

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_  
**Legistar #** 31335

DATE SUBMITTED: <u>MAY 7, 2014</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>JUNE 25, 2014</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 1902 TENNYSON LANE

ALDERMANIC DISTRICT: \_\_\_\_\_

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
RITA GIOVANNONI, CEO GENE WELLS, AIA  
ILI Senior Housing – Tennyson Lane, LLC ENGBERG ANDERSON  
2970 CHAPEL VALLEY ROAD, SUITE 203  
MADISON, WI 53711

CONTACT PERSON: GENE WELLS, AIA  
Address: ENGBERG ANDERSON  
1 N PINCKNEY STREET, MADISON WI 53703  
Phone: 608-250-7506  
Fax: \_\_\_\_\_  
E-mail address: genew@engberganderson.com

**TYPE OF PROJECT:**

- (See Section A for:)
- PD-SIP**
  - Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

# Tennyson Senior Living Community

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Madison, Wisconsin

## UDC Application

City of Madison SIP Final Submittal

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May 7, 2014

Engberg Anderson Project Number 132290

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1 N. Pinckney  
Madison, WI 53703  
608.250.0100  
[www.engberganderson.com](http://www.engberganderson.com)



**LEGEND (PROPOSED)**

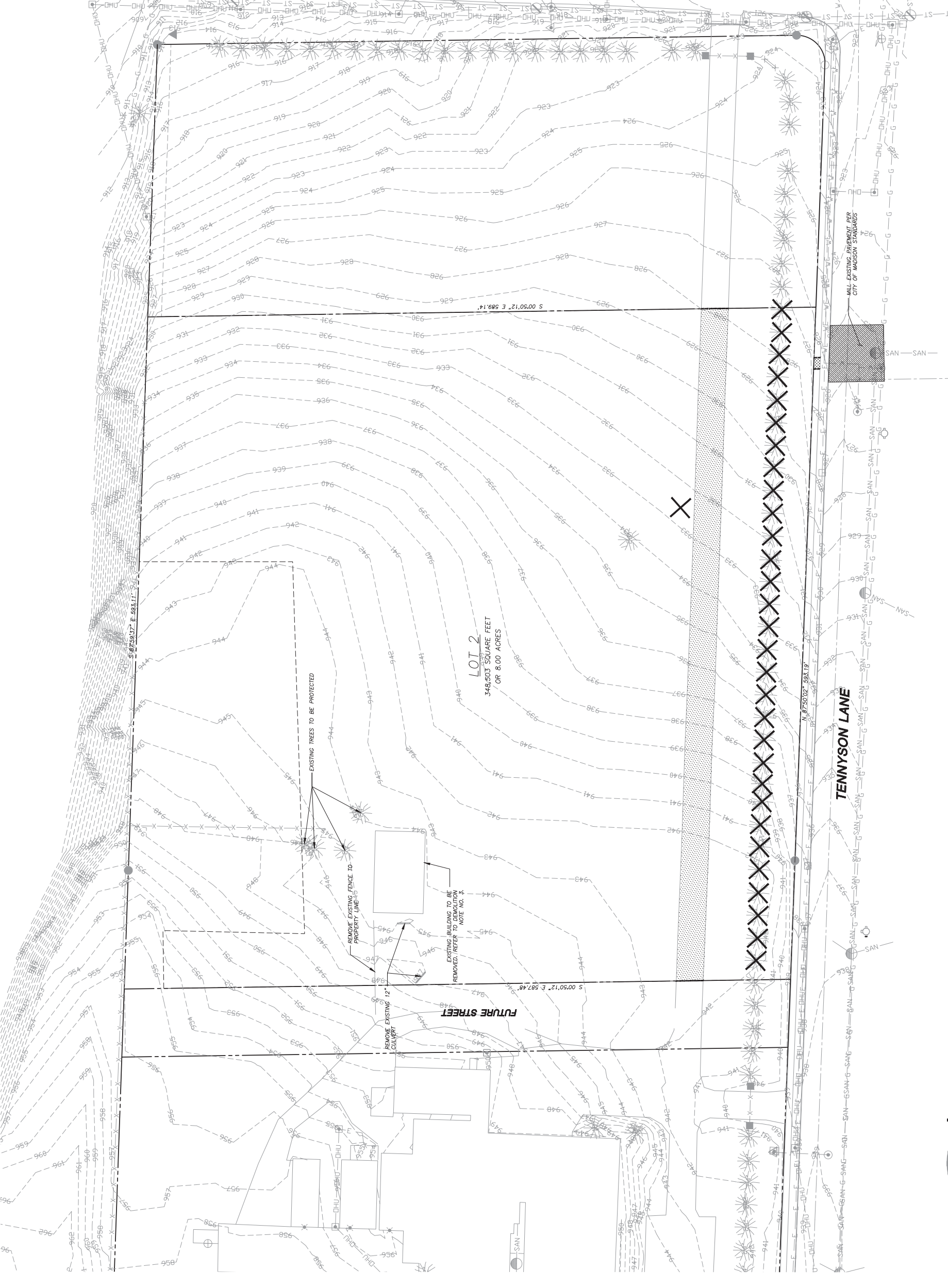
- PROPERTY LINE
- - - LIMITS OF DISTURBANCE
- SAMCUT
- ASPHALT/BASE REMOVAL
- CONCRETE/BASE REMOVAL
- CONCRETE/BASE REMOVAL
- X REMOVE / RELOCATE TREE

**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS NOTES AND LEGEND. JSD DOES NOT TAKE RESPONSIBILITY FOR ANY BENCHMARKS LOCATED ON THE SURVEY PROVIDED BY OTHERS.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WORK WRAPP PERMIT APPLICATION STANDARDS.

**DEMOLITION NOTES**

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY AND CAREFUL CARE. THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION OF WHICH THE ENGINEER WOULD BE RESPONSIBLE. THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DISCREPANCY AT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ITEMS NOT IDENTIFIED BY THE ENGINEER SHALL BE IDENTIFIED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE DEMOLITION OF ANY BUILDING OR STRUCTURE AND SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE MANNER. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL DEMOLITION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- AFTER REMOVAL OF EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING DENSITY CONCRETE/FLOWABLE FILL.
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND UTILITIES. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- GRASSES, BRACKEN MATERIALS ARE REQUIRED. IN ALL UTILITY TRENCH UNDER SIDEWALKS AND PROPOSED PAVED AREAS, ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES ARE RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- THIS SITE IS PART OF A PARCEL THAT WAS IDENTIFIED IN THE BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) 03-13-553975. CONTRACTOR SHALL REVIEW ALL APPLICABLE ENVIRONMENTAL DOCUMENTS PROVIDED BY THE OWNER FOR SPECIFIC REQUIREMENTS.



Tennyson Senior Living Community

DEMOLITION PLAN  
1" = 40'-0"  
May 7, 2014

Engberg Anderson Project No. 132290



C100

**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners

"BUILDING THE FUTURE WITH A COMMITMENT TO EXCELLENCE THROUGH TRUST, QUALITY AND EXPERIENCE"  
MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
608.846.5080 PHONE | 608.846.2255 FAX



**LEGEND (PROPOSED)**

- PROPERTY LINE
- BUILDING FIRST FLOOR
- BUILDING LOWER LEVEL
- FUTURE BUILDING ADDITION
- EDGE OF PAVEMENT
- TEMPORARY PAVEMENT EDGE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 18" STANDARD CURB AND GUTTER
- 18" REJECT CURB AND GUTTER
- STONE RETAINING WALL (SEE LANDSCAPE PLANS FOR DETAILS)
- FENCE LINE (SEE LANDSCAPE PLANS FOR DETAILS)
- CONCRETE RETAINING WALL
- STORMWATER MANAGEMENT AREA

**GENERAL NOTES**

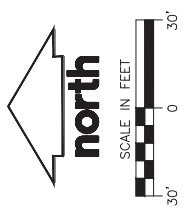
1. REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS NOTES AND LEGEND. JSD DOES NOT TAKE RESPONSIBILITY FOR ANY BENCHMARKS LOCATED ON THE SURVEY PROVIDED BY OTHERS.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE MONR WRAPP PERMIT APPLICATION STANDARDS.

**SITE PLAN NOTES**

1. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADI TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF VERONA.
4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
8. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
9. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
10. 3' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMP.
11. BIKE RACKS SHALL BE LOCATED ON A 4" THICK CONCRETE PAD OVER 4" OF AGGREGATE BASE. EACH BIKE PARKING STALL SHALL BE AT LEAST 2'x6'. BIKE RACK SHALL BE APPROVED BY OWNER AND INSTALLED INTEGRAL TO THE CONCRETE PAD.
12. DETAILS OF WALK LAYOUT WILL BE PROVIDED IN ELECTRONIC FORMAT FOR GARDEN AREAS AS NOTED.
13. SEE LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE OF SPECIAL GARDEN AREAS AS NOTED.

