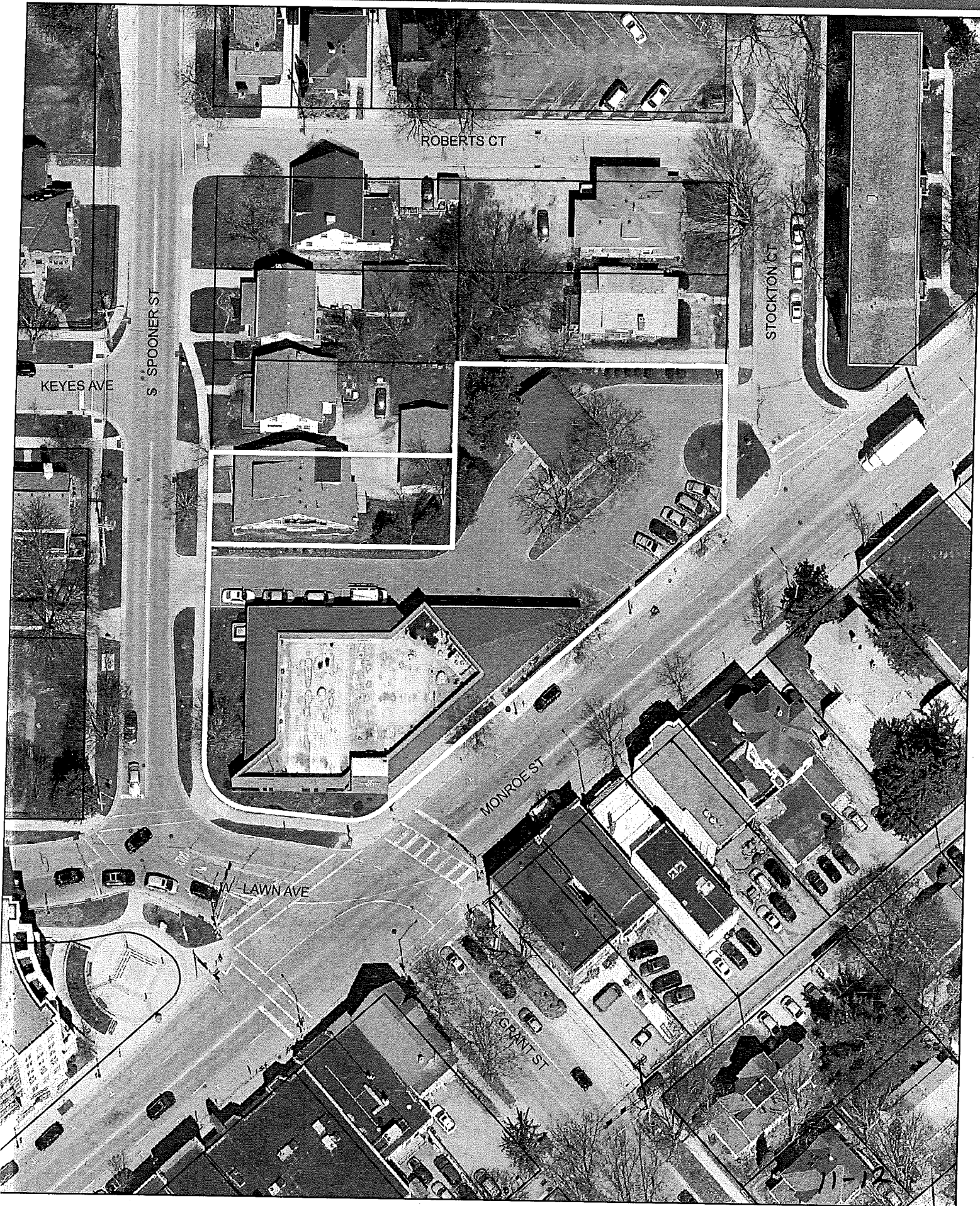




City of Madison

1720 Monroe Street and 625 S Spooner Street



Date of Aerial Photography : Spring 2016

LAND USE APPLICATION

LND-B

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received 11/20/17

Received by JLH

Parcel # 0709-223-0905-4

Aldermanic district 13 Sara Eschrich

Zoning district PD, TR-C2

Special requirements Zone PD

Review required by _____

- UDC PC
 Common Council Other _____

Reviewed By _____

All Land Use Applications must be filed with the Zoning Office at the above address.

This completed form is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application found on the City's web site.

1. Project Information

Address: 1720 Monroe Street and 625 South Spooner Street

Title: _____

2. This is an application for (check all that apply)

- Zoning Map Amendment (rezoning) from PD and TR-C2 to PD
- Major Amendment to an Approved Planned Development-General Development Plan (PD-GDP) Zoning
- Major Amendment to an Approved Planned Development-Specific Implementation Plan (PD-SIP)
- Review of Alteration to Planned Development (PD) (by Plan Commission)
- Conditional Use or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other requests

3. Applicant, Agent and Property Owner Information

Applicant name Anne Neujahr Morrison Company Urban Land Interests

Street address 10 East Doty Street, Ste 300 City/State/Zip Madison, WI 53703

Telephone 608.441.5163 Email amorrison@uli.com

Project contact person Same as applicant. Company _____

Street address _____ City/State/Zip _____

Telephone _____ Email _____

Property owner (if not applicant) Associated Bank

Street address 433 Main Street City/State/Zip Green Bay, WI 54301

Telephone _____ Email _____

4. Project Description

Provide a brief description of the project and all proposed uses of the site:

New Planned Development including one level of underground parking, first floor retail and four floors of apartment homes. The existing two-family house at 625 South Spooner will be preserved.

Scheduled start date May 2018 Planned completion date July 2019

5. Required Submittal Materials

Refer to the Land Use Application Checklist for detailed submittal requirements.

- Filing fee
- Pre-application notification
- Land Use Application Checklist (LND-C)
- Land Use Application
- Vicinity map
- Supplemental Requirements
- Letter of intent
- Survey or existing conditions site plan
- Electronic Submittal*
- Legal description
- Development plans

*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to pcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

For concurrent UDC applications a separate pre-application meeting with the UDC Secretary is required prior to submittal. Following the pre-application meeting, a complete UDC Application form and all other submittal requirements must be submitted to the UDC Secretary. An electronic submittal, as noted above, is required. Electronic submittals should be compiled on a CD or flash drive, or sent via email to udcapplications@cityofmadison.com.

6. Applicant Declarations

- Pre-application meeting with staff. Prior to preparation of this application, the applicant is strongly encouraged to discuss the proposed development and review process with Zoning and Planning Division staff. Note staff persons and date.

Planning staff Kevin Firchow and Chris Wells Date 5/30/2017 (initial meeting)

Zoning staff Matt Tucker Date 5/30/2017 (initial meeting)

- Demolition Listserv

Public subsidy is being requested (indicate in letter of intent)

- Pre-application notification: The zoning code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), business association(s), AND the dates you sent the notices: Alder Sara Eskrich (8/29/2017), Dudgeon Monroe Neighborhood Association (8/29/2017)

The alderperson and the Director of Planning & Community & Economic Development may reduce the 30-day requirement or waive the pre-application notification requirement altogether. Evidence of the pre-application notification is required as part of the application materials. A copy of the notification letters or any correspondence granting a waiver is required as part of the application materials.

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of applicant Anne Neujahr Morrison Relationship to property Developer

Authorizing signature of property owner [Signature] Date 11/12/2017



Urban Land Interests

LETTER OF INTENT
1720 Monroe Street and 625 South Spooner Street

November 20, 2017

To: City of Madison Planning Department and Plan Commission
126 S. Hamilton Street
Madison, Wisconsin 53701-2985

From: Anne Neujahr Morrison
Urban Land Interests

Re: PD/GDP/SIP Application for 1720 Monroe Street and 625 South Spooner Street
(Proposed Development of Lot 1, Certified Survey Map Number 2643 and Lot 4, Block 29, First Addition to West Lawn, to be combined in a new CSM)

PROJECT ADDRESS:

1720 Monroe Street (street address for the Associated Bank building, which will be demolished)
625 South Spooner Street (existing residence to remain)

The Project Team will work with City Engineering, to identify new addresses to be used for the residential and retail spaces.

PROJECT TEAM:

Owner/Developer – Urban Land Interests (ULI)
Architect – Potter Lawson, Inc with Morrison Architecture Studio
Landscape Architect – Ken Saiki Design
Site/Civil Engineer – Burse Engineering

Urban Land Interests

PROJECT OVERVIEW AND PROPOSED USES:

The proposed project consists of demolishing the existing one-story Associated Bank Building and its drive-through banking structure and developing a new mixed-use building including one level of underground parking, a single story of retail, service, restaurant and civic establishments and four stories of residential units. The existing two-family house located at 625 South Spooner will be preserved, although the portion of the garage situated on its lot will be removed.

