED USE DEVELOPMENT
 ARCHITECT: GBA
 DESIGNER: GBA
 PROJECT: 201225
 DRAWN BY: BLM
 DATE: 12-15-2016
 SCALE: 1/8" = 1'-0"
 VDC #: 11-18-2016
 LWD USE: 02-08-2017

THIRD FLOOR PLAN
 A2.04



FLOOR PLAN
FOURTH FLOOR
 1/8" = 1'-0"

GENERAL PLAN NOTES	
1.	ALL DIMENSIONS ARE TO FACE-OF-WALL UNLESS NOTED OTHERWISE.
2.	EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR FINISHES OR MARKING.
3.	CONCRETE FINISHES, DO NOT TAKE INTO ACCOUNT THE VARIOUS LAYERS OF FORMER WALL, GROUND, OR CONCRETE SLAB WALL, THEY MUST APPEAR TO BE THE RESULT OF THE CONSTRUCTION.
4.	SEE LAY PLAN FOR DIMENSIONS OF EXISTING WALLS.
5.	SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
6.	SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
7.	SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
8.	SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
9.	SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
10.	SEE SHEET 21 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.

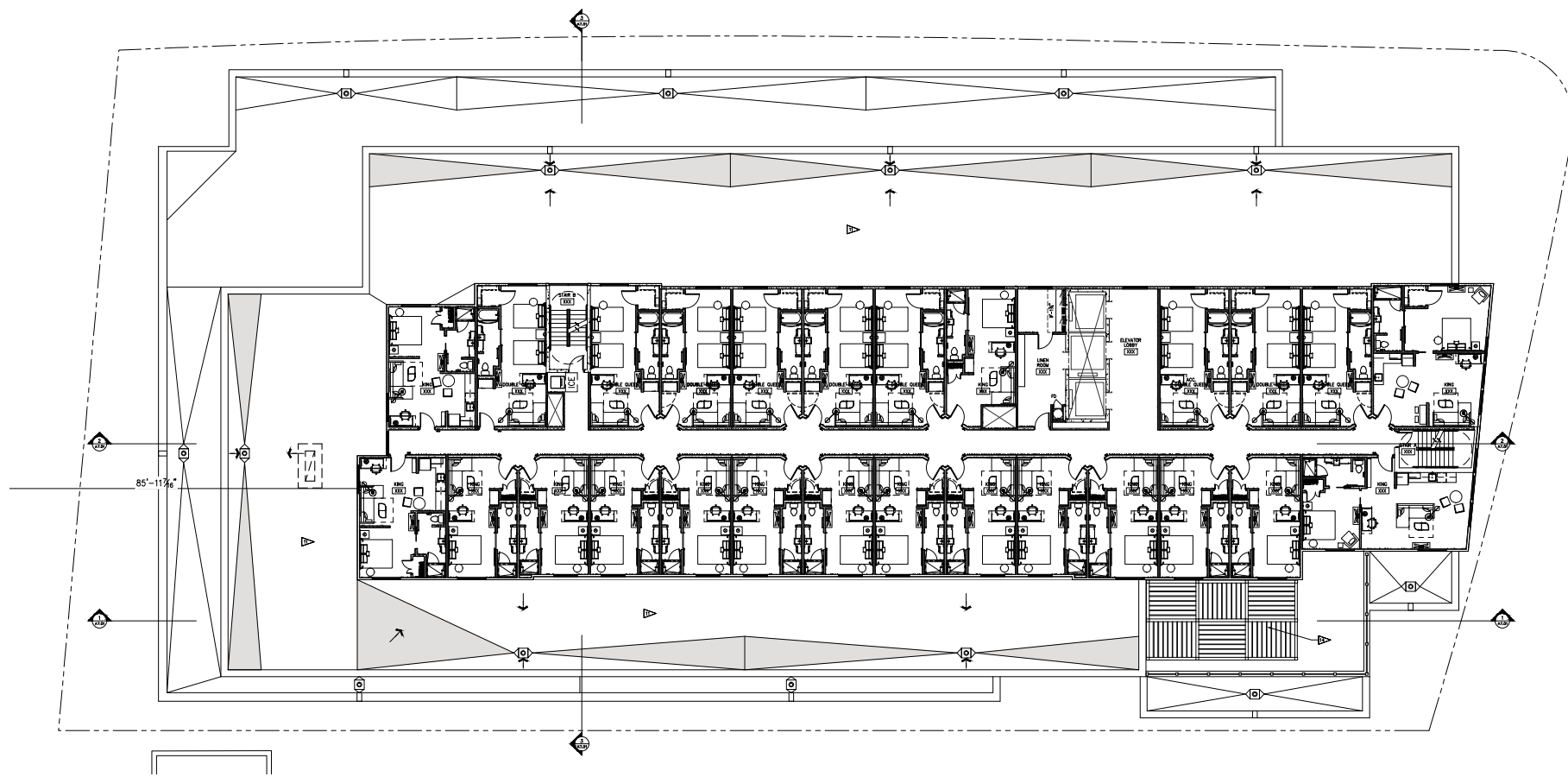
KEY NOTES	
▷	CONCRETE CONCRETE FINISH BY ROUGH CAST.
▷	PAVED PARKING DECK. SEE ALSO FOR DETAILS.
▷	HANDICAP SIGN. SEE ALSO FOR DETAILS.
▷	UNCOVERED AREA BELOW FIRST FLOOR.
▷	POOL DECK.
▷	HIGH SPEED ELEVATOR.
▷	DOOR ACCESS CONTROL SYSTEM.
▷	ELEVATED TERRACE BY STORM WATER RETENTION FOR OIL DRAINAGE.
▷	CANOPY BEAM.
▷	WHEEL STOP FOR ALUM.
▷	BALLASTED GRADE BOUNDED OVER 4" MIN. OF POLY. GRS.
▷	CONCRETE SPEED RAMP R/W TRANSITION AT TOP & BOTTOM.
▷	CONCRETE FINISHES SHALL USE FINISHES IN DETAIL. ALL ARE GREATER THAN 4'-0" IN WIDTH & 4'-0" IN DEPTH.
▷	PAVED ALUMINUM FLOOR.
▷	METALLIC UNIT R/W ALUMINUM SCREENS.
▷	DETAILS OF HOTEL TOWER WINGS.

