

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: 6.13.07

Action Requested

- Informational Presentation
- Initial Approval and/or Recommendation
- Final Approval and/or Recommendation

UDC MEETING DATE: 6.20.07

PROJECT ADDRESS: 4905 E. Broadway

ALDERMANIC DISTRICT: 16

OWNER/DEVELOPER (Partners and/or Principals)

Sara Investment Real Estate
162 N. High Pt. Rd, Suite 201
Middleton, WI 53562

ARCHITECT/DESIGNER/OR AGENT:

ONE Plus Inc
113 West Main
Sun Prairie WI 53590

CONTACT PERSON: Joe Pawelka, AIA 

Address: _____

Phone: 608/837-8022

Fax: 608/837-8132

E-mail address: oneplus@chorus.net

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee) previously paid
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

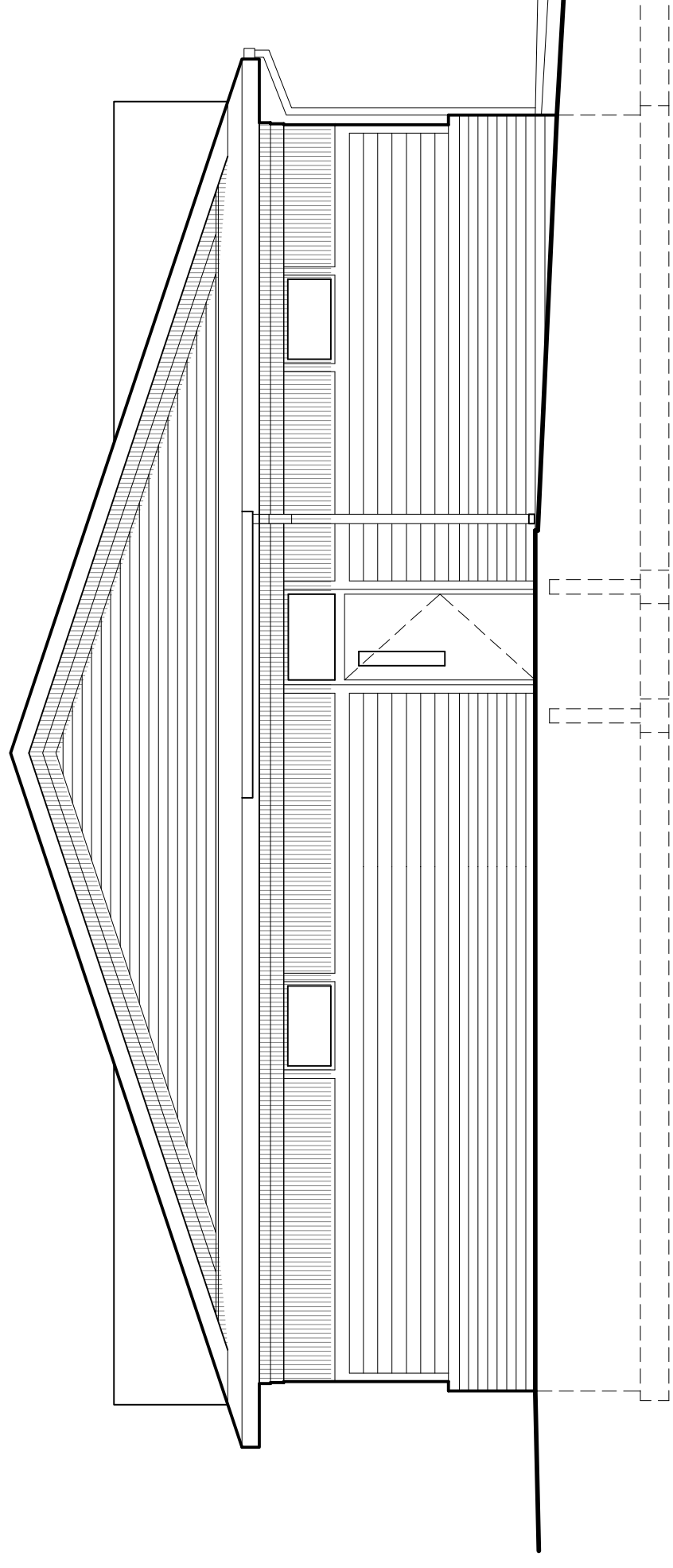
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

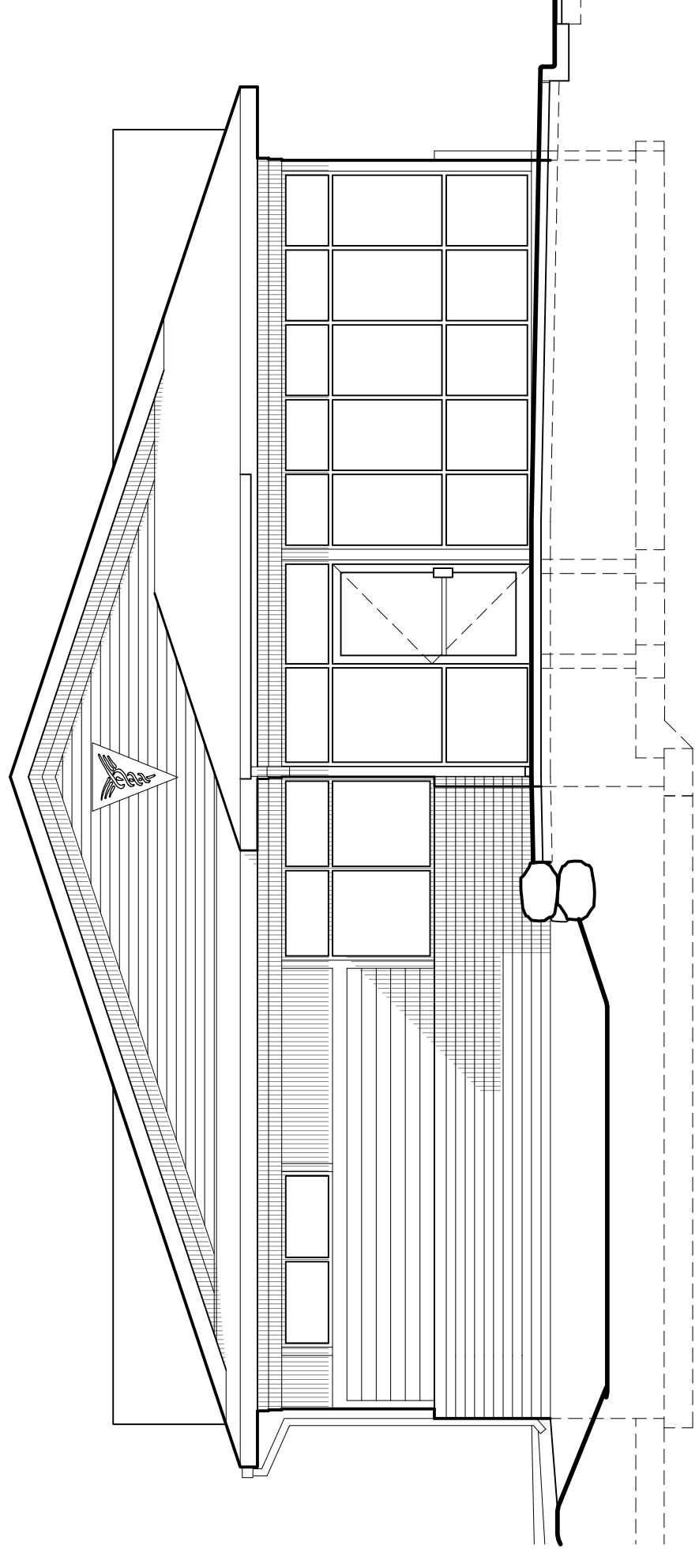
- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