Neighborhood Retail:

Our goal is to restore neighborhood retail, restaurant, service, institutional and civic uses to the block. The project will include at least four distinct ground floor uses in approximately 16,000 square feet, with each storefront entrance located at grade. The site slopes seven feet along its Monroe Street frontage. So that first floor establishments follow the sidewalk grade, the floor slab will step down, creating at least four different interior levels. The building will be designed to accommodate smaller establishments. We will seek establishments that create a positive sense of life for the surrounding neighborhoods. The addition of residential density at the site will improve the viability of the neighborhood retailing.

Housing:

There is great demand for housing on and around Monroe Street. The project is expected to include approximately 65 apartment units, with a mix of one, two and three bedrooms. It will be attractive to nearby residents who wish to downsize but do not want to leave the neighborhood. It will serve smaller families as well as single residents looking to find a place in the neighborhood. Older residents will be attracted to this transit and service rich location. There is a scarcity of accessible residences in the area.

Car Parking:

The project will include approximately 67 underground parking stalls to serve the residential uses at a minimum of one space per residence. Five will be tandem spaces, with one car parking in front of another, so that up to 72 cars can be accommodated. The underground garage enters and exits off of Stockton Court, across from Clarendon Apartments, in the same location that the bank traffic currently exits.

A 14-space surface parking lot serves the ground floor uses and enters and exits off of Spooner, where the bank traffic currently enters. Efforts were made to keep the parking access similar to current conditions.

Accessible parking spaces, both standard and van accessible, are distributed appropriately as indicated in the PD-SIP plans to provide the accessible parking required by ICC/ANSI, and are included in the above total number of spaces.

Urban Land Interests

Bike Parking

The project includes 42 floor mounted long term bike stalls and 28 wall mounted long term bike stalls for residents within the parking level. Provided on the site are 7 ground mounted bike stalls for residential visitors and 8 for retail visitors.

Loading and Unloading

An on-site loading zone is provided as indicated on the PD-SIP plans in compliance with Madison zoning requirements. The loading zone is in the surface parking area similarly located to where current loading and unloading occurs.

Site Area

The proposed development lot is approximately 37,964 SF (.871 Acres), with a Lot Coverage of 74.7%.

Building Area

The proposed building consists of approximately 99,662 GSF on five levels with approximately 29,982 GSF of below grade parking for a total of approximately 129,644 GSF.

Usable Open Space Areas

The site includes approximately 4,511 SF of ground level open space with another 4,130 SF of available open space with balconies for a total usable open space of 8,641 SF or 132.9 SF per unit.

EXISTING CONDITIONS AND CURRENT USES:

The project is located at 1720 Monroe Street, which is presently home to Associated Bank, its drive-through building and a surface parking lot. The project site also includes 625 South Spooner Street, which includes two apartments. The site is bounded by Spooner Street to the west, Monroe Street to the south and Stockton Court to the east.

Associated Bank's predecessor, Randall State Bank, once planned to expand its presence and owned most of the property in the block, including five existing single or multi-family homes. Over time, however, bank operations at 1720 Monroe contracted, and Associated Bank now will relocate to a smaller space in the 1600 block of Monroe Street. The relocation of Associated Bank provides an important opportunity to take a largely vacant stretch of Monroe Street and restore neighborhood retail and residential uses to the site.

Urban Land Interests

Randall State Bank constructed its building on the site in 1977. Prior to the bank's construction, its site was a part of Monroe Street's strong neighborhood retail corridor. It contained a vibrant retail mix of establishments including Capital City Comics, Burnic's Rock Shop and Dotty Dumpling's Dowry, two gas stations, a cleaner, a beauty salon and a barber shop. Prior to these losses, Monroe Street retailing had greater life. In the face of online retailing, it is particularly important to strengthen the commercial backbone of the Vilas and Dudgeon-Monroe neighborhoods. The commercial establishments are a big part of the walkability that makes these neighborhoods attractive. Residential density and retail continuity are important to support retailing on Monroe Street.

APPROVALS REQUESTED

This application is for approval of a new PD/GDP/SIP for the properties currently described as Lot 1, Certified Survey Map Number 2643 and Lot 4, Block 29, First Addition to West Lawn.

Certified Survey Map

A new legal description for Lot 1, Certified Survey Map Number 2643 and Lot 4, Block 29, First Addition to West Lawn, City of Madison, Dane County Wisconsin will be recorded with this proposed development.

Demolition

The proposed development will require the demolition and recycling of the existing Associated Bank building (built 1977) and drive-through building at 1720 Monroe Street. The shared garage that serves 625 South Spooner will be modified, and the portion of that garage that serves 625 South Spooner will be eliminated. The development team submitted the required notice to the City, Alder, and Neighborhood Association in August 2017. All applicable provisions of the demolition ordinance will be complied with and a reuse and recycling plan will be submitted for approval prior to the issuance of the demolition permit.

PUBLIC SUBSIDY REQUESTED

No public subsidy, such as Tax Incremental Financing (TIF), is requested.

CONDIMINIUM

The Project may be subjected to a condominium to separate the ownership of the residential portion from the retail, restaurant, service, institutional, or civic space on the ground floor.

PD STANDARDS

Urban Land Interests

The Site is currently zoned Planned Development District (1720 Monroe Street) and TR-C2 (625 South Spooner Street). The Project largely conforms to the predominant zoning along Monroe Street which allows for taller buildings as a conditional use and allows for the density that is proposed. A PD is sought only to address site specific challenges relating to the irregular geometry of the site and the preservation of the adjacent two-family home.

The PD provides a more restrictive and “voluntary regulatory framework as a means to facilitate development of land in an integrated and innovative fashion, to allow for flexibility in site design and to encourage development that is sensitive to environmental, cultural, and economic considerations.” The Project will achieve the following PD objectives:

- High-quality development that is consistent with the goals of Monroe Street Commercial District Plan
- Promotion of green building technologies that encourage sustainable development
- Preservation and enhancement of a 100 year old home.
- Promotion of integrated land uses allowing for a mixture of residential and commercial uses along corridors and in transitional areas, with enhanced pedestrian and bicycle connections and amenities

The highly irregular geometry of this specific site and the preservation of the two-family home make the PD necessary. A PD is not being requested for the purpose of increasing overall density. The level of density proposed is allowable under TSS.

COMPATABILITY WITH APPROVED MASTER PLANS:

The proposed development is in keeping with the overall goals, character, and pattern of development generally described in the Monroe Street Commercial District Plan. Please see attachment for details.

NEIGHBORHOOD AND CITY PROCESS:

The Project is located in the very eastern end of the Dudgeon Monroe Neighborhood Association (DMNA). The Project Team began working with residential and commercial neighbors and City staff in June 2017 and made the formal notification to DMNA and City staff on August 30, 2017. On September 19, 2017, the DMNA Zoning Committee promoted and hosted a meeting regarding the Project. Approximately 50 to 75 neighbors attended. On November 2, 2017, District 13 Alder, Sara Eskrich, hosted an additional meeting where updates were shared and additional feedback was received. Approximately 25 neighbors attended the November meeting. On November 8, 2017, the Project Team made an Informational Presentation to the Urban Design Commission. Approximately four neighbors attended that meeting.

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The Project Team met formally with City DAT on November 16, 2017, and has had multiple conversations with staff members of various City departments regarding specific planning topics relative to the proposed development.

In the course of our meetings over the past six months, the Project has been met with general approval, and we've received a great deal of positive feedback on the design and the proposed uses. We have also found that the very closest neighbors have certain concerns. We made changes to the plans to address many of those concerns as outlined below:

Traffic on Stockton:

In response to traffic concerns on Stockton and Roberts Courts, we will support maintaining a "no left turn" onto Stockton from our underground parking.

Restaurant and Other Exhaust:

While it's possible that there may be no restaurants as part of our development, we acknowledge that restaurants contribute to the vitality of the street and that there may be a restaurant at the outset or sometime in the future. In response to neighbor concerns, we will commit to venting restaurant exhaust through the roof or otherwise away from any adjacent single family homes. We will further commit to designing garage exhaust and other building systems such that they do unduly impact nearby neighbors.