**SITE INFORMATION BLOCK**

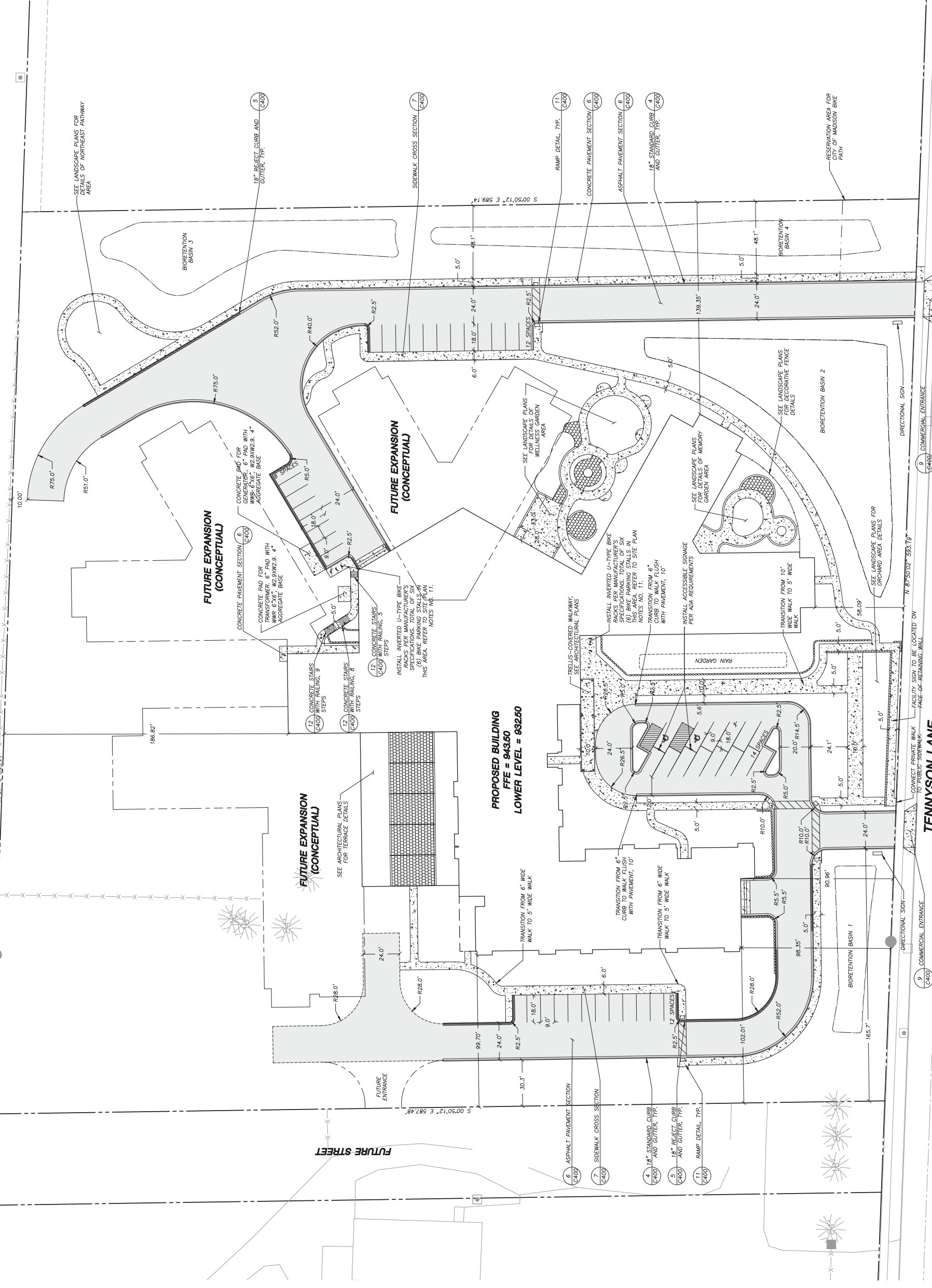
Site Location	Madison, WI
Site Acreage (Total)	8.00
Disturbed Area	291,450 S.F.
Existing Site Zoning	PD-BDP
Proposed use of property:	
300 UNIT SENIOR HOUSING AND ASSISTED LIVING FACILITY	
Building information:	
Number of stories (above grade)	2
Building height	18'-20'
Total square footage of building	51,366 S.F.
Number of surface parking stalls:	
Large car	44
Accessible	2
Number of underground parking stalls:	
Large car	86
Accessible	0
Number of bicycle stalls shown:	12
Existing Impervious Surface Area	17,266 S.F.
Existing Pervious Surface Area	331,214 S.F.
Existing Impervious Surface Area Ratio	0.050
Proposed Impervious Surface Area	125,544 S.F.
Proposed Pervious Surface Area	222,959 S.F.
Proposed Impervious Surface Area Ratio	0.360
Usable Open Space	183,035 S.F.



"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENTS' SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

MADISON REGIONAL OFFICE  
181 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
608.848.5080 PHONE | 608.848.2255 FAX

**C101**



**Tennyson Senior Living Community**

TENNYSON LANE

COMMERCIAL ENTRANCE

COMMERCIAL ENTRANCE

COMMERCIAL ENTRANCE

**Engberg  
Anderson**  
MILWAUKEE TUCSON  
MADISON

SITE PLAN  
1" = 30'-0"  
May 7, 2014  
Engberg Anderson Project No. 132290



**LEGEND (PROPOSED)**

- PROPERTY LINE
- BUILDING FIRST FLOOR
- BUILDING LOWER LEVEL
- FUTURE BUILDING ADDITION
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EDGE OF PAVEMENT
- TEMPORARY PAVEMENT EDGE
- SEWERBREAK
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 18" STANDARD CURB AND GUTTER
- STONE RETAINING WALL (SEE LANDSCAPE PLANS FOR DETAILS)
- FENCE LINE (SEE LANDSCAPE PLANS FOR DETAILS)

**GENERAL NOTES**

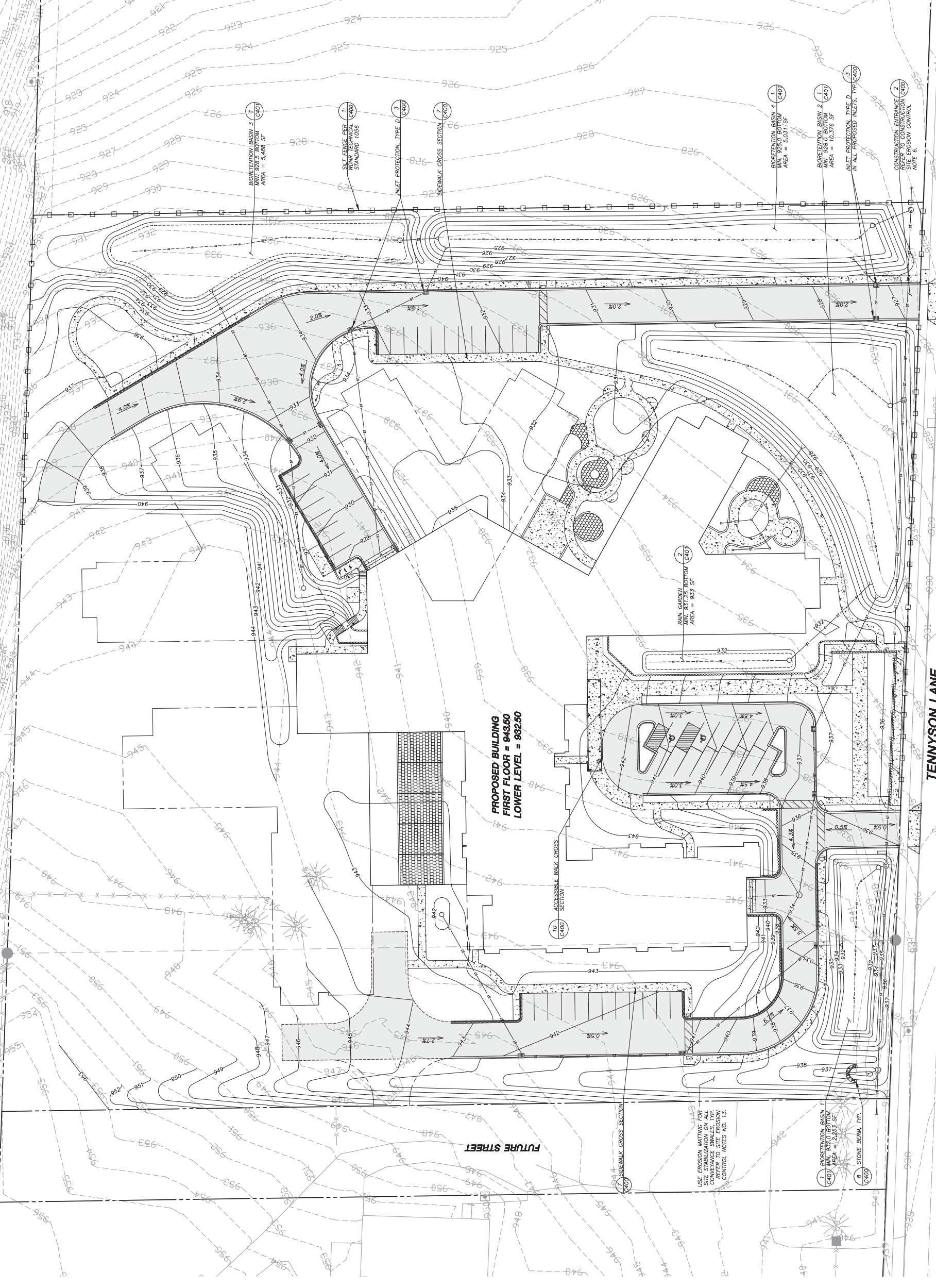
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4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE MWRP WRAPP PERMIT APPLICATION STANDARDS.

**CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**

1. CONSTRUCTION AND SITE STABILIZATION SHALL BE SUPERVISED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/Stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO THE PLAN SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. ANY UNRESOLVED FIELD CONDITIONS IF ANY, SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE AND SHALL BE PERFORMED AT THE END OF EACH WORK DAY. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE. WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING BASIN 50' LONG AND NO LESS THAN 12" DEEP BY USE OF 1/2" CLEAR STONE. TRACKING BASINS ARE TO BE MAINTAINED BY THE CONTRACTOR IN CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MWR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
  - A. PLACE EVALUATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN THE VICINITY OF THE TRENCH. DO NOT ALLOW TRENCH WATER TO BE RELEASED INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATING OR APPLICATION OF A MUD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL SURFACES AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
14. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
15. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MWR TECHNICAL STANDARD 108B.
16. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
17. ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.

**GRADING AND SEEDING NOTES**

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHESEL-FLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PREVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF SPARING ACTIVITIES SEEDS ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF STABILIZATION. ALL SLOPES 10% OR GREATER SHALL BE TEMPORARILY SEEDING, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.