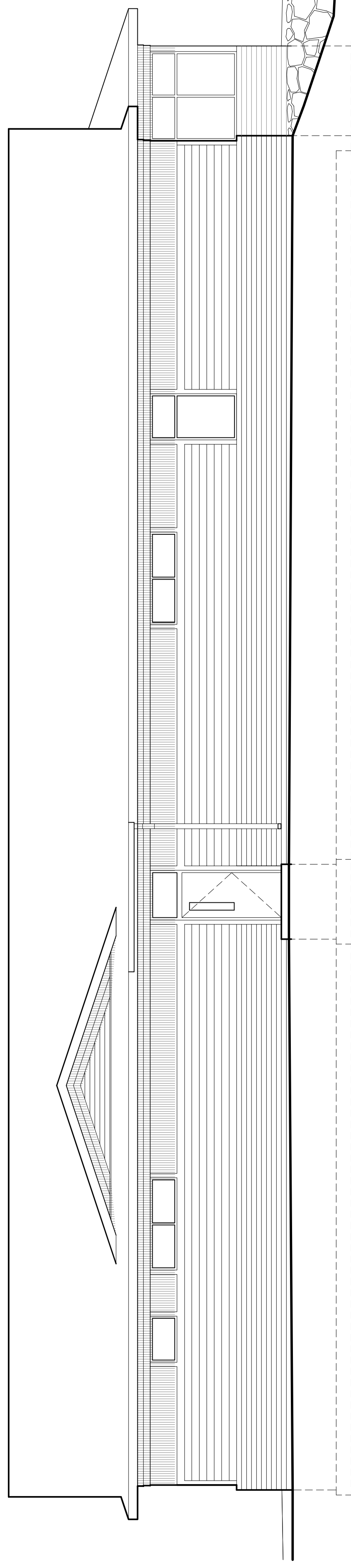
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



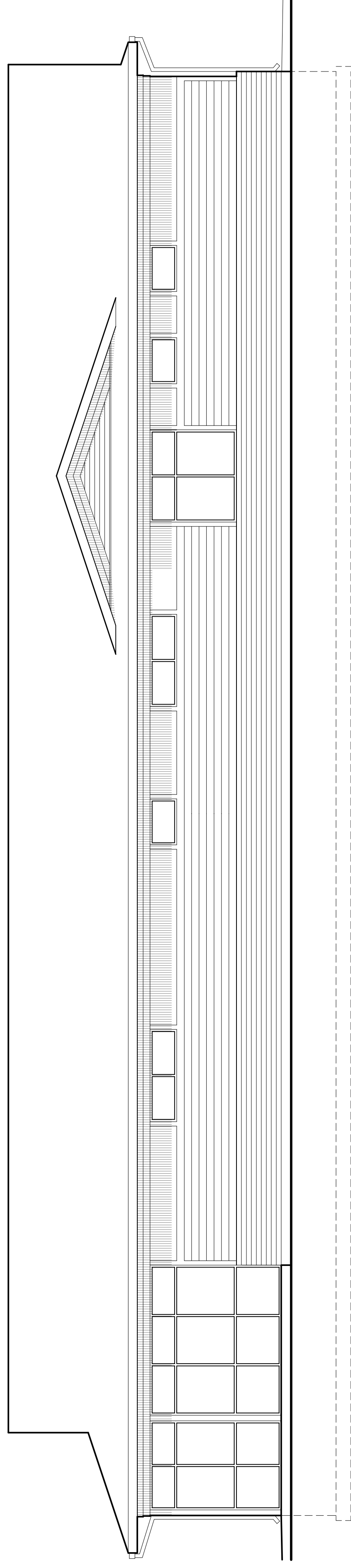
North Elevation
 $\frac{3}{16}'' = 1'-0''$



South Elevation
 $\frac{3}{16}'' = 1'-0''$



West Elevation
 $\frac{3}{16}'' = 1'-0''$



East Elevation
 $\frac{3}{16}'' = 1'-0''$

**Veterinary
Emergency
Services**
 4905 E. Broadway
 Madison, WI
 for
**Sarah Investment
Real Estate LLC**
 Middleton, WI

WARNING: Preliminary drawing,
 not for construction.

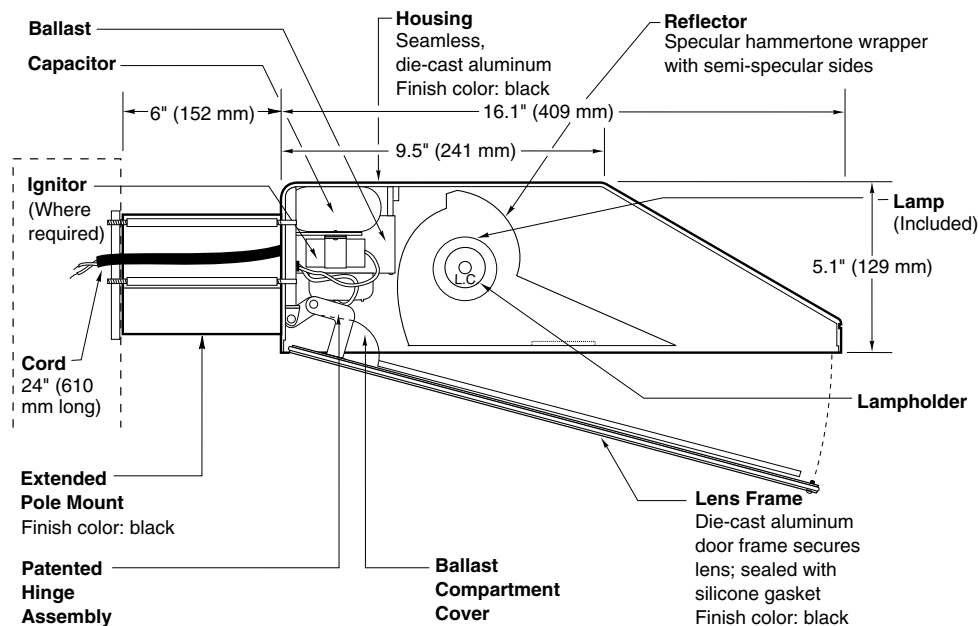
WARNING: Print at $\frac{1}{2}$ scale if in
 IXTT format.

