



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>7-28-17</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>8-16-17</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: LOT #159 CARDINAL GLEN, 301 CROSS OAK DRIVE
Project Title (if any): LEADERS 9-UNIT TOWNHOME DEVELOPMENT

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

AGENDA ITEM #	<u>7</u>
REGISTRAR #	<u>ETAGT</u>
ALD. DIST.	<u>2</u>

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

CITY OF MADISON
JUL 28 2017
1:40 P.M.
Planning & Community
Economic Development

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: <u>STEVE SHULFER</u>	Company: <u>SHULFER ARCHITECTS, LLC</u>
Street Address: <u>7780 ELWOOD AVE #208</u>	City/State: <u>MIDDLETON, WI</u> Zip: <u>53562</u>
Telephone: <u>(608) 836-7570</u> Fax: ()	Email: <u>SSHULFER@SHULFERARCHITECTS.COM</u>
Project Owner: <u>PROJECT OWNER</u>	
Project Contact Person: <u>JOSEF BIEBER/LEADERS CUSTOM HOMES</u>	Company: _____
Street Address: <u>3326 LEOPOLD WAY APT B.</u>	City/State: <u>FITCHBURG, WI</u> Zip: <u>53713</u>
Telephone: <u>(608) 772 7687</u> Fax: ()	Email: <u>JOSEF.LEADERSCUSTOMHOMES.COM</u>
Project Owner (if not applicant): <u>CONTACT PERSON STEVE SHULFER</u>	
Street Address: <u>(SAME)</u>	City/State: _____ Zip: _____
Telephone: () Fax: ()	Email: _____

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with SEBASTIAN SUDER on SEPTEMBER (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant STEVE SHULFER Relationship to Property ARCHITECT
Authorized Signature [Signature] Date 7-28-17

SURVEYOR'S CERTIFICATE

To: E3development L.L.C.
Preferred Title

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS, and includes items 1, 3, 4, 5, 11(b), 16 & 18 of Table A thereof. The field work was completed on April 14, 2014.
Dated this 1st day of May, 2014.

Brett T. Stoffregen, Registered Land Surveyor S-2742

NOTES

1. Gross land area: 38,671 square feet (0.888 acres)
2. No buildings existing on the subject parcel.
3. Flood Zone Designation:
The property is not located in a flood prone area, flood hazard area or in a flood plain or roadway district. Based upon the Flood Insurance Rate Map (FIRM), Dane County, Wisconsin, Map No. 55025C0395g.
4. At the time of the survey there was no observable evidence of earth moving work or building additions within recent months.
5. At the time of the survey there was no observable evidence of site use as a solid waste dump, dump or sanitary landfill.
6. Contours were created by ground survey using NAVD83 vertical datum.
7. Surveyed for: Chris Ehlers
2900 Edenberry Street
Fitchburg, WI 53711