Setback from Neighbors along Spooner:

In response to neighborhood comments, we removed a three-story element along Spooner Street to create greater distance between the new building and nearby homes. The new building was previously proposed to be 45 feet from the lot line. Our revised plans show that it is now 84 feet from the lot line along Spooner. From the lot line on Spooner, the building has been modified to setback along a 45 degree angle along Spooner Street, consistent with TSS zoning. Changes have also been made to setback the building from Stockton Court. These changes have significantly reduced the size of the project.

We will continue to meet with neighbors as we work through the details of the Project.

Urban Land Interests

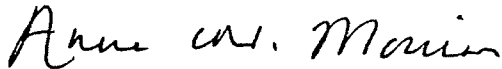
PROJECT SCHEDULE:

- Construction is anticipated to start as soon as approvals are granted, with an early start construction schedule commencing in May 2018. The project critical path provides apartment building occupancy prior to August 1, 2019. Our intent is to be under construction while Monroe Street is being reconstructed so that we are not unduly prolonging the impacts of construction on nearby businesses and neighbors:

August 30, 2017:	Formal notice of intent to apply for land use approvals
November 8, 2017	Urban Design Commission Informational Presentation
January 10, 2018	Urban Design Commission Final Approval
January 22, 2018	Plan Commission
February 6, 2018	Common Council
May 2018	Start Demolition/ Construction
July 2019	Certificate of Occupancy

ULI believes the proposed development is consistent with the Monroe Street Commercial District Plan, is in character with development patterns along Monroe Street and will greatly contribute to the vitality and quality of the neighborhood. Please refer to the attachments to this letter listed below. We look forward to the Urban Design Commission's feedback on this Project.

Kind regards,



Anne Neujahr Morrison

ATTACHMENTS

- 1) Proposed SIP Zoning Text
- 2) Project Design Narrative
- 3) Monroe Street Commercial District Plan Narrative
- 4) Supporting documents in the form of a drawing set dated November 20, 2017 showing the proposed development plans for the PD/GDP/SIP are bound separately and are a part of this letter of intent by reference.

ATTACHMENT 1: PROPOSED SIP ZONING TEXT

DRAFT

GDP/SIP ZONING TEXT

1720 Monroe Street, 625 South Spooner

MADISON, WISCONSIN

Legal Description

The lands subject to this planned unit development shall include those described in Exhibit A, attached hereto.

A. Statement of Purpose:

This Planned Development zoning district is established to allow for the development of a mixed use building with residential apartments, ground floor commercial space, underground parking and surface parking.

B. Permissible Uses

1. Multi-family residential uses.
2. Two-family dwelling.
3. Permitted and Conditional uses as allowed in the Traditional Shopping Street (TSS) district.

3. Uses accessory to permitted uses as listed above, including but not limited to the following:

- a. Indoor and outdoor amenity and recreation areas associated with multi-family residential units.
- b. On-site management office for the management and leasing of multi-family residential units.

C. Lot Area

The lot area is as shown on the approved plans.

D. Floor Area Ratio and Building Height

The maximum floor area ratio and the maximum building height will be as shown on the approved plans.

E. Yard Requirements

Yard areas will be provided as shown on the approved plans.

F. Landscaping

Site landscaping will be provided as shown on the approved plans.

G. Lighting

Site lighting will be provided as shown on the approved plans.

H. Signage

As affirmed in MGO Sec. 31.13(4)(a), the Zoning Administrator has determined that signage will be allowed as per Chapter 31 of the Madison General Ordinances, as compared to the TSS (Traditional Shopping Street District) zoning district.

I. Family Definition

The family definition for this PUD-SIP shall coincide with the definition given in Chapter 28.211 of the Zoning Code for the TSS district.

J. Alterations and Revisions

No substantial alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission; however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Community and Economic Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission per Sec. 28.098(6).

EXHIBIT A
TO DRAFT GDP/SIP ZONING TEXT

1720 Monroe Street, 625 South Spooner
MADISON, WISCONSIN

Legal Description

New CSM legal description pending

Existing legal descriptions of the two parcels are as follows:

1720 Monroe Street: Certified Survey Map Number 2643 as recorded in Dane County Register of Deeds in Volume 10, Page 262 of Certified Surveys, Lot 1

625 South Spooner Street: First Addition to West Lawn, Block 29, Lot 4

Lot Area

This Specific Implementation Plan contains ___ square feet (___ acres).

ATTACHMENT 2: PROJECT DESIGN NARRATIVE

ARCHITECTURE

The architectural team considered traditional Monroe Street buildings, pre-war apartment and commercial structures as well as other predominantly brick and stone buildings for inspiration. The result is a high quality building in a traditional and contextual style that meets the General Development Standards outlined in the 2007 Monroe Street Commercial District Plan, Section J, in regards to height, proportion, setbacks, articulation, street activation, materials and other guidelines.

As the building meets the residential neighborhood along Spooner the building is approximately 84 feet from the lot line. Early concepts for the project included a three story element along Spooner Street, which was eliminated based on neighbor input in order to provide greater separation between the residential neighborhood and the proposed building.

The exterior of the building is predominantly brick with cast stone detailing. Great care was taken to use a restrained palette of high quality materials, consistent with other traditional buildings. There is a clear base, middle and top to the building. At the base of the building, along the length of Monroe Street, the building steps down from Spooner Street to Stockton Court to meet the sidewalk so that the street is activated for the entire block and each storefront benefits from its separate identity and accessible entrance.

DESIGN DISTRICT CRITERIA

The Site is not in an Urban Design District, but PD or other rezoning requires UDC review. The Monroe Commercial District Plan (2007) provides guidance for the design of new developments. The project meets the following criteria as outlined in Section J of the Plan.

Building Heights- *Building heights are regulated to create streets in character with surrounding development."*

At five stories, the proposed building height is in character with surrounding development. To the west is the Monroe Commons development (2007), which is six stories and rises 75 feet from the grade at Spooner Street. To the east is Clarendon Apartments (1938), which is four stories and set on a raised front yard. In regards to height, the Monroe Street Commercial District Plan indicates that superior architectural

treatment is a factor that can make taller buildings acceptable and that each project should be considered on a case-by-case basis looking at compatibility with surroundings. Since the Plan was adopted in 2007, several new buildings have been approved along Monroe Street at four stories and more.

Build-To Lines – *“Build to lines are established for redevelopment sites to ensure that building placements clearly define street edges and corners.”*

The proposed building is placed parallel to and within two feet of the property line along which the façade is located. Buildings along Monroe Street are generally built uniformly up to the sidewalk edge. We are introducing further setbacks for a more gracious sidewalk and other pedestrian features.

Building Composition - *“Buildings should be composed to define base, middle, and top .”*

Our building is articulated with a commercial “base” primarily constructed of brick, glass and stone. It is separated from the “middle” of the building, which is primarily brick, by a stone entablature. At the “top” of the fourth floor, the building is further articulated by a traditional cornice/parapet, from which the fifth floor is set back on all sides.

Window Glazing – *“Street level facades should include visual features and design details that enrich the pedestrian experience”*

The ground floor facade will be chiefly of glass to encourage a direct visual connection between pedestrians and the interiors of the street level establishments. The entrance to the apartment lobby will be near the center of the Monroe Street frontage, so that the street will be a part of the daily experience of the residents. To encourage the success of the ground floor establishments, we will seek to minimize barriers between the sidewalk and the interior.

The storefronts are in character with traditional storefronts on Monroe Street, particularly those on the south side of the 1800 block. The proposed width and shallow setback from the sidewalk is patterned after those existing storefronts. Per the 2007 Plan, no tinted windows are planned between 2 feet above grade and 8 feet above grade. The project includes no tinted windows, and transoms and clerestories are included as recommended.

Street Activation – *“Where required glazing is provided along the ground floor, the area behind the glazing should consist of “street activating uses” for a minimum of 12 feet in depth.”*

The project will be activated for the length of Monroe Street with retail depths that exceed the recommended minimum. There will be no above grade enclosed parking stalls to detract from the retail facade.

Entries – *“Pedestrian entries should be provided for each distinct ground floor use (or tenant) along the street frontage. Dominant corner entrances that maintain the Build-to Line are desirable on corner sites.”*

The below grade parking is lowered to allow for at-grade entries along Monroe Street. The project will include multiple distinct ground floor uses, with each storefront entrance located at grade. Because the site slopes seven feet along Monroe Street, the first floor concrete slabs will be poured to step down to create at-grade ground floor uses. Multiple levels assure that the pedestrian scale is maintained. There may be more than one tenant identity and entrance at each elevation. This stepping will help create different exterior identities for the first floor establishments. All entries from Monroe Street will be ADA accessible.