| REVISION | DATE | DESCRIPTION |
|----------|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |

CONTENTS:
 Building Elevations

DRAWN:
 CHECKED: JLP
 PROJECT NO: 27010.00
 SHEET:

A3
 SHEET 9 OF 14



| SPEC # | WATTAGE | CATALOG # |
|---------------------------------|-----------|-------------------|
| PULSE START METAL HALIDE | | |
| | 125W PSMH | WAC2612(c)-(a)(b) |
| | 150W PSMH | WAC2615(c)-(a)(b) |
| METAL HALIDE | | |
| | 100W MH | WAC2410(c)-(a)(b) |
| | 175W MH | WAC2417(c)-(a)(b) |
| HIGH PRESSURE SODIUM | | |
| | 100W HPS | WAC2510(c)-(a)(b) |
| | 150W HPS | WAC2515(c)-(a)(b) |

Specify (a) Voltage, (b) Options & (c) Accent Stripe.

| (a) VOLTAGE SUFFIX KEY | |
|------------------------|--|
| D | 120/277V (Standard: 125W PSMH; 100W MH) |
| M | 120/208/240/277V (Standard: 150W PSMH; 175W MH; 100 & 150W HPS) |
| T | 120/277/347V (Canada Only) (Standard: 150W PSMH; 100 & 175W MH; 100 & 150W HPS) |
| 1 | 120V |
| 2 | 277V |
| 27 | 277V Reactor (150W PSMH only) |
| 3 | 208V |
| 4 | 240V |
| 5 | 480V (175W MH; 100 & 150W HPS) |
| 6 | 347V (Canada Only) |

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

| (b) OPTIONS (factory-installed) | |
|---------------------------------|--|
| -(a)F | Fusing |
| -(a)P | Button Photocell |
| -5P | External Photocell (for 480V) |
| Q | Quartz Standby (includes 100W quartz lamp) (N/A on 277V Reactor) |

Specify (a) Single Voltage — See Voltage Suffix Key

| (c) ACCENT STRIPE | |
|-------------------|------|
| R | Red |
| G | Gray |

GENERAL DESCRIPTION

60° forward throw sharp cutoff luminaire with adjustable backlight control for HID lamp, totally enclosed. Housing is seamless, die-cast aluminum. Mounting consists of a 1.8" (44 mm) wide by 2.5" (63 mm) high by 6" (152 mm) long extruded aluminum arm. The arm is held in place with two 3/8" (9 mm) mounting rods fastened to a steel backing plate inside the pole, and by two nuts inside the fixture housing. Mounting rods are provided with sealing washers to prevent water leakage. Lens assembly consists of rigid aluminum frame, high-impact, clear-tempered glass.

ELECTRICAL

Fixture includes clear, medium-base lamp. Pulse-rated porcelain enclosed, 4kv-rated screw-shell-type lampholder. Lamp ignitor included where required. All ballast assemblies are high-power factor and use the following circuit types:

Reactor (277V PSMH)
150W PSMH

Reactor
120V: 100 & 150W HPS

HX — High Reactance
100W MH; 100 & 150W HPS

CWA — Constant Wattage Autotransformer
125 & 150W PSMH; 175W MH

PATENTS

US 4,689,729; D352,126; Canada 74203

FINISH

Exclusive DeltaGuard® finish features an E-coat epoxy primer with black ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations and enclosure classified IP65 per IEC 529.

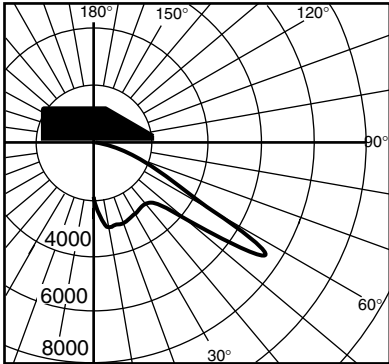
ACCESSORIES

FWG-16 Wire Guard
SBL-16 Backlight shield

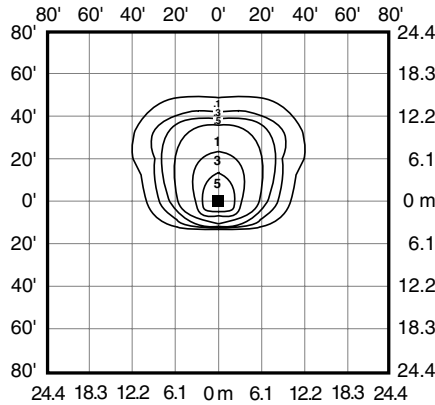
EPA RATING

EPA 0.53 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units).

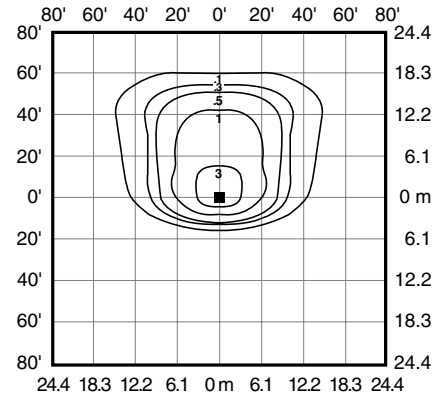
Isofootcandle plots show initial footcandles at grade. (Footcandles ÷ 0.0929 = Lux)



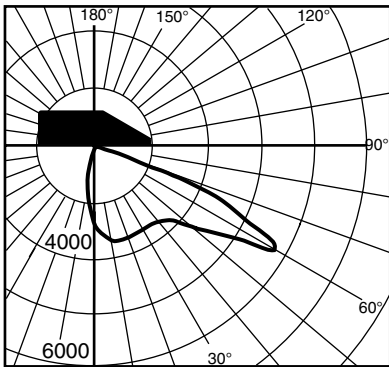
Lighting Sciences Inc.
Certified Test Report No. LSI 10695
Candlepower distribution curve of 175W MH Wedge Area Cutoff Floodlight, with backlight shield located for backlight cutoff.



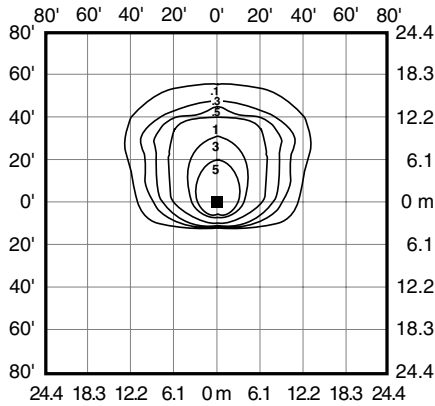
Isofootcandle plot of 175W MH Area Cutoff Floodlight at 15' (4.6 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



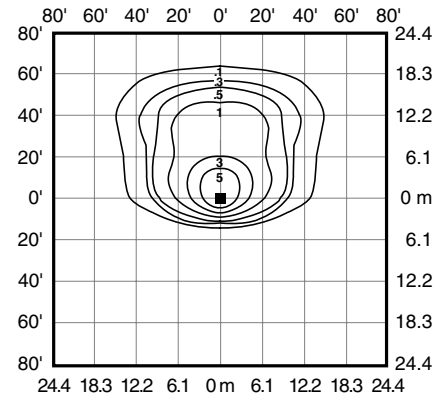
Isofootcandle plot of 175W MH Area Cutoff Floodlight at 20' (6.1 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



Lighting Sciences Inc.
Certified Test Report No. LSI 11233
Candlepower distribution curve of 150W HPS Wedge Area Cutoff Floodlight, with backlight shield located for backlight cutoff.