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Tennyson Senior Living Community

GRADING & EROSION CONTROL PLAN  
 1" = 30'-0"  
 May 7, 2014  
 Engberg Anderson Project No. 132290

**Engberg Anderson**  
 MILWAUKEE MADISON TUCSON

north

SCALE IN FEET  
 30' 0' 30'

**C200**



**LEGEND (PROPOSED)**

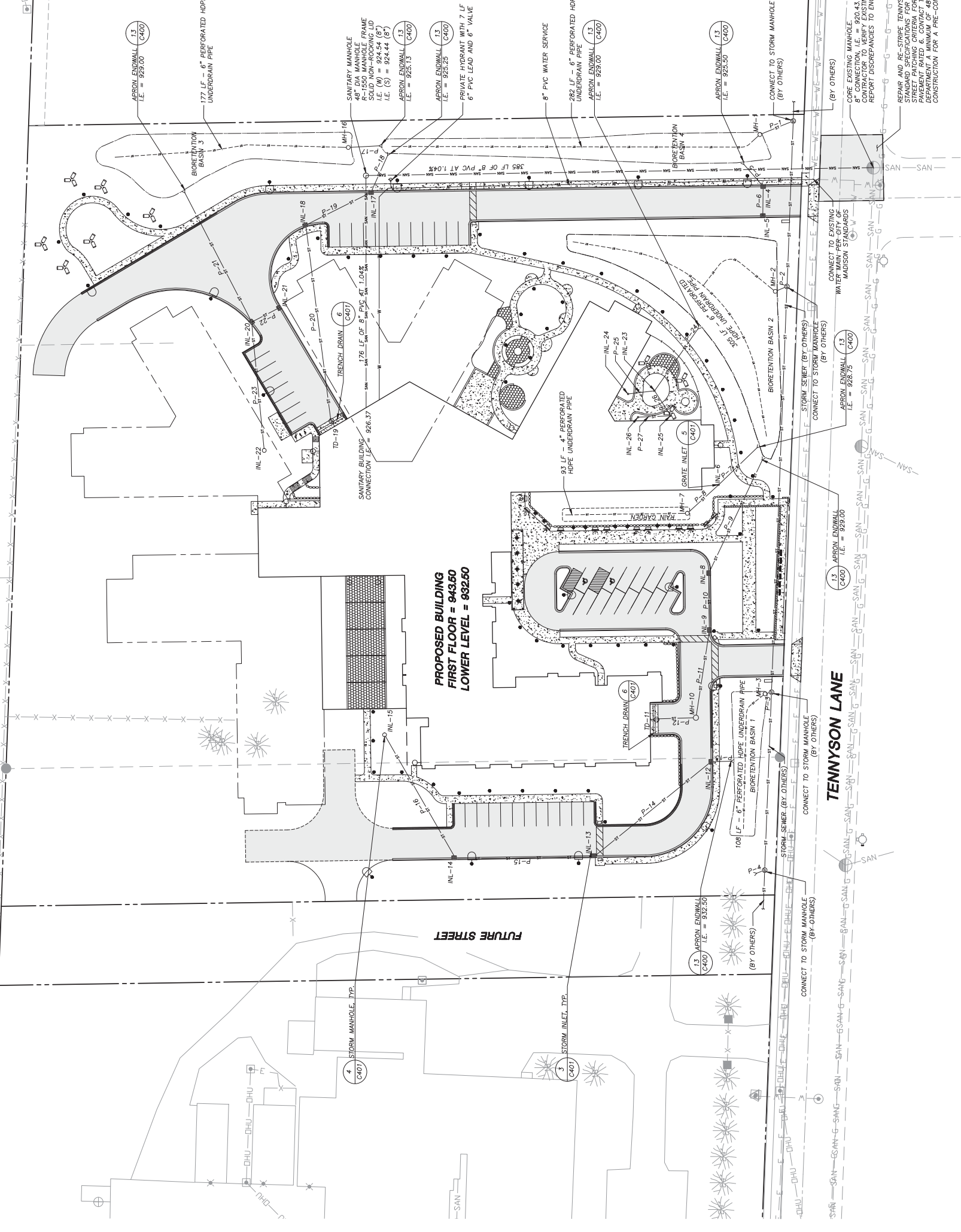
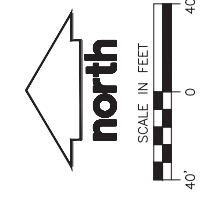
- PROPERTY LINE
- BUILDING FIRST FLOOR
- EXISTING CURB
- FUTURE BUILDING ADDITION
- EDGE OF PAVEMENT
- TEMPORARY PAVEMENT EDGE
- TRENCH PATCH LIMITS
- STORM SEWER
- SANITARY SEWER
- WATER SERVICE
- STORM SEWER (BY OTHERS)
- SANITARY SEWER (BY OTHERS)
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 18" STANDARD CURB & GUTTER
- STONE RETAINING WALL (SEE LANDSCAPE PLANS FOR DETAILS)
- CONCRETE RETAINING WALL (SEE LANDSCAPE PLANS FOR DETAILS)
- STORMWATER MANAGEMENT AREA
- SITE LIGHTING FIXTURES (SEE LIGHTING PLANS FOR DETAILS)

**GENERAL NOTES**

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3. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE MWFR WRAPP PERMIT APPLICATION STANDARDS.

**UTILITY NOTES**

1. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS).
2. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
3. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
5. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
6. PROVIDE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER MWFR REQUIREMENTS AND MWFR TECHNICAL STANDARD 1061.
7. ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
9. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WCCOMM, AND WWR.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
  - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
  - VERIFYING ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
  - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
12. THE FRAME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
13. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
14. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
15. OPEN PICK HOLES IN SANITARY MANHOLE CASTING LIDS ARE PROHIBITED.
16. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
17. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
18. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
19. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING, AT LEAST 8" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 8" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
20. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
21. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 210 AT ALL TIMES.



**PROPOSED STORM SEWER STRUCTURES SCHEDULE**

PIPE LABEL	FROM	TO	LENGTH (FT)	PIPE SIZE	INVERT ELEVATION	OUTLET ELEVATION	PIPE TYPE
P-1	STORM NO 1	PROPOSED MANHOLE	38	8"	927.50	927.81	1.00N
P-2	STORM NO 2	PROPOSED MANHOLE	4	8"	929.50	929.83	1.00N
P-3	STORM NO 3	PROPOSED MANHOLE	4	8"	932.50	932.88	2.00N
P-4	APPROX ENDWALL	PROPOSED MANHOLE	22	8"	932.50	932.38	2.00N
P-5	STORM NO 4	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-6	STORM NO 5	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-7	STORM NO 6	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-8	STORM NO 7	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-9	STORM NO 8	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-10	STORM NO 9	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-11	STORM NO 10	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
P-12	TRENCH DRAIN NO 11	STORM NO 12	87	8"	930.33	930.78	0.50N
P-13	STORM NO 12	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-14	STORM NO 13	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-15	STORM NO 14	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-16	STORM NO 15	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-17	STORM NO 16	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-18	STORM NO 17	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-19	STORM NO 18	APPROX ENDWALL	18	8"	932.65	932.60	1.00N
P-20	TRENCH DRAIN NO 19	STORM NO 20	21	8"	929.45	929.45	0.50N
P-21	STORM NO 20	APPROX ENDWALL	110	8"	929.83	929.83	0.50N
P-22	STORM NO 21	APPROX ENDWALL	88	8"	929.83	929.83	0.50N
P-23	STORM NO 22	APPROX ENDWALL	88	8"	929.83	929.83	0.50N
P-24	STORM NO 23	APPROX ENDWALL	87	8"	929.83	929.83	0.50N
P-25	STORM NO 24	APPROX ENDWALL	87	8"	929.83	929.83	0.50N
P-26	STORM NO 25	APPROX ENDWALL	87	8"	929.83	929.83	0.50N
P-27	STORM NO 26	APPROX ENDWALL	87	8"	929.83	929.83	0.50N