LEGAL DESCRIPTION

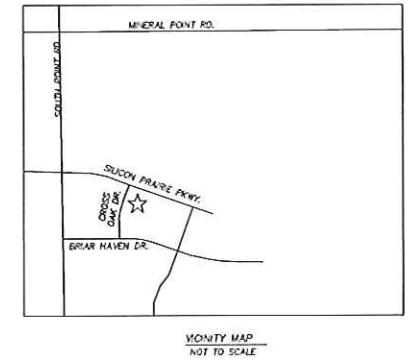
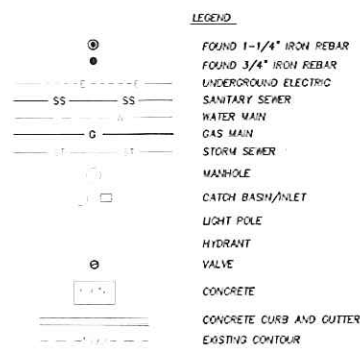
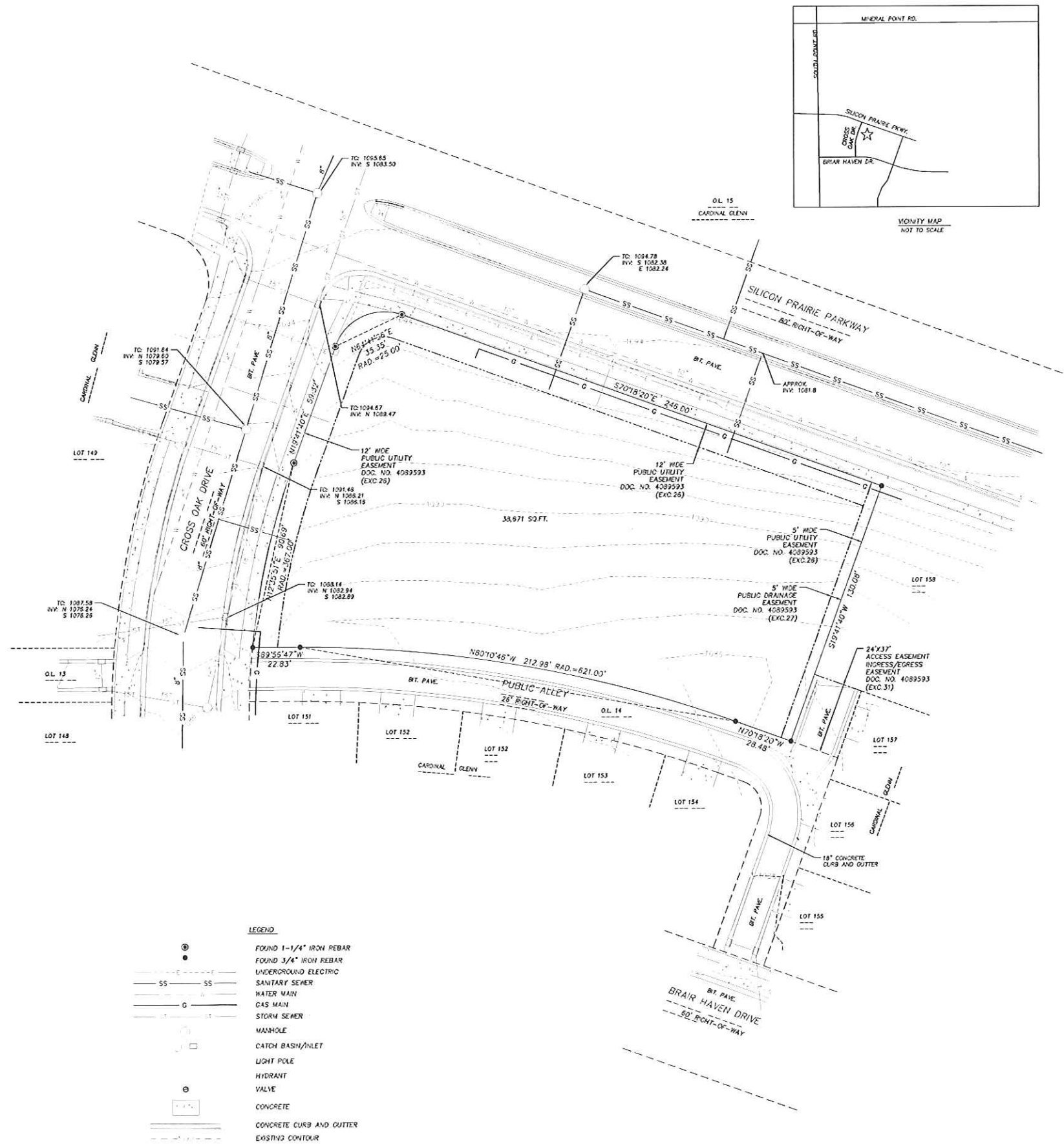
Lot 159, Cardinal Glenn, in the City of Madison, Dane County, Wisconsin.