PLAN SYMBOLS	
	WALL SECTION: SEE EXISTING OR AS SHOWN. WALL THICKNESS, CAPACITY APPROXIMATE CAPACITY BY LATEST MANUFACTURING COMPANY'S DATA.
	FIRE-RATED WALL: SEE EXISTING OR AS SHOWN. WALL THICKNESS, CAPACITY APPROXIMATE CAPACITY BY LATEST MANUFACTURING COMPANY'S DATA.
	FLOOR DRAIN
	DOOR LEADER: REFER TO PLUMBING
	DOOR: REFER TO FINISHING SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.
	DOOR/WINDOW OPENING MARKER: REFER TO FINISHING SCHEDULE FOR FINISH AND WINDOW OPENING SCHEDULE.

PROJECT: **GREENTREE - MIXED USE DEVELOPMENT**
 ARCHITECT: **RAYMOND, ODEBRECHT & ASSOCIATES, INC.**
 DRAWN BY: **BLM**
 DATE: **12-15-2016**
 SCALE: **1/8" = 1'-0"**
 PROJECT: 20122
 DRAWN BY: BLM
 DATE: 12-15-2016
 SCALE: 1/8" = 1'-0"
 IFC # 11-18-2016
 LNO USE 02-08-2017

FOURTH FLOOR PLAN

A2.05



**FLOOR PLAN
 FIFTH FLOOR**
1/8" = 1'-0"

GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE-OF-FIELD UNLESS NOTED OTHERWISE.
2. EXISTING DIMENSIONS ARE TO FACE-OF-EXISTING MEASUREMENT ON DRAWINGS.
3. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARIOUS LAYERS OF FINISHES INCLUDING, BUT NOT LIMITED TO, FINISHES LISTED BELOW. THESE FINISHES ARE TO BE PROVIDED BY THE TRADES.
4. SEE L&P PLANS FOR DIMENSIONS OF SPECIFIC AREAS.
5. SEE SHEET 210 FOR WALL CONSTRUCTION.
6. WHEN FINISHES ARE LISTED, THEY WILL BE COVERED OVER BY AN ADDITIONAL FINISH. FINISHES LISTED IN THIS NOTE TO COVER THE FINISHES AS LISTED IN THE L&P PLANS.
7. SEE SHEET 210 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
8. CORNER ROUNDS PROVIDE ALL CORNERS ROUNDED FROM FINISH INCLUDING CORNER ROUNDS ON ALL EXISTING FINISHES.
9. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM FINISH WALL.

PLAN SYMBOLS

- FINISH-RECEIVED FIRE EXTINGUISHER CABINET, MODEL NO. 1000-05, AND THE FINISH-RECEIVED FIRE EXTINGUISHER CABINET SHALL BE MANUFACTURED BY LAMAR MANUFACTURING COMPANY, OR APPROVED EQUAL.
- INDICATE WALL, FLOOR TO FINISH. ALSO FOR WALL CONSTRUCTION.
- FLOOR FINISH
- FLOOR LEADER, REFER TO PLUMBING
- DOOR TYPE, REFER TO FINISHING SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.
- DOOR/WINDOW OPENING NUMBER, REFER TO FINISHING SCHEDULE FOR FINISH AND WINDOW OPENING SCHEDULE.