**PROPOSED STORM SEWER PIPE SCHEDULE**

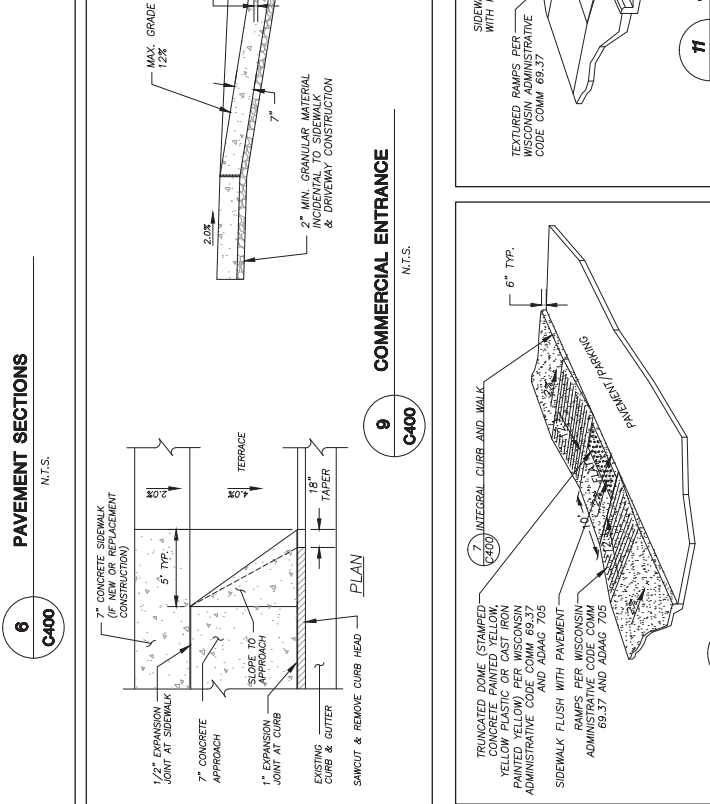
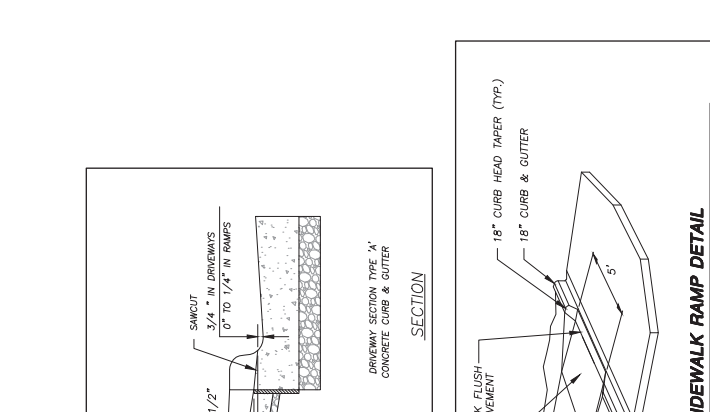
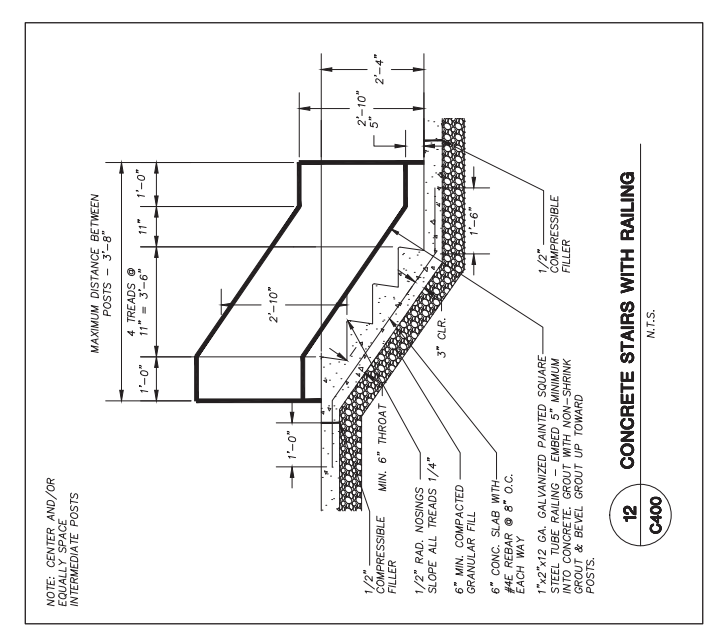
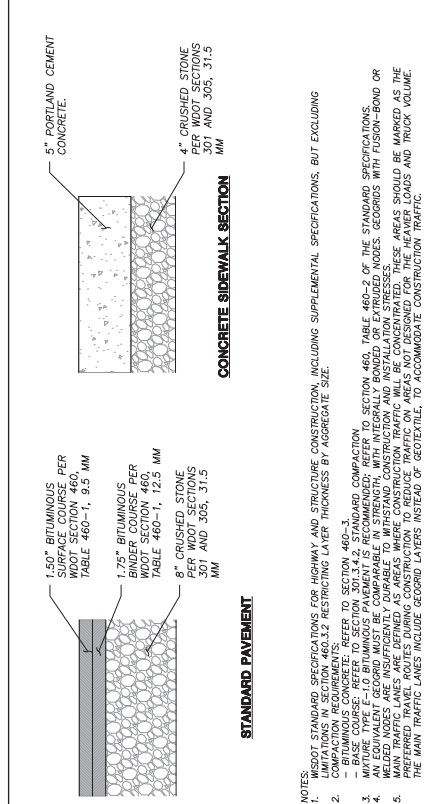
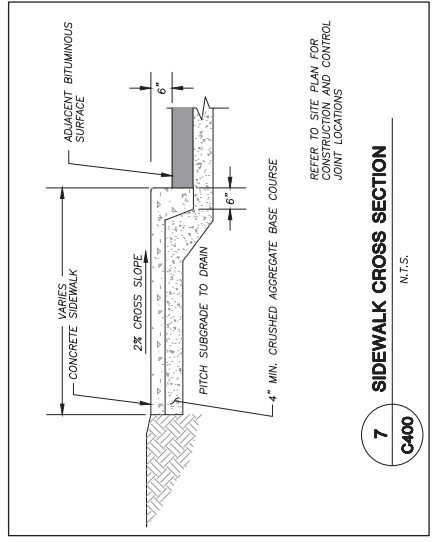
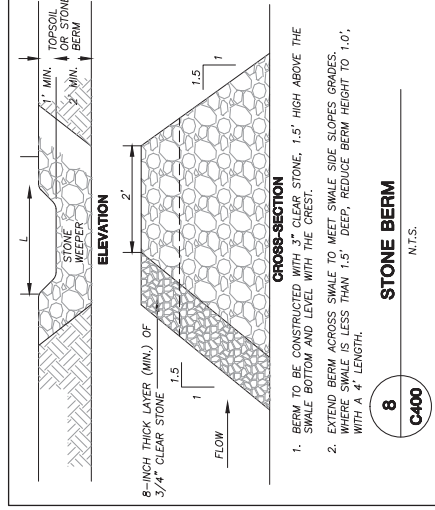
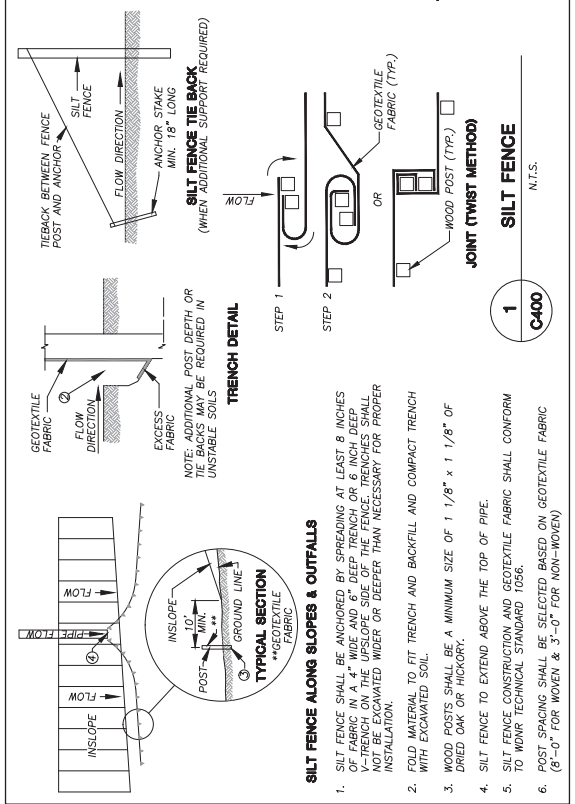
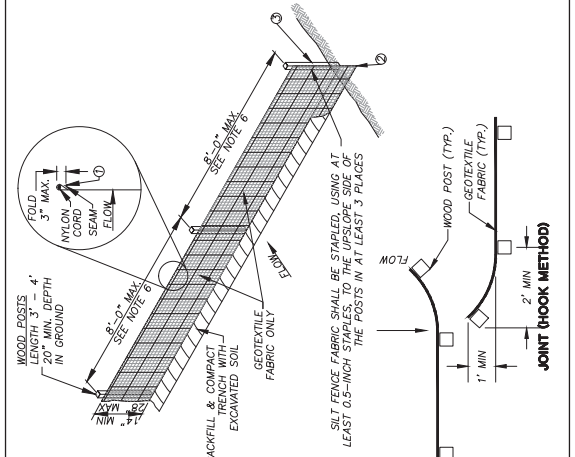
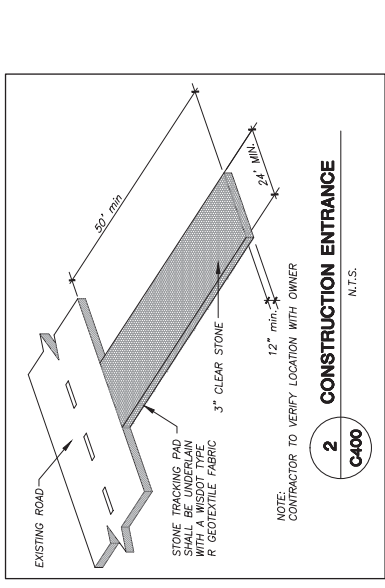
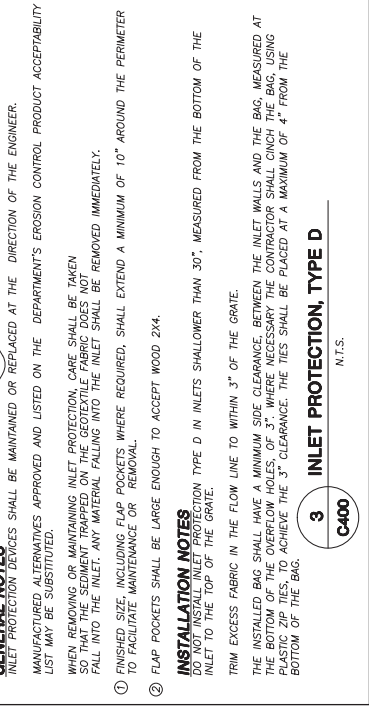
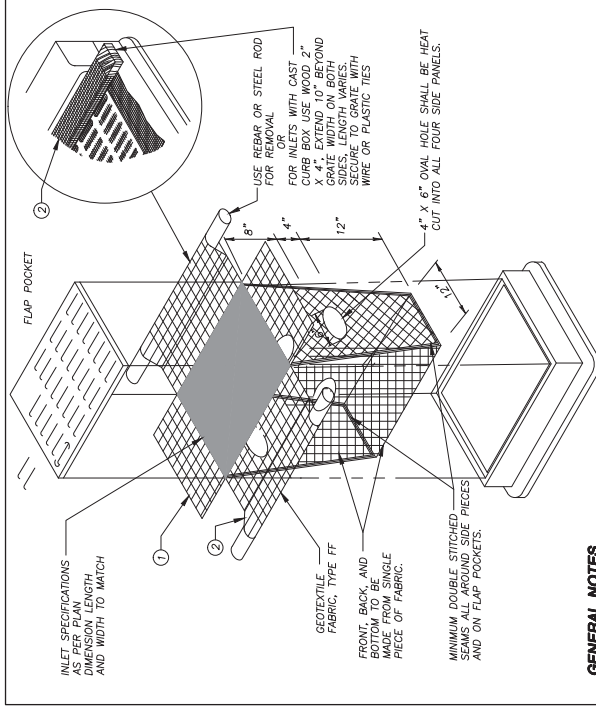
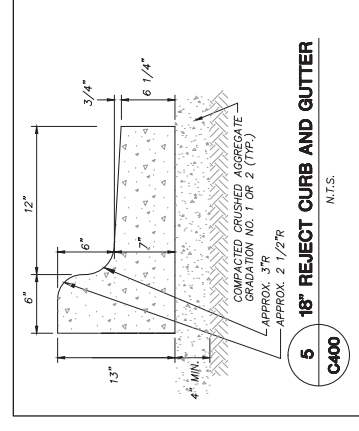
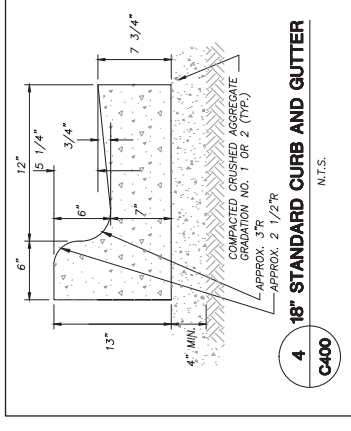
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P-8	STORM NO 7	APPROX ENDWALL	22	8"	932.50	932.38	2.00N
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P-27	STORM NO 26	APPROX ENDWALL	87	8"	929.83	929.83	0.50N

REMOVE AND RE-STRIP TENSION LANE PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR CURB WORKS. CONSTRUCTION STREET PATCHING CRITERIA FOR CURB AND GUTTER RATED 8 AND PAVEMENT RATED 6. CONTACT THE CITY OF MADISON INSPECTION DEPARTMENT FOR A PRE-CONSTRUCTION MEETING.

