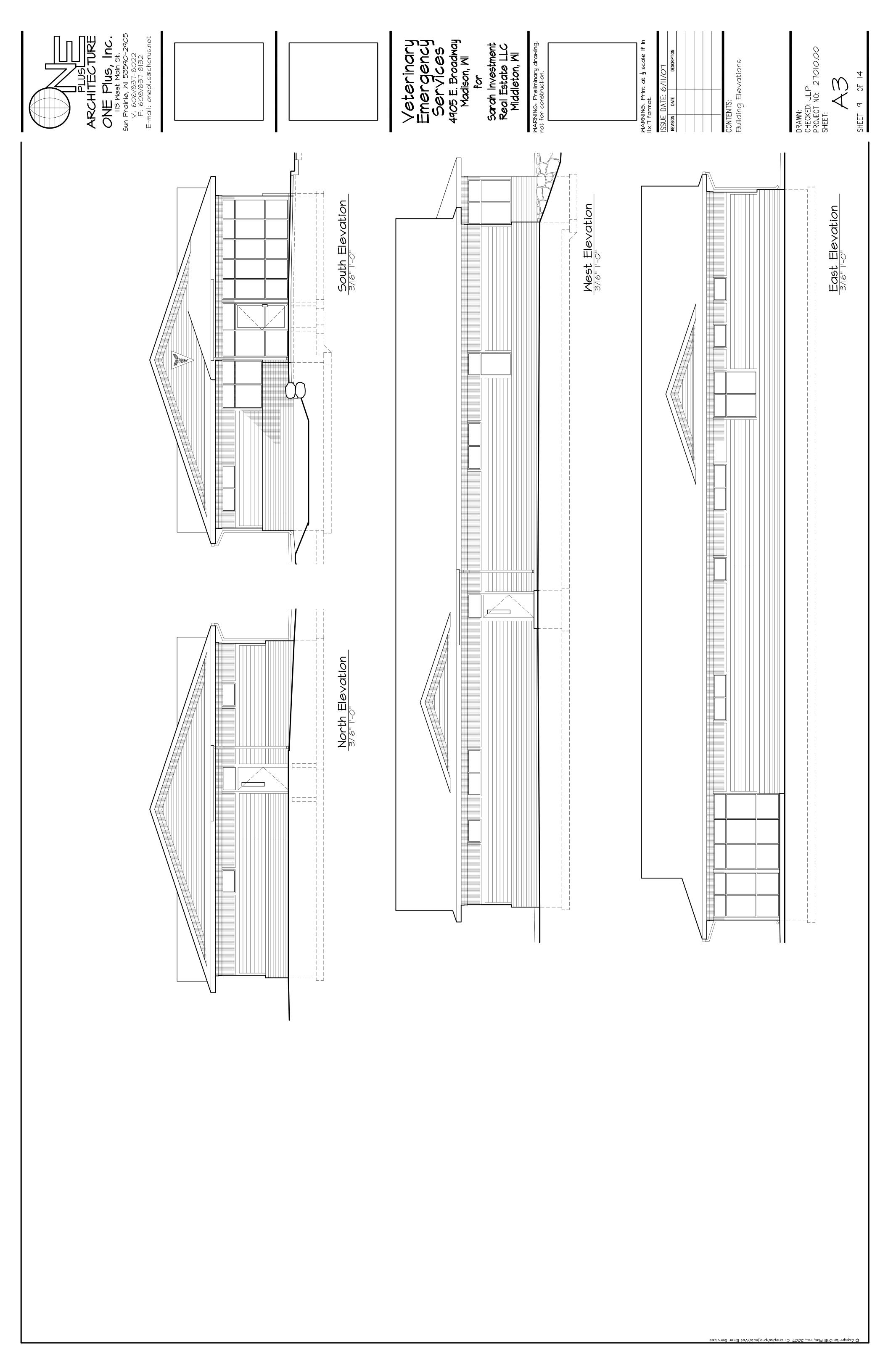
APPLICATION FOR URBAN DESIGN COMMISSION REVIEW AND APPROVAL

AGENDA	\ ITEM #
Project#	

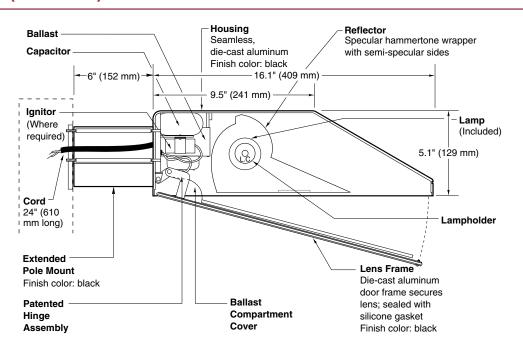
UDC MEETING DATE: 6.20.07	Action Requested Informational Presentation Initial Approval and/or Recommendation Final Approval and/or Recommendation
PROJECT ADDRESS: 4905 F. Broads ALDERMANIC DISTRICT: 16	×oY
OWNER/DEVELOPER (Partners and/or Principals) Sava Investment Red Estate [(22 M. High Pt. Rd, Suite 20] Middleton, VI 53567 CONTACT PERSON: Joe Power, Al Address:	ARCHITECT/DESIGNER/OR AGENT: ONE Plus lac 1/3 Yest Main Sun Prairie 1 53596 A
Phone: 608/337-9027 Fax: 600/337-9637 E-mail address: 010000000000000000000000000000000000	
well as a fee) Freeze Park School, Public Building or Space (Fee may be re	Urban Design District * (A public hearing is required as equired) g of a Retail, Hotel or Motel Building Exceeding 40,000
(See Section B for:) New Construction or Exterior Remodeling in C4	District (Fee required)
(See Section C for:) R.P.S.M. Parking Variance (Fee required)	
(See Section D for:) Comprehensive Design Review* (Fee required) Street Graphics Variance* (Fee required)	
Other*Public Hearing Required (Submission Deadline 3 Wee	ks in Advance of Meeting Date)
	iso iii i io i ulivo vi ivivvillie L/div/