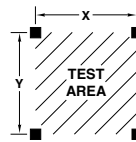


Isofootcandle plot of 150W HPS Area Cutoff Floodlight at 15' (4.6 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



Isofootcandle plot of 150W HPS Area Cutoff Floodlight at 20' (6.1 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)

Pole-spacing Example Data

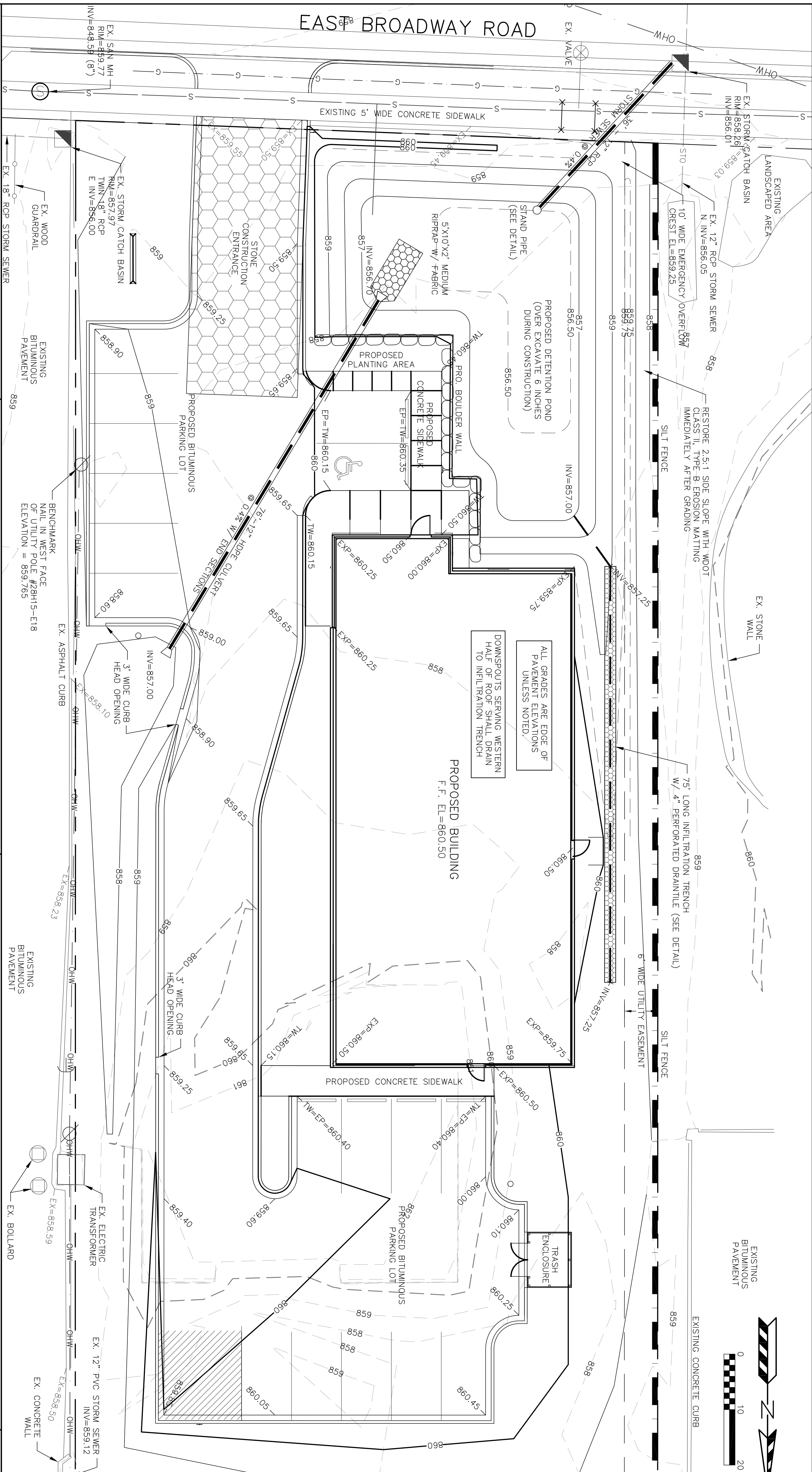


Test area is centered within a (16) pole layout.

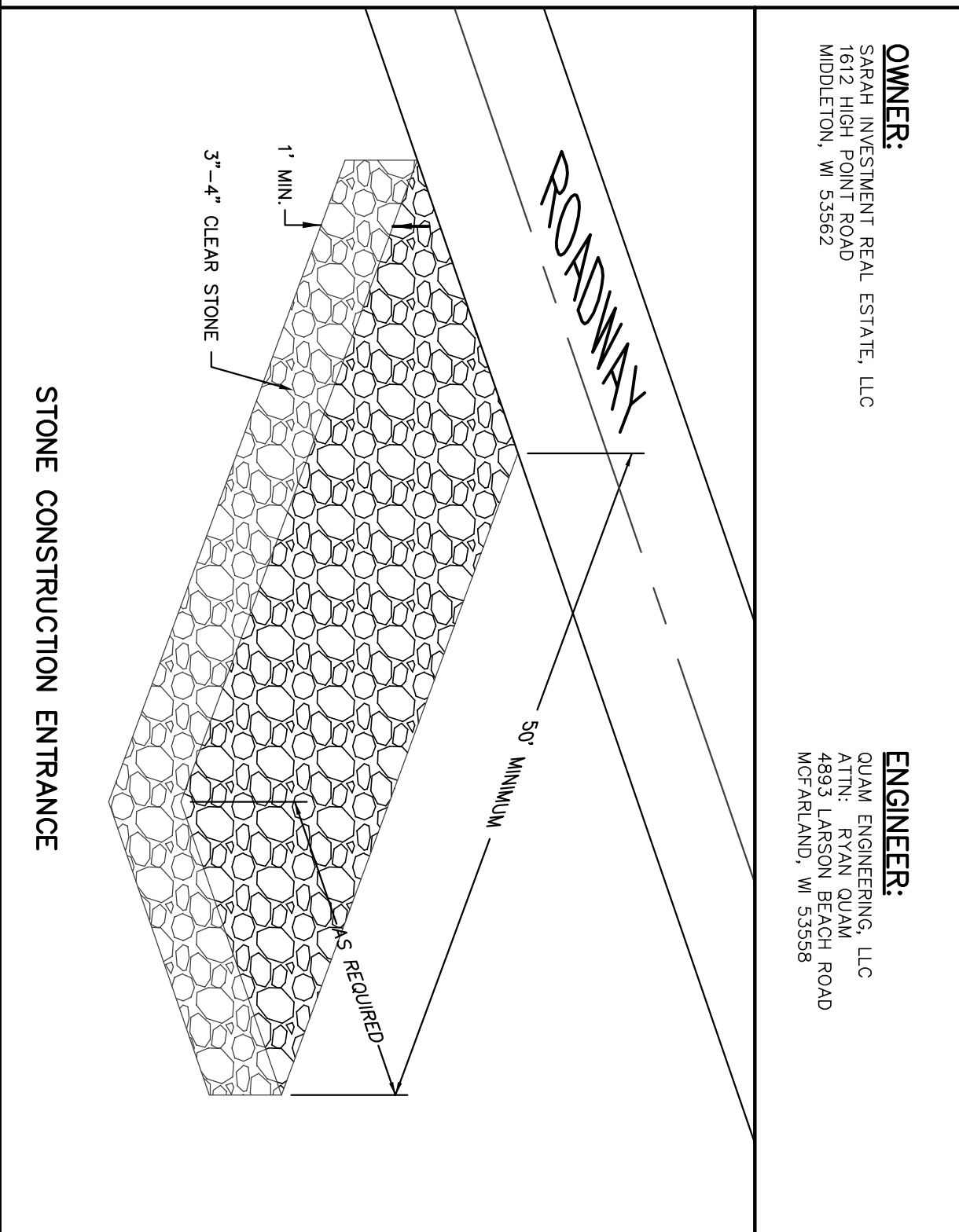
Average Initial Light Levels at Grade
2 Fixtures per pole @ 180°
(Footcandles ÷ 0.0929 = Lux)