Tennysen Senior Living Community

C300





**GENERAL NOTES**

- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

**INSTALLATION NOTES**

- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

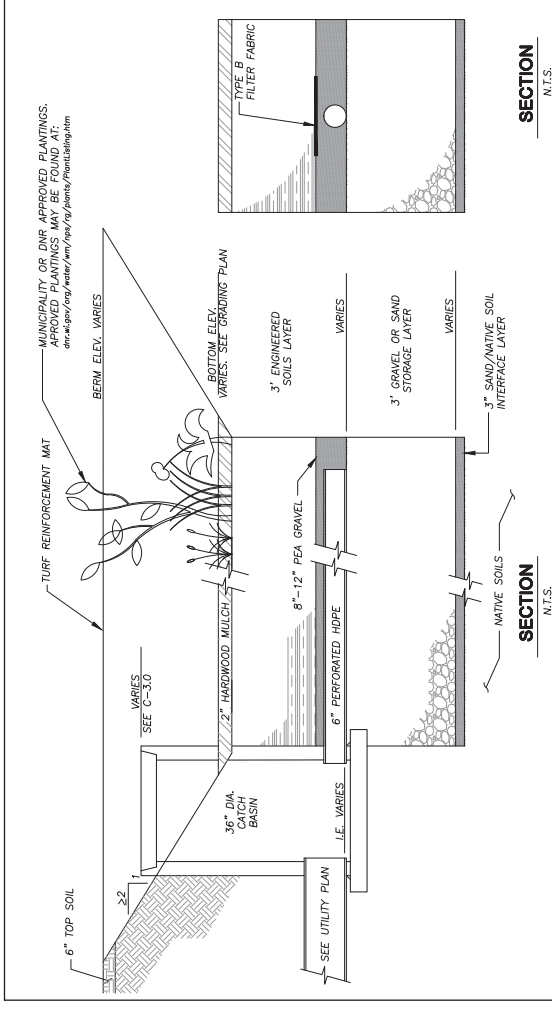
Tennyson Senior Living Community



Engberg Anderson Project No. 132290

May 7, 2014

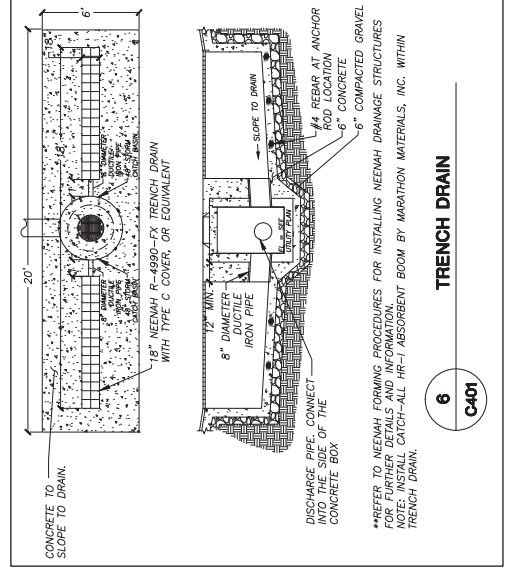
C400



- GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE MNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
  - CONTRACTOR SHALL INSTALL 36\"/>
  - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, PH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
  - SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
  - FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
  - ANNUAL PINE GRASS SHALL BE SEED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL. WHEN BASIN IS BROUGHT ON-LINE, ROOTSTOP AND FLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
  - RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
  - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
  - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

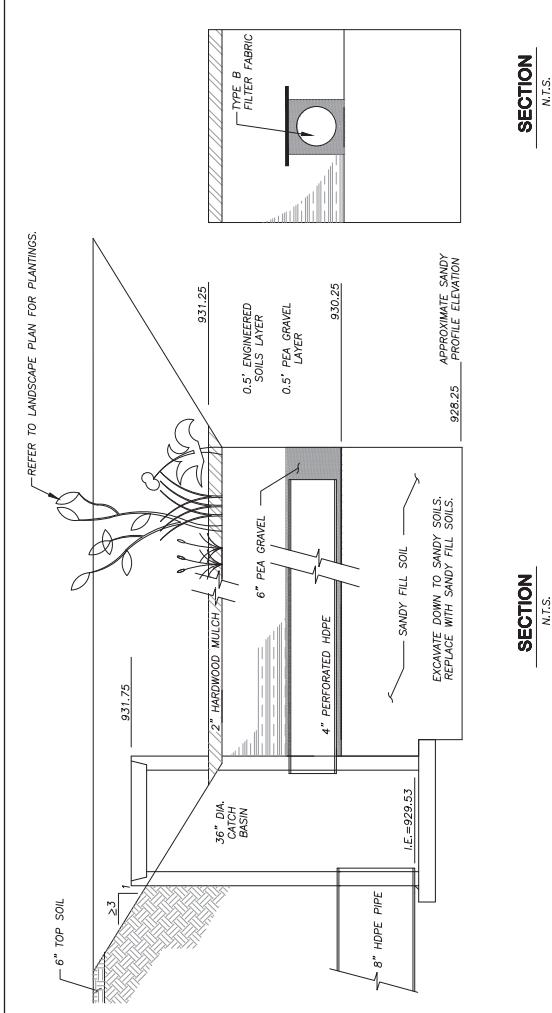
INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (E.G., RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION STANDARDS SET FORTH WITHIN THE RESPECTIVE MNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

1 BIORETENTION DEVICE  
N.T.S.  
C401



\*\*REFER TO NEMAH FORMING PROCEDURES FOR INSTALLING NEMAH DRAINAGE STRUCTURES FOR BOTTLE NECK DETAILS.  
NOTE: INSTALL CATCH-ALL HR-1 ABSORBENT BOOM BY MARATHON MATERIALS, INC. WITHIN TRENCH DRAIN.

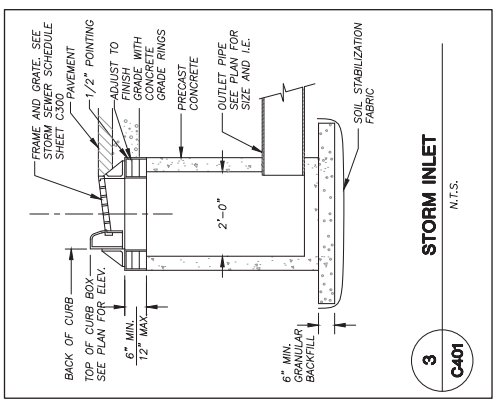
6 TRENCH DRAIN  
C401



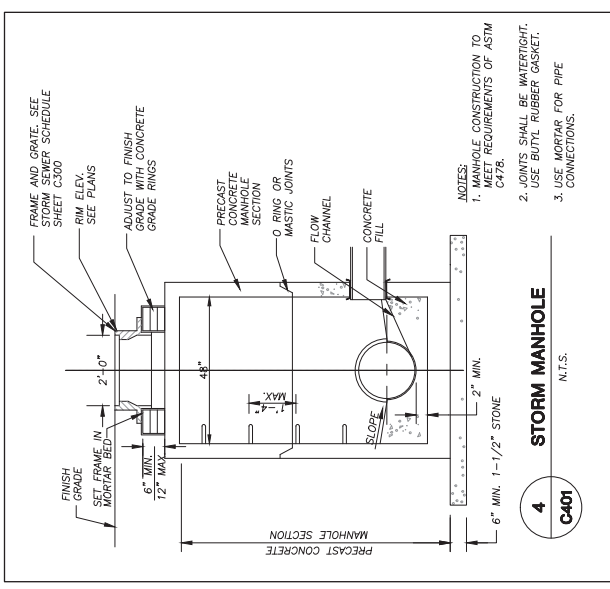
- GENERAL NOTES:**
- CONTRACTOR SHALL INSTALL 6\"/>
  - CERTIFIED COMPOST SHALL CONSIST OF: 70% ASTM C33 SAND AND 30% CERTIFIED COMPOST (SEE GENERAL NOTE 2).
  - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, PH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
  - CONFORM WITH GEOTECHNICAL ENGINEER THAT THE SANDY SOIL PROFILE HAS BEEN REACHED PRIOR TO BACKFILLING THE RAIN GARDEN.
  - SANDY FILL MUST HAVE AN EQUAL OR HIGHER INFILTRATION RATE THAN THE BOTTOM OF THE INFILTRATION BASIN AS CONFIRMED BY A GEOTECHNICAL ENGINEER.
  - SANDY FILL MUST BE PLACED ABOVE THE PERFORATED PIPE BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL. A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
  - RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
  - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
  - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (E.G., RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