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



16" (406 mm) WEDGE AREA CUTOFF LIGHT





SPEC #	WATTAGE	CATALOG #			
	PULSE START META	L HALIDE			
	125W PSMH	WAC2612(c)-(a)(b)			
	150W PSMH	WAC2615(c)-(a)(b)			
	METAL HALIDE				
	100W MH	WAC2410(c)-(a)(b)			
	175W MH	WAC2417(c)-(a)(b)			
	HIGH PRESSURE SODIUM				
	100W HPS	WAC2510(c)-(a)(b)			
	150W HPS	WAC2515(c)-(a)(b)			

Specify (a) Voltage, (b) Options & (c) Accent Stripe.

	(a) VOLTAGE SUFFIX KEY
D	120/277V (Standard: 125W PSMH; 100W MH)
M	120/208/240/277V (Standard: 150W PSMH; 175W MH; 100 & 150W HPS)
T	120/277/347V (Canada Only) (Standard: 150W PSMH; 100 & 175W MH; 100 & 150W HPS)
1	120V
2	277V
27	277V Reactor (150W PSMH only)
3	208V
4	240V
5	480V (175W MH; 100 & 150W HPS)
6	347V (Canada Only)
	nge availability outside the US and Canada, see Bulletin TD-9 or your Ruud Lighting authorized International Distributor.

IIIy	autiioiizeu	IIIIGIIIaliUliai	Distributor.

EL	ECT	RIO	CA	Ĺ

60° forward throw sharp cutoff luminaire with adjustable backlight control for HID lamp, totally enclosed. Housing is seamless, die-cast aluminum. Mounting consists of a 1.8" (44 mm) wide by 2.5" (63 mm) high by 6" (152 mm) long extruded aluminum arm. The arm is held in place with two 3/8" (9 mm) mounting rods fastened to a steel backing plate inside the pole, and by two nuts inside the fixture housing. Mounting rods are provided with sealing washers to prevent water leakage. Lens assembly consists of rigid aluminum frame, high-impact, clear-tempered glass.

GENERAL DESCRIPTION

Fixture includes clear, medium-base lamp. Pulse-rated porcelain enclosed, 4kv-rated screwshell-type lampholder. Lamp ignitor included where required. All ballast assemblies are highpower factor and use the following circuit types:

Reactor (277V PSMH) 150W PSMH

Reactor

120V: 100 & 150W HPS HX — High Reactance

100W MH; 100 & 150W HPS

CWA — Constant Wattage Autotransformer

125 & 150W PSMH; 175W MH

PATENTS

US 4,689,729; D352,126; Canada 74203

	(b) OPTIONS (factory-installed)
-(a)F	Fusing
-(a)P	Button Photocell
-5P	External Photocell (for 480V)
Q	Quartz Standby (includes 100W quartz lamp) (N/A on 277V Reactor)
Specify	(a) Single Voltage — See Voltage Suffix Key

		(c) ACCENT STRIPE	
R	Red		
G	Gray		

FINISH

Exclusive DeltaGuard® finish features an E-coat epoxy primer with black ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations and enclosure classified IP65 per IEC 529.

Δ	C	r.	3	38	1	R	IES
	u	·	ᅩ	•	·	ш	150

FWG-16 Wire Guard SBL-16 Backlight shield

9201 Washington Avenue Racine, Wisconsin 53406-3772 USA

PHONE (262) 886-1900

FAX (262) 884-3309



04/01/04 @ Ruud Lighting Inc. Printed in USA www.ruudlighting.com

16" (406 mm) WEDGE AREA CUTOFF LIGHT

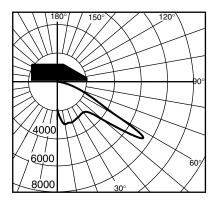
20' 40' 60' 80'

EPA RATING

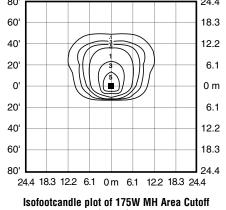
Isofootcandle plots show initial footcandles at grade. (Footcandles ÷ 0.0929 = Lux)

EPA 0.53 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units).

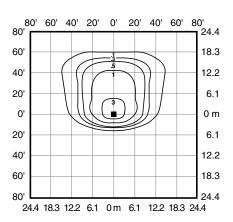
80' 60' 40' 20'



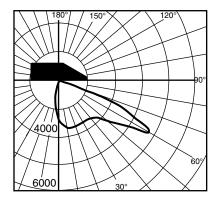
Lighting Sciences Inc. Certified Test Report No. LSI 10695 Candlepower distribution curve of 175W MH Wedge Area Cutoff Floodlight, with backlight shield located for backlight cutoff.



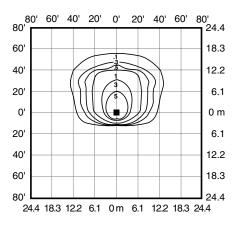
Floodlight at 15' (4.6 m) mounting height, O° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



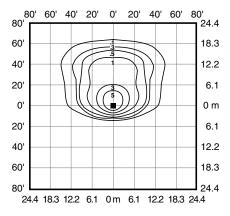
Isofootcandle plot of 175W MH Area Cutoff Floodlight at 20' (6.1 m) mounting height, O° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



Lighting Sciences Inc. Certified Test Report No. LSI 11233 Candlepower distribution curve of 150W HPS Wedge Area Cutoff Floodlight, with backlight shield located for backlight cutoff.