Materials- *“Enrichment of the pedestrian realm requires building base materials to be of high quality, such as stone, brick, metal panel systems, and other durable materials”.*

The building will have quality materials throughout. The ground floor is of particular importance and will be primarily faced in glass, stone or cast stone with details that enrich the pedestrian experience.

Building Articulation - *“Detailing of the base of buildings should be used to enhance the human scale qualities of the building*

The building is generally comprised of two elaborate bookend elements at the Spooner and Stockton corners and a central field recessed slightly along Monroe Street. At the building base, the glass at the storefront comes close to the sidewalk. There will be shallow setbacks in key entrance locations. Storefronts will be accented with cast stone detail. Brick on the upper floors is articulated around openings with brick returns. As recommended, the residential units include balconies, French windows and bay windows to further activate the street and give the upper facade articulation and interest. The fifth story is set back from the parapet.

Proportion *“The use of proportion is intended to provide a sense of visual harmony among elements of a building”*

The project includes various component parts, including bays of two or three windows, structural bays, panels and balconies that are dimensioned on a consistent module to make them proportionate to one another and create proportionate solid spaces between them. The windows as drawn are approximately 7 feet in height, which creates a vertical proportion consistent with the building massing that is historically prevalent along Monroe Street.

Scale “In order to achieve an architectural composition responsive to surrounding context and human scale, distinctive compositional elements of buildings should be distinguishable from a distance of both near and far”

The various parts of the building are proportionate within the building and within the broader neighborhood context. The ground floor is in scale and consistent with the surrounding commercial storefronts on Monroe Street. The window and balcony openings within the residential part of the building are proportionate to the facade in the same way as adjacent residential buildings.

Rhythm “In architectural composition, rhythm refers to the regular or harmonious recurrence of building elements. These patterns often reflect the building’s repetitive structural bays, often with the end bays given special identity.”

The rhythm of the building is consistent while avoiding being repetitive. Building components repeat, including groupings of windows, balconies and decorative panels. The end bays at Spooner and Stockton are given special identity through material changes and changes in the repeating components.

ATTACHMENT 3: MONROE STREET COMMERCIAL DISTRICT PLAN NARRATIVE

The proposed development at 1720 Monroe is entirely in keeping with the Monroe Street Commercial District Plan. Probably no other development for the entire length of the street is more consistent with the specific requirements and spirit of the Plan. The proposed development meets the following objectives of the Plan which was adopted on March 27, 2007:

- Helps strengthen a neighborhood “hub”
- Promotes a “community” character for the street: mixed uses including, civic, institutional, retail and residential
- Provides places and things to do for people of all ages
- Promotes a pedestrian-friendly and attractive environment
- Extends the sense of a neighborhood “Main Street”
- Contributes to the high density residential daytime market to support retailers
- Creates opportunities for new civic, institutional, retail and restaurant establishments
- Accommodates small scale establishments
- Maintains the high quality of residential areas along the length of Monroe Street
- Excellent building composition
- Meets guidelines for window glazing
- Promotes street activation
- Primary entrances on Monroe Street
- Distinct, attractive, at-grade entries to ground floor establishments
- High quality building materials
- Carefully articulated exterior façade
- Well proportioned
- In keeping with standards regarding scale
- In keeping with suggestions concerning building rhythm
- Excellent surface variation and detail, with numerous special features.
- Parking for residential completely underground

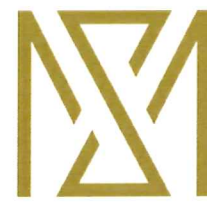


1720 Monroe Street Redevelopment

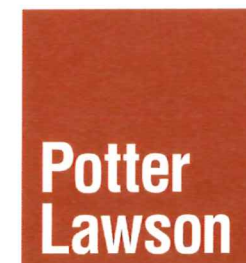
Land Use Application
November 20, 2017



Urban Land Interests



MORRISON
STUDIO



Success by Design

1720 Monroe Street

Project Team

Owner/Developer
Urban Land Interests

Architect
Potter Lawson, Inc.

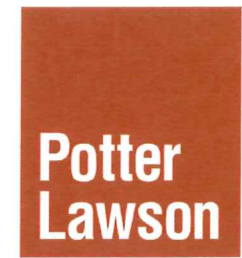
Structural Engineer
Fink Horejsh, LLC

Landscape Architect
Ken Saiki Design

Civil Engineer
Burse Surveying and Engineering, Inc

Location Map

Project Location: 1720 Monroe Street & 625 Spooner Street, Madison, Wisconsin



Success by Design

Project / Zoning Information

Proposed Use / Occupancy: First Floor (M) Commercial
Upper Floors (R2) Residential Apartments
Parking (S2) Parking

Current Zoning: PD 1720 Monroe Street
TR-C2 625 Spooner Street

Proposed Zoning: PD

Setbacks Provided
Front: 0'
Side: 0'
Rear: 6'

Building Height: 5 stories

Lot Coverage: 74.7%

Total Site Area: 37,964 SF (28,385 SF coverage)

Usable Area: Site 4,511 SF
Balconies 4,130 SF
Total 8,641 SF (132.9 SF/Unit)

Notes:

Building Area

Apartment Building (R2) 83,319 GSF
Commercial (M) 16,343 GSF
Below Grade Parking (S2) 29,982 GSF
Combined Total 129,644 GSF

Unit Information

Units	Floors	2nd	3rd	4th	5th	Totals
1 BR		11	11	11	2	35
2 BR		6	6	6	8	26
3 BR		1	1	1	1	4
Total Units		18	18	18	11	65
Total Bedrooms		26	26	26	21	99

Parking Summary

Vehicle Parking Stalls

Apartment Building below grade

Regular 60
Small 8
Accessible 1
Van Accessible 1

Surface

Regular 10
Small 3
Accessible 1
Total 84 stalls

Bike Parking Stalls

Retail (1 per 2,000sf) 8
Apartment Building Residents (1 per unit min., enclosed)
Horizontal (Floor mounted) 42
Horizontal (Wall mounted) 28
Total 70
Apartment Building Visitors (1per 10 Units resident total)
Horizontal (Floor mounted) 7
Total 85 stalls

1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Revisions	Symbol
11/20/2017	LAND USE APPLICATION	

Drawing List

- | | |
|--------------------------------------|---------------------------------|
| General | Architectural |
| G100 Project Information | A101 Parking Level Plan |
| G201 Existing Building Images | A102 First Floor Plan |
| | A103 Second Floor Plan |
| | A104 Third Floor Plan |
| Site | A105 Fourth Floor Plan |
| Site Survey | A106 Fifth Floor Plan |
| C200 Demolition Plan | A107 Roof Plan |
| C300 Civil Site Plan | |
| C500 Grading & Erosion Control Plan | |
| C600 Utility Plan | A201 Building Elevations |
| C900 Fire Apparatus Access Site Plan | A211 Building Perspective Views |
| L101 Landscape Plan | |
| Site Lighting Plan | |

Project Information

G100

11/20/2017 5:18:44 AM

Notes:

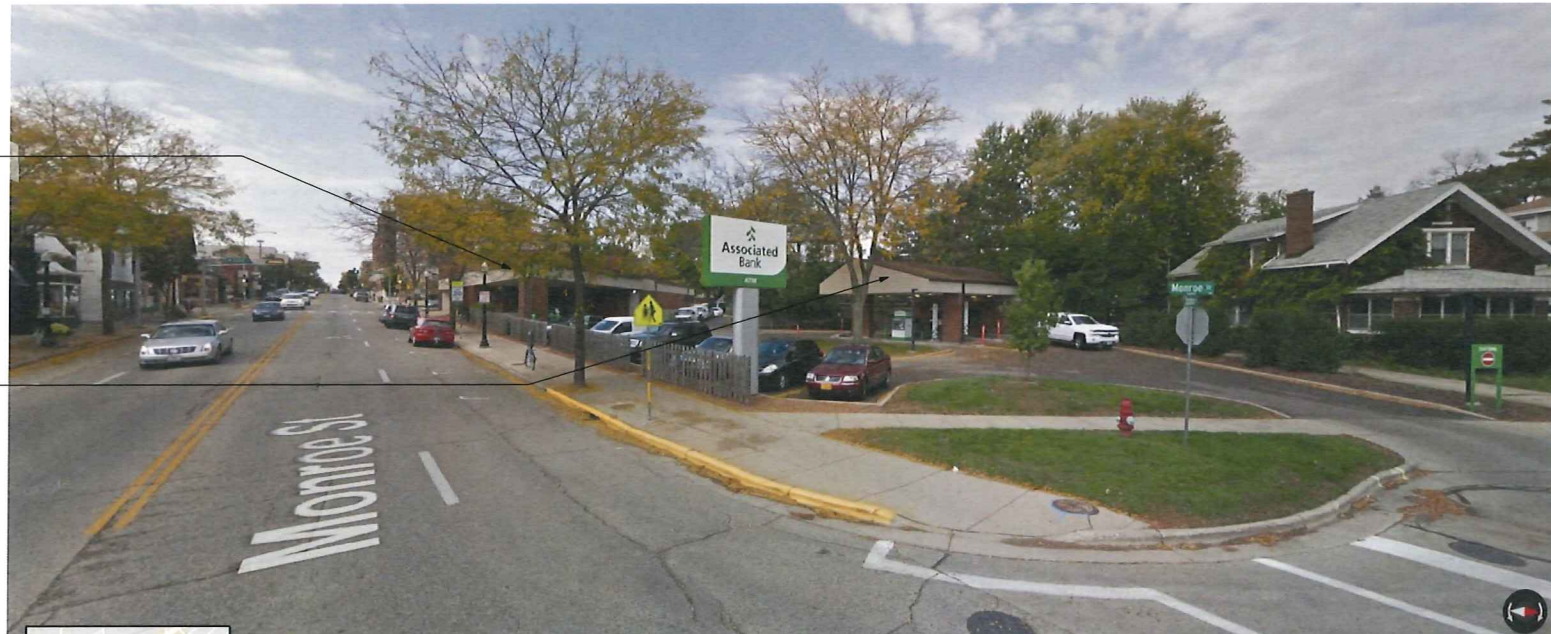
Associated Bank Building
1720 Monroe Street



View from Monroe - Grant Street corner

Associated Bank Building
1720 Monroe Street

Associated Bank
drive through canopy



View from Monroe - Stockton Street corner

Associated Bank Building
1720 Monroe Street

625 Spooner Street



View from Spooner - Keyes Street corner



View from West Lawn - Spooner Street corner

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1720 Monroe Street
Urban Land Interest

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Existing Building
Images

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

EXISTING SHARED GARAGE
 TO BE MODIFIED TO REMOVE
 PORTION FROM 625 S
 SPOONER STREET

SAWCUT EXISTING CONCRETE
 DRIVE TO LEAVE A 10' WIDE
 SLAB

625 S. SPOONER STREET

REMOVE EXISTING FENCE


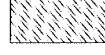
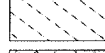
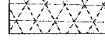
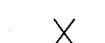

MONROE STREET

STOCKTON STREET

S. SPOONER STREET

W. LAWN AVENUE

LEGEND

-  REMOVE BITUMINOUS PAVEMENT
-  REMOVE CONCRETE
-  RAZE BUILDING
-  REMOVE GRAVEL
-  REMOVE UTILITY LINE
-  REMOVE TREE

**Potter
 Lawson**

Success by Design

Burse
 Surveying and Engineering Inc.

2801 International Lane, Suite 101
 Madison, WI 53703
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: MBurse@BSE-INC.net
 www.bursesurveyengr.com

- Notes:
- The contractor is responsible for the demolition, removal, and disposal in a location approved by all governing authorities, of all structures, pads, walls, furnaces, foundations, parking drives, drainage, structures, utilities, etc., such that the improvements shown on the remaining plans can be constructed. All utilities to be removed shall be undercut to stable material and brought to grade with suitable compacted fill material per the specifications.
 - The contractor is responsible for obtaining all permits required for demolition, plugging and disposal.
 - The contractor shall coordinate with the respective utility companies prior to the removal and/or relocation of utilities. The contractor shall coordinate with the utility company concerning portions of work which may be performed by the utility company for any fees which are to be paid to the utility company for their services. The developer is responsible for paying all fees and charges.
 - The locations of all existing utilities shown on this plan have been determined from the best information available and are given for the convenience of the contractor. The engineer assumes no responsibility for their accuracy, prior to the start of any demolition activity, the contractor shall notify the utility companies for exact locations of existing utilities. Notify the engineer of any discrepancies.
 - All existing sewers, piping, and utilities shown are not to be interpreted as the exact location, or as the only obstacles that may occur on the site. Verify existing conditions and proceed with caution around any unanticipated features. Give notice to all utility companies regarding destruction and removal of all service lines before proceeding with the work. Utilities determined to be abandoned and left in place shall be grounded if under building.
 - Electrical, telephone, cable, water, fiber optic cable, and/or gas lines needing to be removed or relocated shall be coordinated with the affected utility company. Adequate time shall be provided for relocation and close coordination with the utility company is necessary to provide a smooth transition in utility service.
 - Contractor shall protect the public at all times with berms, barricades, enclosures, covered walkways, etc. Contractor shall submit their street occupancy plan to Traffic Engineering for approval.
 - Prior to demolition occurring, all erosion control devices are to be installed.
 - The contractor may limit removal and placement removal to only those areas where it is required as shown on these construction plans, but if any damage is incurred on any of the surrounding pavement, etc., the contractor shall be responsible for its removal and repair in kind.
 - Damage to all existing condition to remain will be replaced at the contractor's expense.
 - Construction access shall be maintained for the surrounding properties at all times during demolition of the existing facilities.
 - The right-of-way is the sole jurisdiction of the city of Madison and is subject to change at any time per the recommendation of Traffic Engineering and City Engineering Departments.
 - Cap all unused existing laterals per City of Madison requirements.

1720 Monroe Street
 Urban Land Interest

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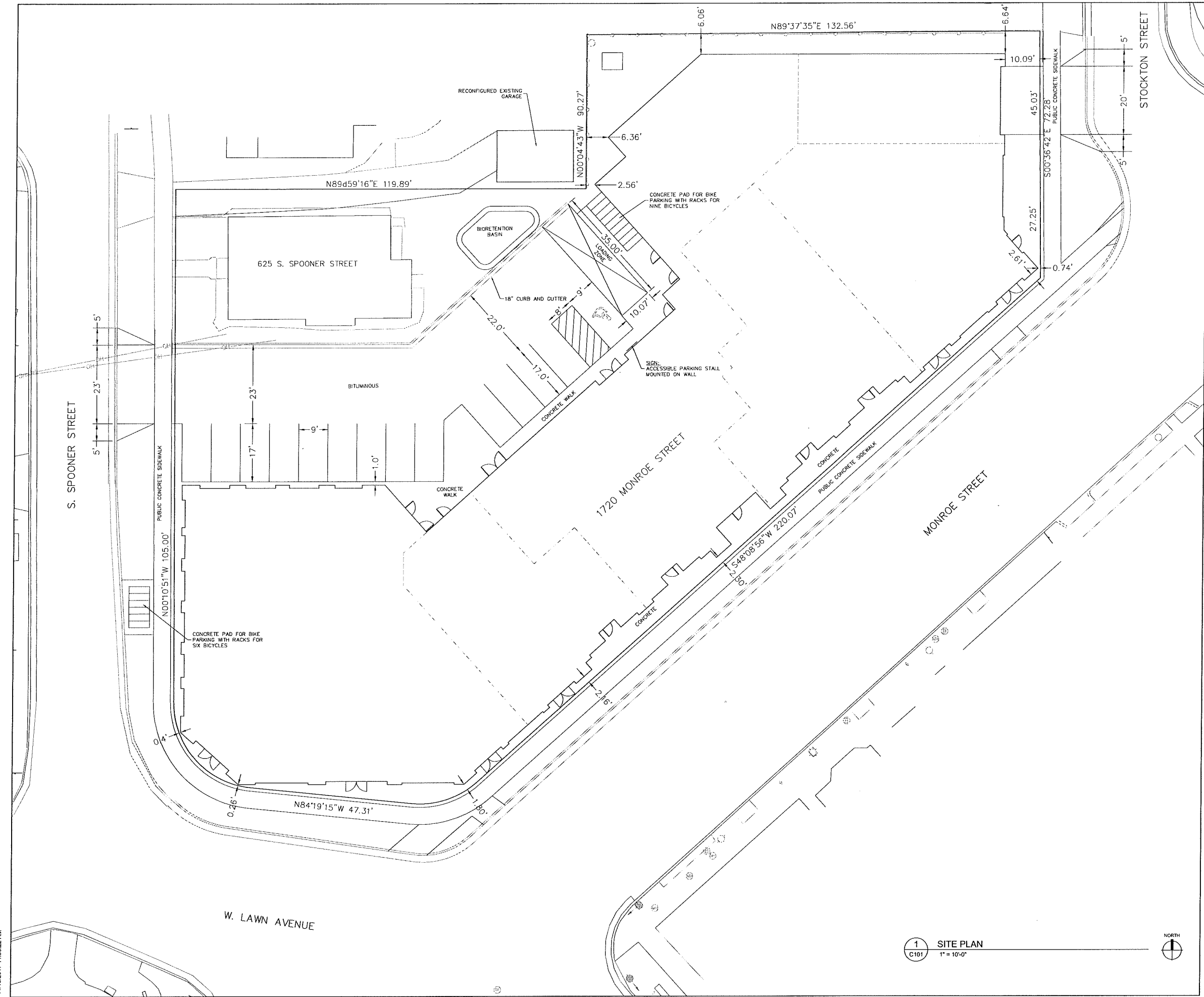
Demolition Plan

1 DEMOLITION PLAN
 C101 1" = 10'-0"



C200

11/10/2017 11:30:22 AM



11/10/2017 11:30:22 AM

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Burse
Surveying and Engineering Inc.