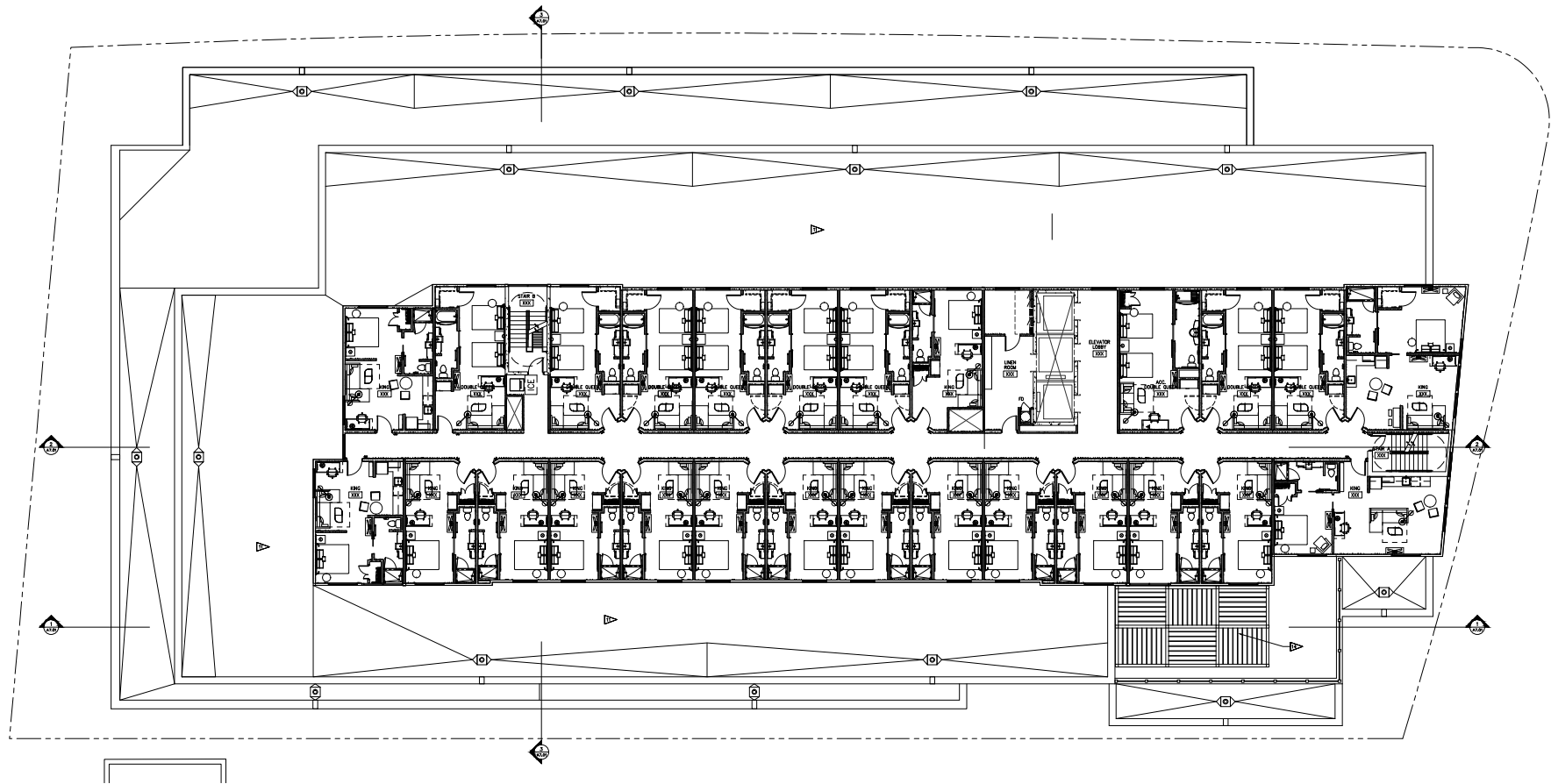
KEY NOTES

- DEGRADED CONCRETE FINISH BY ROUGHENING
- HANGUP DOOR. SEE ALSO FOR DETAILS
- HANGUP DOOR. SEE ALSO FOR DETAILS
- UNDEGRADED AREA BELOW FIRST FLOOR.
- POOL FINISH
- POOL FINISH
- DOOR ACCESS CONTROL SYSTEM
- ELEVATED TERRACE BY STONE WATER RETENTION FOR OIL DRAINAGE
- CANNOPY REAR
- WHEEL STOP FOR ALUM.
- BALLASTED BLACK BROWN OVER 1/2" MIN. OF POLY UR.
- CONCRETE SPEED RAMP R/ TRANSITION AT TOP & BOTTOM
- COMPACT GRANULAR FILL. SEE FINISHES IN MANUAL. ALL ARE GREATER THAN 4" IN THICKNESS & 1/2" IN DIA.
- FINISH ALUMINUM PANELS
- METEORICAL FINISH BY ALUMINUM SCREEN
- OUTLINE OF HOTEL TOWER FINISH