Isofootcandle plot of 150W HPS Area Cutoff Floodlight at 15' (4.6 m) mounting height, O° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



Isofootcandle plot of 150W HPS Area Cutoff Floodlight at 20' (6.1 m) mounting height, O° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)

Pole-spacing Example Data



Test area is centered within a (16) pole layout.

Average Initial Light Levels at Grade 2 Fixtures per pole @ 180° (Footcandles ÷ 0.0929 = Lux)

				Max. Recommended Pole-spacing		
Catalog #	Lamp Type	Lamp Lumens	Mounting Height	XxY	Footcandles	Lux
WAC2410-D	100W MH	8,100	10' (3.0 m)	40' (12.1 m) x 55' (16.7 m)	4.92	53
			15' (4.6 m)	60' (18.3 m) x 85' (25.9 m)	2.04	22
WAC2417-M	175W MH	12,000	15' (4.6 m)	60' (18.3 m) x 85' (25.9 m)	3.01	32
			20' (6.1 m)	75' (22.9 m) x 110' (33.5 m)	1.81	20
WAC2510-M	100W HPS	9,500	10' (3.0 m)	40' (12.1 m) x 55' (16.7 m)	5.05	55
			15' (4.6 m)	60' (18.2 m) x 85' (25.9 m)	2.08	22
WAC2515-M	150W HPS	16,000	15' (4.6 m)	60' (18.2 m) x 85' (25.9 m)	3.51	38
			20' (6.1 m)	75' (22.8 m) x 110' (33.5 m)	2.11	23