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Madison, WI 53703
Phone: 608-250-9263
Fax: 608-250-9266
e-mail: MBurse@B5E-INC.net
www.bursesurveyengr.com

- Notes:
- All concrete curbs are 18" in width (either accept or reject) and shall conform to the city of Madison Standard Specifications.
 - Pavement markings and signage pertaining to accessible parking stalls and routes shall conform to current ADA regulations.
 - Pavement design shall be per the recommendation of the soils consultant.
 - The Right-of-Way is the sole jurisdiction of the City of Madison and is subject to change at any time per the recommendation of Traffic Engineering and City Engineering Department.
 - Contractor shall install tree protection fencing in the area between the curb and sidewalk and extend it at least 5 feet from both sides of the tree along the length of the trench. No excavation is permitted within 5 feet of the outside edge of a tree trunk. If excavation within 5 feet of any tree is necessary, the contractor shall contact City Forestry (608-266-4816) prior to excavation to assess the impact to the tree and root system. Tree pruning shall be coordinated with City Forestry prior to the start of construction. The protection specifications can be found in section 107.13 of the City of Madison Standard Specifications for Public Works Construction (<http://www.cityofmadison.com/business/indocuments/2012spec013/Part1.pdf>). Any tree removal that is required for construction after the development plan is approved will require at least a 72 hour wait period before a tree removal permit can be issued by Forestry, to notify the Arborist of the change in the tree plan.

PRELIMINARY
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1720 Monroe Street
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2017.09.00

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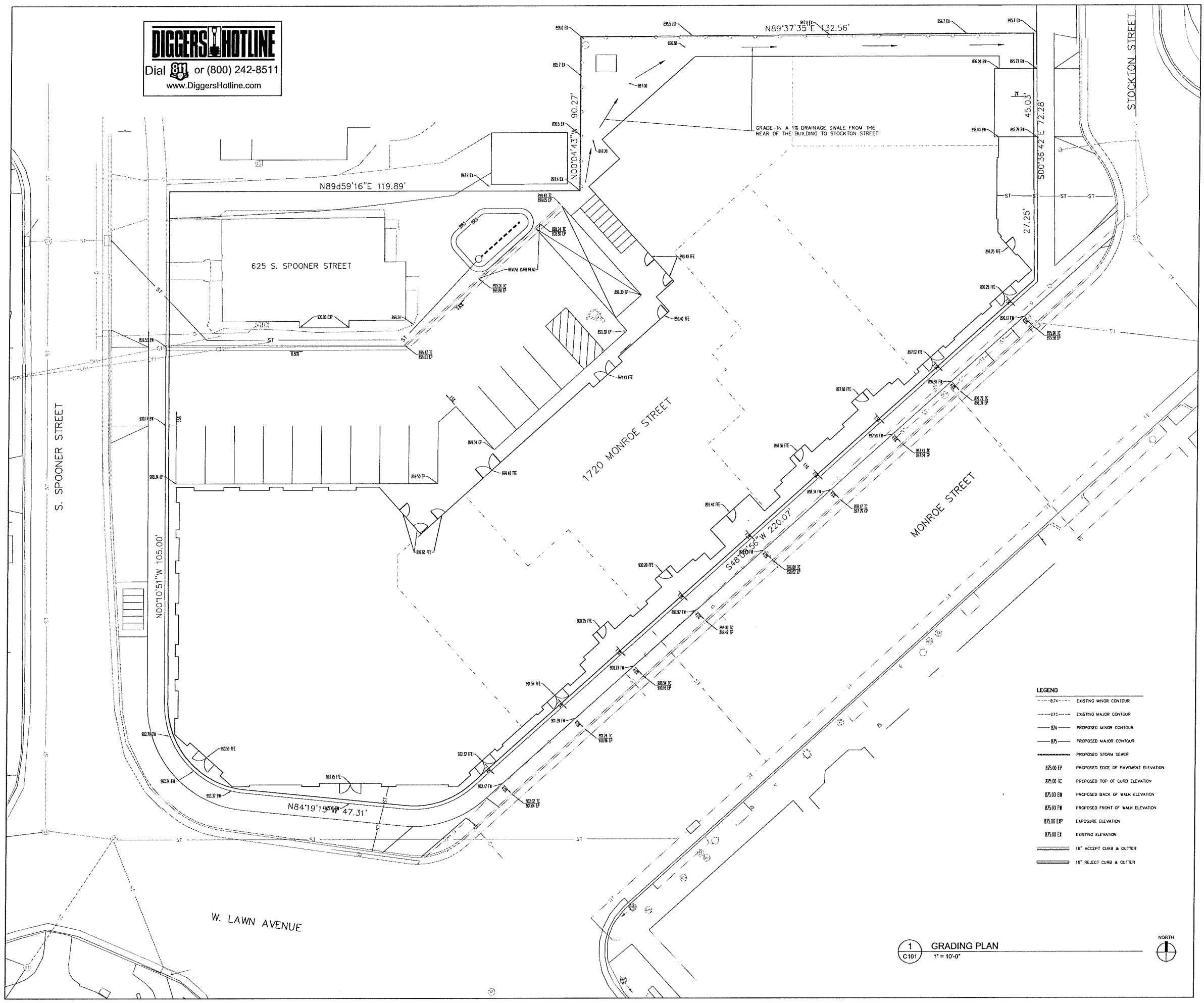
1 SITE PLAN
C101 1" = 10'-0"

NORTH

Civil Site Plan

C300

DIGGERS HOTLINE
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 www.DiggersHotline.com



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 Madison, WI 53703
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: MBurse@BSE-INC.net
 www.burseengineering.com

- Notes:
- All grades are 8.5 ft elevation.
 - All private utilities (gas, electric, and telecommunications) serving existing buildings scheduled for demolition to be abandoned or removed by corresponding utility company.
 - It is the contractor's responsibility to verify the location of underground utilities. Utilities were located by observed evidence, markings provided by diggers hotline, and record drawings from the City of Madison.
 - Contractor shall verify the size, type, slope, and inverts of all existing storm and sanitary laterals called out to be connected. Contractor shall submit this information on the plans to the City Inspector and project call engineer.
 - Any sidewalk, curb, or other public property damaged as part of the construction of the utilities and building shall be replaced in-kind per the city of Madison's standard specification.
 - See Utility Plan for Stormwater Basin detail.
 - The Right-of-Way is the sole jurisdiction of the City of Madison and is subject to change at any time per the recommendation plan of Traffic Engineering and City Engineering Departments.