PROJECT: CHATELAIN - MIXED USE DEVELOPMENT
ARCHITECT: GBA
DATE: 11-30-2016
SCALE: 1/8" = 1'-0"
DATE: 11-18-2016
LAND USE: 02-09-2017

FIFTH FLOOR PLAN

A2.06



FLOOR PLAN
6th - 11th FLOOR
 1/8" = 1'-0"

GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE-OF-FINISH UNLESS NOTED OTHERWISE.
2. EXISTING DIMENSIONS ARE TO FACE-OF-EXISTING MEASUREMENTS ON DRAWINGS.
3. CONSTRUCTION SHALL NOT TAKE INTO ACCOUNT THE VARIOUS LAYERS OF CONCRETE, MASONRY, Gypsum BOARD, INSULATION, ETC. UNLESS SPECIFICALLY NOTED OTHERWISE.
4. SEE IAT PLANS FOR DIMENSIONS OF MASONRY WALLS.
5. SEE SHEET 11-01 FOR WALL CONSTRUCTION.
6. WHEN WATERSHED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STAIR RAILS, HANDRAILS, OR OTHER FINISHES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTIVE MEASURES TO MAINTAIN THE INTEGRITY OF THE WALL ASSEMBLY THROUGHOUT CONSTRUCTION.
7. SEE SHEET 11-01 FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
8. CORNER ROUNDS PROVIDE ALL CORNER ROUNDS FROM FINISH INCLUDING CORNER ROUNDS ON ALL EXISTING FINISHES.
9. UNLESS NOTED OTHERWISE, ALL DOORS ARE TO BE LOCATED 4" FROM FINISH WALL.

PLAN SYMBOLS

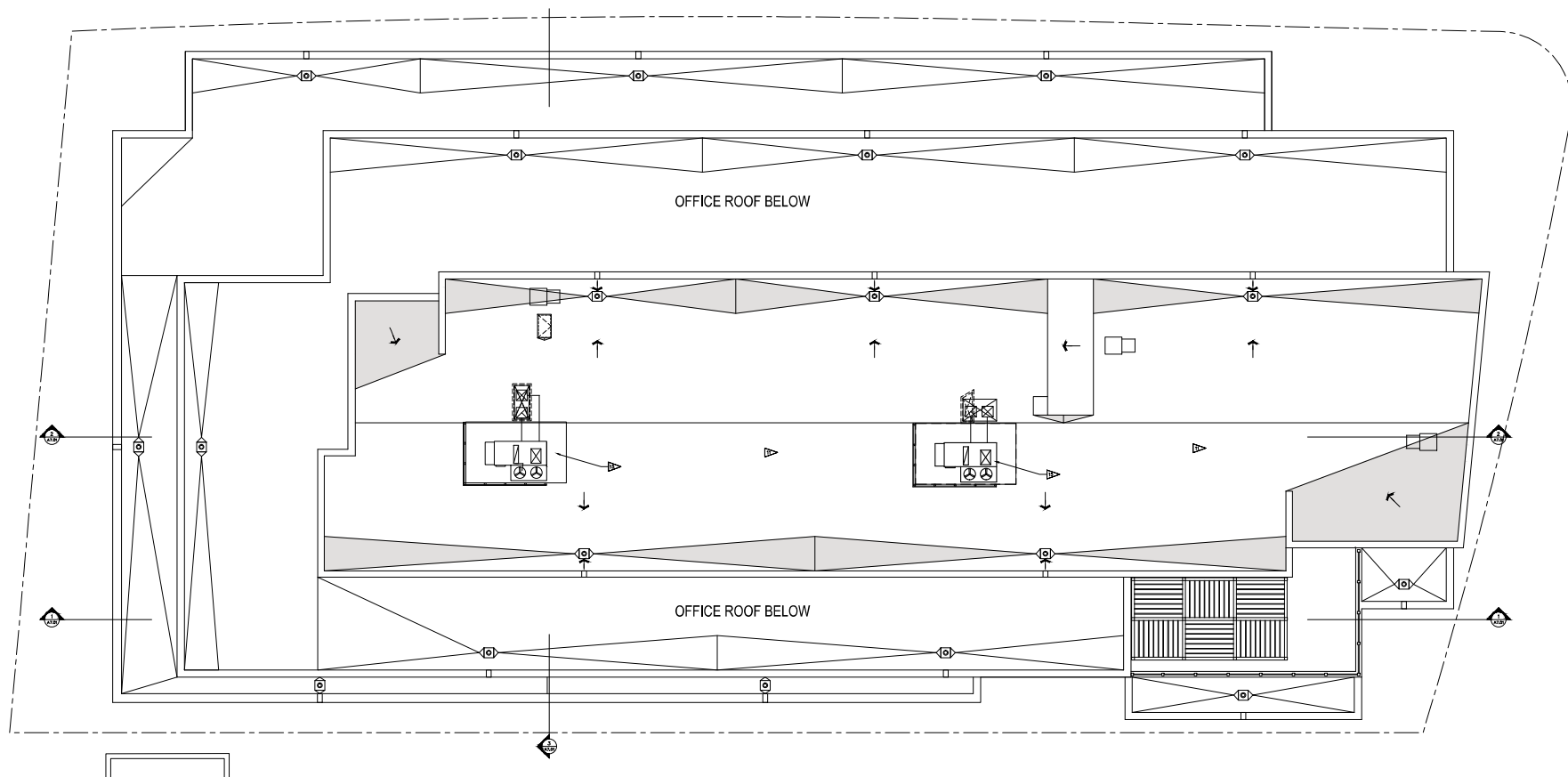
- FULLY-RECESSED FIRE EXTINGUISHER CABINET, MODEL NO. 1000-05, AND THE EXTINGUISHER SHALL BE CAPABLE OF PROVIDING 100% OF THE NOMINAL CAPACITY APPROVED UNDER LISTING MANUFACTURING COMPANY'S OR MANUFACTURER'S LISTING.
- INDICATE WALL THICKNESS TO FINISH. ALSO FOR WALL TYPE CONSTRUCTION.
- FLOOR DRUM
- ROOM LEADER, REFER TO PLUMBING SYMBOLS
- DOOR TYPE, REFER TO DRAWING SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.
- DOOR/WINDOW OPENING NUMBER, REFER TO DRAWING SCHEDULE FOR DOOR AND WINDOW OPENING SCHEDULE.