TITLE COMMITMENT

Disposition of Exceptions Identified in Schedule B - Part II
Commitment for Title Insurance
Issued by Preferred Title
Commitment date December 26, 2013
Title Insurance Commitment No. 113120193 Amd 1

EXCEPTION:

- 1-13. -Are standard exceptions, statements or financial matters which can not be plotted on this survey.
14. Easement to Wisconsin Power and Light Company recorded in Vol. 90 of Misc. page 256, as #512425.
-Does not affect subject parcel.
15. Permanent Easement for Public Sanitary Sewer and Water Main Purposes to the City of Madison recorded as #4345293.
-Does not affect subject parcel. Located north of subject parcel along Mineral Point Road.
16. Controlled Access Highway Regulations recorded in Vol. 447 of Records, page 483, as #1368501.
-Does not affect subject parcel. Subject parcel is not located along a County Trunk Highway.
17. Drains and Utility Easement over the Westerly 12 feet - as shown on Certified Survey Map 4523.
-Does not affect subject parcel.
18. For building site information refer to the Dane County Soil Survey - as shown on Certified Survey Map No. 4523.
-Does not affect subject parcel.
19. Plans PCD (GOP) recorded as #1107395.
-Affects subject parcel, not plottable.
20. Declaration of Conditions and Covenants recorded as #1111573.
-Affects subject parcel, not plottable.
21. Declaration of Conditions and Covenants recorded as #1111574.
-Affects subject parcel, not plottable.
22. Declaration of Protective Covenants, Conditions and Restrictions recorded as #137854; amended as #1184509; amended as #1361457; amended as #4473575; amended as #4733923; amended as #4837629.
-Affects subject parcel, not plottable.
23. Land Use Restriction - Inclusionary Zoning recorded as #124994; modified as #2553372; modified as #4283971; modified as #4430232; modified as #4430233; modified as #4430234; modified as #4430235.
-Does not affect subject parcel. Subject parcel was not named in Doc. No. 4214994.
24. Declaration of Conditions, Covenants and Restrictions recorded as #1330032; modified as #1222333; modified as #4308855; modified as #4317599.
-Does not affect subject parcel. Subject parcel was released from DCCR in Doc. No. 4317599.
25. Declaration of Conditions and Covenants recorded as #4300523.
-Affects subject parcel, not plottable.
26. Public Utility Easements - as shown on the plot.
-Affect subject parcel. Shown on survey.
27. All lots within this plot are subject to a non-exclusive easement for drainage purposes which shall be a minimum of 5 feet in width measured from the property line to the interior of each lot, except that the easement shall be 10 feet in width on the perimeter of the plot. Easements shall not be required on property lines shared with greenways or public streets - as shown on the plot.
-Affect subject parcel. Shown on survey.
28. The intra-block drainage easements shall be granted with the construction of each principal structure in accordance with the approved Stormwater Drainage Plan on file with the City Engineer and the Zoning Administrator, as amended in accordance with the Madison General Ordinances - as shown on the plot.
-Affect subject parcel, not plottable.
29. All streets/roads lying within the plot boundary are dedicated to the public, unless otherwise noted - as shown on the plot.
-Affects subject parcel, not plottable.
30. The city will not install lighting in the alley, but the developer or property owners may request the City to approve a private light(s) in the alley right-of-way. Such private light(s) to be operated and maintained by private interests - as shown on the plot.
-Affects subject parcel, not plottable.
31. Access easement for ingress/egress - as shown on the plot.
-Located on Lot 158, Cardinal Glenn east of subject parcel. Shown on survey.
32. Notes - as shown on the plot.
- Shown as exceptions 27-30 above.