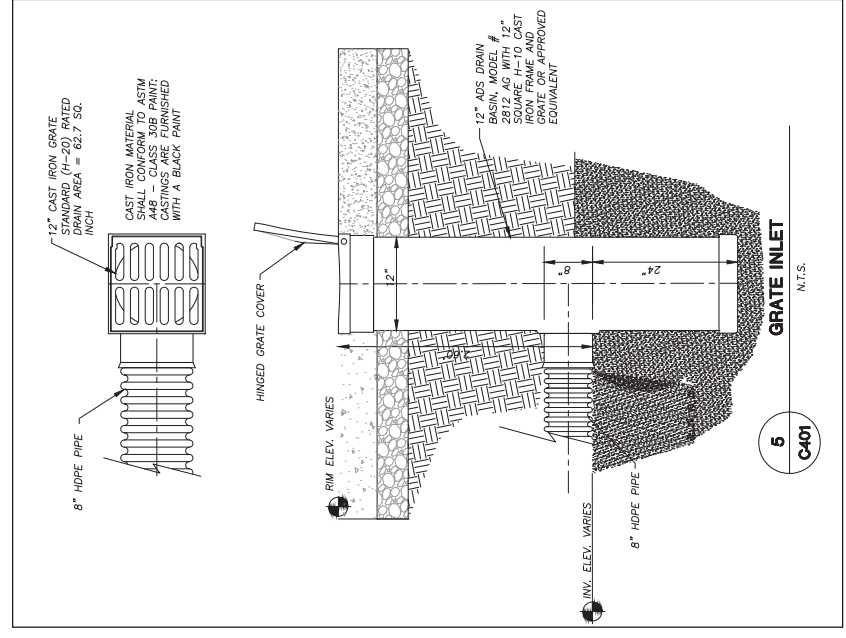
2 RAIN GARDEN  
N.T.S.  
C401



3 STORM INLET  
N.T.S.  
C401

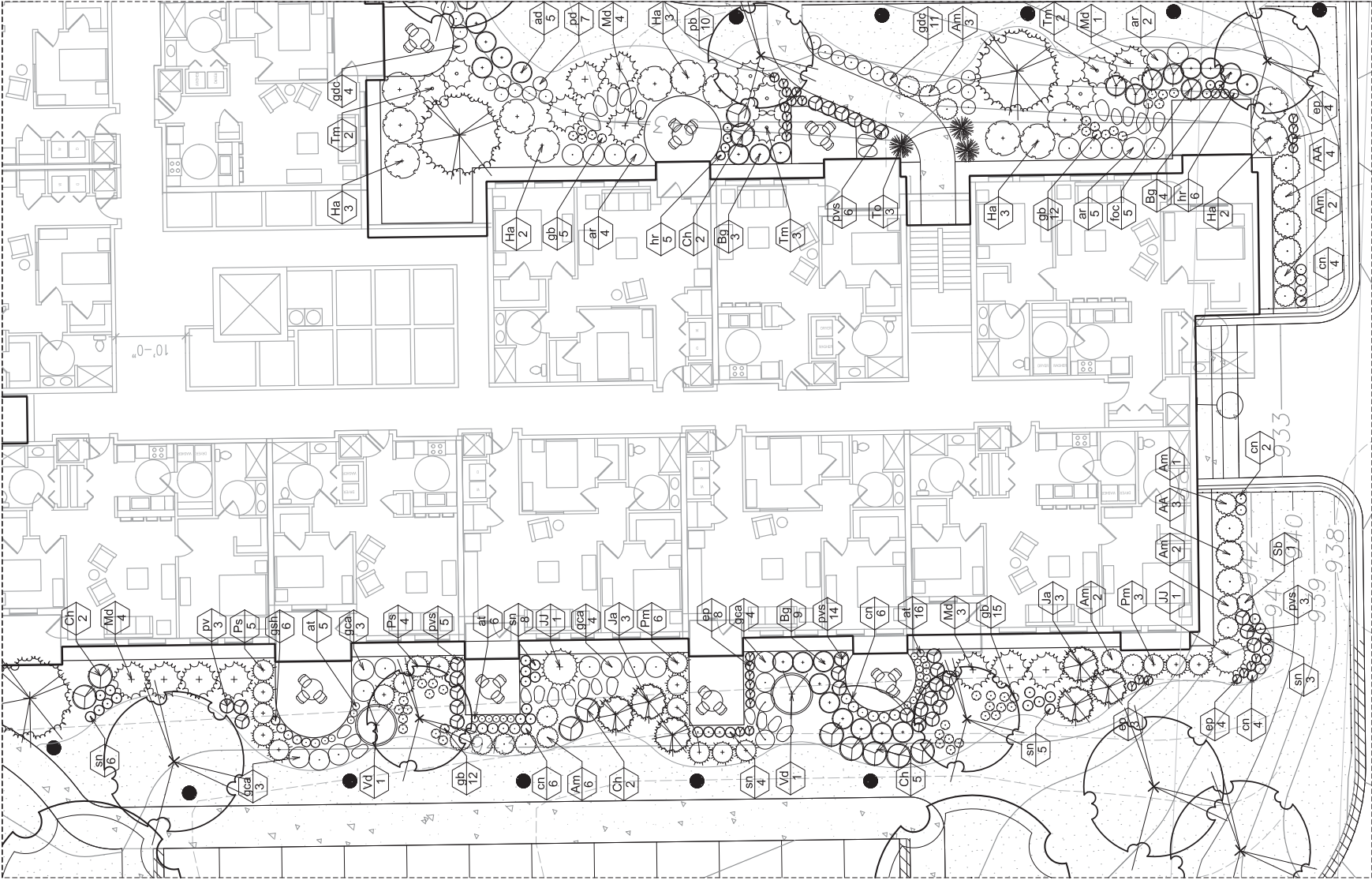


4 STORM MANHOLE  
N.T.S.  
C401

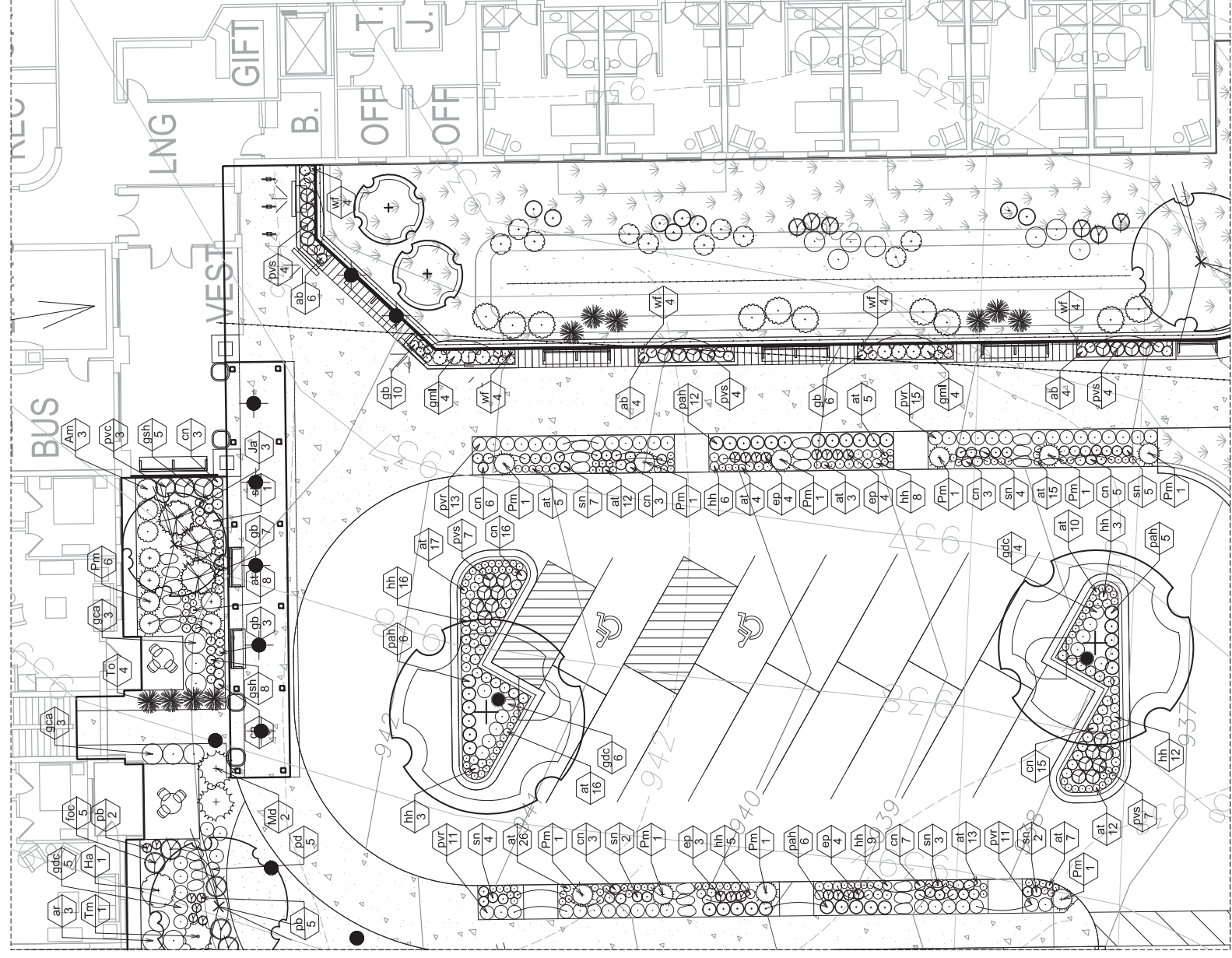


5 GRATE INLET  
N.T.S.  
C401

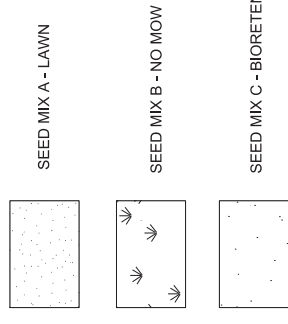




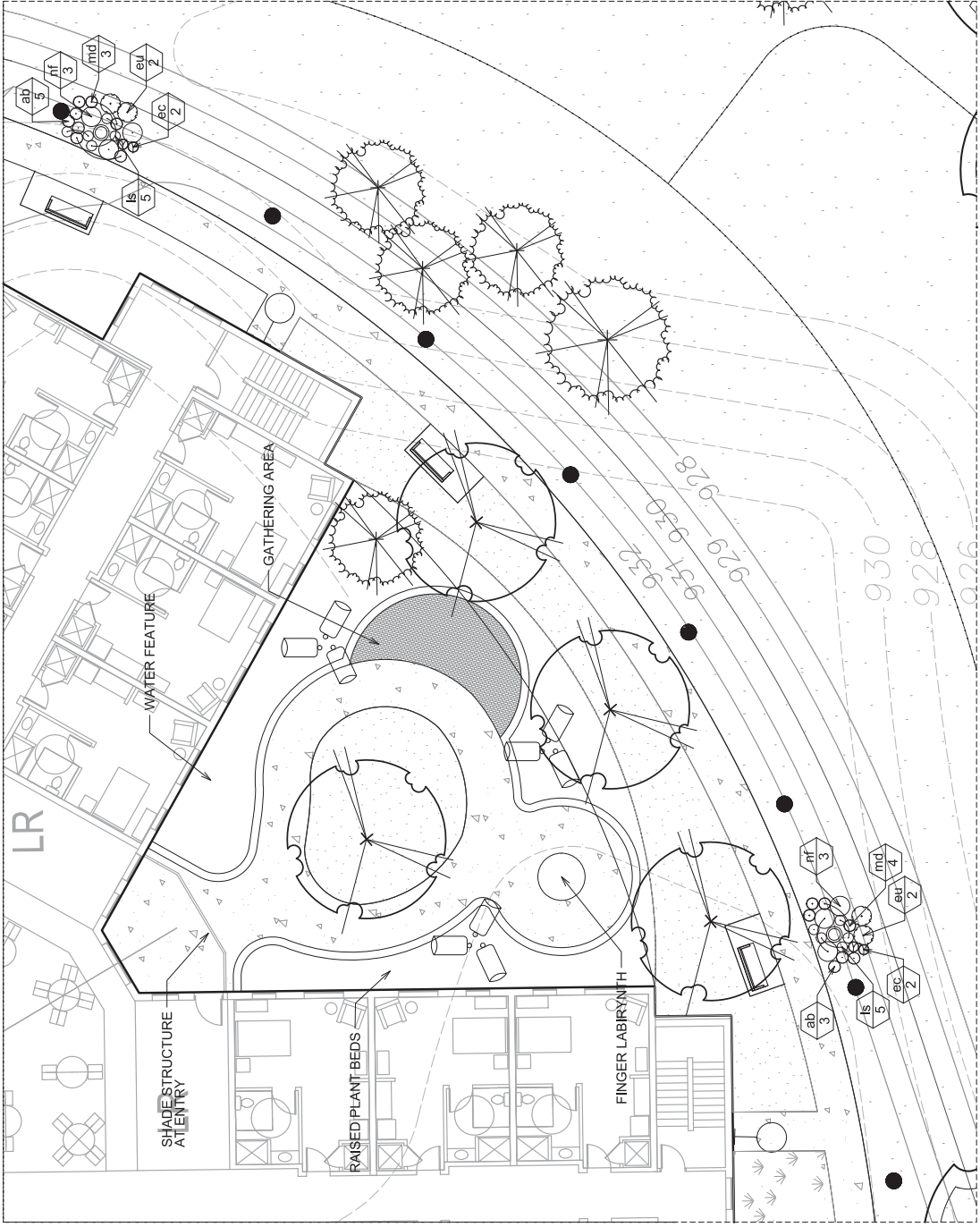
1 FRONT YARD PLANTINGS  
1"=10'-0" @ FULL SIZE SHEET (24x36)



2 FRONT YARD AND ENTRY PLANTING  
1"=10'-0" @ FULL SIZE SHEET (24x36)







3 MEMORY GARDEN CONCEPT  
1"=10'-0" @ FULL SIZE SHEET (24X36)



4 WELLNESS GARDEN CONCEPT  
1"=10'-0" @ FULL SIZE SHEET (24X36)









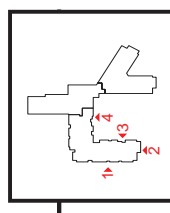
1 Independent Living - West Elevation  
SCALE: 1/8" = 1'-0"

2 Independent Living - South Elevation  