KEY NOTES

- ▷ DECATONIC CONCRETE FINISH BY ROBERT HEAL.
- ▷ BAKE PARKING DOOR. SEE ALSO FOR DETAILS.
- ▷ HANDCAP DOOR. SEE ALSO FOR DETAILS.
- ▷ UNCOVERED AREA BELOW FIRST FLOOR.
- ▷ POOL DECK.
- ▷ HIGH SPEED ELEVATOR DOOR.
- ▷ DOOR ACCESS CONTROL SYSTEM.
- ▷ ELEVATED TERRACE BY STORM WATER RETENTION FOR OIL DRAINAGE.
- ▷ CHIMNEY NEAR.
- ▷ WHEEL STOP FOR ALUM.
- ▷ BALLASTED BRIDGE BOW OVER 4" MIN. OF POLY IS.
- ▷ CONCRETE SPEED RAMP R/ TRANSITION AT TOP & BOTTOM.
- ▷ COMPACT GRANITE SHALL USE FINISHES IN MATCH. ALL ARE GREATER THAN 4'-0" IN WIDTH & 4'-0" HIGH.
- ▷ PAINTED ALUMINUM FINISHES.
- ▷ METEORICAL IRON BY ALUMINUM SCREENS.
- ▷ OUTLINE OF HOTEL TOWER APPEAR.

PROJECT: GREENTREE - MIXED USE DEVELOPMENT
ARCHITECT: GBA CONSULTING ARCHITECTS
DATE: 11-30-2016
SCALE: 1/8" = 1'-0"
DATE: 11-18-2016
LAND USE: 02-08-2017

PROJECT: 201325
DRAWN BY: BLM
DATE: 11-30-2016
SCALE: 1/8" = 1'-0"



FLOOR PLAN
ROOF
 1/8" = 1'-0"