9201 Washington Avenue Racine, Wisconsin 53406-3772 USA

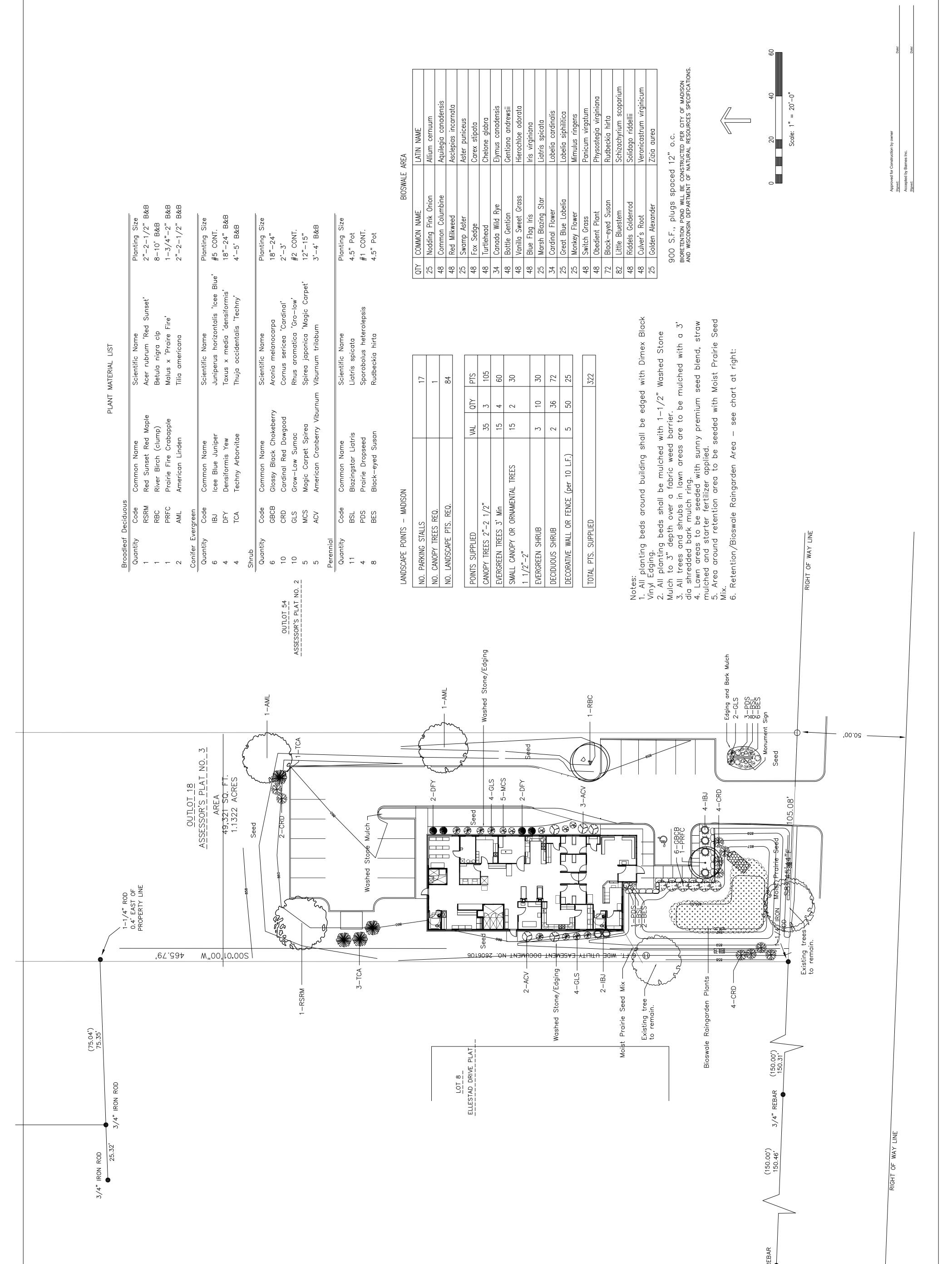
PHONE (262) 886-1900

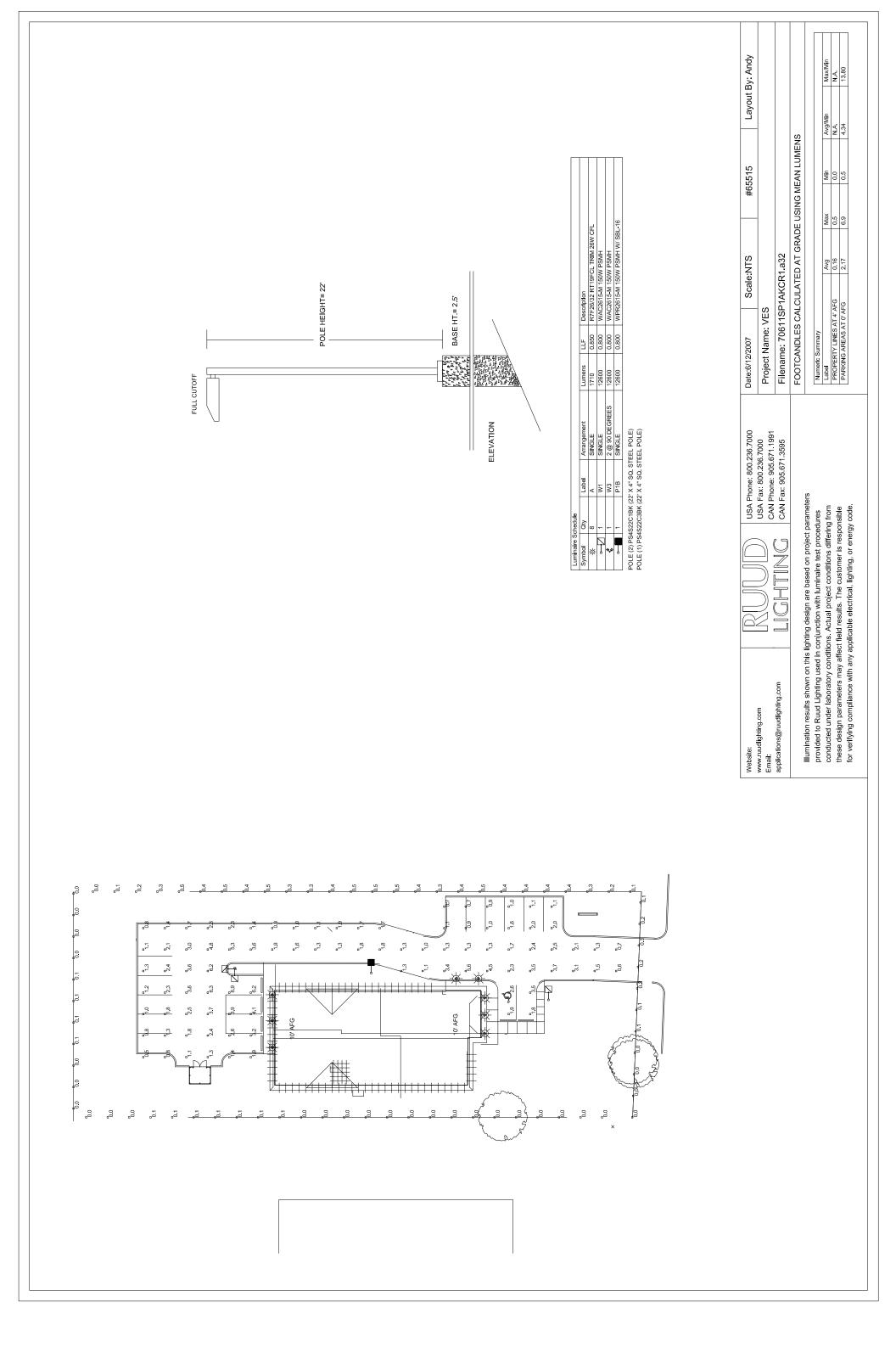
FAX (262) 884-3309

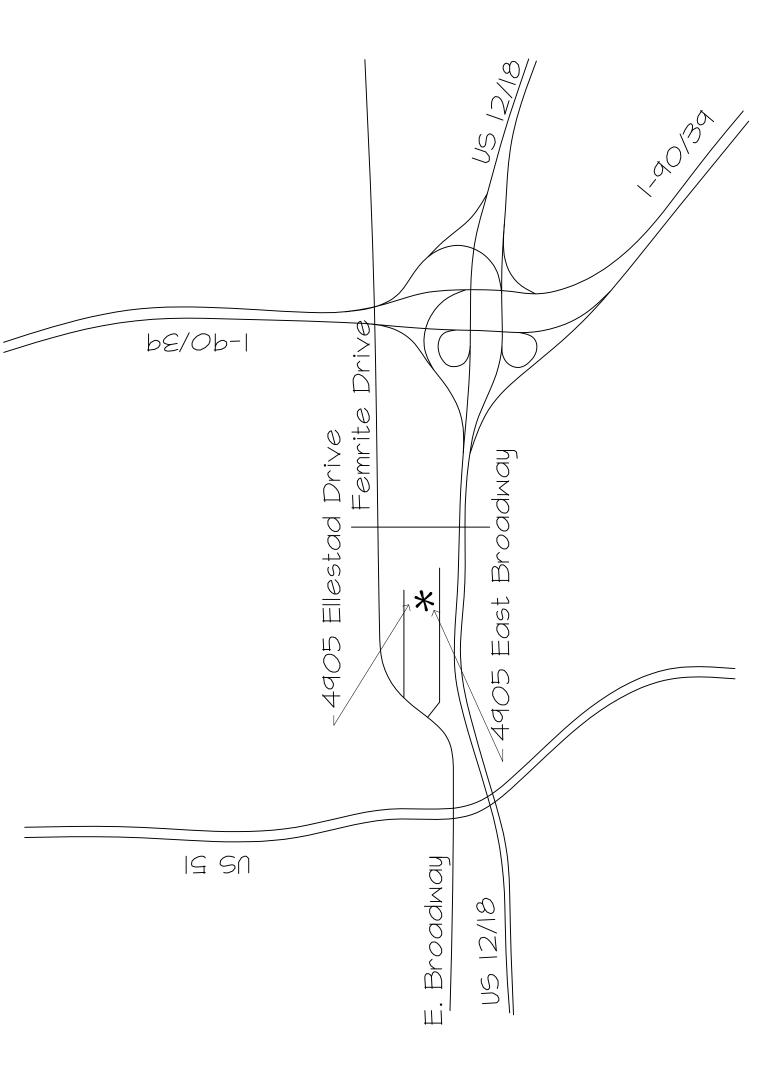
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Veterinary Emergency Services East Broadway Road Madison, WI

KENIZION: 2\53\0\ DEZIGN BA: 1H DEZIGN BA: 1H SCALE: 1" = 20'-0"







Location Map Site |

	Insulation (E	Mortar
SYMBOLS	Acoustical Celling	Asphalt
(v)		

a . b		
Asphalt	OM C	

INSTRUCTIONS TO BIDDERS

INSTRUCTIONS TO BIDDERS

I. Sara Real Estate Investment LLC is requesting written bids for the build-out of a new clinic located at 4905

East Broadway, Madison, WI. Bids are due by 5:00 p.m. on Monday, July 2, 2001. Bids are to be delivered, faxed or mailed to Steve Straavaldsen, at Sara Real Estate Investment LLC, 1612 N. High Point Rd, Suite 201, Middleton, MI
53562 (Fax: 608/831-2255), it is the Contractor's option. Bids shall include the Contractor's contact information and line items for the Base Bid & Alternates.

Alternate Bids shall be required for the following: Alternate I = Provide shelving as defined by Notes 42, 47, 50/N2.

2. Contractors are requested to provide bid proposals for the identified work requirements, including a full schedule of Values, the Contractor's General Conditions & O&P. Bids shall include all work identified herein, building permit fees and all other costs associated with completing the project. The plans are being reviewed by the City of Madison. Sealed & approved drawings will be available to the successful bidder for obtaining a building permit when the review is completed. NOTE: The structural steel requirements shall be provided by Endres Manufacturing of Waunakee (849-4143). The EC shall be Specialized Electric of Verona (854-8484)

Bidders shall familiarize themselves w/ the work requirements by visiting the site prior to the bid date

4. TheOwner shall select a General Contractor based upon an analysis of the bids submitted. The Owner the right to accept or reject any or all bids based upon the Owner's internal project parameters.

5. The Architect, Joe Powelka of ONE Plus, Inc. will be available for questions that might arise from the documents. See the title block for contact information.