| Catalog # | Lamp Type | Lamp Lumens | Mounting Height | Max. Recommended Pole-spacing | | Footcandles | Lux |
|-----------|-----------|-------------|-----------------|-------------------------------|---------------|-------------|-----|
| | | | | X | Y | | |
| WAC2410-D | 100W MH | 8,100 | 10' (3.0 m) | 40' (12.1 m) | 55' (16.7 m) | 4.92 | 53 |
| | | | 15' (4.6 m) | 60' (18.3 m) | 85' (25.9 m) | 2.04 | 22 |
| WAC2417-M | 175W MH | 12,000 | 15' (4.6 m) | 60' (18.3 m) | 85' (25.9 m) | 3.01 | 32 |
| | | | 20' (6.1 m) | 75' (22.9 m) | 110' (33.5 m) | 1.81 | 20 |
| WAC2510-M | 100W HPS | 9,500 | 10' (3.0 m) | 40' (12.1 m) | 55' (16.7 m) | 5.05 | 55 |
| | | | 15' (4.6 m) | 60' (18.2 m) | 85' (25.9 m) | 2.08 | 22 |
| WAC2515-M | 150W HPS | 16,000 | 15' (4.6 m) | 60' (18.2 m) | 85' (25.9 m) | 3.51 | 38 |
| | | | 20' (6.1 m) | 75' (22.8 m) | 110' (33.5 m) | 2.11 | 23 |



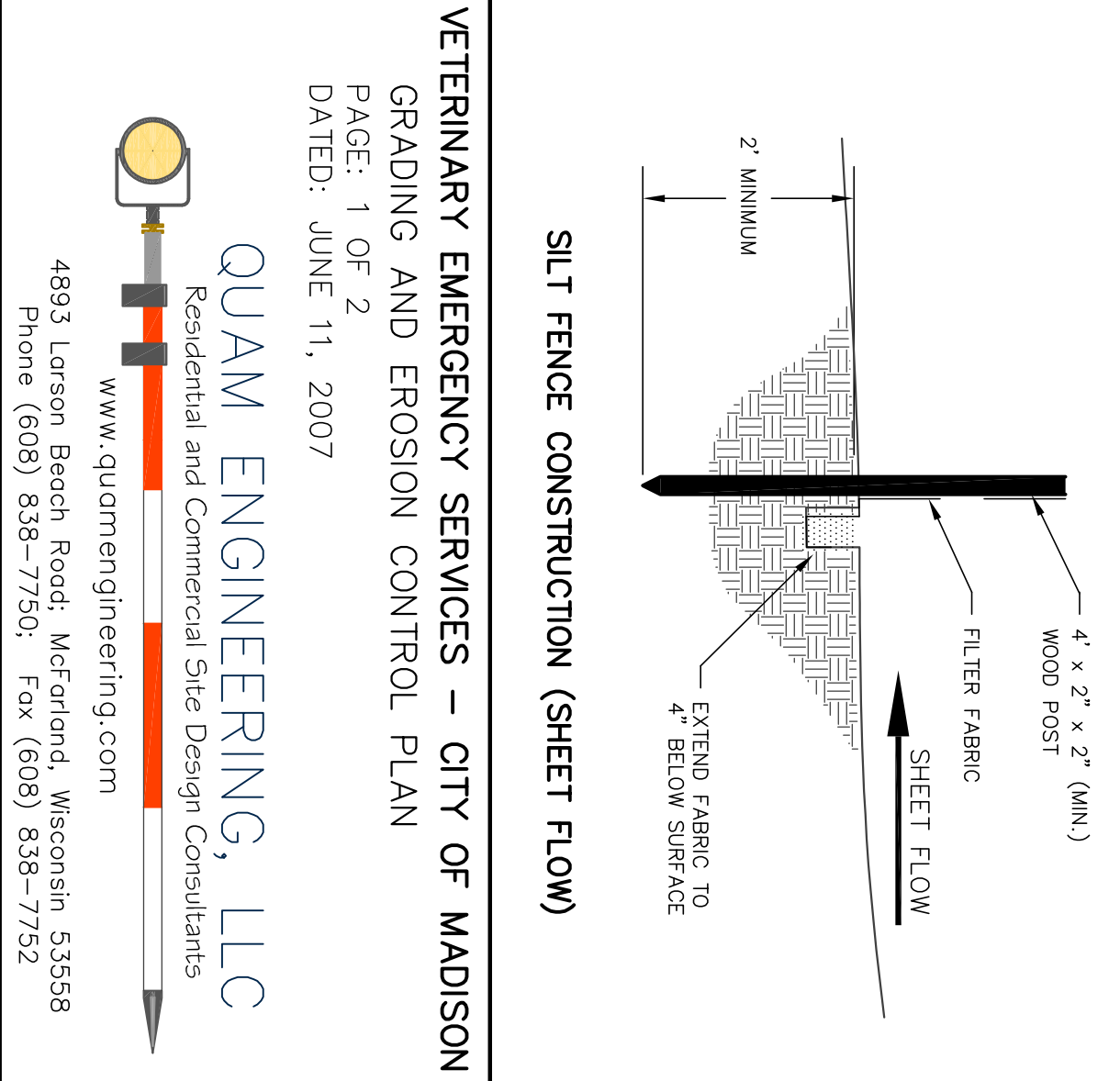
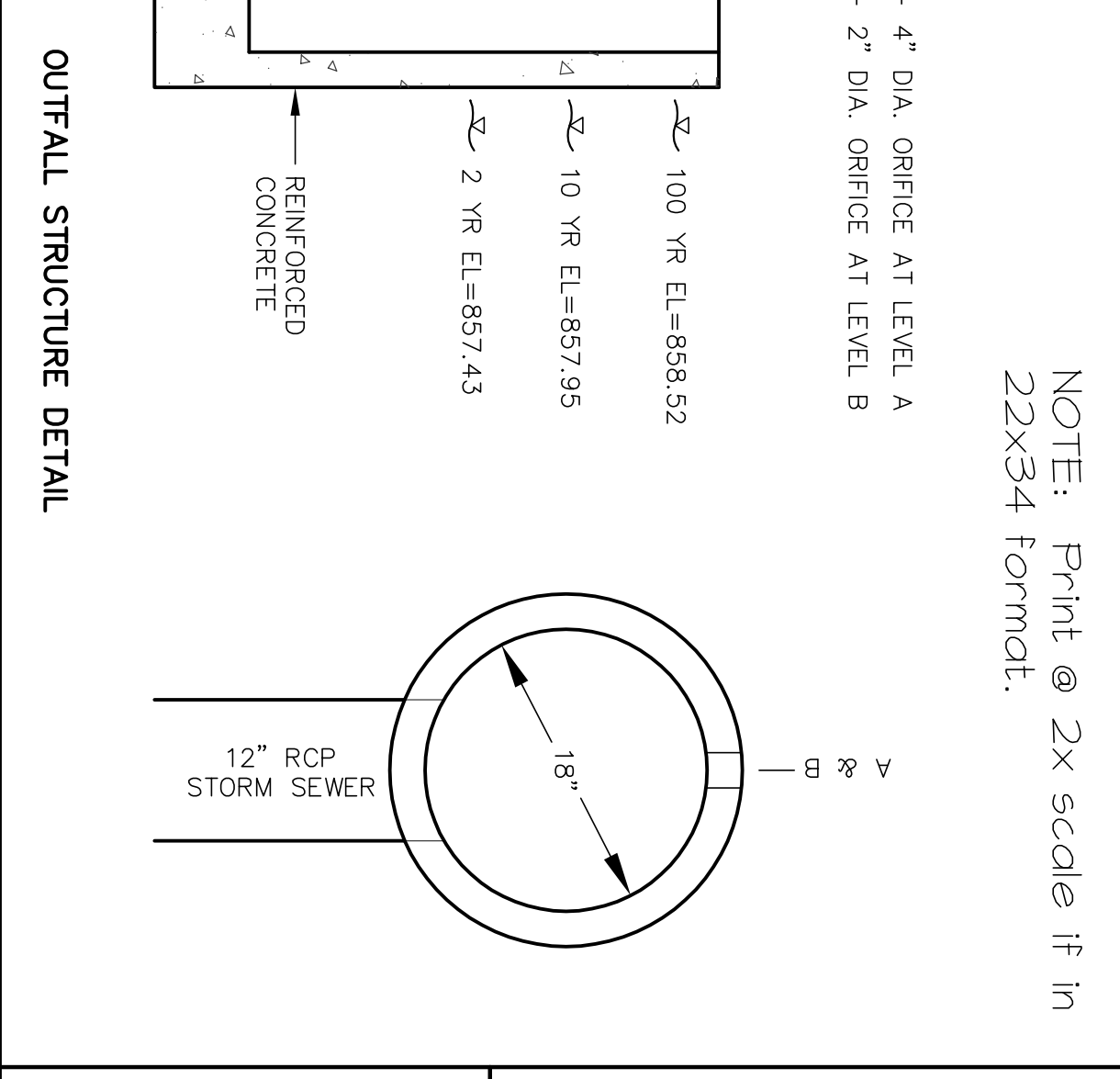


EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PADS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF SOIL OR OTHER MATERIALS ON TO ADJACENT PUBLIC STREETS. THE END OF EACH WORKDAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY.
 EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 WOOD TYPE "D" INLET PROTECTION SHALL BE INSTALLED AT ADJACENT INLETS ON EAST BROADWAY ROAD. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2.5:1.
 ALL DISTURBED SLOPES GREATER THAN 10% SHALL BE MULCHED PRIOR TO FORECASTED RAIN EVENTS.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING AND CORRECTING ALL EROSION CONTROL MEASURES AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 ALL PERVIOUS AREAS SHALL BE DEEP TILLED PRIOR TO FINAL RESTORATION.
TIME SCHEDULE:
 JULY 2 - 9, 2007
 JULY 10, 2007 - APRIL 18, 2008
RESTORATION NOTES:
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL. FERTILIZER, SEED AND MULCH RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL REGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. NITROGEN, NOT LESS THAN 16% PHOSPHORIC ACID, NOT LESS THAN 6% POTASH, NOT LESS THAN 6%.



OWNER:
 SARAH INVESTMENT REAL ESTATE, LLC
 4893 LARSON BEACH ROAD
 MCFARLAND, WI 53582

ENGINEER:
 QUAM ENGINEERING, LLC
 4893 LARSON BEACH ROAD
 MCFARLAND, WI 53588



NOTE: Print @ 2x scale if in 22x34 format.

INTEGRITY EMERGENCY SERVICES - CITY OF MADISON
 GRADING AND EROSION CONTROL PLAN
 PAGE: 1 OF 2
 DATED: JUNE 11, 2007

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4893 Larson Beach Road, McFarland, Wisconsin 53588
 Phone (608) 838-7750; Fax (608) 838-7752

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS' HOTLINE
 1-800-242-8511
 TOLL FREE

TO OBTAIN THE HEARING IMPAIRED/(800)542-2289
 WIS. STATUTE 182.075 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

SD3
 Sheet 4 of 14

PLANT MATERIAL LIST

| Broadleaf Deciduous | | | |
|---------------------|------|------------------------|--------------------------|
| Quantity | Code | Common Name | Scientific Name |
| 1 | RSRM | Red Sunset Red Maple | Acer rubrum 'Red Sunset' |
| 1 | RBC | River Birch (clump) | Betula nigra clp |
| 1 | PRFC | Prairie Fire Crabapple | Malus x 'Prairie Fire' |
| 2 | AML | American Linden | Tilia americana |

| Conifer Evergreen | | | |
|-------------------|------|-------------------|------------------------------------|
| Quantity | Code | Common Name | Scientific Name |
| 6 | IBJ | Icee Blue Juniper | Juniperus horizontalis 'Icee Blue' |
| 4 | DFY | Densiformis Yew | Taxus x media 'densiformis' |
| 4 | TCA | Techny Arborvitae | Thuja occidentalis 'Techny' |