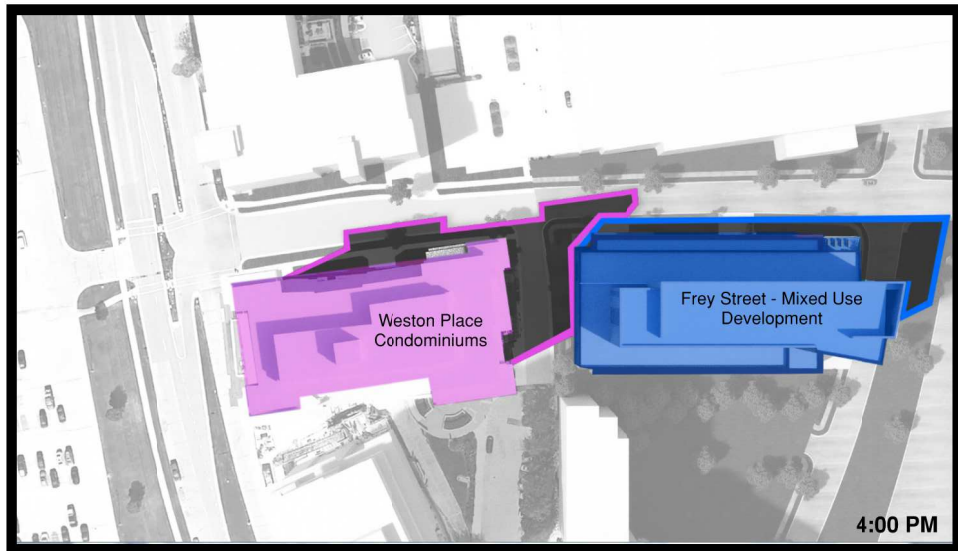
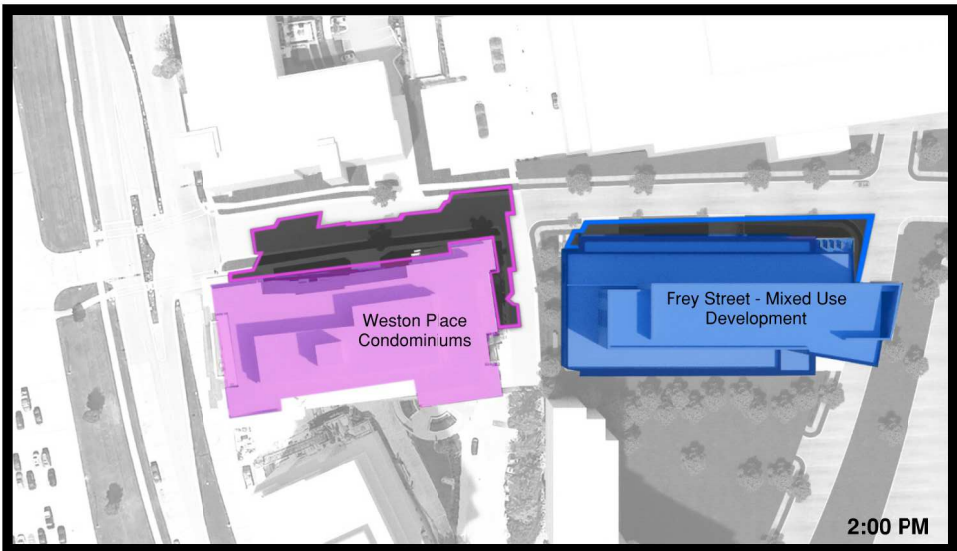
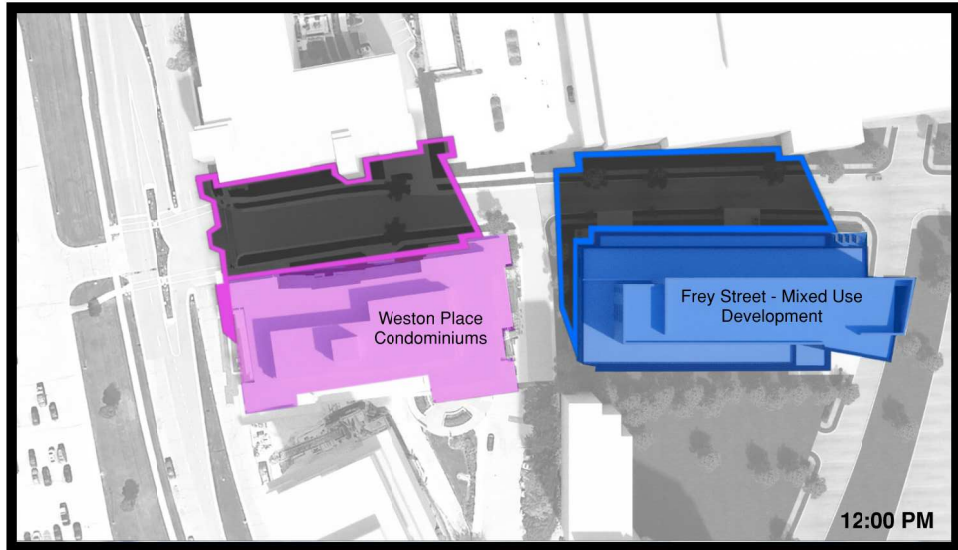
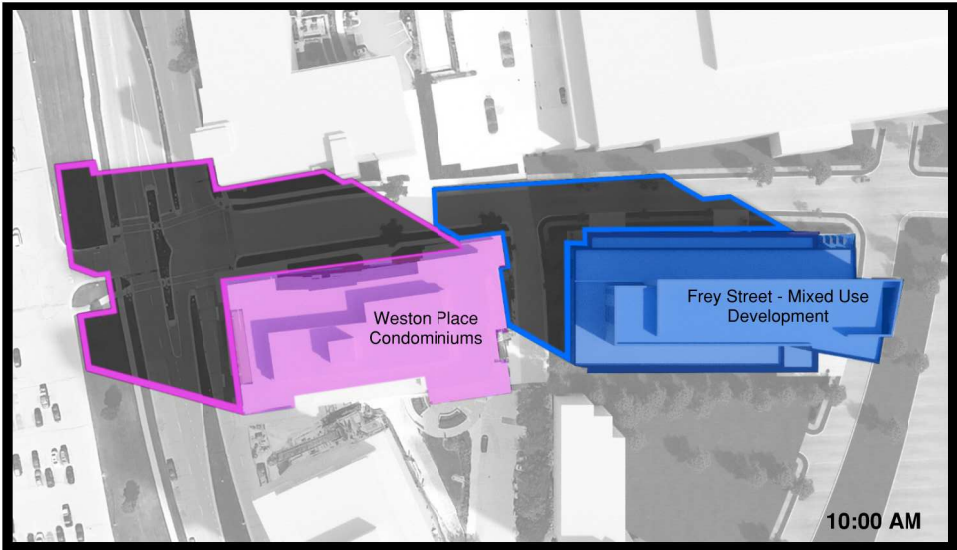