SCALE: 1/8" = 1'-0"



3 Independent Living - East Elevation  
SCALE: 1/8" = 1'-0"

4 Independent Living & Center - South Elevation  
SCALE: 1/8" = 1'-0"



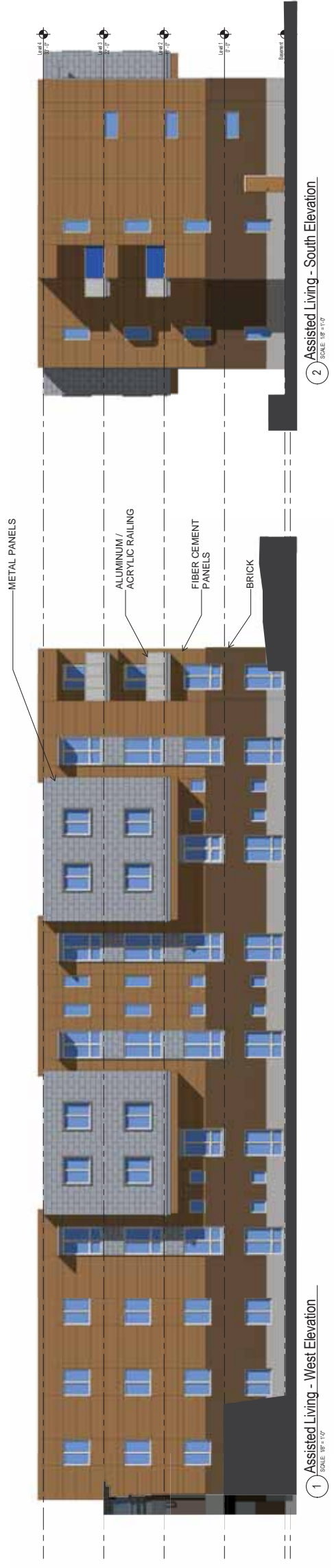
**Tennyson Senior Housing Community**

Exterior Elevations  
Scale: 1/8" = 1'-0"

Engberg Anderson Project No. 132290







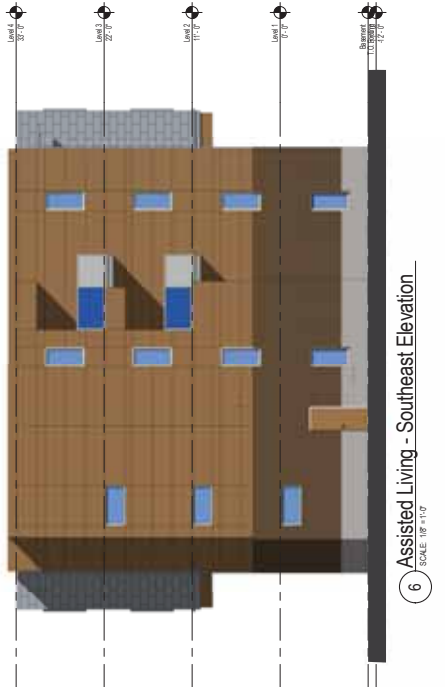
1 Assisted Living - West Elevation  
SCALE: 1/8" = 1'-0"



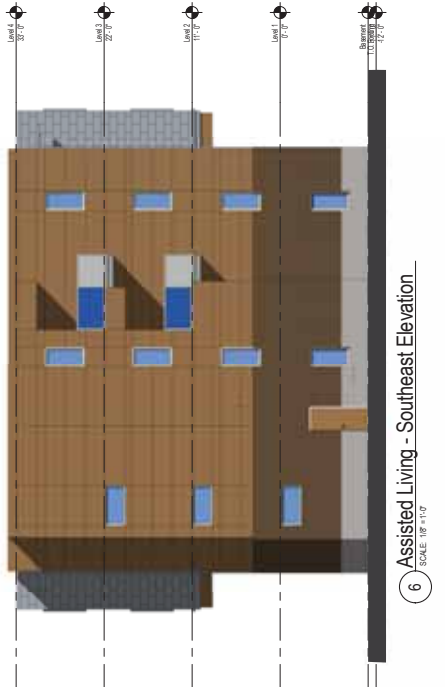
3 Assisted Living Courtyard - East Elevation  
SCALE: 1/8" = 1'-0"



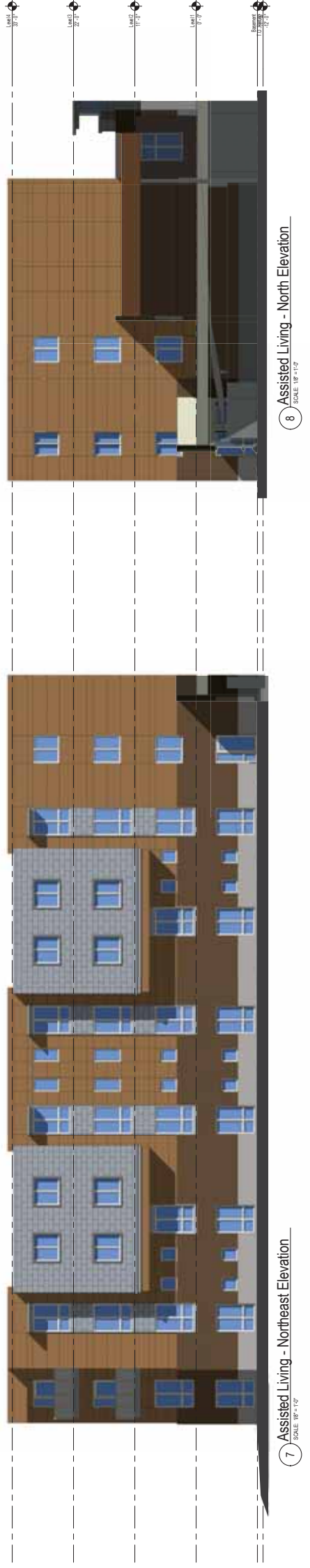
4 Assisted Living Courtyard - South Elevation  
SCALE: 1/8" = 1'-0"



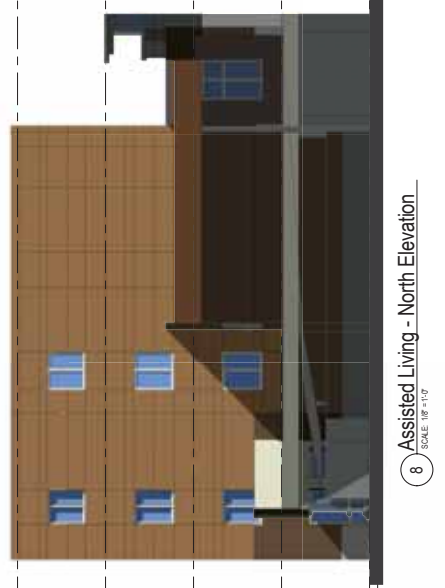
5 Assisted Living Courtyard - Southwest Elevation  
SCALE: 1/8" = 1'-0"