6. The General Contractor shall be responsible for project delivery and as such shall have the ultimate control of the construction site. The GC shall select all subcontractors and coordinate their activities. GC to verify that the subcontractors are capable of installing the systems specified including, but not limited to, medical gasses. The GC shall coordinate w/ Tenant selected contractors & between the Tenant contractors and the GC's subcontractors.

The architectural requirements of the project are identified herein. It is expected that the HVAC, plumbing and electrical subcontractors shall review the entire set of contract documents to verify their work requirements and take the general information contained herein to produce finished designs and calculations for their respective trades. These contractors shall be responsible for sealing and submitting their designs and calculations to the required agencies for approval. All costs associated with the design and submission shall be included in the respective contractors bid to provide \$\pi\$ install the project.

8. The successful Contractor shall provide shop drawings ¢ color samples for all materials to the Architect for review. A color schedule will be prepared by the architect for Tenant approval ¢ Contractor compliance.

Substantial Completion and a Certificate of Occupancy shall be completed by December 3, 2007.

I certify that the architectural plans and specifications for this project have been prepared by me or under my direct supervision and that I am a registered architect in the State of Misconsin.

Joseph L. Powelka, AIA Misconsin Registration 5631

Date

ONE Plus, Inc.
113 Mest Main St.
Sun Prairie, MI 53540-2405
V: 608/837-8022
F: 608/837-8132
E-mail: oneplus@chorus.net

PLUS[ARCHITECTURE

4905 E. Broadway Sarah Investment Madison, M Real Estate

INDEX	Ⅲ ⊢ ⊢
SHEET	SHEET

Middleton, MI

SHEET TITLE	TITLE	
<u>S</u>	Cover Sheet, Symbols, Abbreviations,	_
	Sheet Index, Site Location Map	
<u>SD</u>	Site Survey	\cap
SD2	Site Plan	W
SDB	Storm Mater & Erosion Control Plan	4
SD4	Landscaping Plan & Schedule	\mathbb{U}
<u>SD5</u>	Site Utilities	0
$\overline{\downarrow}$	Foundation Plan, Reflected Ceiling Plan,	
	Roof Plan, Notes	
A2	Floor Plan	0
Z	Floor Plan Notes	7
AB	Elevations	<u>O</u>
4	Building Sections, Details	=
A5	Mall Séctions, Details	$\overline{\square}$
A6	Casework Elevations	$\overline{\omega}$
7 T	Schedules, Notes	4