- GENERAL PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE-OF-FIELD, UNLESS NOTED OTHERWISE.
 2. OTHER DIMENSIONS ARE TO FACE-OF-STRUCTURE UNLESS NOTED OTHERWISE.
 3. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE TYPICAL LAUNCH OF CONCRETE WALL. BOARD TO CHECK LATCH WALL THEY REAR-SUPPORTED AND FACE AS NECESSARY TO ACHIEVE UNIFORM PRESSURE LINE.
 4. SEE LIFT PLAN FOR DIMENSIONS OF SPECIFIC AREA.
 5. SEE SHEET RELATED TO WALL, FOR CONNECTIONS.
 6. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL FIELD WALL, FRAMING, CONNECTIONS, ETC. TYPE "X" CONNECTIONS SHOWN BY PRE-CASTED WALL.
 7. SEE SHEET FOR WALL FINISHES. FINISHES ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
 8. OTHER WALL FINISHES AS NOTED OTHERWISE FROM EXISTING INCLUDING OCCUPANCY LOADS IN ALL REQUIRED OCCUPANCY ZONES.
 9. UNLESS NOTED OR SHOWN OTHERWISE, ALL DOOR ARE TO BE LOCATED 4" FROM READY-WALL.

- KEY NOTES**
- ▷ DECORATIVE CONCRETE FINISH BY READY-WALL.
 - ▷ WIRE PAVING DOGS. SEE ALSO FOR DETAILS.
 - ▷ HANDCAP SIGN. SEE ALSO FOR DETAILS.
 - ▷ UNDEGRADED AREA BELOW FIRST FLOOR.
 - ▷ POOL MOUND.
 - ▷ HIGH SPEED HEAD DOOR.
 - ▷ DOOR ACCESS CONTROL SYSTEM.
 - ▷ ELEVATED TERRACE BY STORM WATER RETENTION FOR OIL DRAINAGE.
 - ▷ CANOPY BEAM.
 - ▷ WHEEL STOP FOR ALUM.
 - ▷ BALLASTED GRADE BENEATH OVER 4" MIN. OF POLY. INS.
 - ▷ CONCRETE SPEED HUMP BY TRANSITION AT TOP & BOTTOM.
 - ▷ CONCRETE SPEED HUMP SHALL USE FINISH AS NOTED. ALL ARE GREATER THAN 6'-0" IN WIDTH & 8'-0" IN DEPTH.
 - ▷ PAINTED ALUMINUM FINISH.
 - ▷ METEORICAL JUNT BY ALUMINUM SCREENS.
 - ▷ OUTLINE OF HOTEL TOWER ABOVE.