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1720 Monroe Street
 Urban Land Interest

2017.09.00

Date	Insurance Revisions	Symbol
11/20/2017	LAND USE APPLICATION	

LEGEND

---	EXISTING MINOR CONTOUR
- - - -	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
- - - -	PROPOSED MAJOR CONTOUR
---	PROPOSED STORM SEWER
875.00 EP	PROPOSED EDGE OF PAVEMENT ELEVATION
875.00 IC	PROPOSED TOP OF CURB ELEVATION
875.00 BW	PROPOSED BACK OF WALK ELEVATION
875.00 FW	PROPOSED FRONT OF WALK ELEVATION
875.00 EP	EXPOSURE ELEVATION
875.00 EA	EXISTING ELEVATION
====	18" ACCEPT CURB & GUTTER
=====	18" REJECT CURB & GUTTER

1 GRADING PLAN
 C101 1" = 10'-0"



Grading Plan

C500

Notes:

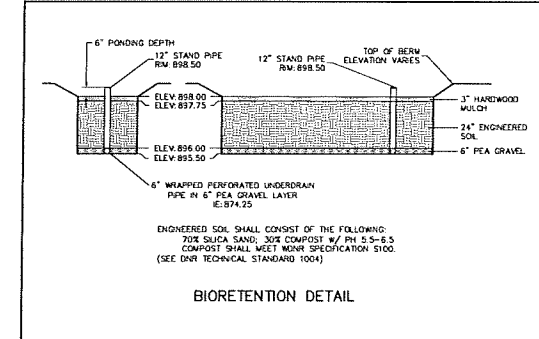
1. All private utilities (gas, electric, and telecommunications) serving existing buildings scheduled for demolition to be abandoned or removed by corresponding utility company.
2. It is the contractor's responsibility to verify the location of underground utilities. Utilities were located by observed evidence, markings provided by diggers hotline, and record drawings from the City of Madison.
3. Contractor shall verify the size, type, slope, and inverts of all existing storm and sanitary laterals called out to be connected to. Contractor shall submit the information on the pipes to the city inspector and project civil engineer.
4. Any sidewalk, curb, or other public property damaged as part of the construction of the walkways and building shall be replaced in-kind per the City of Madison's standard specification.
5. The right-of-way is the sole jurisdiction of the City of Madison and is subject to change at any time per the recommendation plan of Traffic Engineering and City Engineering Departments.

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1720 Monroe Street
 Urban Land Interest

2017.09.00

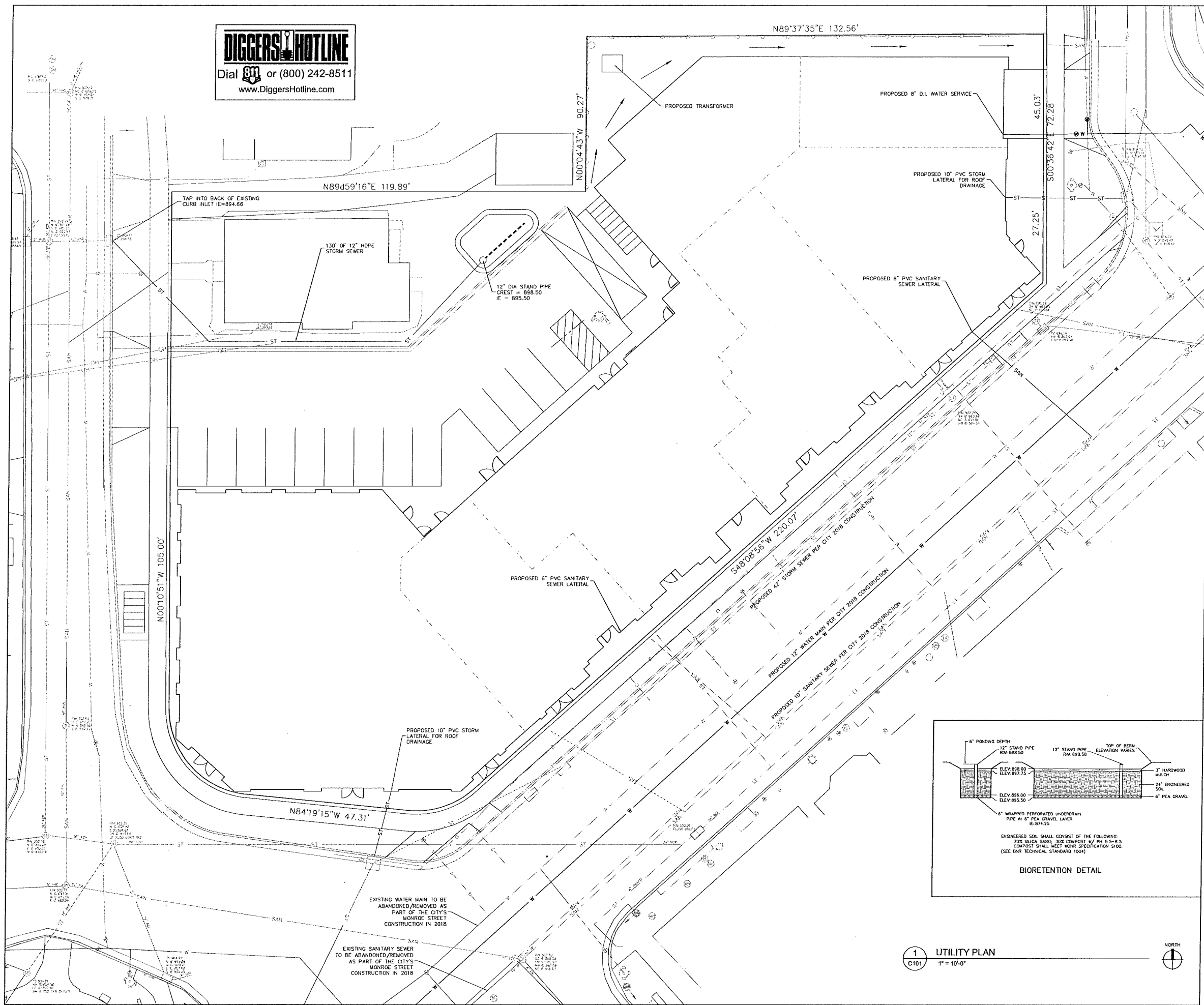
Date	Revised/Revised	Symbol
11/09/2017	LAND USE APPLICATION	



1 UTILITY PLAN
 C101 1" = 10'-0"



11/10/2017 11:30:22 AM



EXISTING WATER MAIN TO BE
 ABANDONED/REMOVED AS
 PART OF THE CITY'S
 MONROE STREET
 CONSTRUCTION IN 2018

EXISTING SANITARY SEWER
 TO BE ABANDONED/REMOVED
 AS PART OF THE CITY'S
 MONROE STREET
 CONSTRUCTION IN 2018

C600



City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: fire@cityofmadison.com

Project Address: 1720 Monroe Street
Contact Name & Phone #: Brian Reed & 608-274-2741

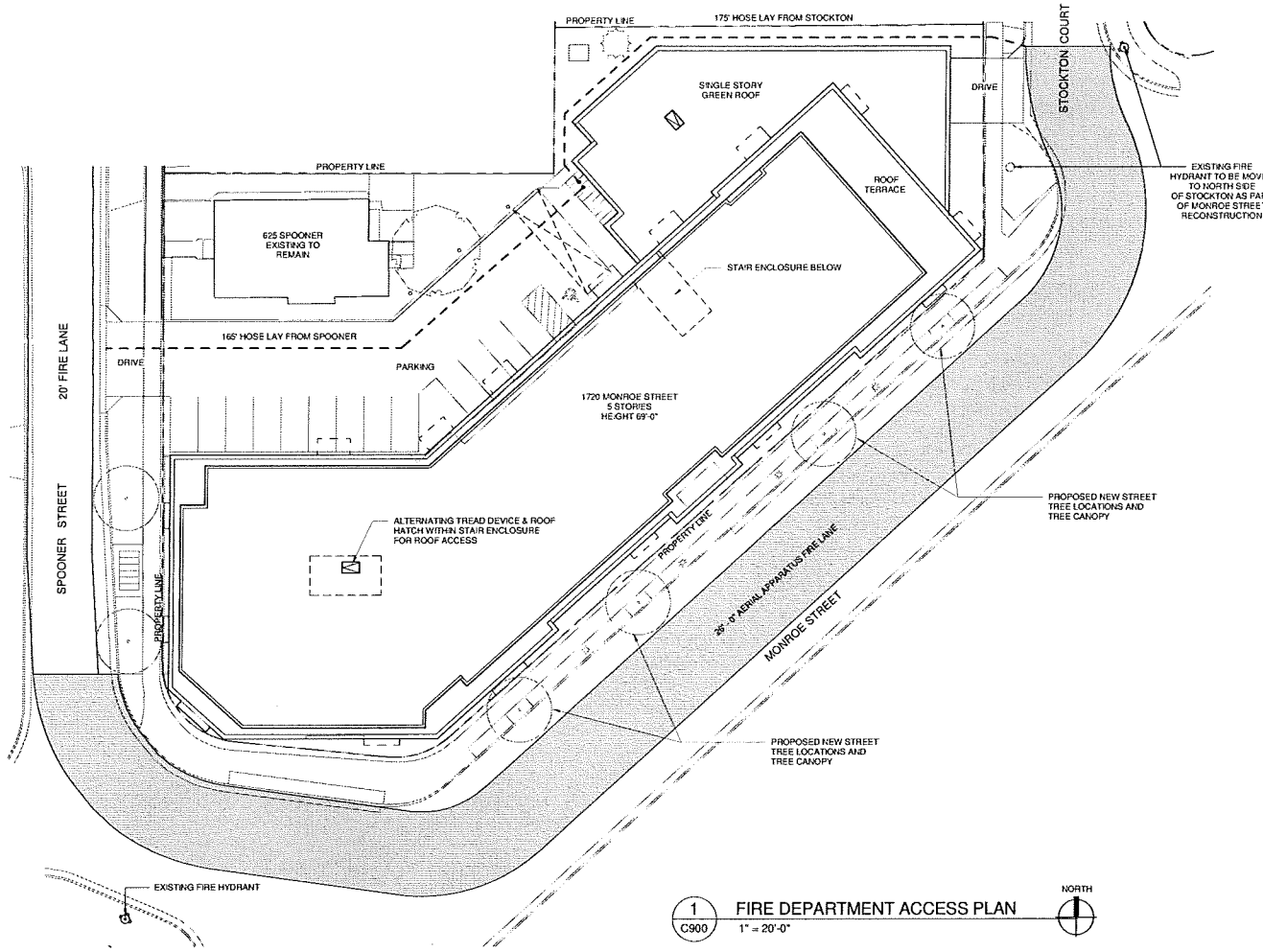
FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13 1/2-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-foot clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
4. Is the Fire Lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6? If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
6. Is any part of the building greater than 30-feet above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3 1/2-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1 1/2-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.503 and IFC 2015 Edition Chapter 5 and Appendix D; please see the codes for further information.