Yeterinary Emergency Services

4905 E. Broadway

Madison, MI

Sarah Investment Real Estate LLC Middleton, MI

ZONING: C3L Hiway Commercial Limited. Permitted Use (28.09(4)(c)(3)) Animal Hospital, no residential district w/in 200 ft.). Lot Area Requirement not defined since there is no residential applications on the property. Maximum Floor Area Ration = 3.0; Project FAR < 1.0. No Front nor Side Yard setback requirements since there is no residential in the area. The Rear Yard requirement references an alley, an adjacent rear yard or side yard line. The site has none of the three since it extends from street to street (Ellestad to E. Broadway. Should there be a rear yard line, the setback requirement for a single story building is $10^{1-}0^{-}$. There is no open Space requirement since there are no residential applications on the property. JOMING GROVE ASSESSORS PLAT 3 PART OUTLOT LN AT PT LN INTER OF E LN LOT 18, TH S ALONG LN NEW US HWY 12 & 18, TH NWLY ALONG SD R/W TH N ON SD W LN 516 FT M/L TO S LN ELLESTAD TO POB. EXCEPT THE S 50 FT THEREOF FO R PARCEL NO. 07102230

MARNING: Print at ½ scale if in II×17 format.

20 persons None

R

Building Occupancy: B
Construction Type: VB
Footprint: 4,033 S
Stories: 1
Occupant Load: 20 pers
Sprinkler: None

-. U. W. 4. W. ⊘.

CODE INFORMATION

ZONING REQUIREMENTS

Lot Area = 44,321 GSF (1.132 A) (No Min Lot R'amt.)

Total Floor Area = 4,033 GSF (No Max. Bldg Size)

Paved Area (sidewalks) = 8,664 paving \$\psi\$ sidewalk + 4,033 GSF footprint

= 12,647 GSF

Impervious Surface Ratio = 25.7%

Landscape Surface Ratio = 0.8 = 0.65F

Floor Area Ratio = 4,033 / 44,321 = 0.8x3.0

Green Area = 36,624 GSF

Landscape Surface Ratio = 14.3%

Maximum Building Height = 18'-4"± above finish floor

Mininimum Parking Requirement: Per 28.11(3)(1)5.d. = 4,033 / 300 = 13.4 or 13 spaces

Parking Spaces Provided = 17 spaces, 8 for Clients, 4 for staff. 1 ADA Van

Accessible space included in Client lot.

Bicycle parking: 1 per 10 auto spaces = 2 bike spaces.

Cover Sheet, Sheet Index, Location Map, Abbreviations

CONTENTS:

27010.00 DRAWN: CHECKED: JLP PROJECT NO: 2 SHEET:

9 SHEET

retaining wall around base of trees, place 34" washed stone 12" deep out 96" from base of tree, cover w/ landscaping fabric \$6" soil. Provide drainage tube from stone to retention basin. Notify Owner of problems, if they occur, with attempting to save the trees results in issues for the retention basin installation. 23. Existing tree to remain. Provide protective measures around tree to prevent damaging tree, minimizing damage to the roots and compacting soil around tree. Provide remedial soil work as follows: provide 48"\$\pi\$x16" precast concrete ring or stone

18. Ec shall provide power to internal lighting for monument sign. Lighting shall be MH controlled by a photocell mounted on the building.

19. Ec shall provide one pole mounted light fixture is and pole for ea. parking lot. Fixture shall comply with Madison ordinances for property line illumination levels and dark-sky r'amts. Submit photometrics plan to City for review and approval.

20. Provide 2 bike rack in this area secured to walk such that bike parking is parallel to the building.

21. Provide a stop sign on a 72" A6 steel post complying M/ MIDOT sign Standards at this location.

22. Provide a 12"x18" No Parking Sign on a 72" A6 steel post in this location.

13. Site Contractor shall, where fill is r'qd, bring grade inside of foundations & beneath concrete walks to 8" below elevations shown on SD3 w/6" controlled lifts of crushed granular fill compacted to 95% proctor. Grades beneath paving shall be brought to 10½" below elevations shown on SD3 per same r'qmts & MIDOT standards. 36" wide curb opening in this general Gas meter shall be located in this general 12. Prolocation. 13. Site

Provide

16. If ground mounted TX is required, it shall be located on E property line between drive & property line. shown. Electric shall enter bldg in this general location buried cable. from buried 17. Pro Anchor

Provide 84" long precast wheel stops as or to pavement $\mbox{M}/\mbox{M} \mbox{C} \times 24$ " rebars.

2x4x12" pull secured to 2x3x11 blocking secured to face of ea. gate. (shown dashed). Provide Stanley 532510-12 black coated cane bolt (not shown) 3" above top of pull

ð

½"¢ throw-bolt secured to back on north gate, bottom of bolt to fit into 1½" deep hole drilled into concrete slab.

Stanley 145252 10" T-hinge. Secure to gate blocking w/3" wood screws.

1x6 cedar boards secured to treated 2x4 gate framing, 2x6 framing on fence..

Provide a 12"x18" No Parking sign on the front of the gate.

cedar @ 6"

Ix6 rough sawn o/c

<u>..O-,9</u>

2x6 treated

w/top

4x4 treated post sloped I"

"1/1 S-1C

Simpson ABU44 post base w/½"¢x8"x½" anchor bolt

cont @ per

2-#6

6x6, IO.IO MMF

"4/E 4

5 6ate 3/8" = 1

118

"| | | |

10-18 1-4-17

Thicken edge o slab as shown, seal concrete & broom finish.