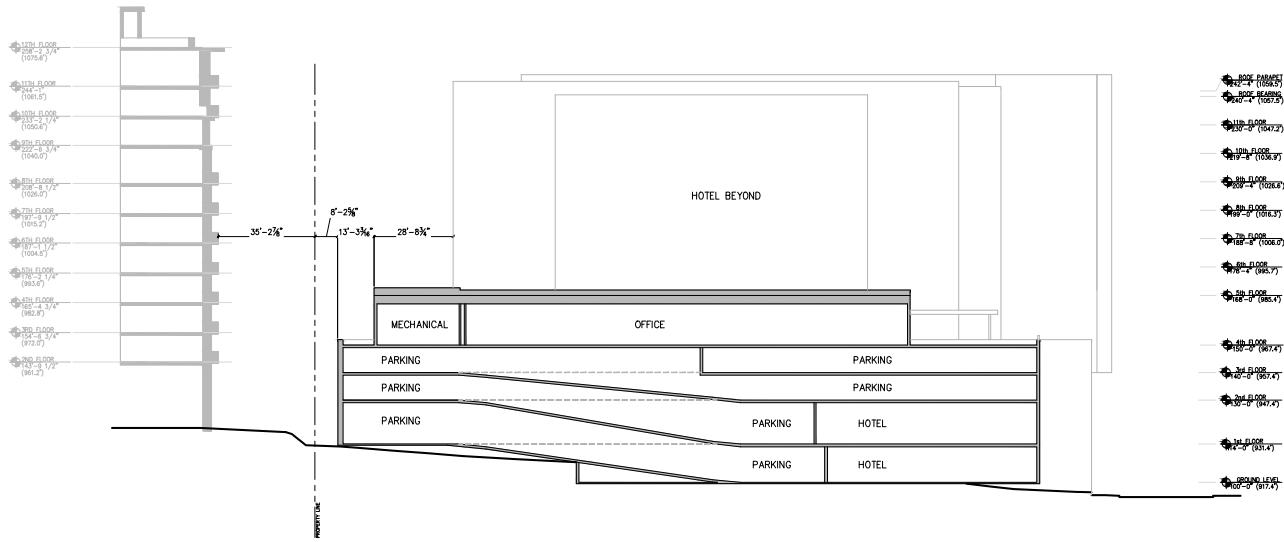
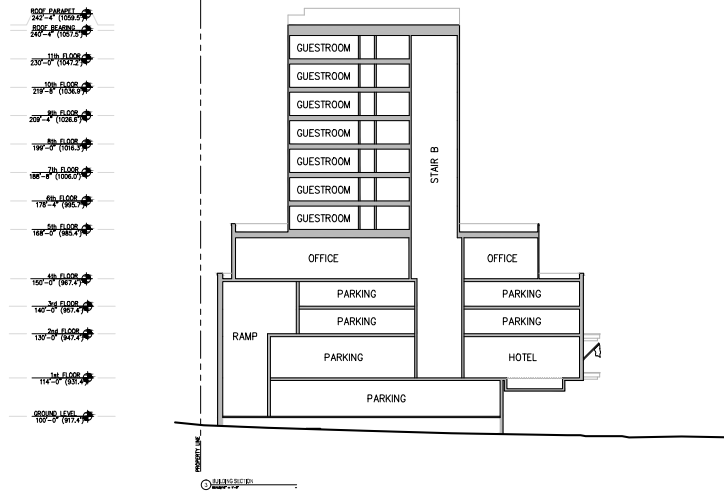
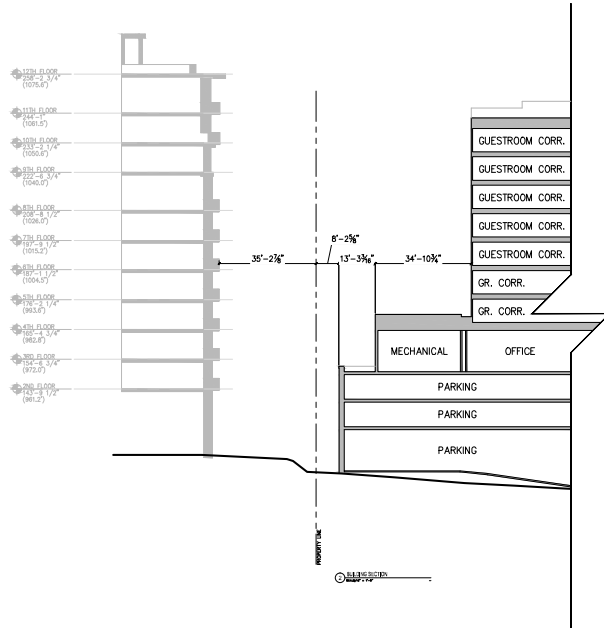
PROJECT: **STREET - MIXED USE DEVELOPMENT**
 4015 1/2 STREET
 DENVER, COLORADO 80202
 ARCHITECT: **FREY STREET LODGING ASSOCIATES, LLC**
 1000 17TH AVENUE, SUITE 1000
 DENVER, COLORADO 80202
 PROJECT: 201225
 DRAWN BY: **BLM**
 DATE: 11-30-2016
 SCALE: 1/8" = 1'-0"
 IFC #: 11-18-2016
 LNO USE: 02-08-2017

ROOF PLAN



PROJECT: FREY STREET - MIXED USE DEVELOPMENT
 ARCHITECT: EQUINOX (2015)
 PROJECT MANAGER: JEFFREY W. HARRIS
 FREY STREET LODGING ASSOCIATES, LLC
 CO. RAYMOND MANAGEMENT COMPANY
 1000 EAST WISCONSIN STREET
 MADISON, WI 53703

PROJECT: 201523
 DRAWN BY: JBL/H
 DATE: 12-12-2016
 SCALE:
 IFC # 1-8-2016
 LWP USE 01-08-2017



PROJECT: STREET - MIXED USE DEVELOPMENT
 ARCHITECT: GBA
 PROJECT NUMBER: 201123
 PROJECT LOCATION: 1111 17th St. N.W.
 PROJECT OWNER: FRY STREET LODGING ASSOCIATES, LLC
 PROJECT MANAGER: RAYMOND MANAGEMENT COMPANY
 SECTION NUMBER: 02-01

DATE: 11-16-2011
 DRAWN BY: GJA
 SCALE:
 UCC # 11-16-2011
 LWD USE 02-01-2011