D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ALTA/ACSM LAND TITLE SURVEY
LOT 159, CARDINAL GLENN
LOCATED IN THE NW1/4 OF THE NE1/4 OF SECTION 28, T7N, R9E,
CITY OF MADISON, DANE COUNTY, WISCONSIN



SCALE: 1" = 30'

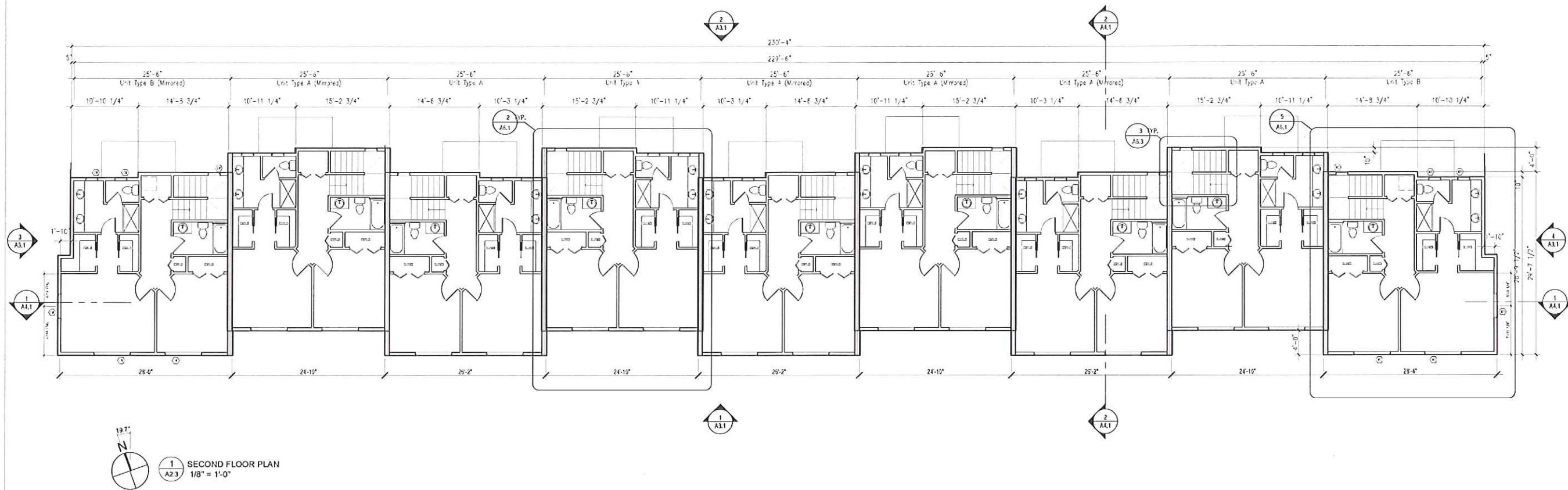


DATE: 05-01-14
REVISED:

DRAWN BY: BTS

FN: 14-02-109

Sheet Number:
1 of 1



19'-1"
 1 SECOND FLOOR PLAN
 1/8" = 1'-0"

GENERAL PLAN NOTES:

- 1 MECHANICAL, ELECTRICAL AND PLUMBING TO BE DESIGN BUILT. DESIGNED AS REQUIRED BY CURRENT BUILDING CODES. MEP DESIGN BUILT CONTRACTOR(S) RESPONSIBLE FOR ENSURING CODE COMPLIANT CONSTRUCTION OF NEW SYSTEMS.
- 2 PROVIDE ACCESSIBLE TOILET ROOM FIXTURES AND ACCESSORIES PER MOUNTING HEIGHTS INDICATED IN THIS DRAWING SET.
- 3 PROVIDE ADA APPROVED THRESHOLDS AT ALL NEW FLOOR TRANSITIONS AND DOORWAYS.
- 4 WALLS TO BE PARTITION TYPE P-1 UNLESS OTHERWISE NOTED.
- 5 PROVIDE NEW P-LAM WINDOW SILLS AT ALL EXISTING AND NEW WINDOW OPENINGS. FINAL FINISH TBD.



9-Unit Apartment Building
 Lot #159 Cardinal Glenn
 Madison, Wisconsin

OVERALL SECOND FLOOR PLAN

03-08-17
 ISSUE FOR
 CONSTRUCTION

No.	Description	Date
1	URBAN DESIGN COMMISSION	03-08-2017