Asphalt paving ∉ base course per NIDOT stds.

4) Fence Section $\frac{4}{3/4"} = 1'-0"$

<u>_</u>

"4/E

∄.⊅/I ⊆

₁₁9

118/E 9

ssible parking sign on painted standards at this location. Accessible 5. Provide 4" parking WIDOT standards. Color 6. Provide Van Acces

symbol as shown per

Construction limits shall be the property lines on E. W & S sides and the designated line shown on I. Provide construction fencing on the E property . Trovia minimum.

⊇.

steel post per Madison standards at this location. the steel post per Madison standards at this location. The steel post per Madison standards at this location. The steel post per Madison striping on walk side of stalls to lindefine the N\$5 edge of the stalls.

2. B. UNO, all small curves in the curbing shall be 5'-O"R will and all large curves shall be 20'-O"R.

4. Provide 4" thick concrete sidewalks, broom finish, from min. compacted gravel fill beneath. Provide gravel fill beneath. Provide gravel fill beneath. Provide gravel fill beneath approach approach abound in linguity general vicinity.

10. Mc shall locate A/C condensers on the ground in linguity general vicinity.

11. Provide a 6" thick concrete approach apron w/ 6x6, IO.IO MWF reinforcement per Madison street proving in linguity.

PLUS[___ARCHITECTURE

<u>ک</u>

Plus, Ir West Main St.

 $\sum_{m=1}^{\infty} \frac{1}{m}$

| 13 West Main St. | Sun Prairie, MI 53590-2905 | V: 608/837-8022 | F: 608/837-8132 | E-mail: oneplus@chorus.net

Z'-5"+FV nb/bQl @ sappds 9 Ö <u>(a)</u> <u>0</u>-0 $\overline{(\tilde{w})}$ <u>@</u> (·Ŵ) 20-0 4 601-03122 (Q) 5-spaces @ 4:-0." $\widetilde{\mathcal{D}}$ \overline{n} 00 U 00 (ω) (_, 63'-6/3/4" XQ ð. (E) 0 4-5 857 (a) 10-191 72-01 11/20 I 10-185 "Z/I II-'P8 1/5" E-19L |Z/I O-19

Sarah Investment Real Estate LLC Middleton, MI

MARNING: Print at ½ scale if in IIXIT format.

-Provide 5" slope on ends sim to cross section.

ENCY

EMERG

<u>"9-'5</u>

-#4 in footing.

Proivide 2.

ICE

SERV

AR

|z|

3 Trash Enclosure

(2)

9'-0" "0'-10" "0'-1

Top of foundation shall be I" above grade.

Provide #4 T&B of foundation.

#4x5'-4" @ 24" o/c w/ 24" embeddment in foundation.