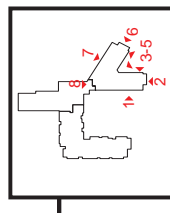
6 Assisted Living - Southeast Elevation  
SCALE: 1/8" = 1'-0"



7 Assisted Living - Northeast Elevation  
SCALE: 1/8" = 1'-0"



8 Assisted Living - North Elevation  
SCALE: 1/8" = 1'-0"



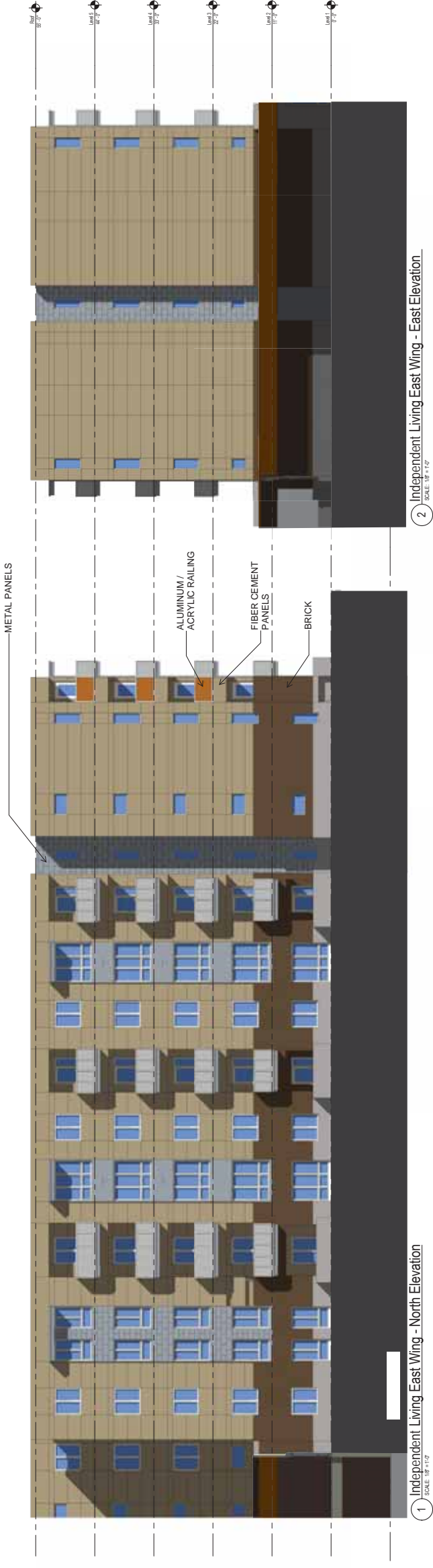
**Tennyson Senior Housing Community**



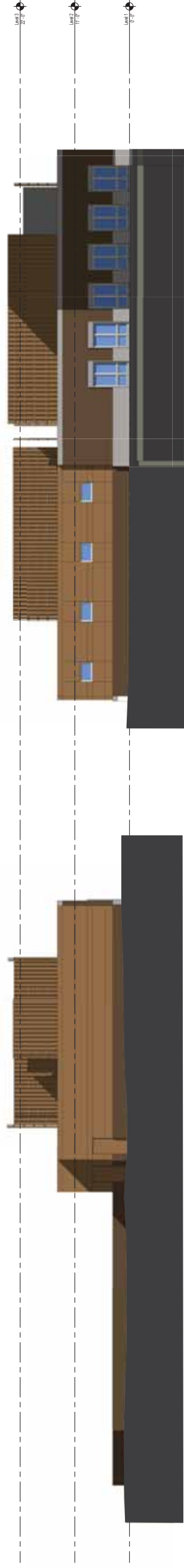
Exterior Elevations

Scale: 1/8" = 1'-0"

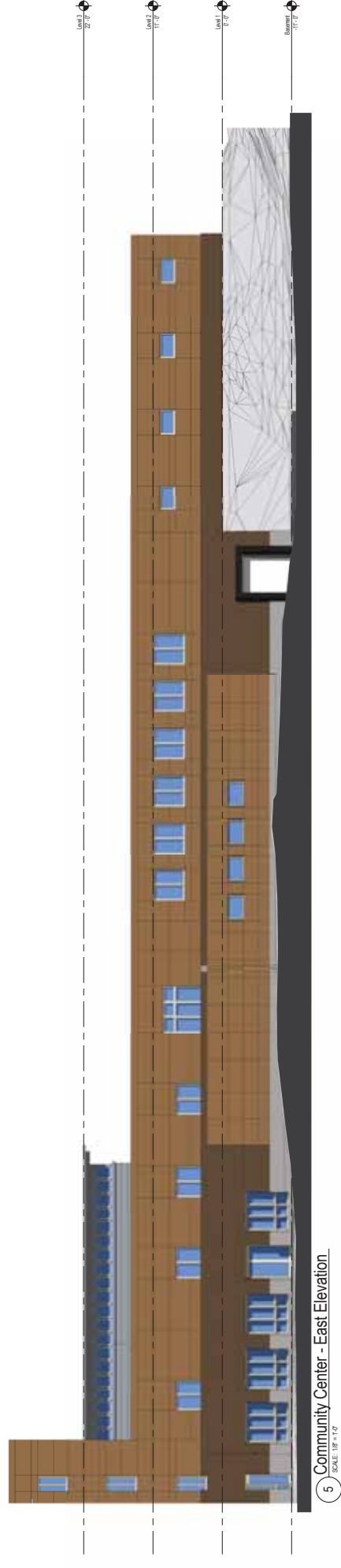
Engberg Anderson Project No. 132290



2 Independent Living East Wing - East Elevation  
SCALE: 1/8" = 1'-0"



3 Community Center - West Elevation  
SCALE: 1/8" = 1'-0"



5 Community Center - East Elevation  
SCALE: 1/8" = 1'-0"

## Tennyson Senior Housing Community

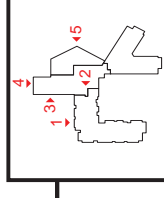
Exterior Elevations

Scale: 1/8" = 1'-0"

Engberg Anderson Project No. 132290



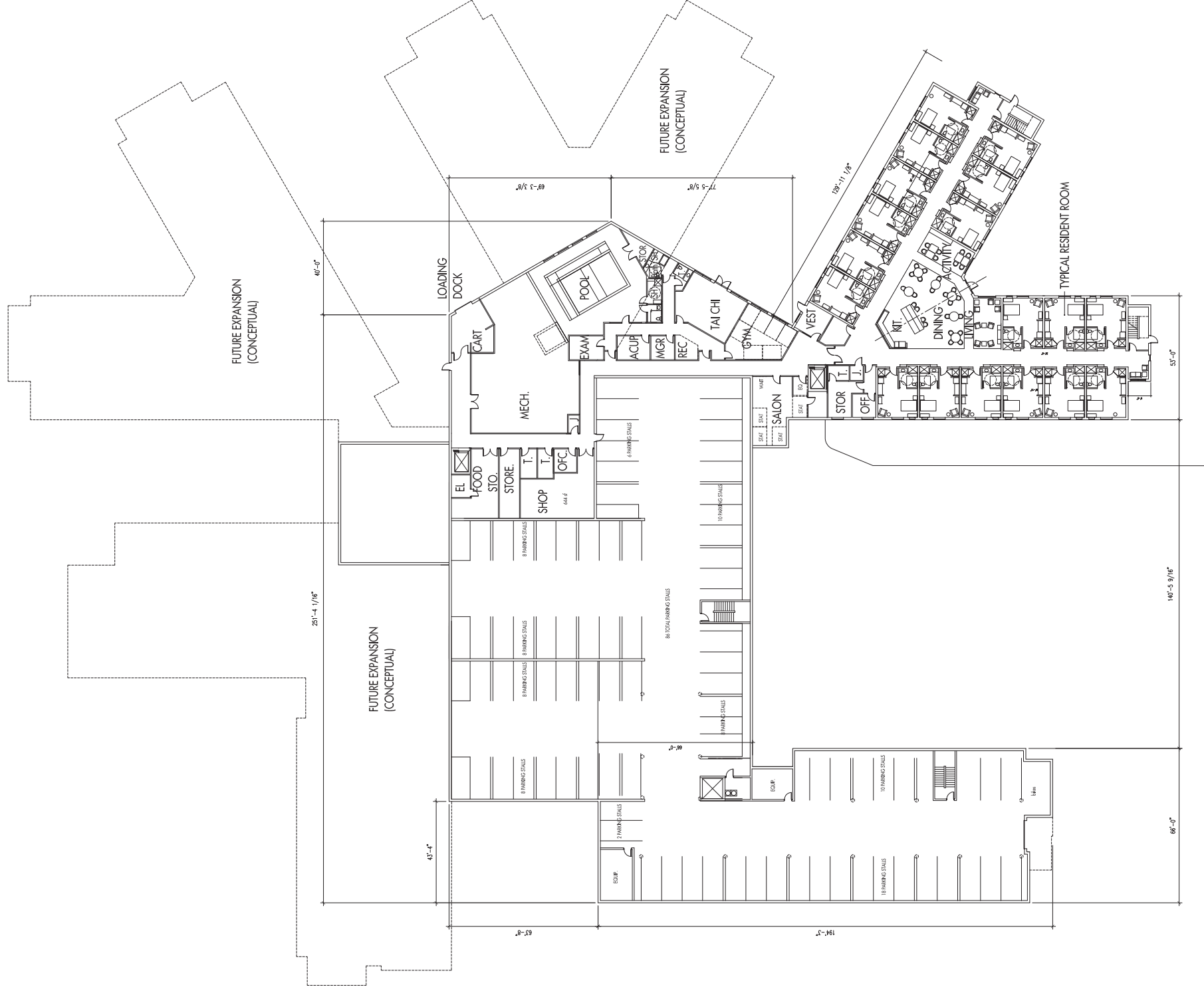
MILWAUKEE • MADISON • TUCSON











# Tennyson Senior Living Community

LOWER LEVEL PLAN  
 1" = 20'-0"

May 7, 2014  
 Engberg Anderson Project No. 132290





















VIEW FROM NORTHEAST



VIEW FROM SOUTHWEST