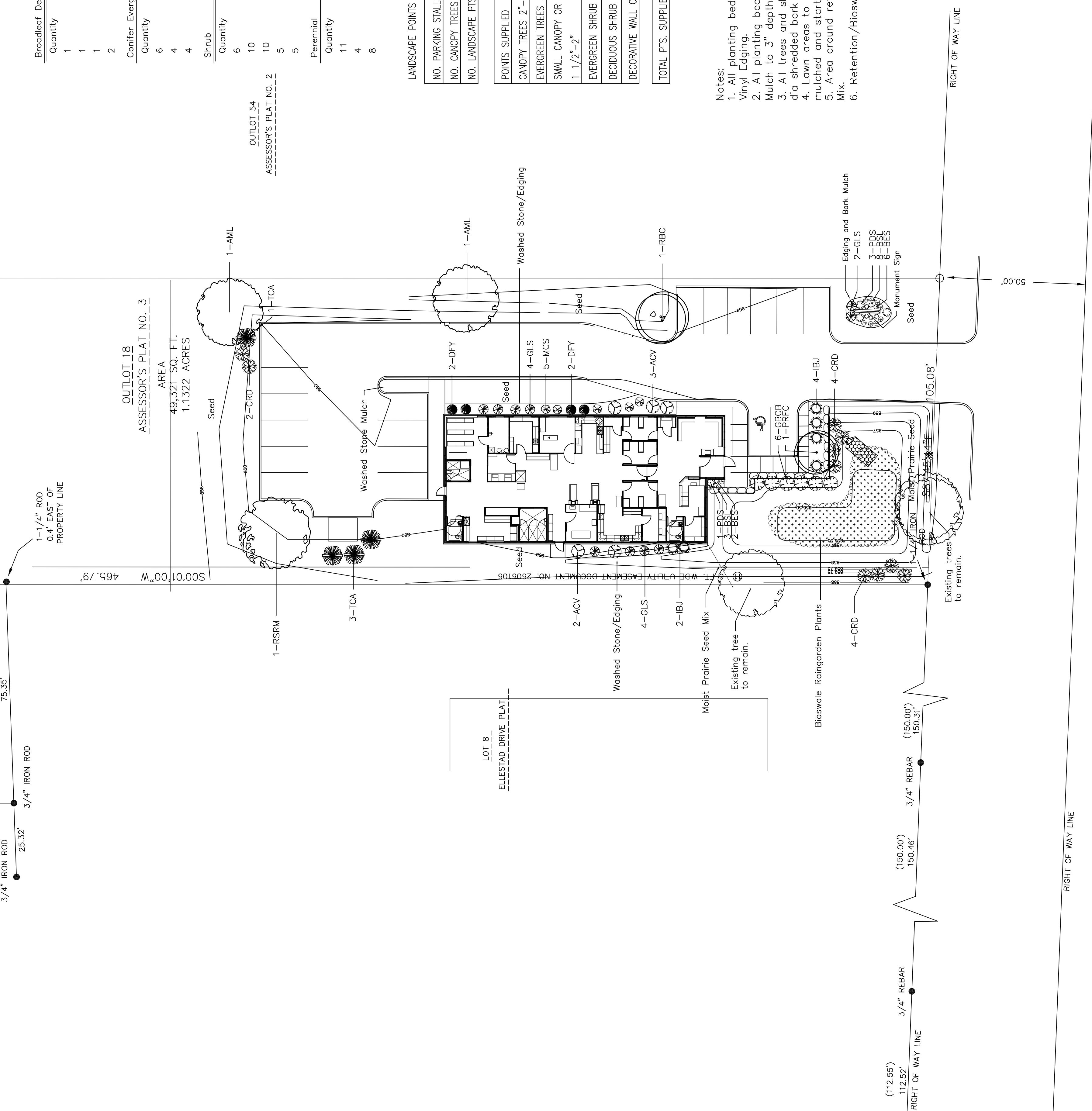
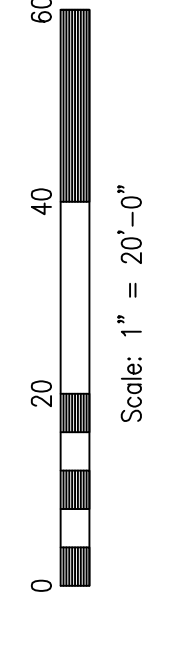
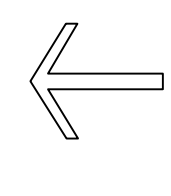
| Shrub | | | |
|----------|------|-----------------------------|--------------------------------|
| Quantity | Code | Common Name | Scientific Name |
| 6 | GBCB | Glossy Black Chokeberry | Aronia melanocarpa |
| 10 | CRD | Cardinal Red Dogwood | Cornus sericea 'Cardinal' |
| 10 | GLS | Grow-Low Sumac | Rhus aromatica 'Gro-low' |
| 5 | MCS | Magic Carpet Spirea | Spirea japonica 'Magic Carpet' |
| 5 | ACV | American Cranberry Viburnum | Viburnum trilobum |

| Perennial | | | |
|-----------|------|---------------------|------------------------|
| Quantity | Code | Common Name | Scientific Name |
| 11 | BSL | Blazingstar Liatris | Liatris spicata |
| 4 | PDS | Prairie Dropseed | Sporobolus heterolepis |
| 8 | BES | Black-eyed Susan | Rudbeckia hirta |

BIOSWALE AREA

| QTY | COMMON NAME | LATIN NAME |
|-----|---------------------|--------------------------|
| 25 | Nodding Pink Onion | Allium cernuum |
| 48 | Common Columbine | Aquilegia canadensis |
| 48 | Red Milkweed | Aselepias incarnata |
| 25 | Swamp Aster | Aster puniceus |
| 48 | Fox Sedge | Carex stipata |
| 48 | Turtlehead | Chelone glabra |
| 34 | Canada Wild Rye | Elymus canadensis |
| 48 | Bottle Gentian | Gentiana andrewsii |
| 48 | Vanilla Sweet Grass | Hierachloe odorata |
| 48 | Blue Flag Iris | Iris virginiana |
| 25 | Marsh Blazing Star | Liatris spicata |
| 34 | Cardinal Flower | Labelia cardinalis |
| 25 | Great Blue Labelia | Labelia siphilitica |
| 25 | Monkey Flower | Mimulus ringens |
| 48 | Switch Grass | Panicum virgatum |
| 48 | Obedient Plant | Physostegia virginiana |
| 72 | Black-eyed Susan | Rudbeckia hirta |
| 82 | Little Bluestem | Schizachyrium scoparium |
| 48 | Riddels Goldenrod | Solidago riddellii |
| 48 | Culver's Root | Veronicastrum virginicum |
| 25 | Golden Alexander | Zizia aurea |

900 S.F., plugs spaced 12" o.c.
 BIORETENTION POND WILL BE CONSTRUCTED PER CITY OF MADISON
 AND WISCONSIN DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS.