<u>"0-</u>'9

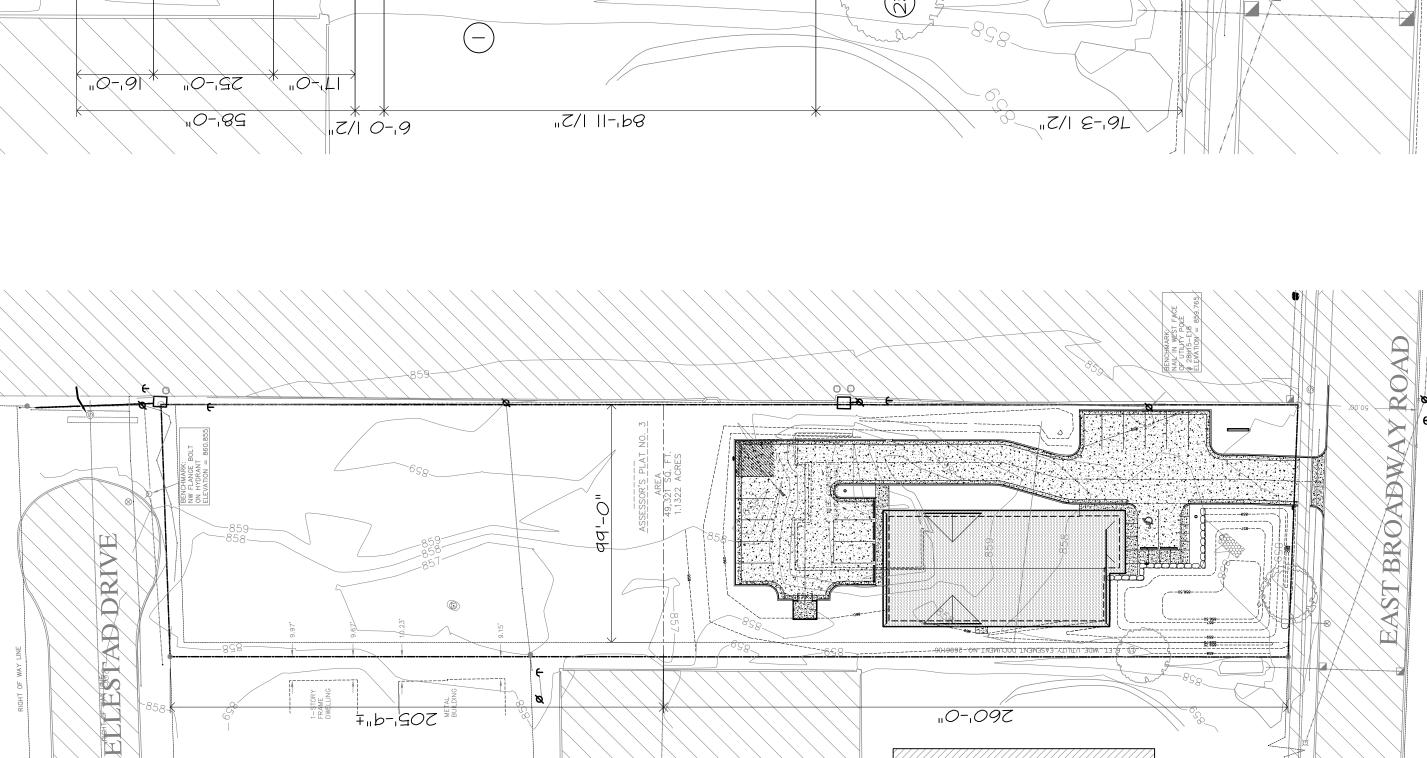
Yeterinary Emergency Services

Broadway

4905 E.

Madison, MI

for



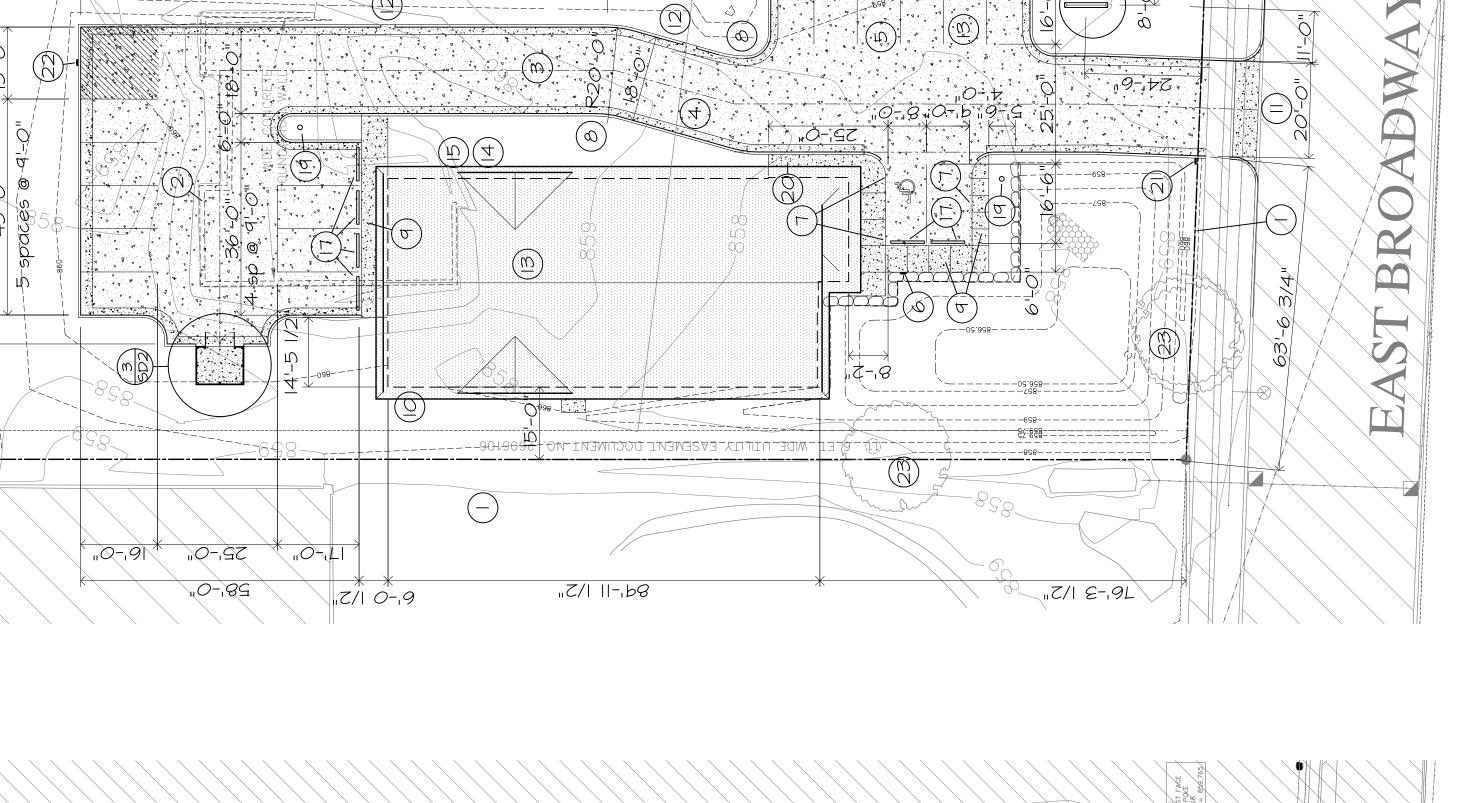
"O-19

"4-'P "0-'0|

Precast top to match band course on building.

Face mounted signage on both sides of the monument

- Brick monuement shall be same brick as on building. Provide ladder type reinforcement @ 12" o/c.



CONTENTS: Site Plan, Notes, Details Site Plan

27010.00 DRAWN: CHECKED: JLP PROJECT NO: 2 SHEET:

SHEET

Site Plan

Elevation |--0"

Sign = 3/8

Section

3/4=

(N

<u>-</u>4--

"B

approvid final sign r'qmts w∕ 6C.

Sign graphics to be provided by Tenant. GC shall provide sign proposal & lump sum cost in Bid. Tenant shall review &

- *a*

19-18