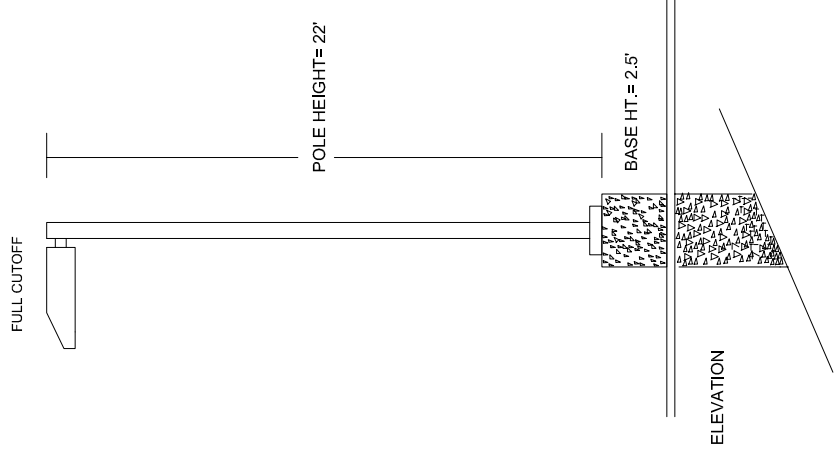
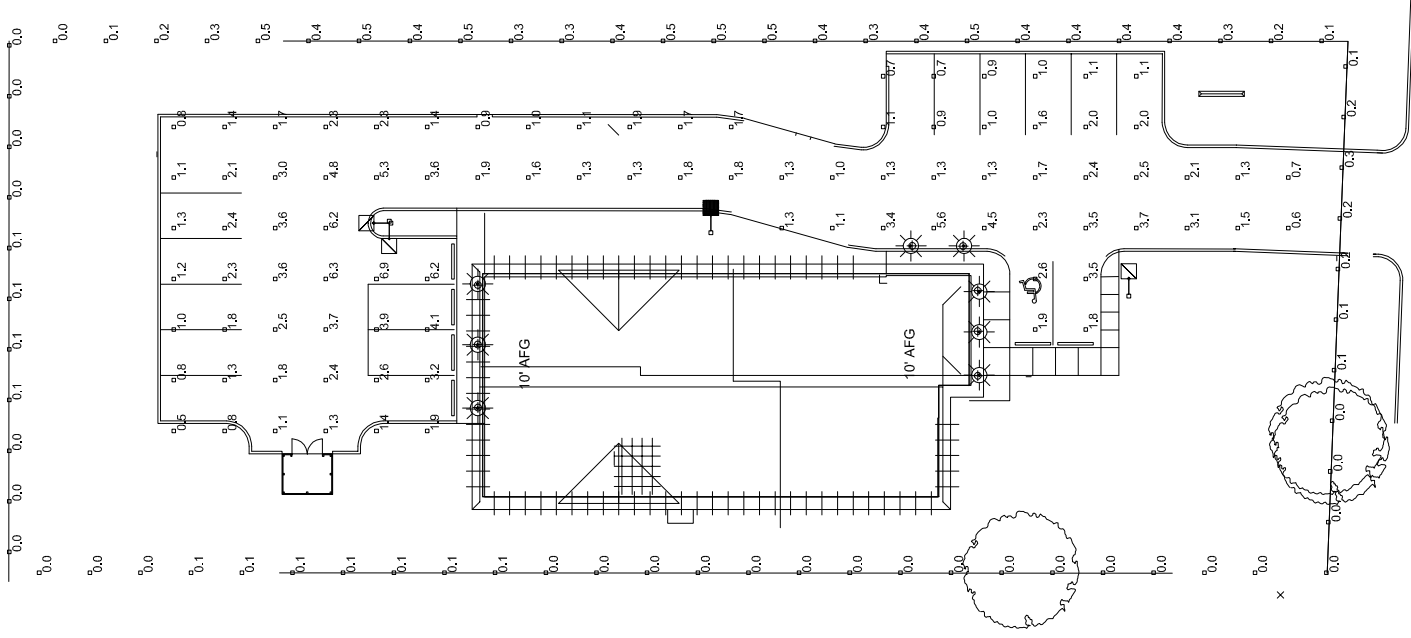


LANDSCAPE POINTS - MADISON

| | |
|-------------------------|----|
| NO. PARKING STALLS | 17 |
| NO. CANOPY TREES REQ. | 1 |
| NO. LANDSCAPE PTS. REQ. | 84 |

| POINTS SUPPLIED | VAL | QTY | PTS |
|--|-----|-----|-----|
| CANOPY TREES 2'-2 1/2" | 35 | 3 | 105 |
| EVERGREEN TREES 3' Min | 15 | 4 | 60 |
| SMALL CANOPY OR ORNAMENTAL TREES 1 1/2"-2" | 15 | 2 | 30 |
| EVERGREEN SHRUB | 3 | 10 | 30 |
| DECIDUOUS SHRUB | 2 | 36 | 72 |
| DECORATIVE WALL OR FENCE (per 10 L.F.) | 5 | 50 | 25 |
| TOTAL PTS. SUPPLIED | | | 322 |

- Notes:
- All planting beds around building shall be edged with Dimex Block Vinyl Edging.
 - All planting beds shall be mulched with 1-1/2" Washed Stone Mulch to 3" depth over a fabric weed barrier.
 - All trees and shrubs in lawn areas are to be mulched with a 3' dia shredded bark mulch ring.
 - Lawn areas to be seeded with sunny premium seed blend, straw mulched and starter fertilizer applied.
 - Area around retention area to be seeded with Moist Prairie Seed Mix.
 - Retention/Bioswale Raingarden Area - see chart at right:



| Luminaire Schedule | | | | |
|--------------------|-----|-------|----------------|-------------------------------|
| Symbol | Qty | Label | Arrangement | Description |
| ☼ | 8 | A | SINGLE | R7F26/32 RT19FCL TRIM 26W CFL |
| ☼ | 1 | W1 | SINGLE | WAC2615-M 150W PSMH |
| ☼ | 1 | W3 | 2 @ 90 DEGREES | WAC2615-M 150W PSMH |
| ☼ | 1 | P1B | SINGLE | WPR2615-M 150W PSMH W/ SBL-16 |

POLE (2) PS4S22C1BK (22' X 4" SQ. STEEL POLE)
 POLE (1) PS4S22C3BK (22' X 4" SQ. STEEL POLE)

Website:
www.ruudlighting.com
 Email:
applications@ruudlighting.com

RUUD
 LIGHTING

USA Phone: 800.236.7000
 USA Fax: 800.236.7000
 CAN Phone: 905.671.1991
 CAN Fax: 905.671.3595

Layout By: Andy

#65515

Date: 6/12/2007

Scale: NTS

Project Name: VES

Filename: 70611SP1AKCR1.a32

FOOTCANDLES CALCULATED AT GRADE USING MEAN LUMENS

| Numeric Summary | | | | |
|--------------------------|------|-----|------|---------|
| Label | Avg | Max | Min | Max/Min |
| PROPERTY LINES AT 4' AFG | 0.16 | 0.5 | N.A. | N.A. |
| PARKING AREAS AT 0' AFG | 2.17 | 6.9 | 0.5 | 4.34 |
| | | | | 13.80 |

Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