Revised 02/10/2016



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Notes:

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1720 Monroe Street
Urban Land Interest

2017.09.00

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Fire Apparatus
Access Site Plan

C900

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City of Madison, WI Landscape Worksheet - 1720 Monroe Street
1720x18
Planned Development District

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Units Required	Landscape Points Subtotal
Total Developed Area	14,250	48	48	238
			Landscape Points Required	238

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	1	1	70
Ornamental Tree	15	1	1	15
Evergreen Tree	35	0	0	0
Upright Evergreen Shrub	10	0	0	0
Shrub, deciduous	3	25	0	75
Shrub, evergreen	4	4	0	16
Ornamental Grass/Perennial	2	87	0	174
Ornamental Fence (4 pts / 10 LF)	4	17.8	0	71.2
Interior Parking Lots Points Total				724.2
TOTAL LANDSCAPE POINTS				724.2

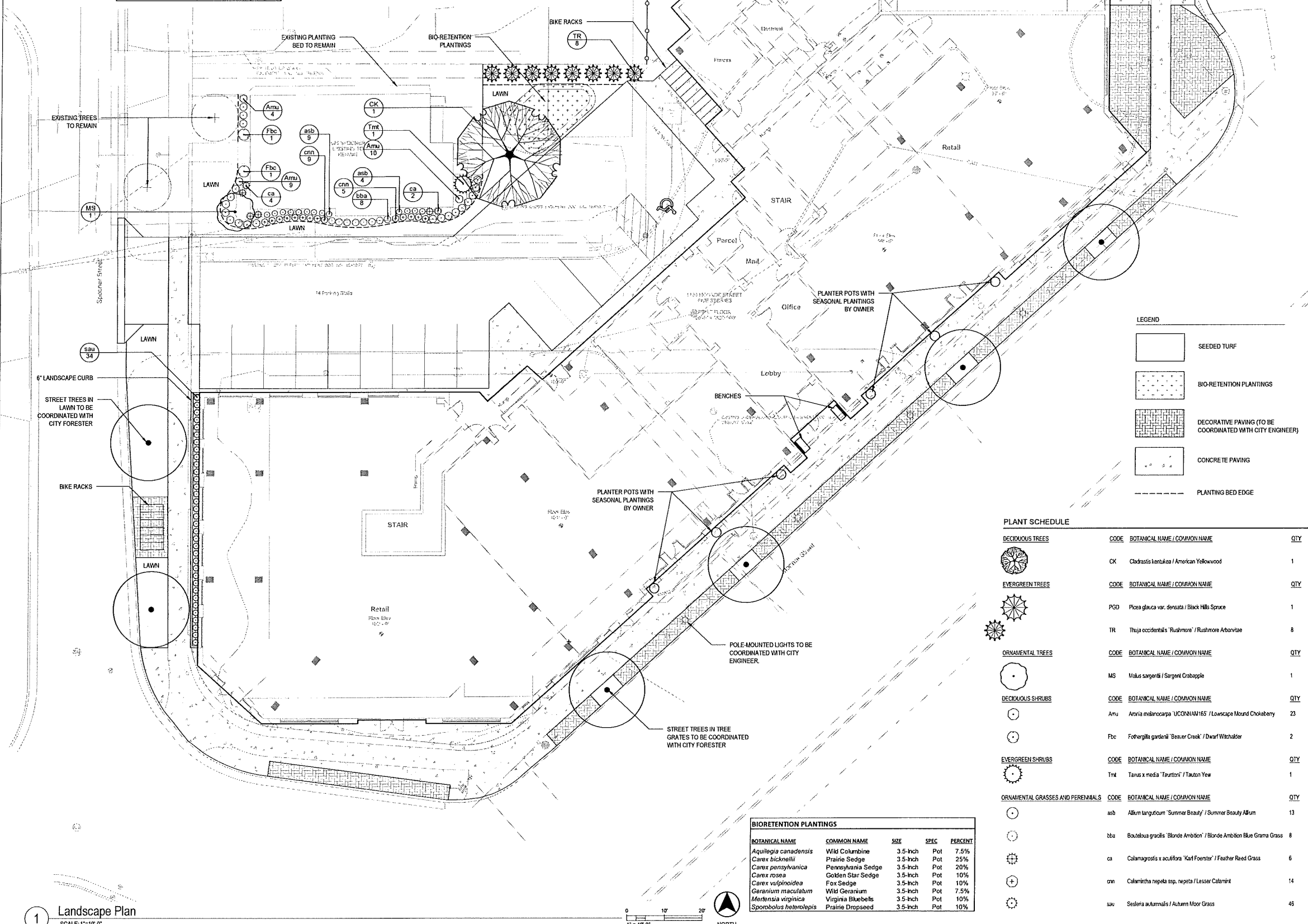
Development Frontage (Monroe Street)	LF	Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	250	8	0	42	0

Development Frontage (West Lawn Avenue)	LF	Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	62	2	0	10	0

Development Frontage (Spooner Street)	LF	Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	170	6	0	28	0

Development Frontage (Stacken Court)	LF	Overstory Trees Required	Overstory Trees Proposed	Shrubs Required	Shrubs Proposed
Total LF of Street Frontage Between Building & Street	68	2	0	11	0

* CHAPTER 28, SECTION 28.142(4)(A)2(B) "WHERE REQUIRED LANDSCAPING CANNOT BE ACCOMMODATED DUE TO BUILDING PLACEMENT ON SITE, THE ZONING ADMINISTRATOR MAY MODIFY OR WAIVE THE POINT REQUIREMENTS."



LEGEND

- [Pattern] SEEDED TURF
- [Pattern] BIORETENTION PLANTINGS
- [Pattern] DECORATIVE PAVING (TO BE COORDINATED WITH CITY ENGINEER)
- [Pattern] CONCRETE PAVING
- [Dashed Line] PLANTING BED EDGE

PLANT SCHEDULE

CODE	BOTANICAL NAME / COMMON NAME	QTY
DECIDUOUS TREES		
CK	Chodasia lantaca / American Yellowwood	1
EVERGREEN TREES		
PGD	Picea glauca var. densata / Black Hills Spruce	1
TR	Thuja occidentalis 'Rusmore' / Rusmore Arborvitae	8
ORNAMENTAL TREES		
MS	Malus sargenti / Sargent Crabapple	1
DECIDUOUS SHRUBS		
Amu	Arnia melanocarpa 'UCONRA165' / Lowscape Mound Chokeberry	23
Fbc	Fothergilla gardenii 'Beaver Creek' / Dwarf Witchhazel	2
EVERGREEN SHRUBS		
Tm	Taxus x media 'Tautori' / Taxon Yew	1
ORNAMENTAL GRASSES AND PERENNIALS		
asb	Alium tanguticum 'Summer Beauty' / Summer Beauty Allium	13
bba	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama Grass	8
ca	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	6
crn	Calamagrostis nepeta ssp. nepeta / Lesser Calamint	14
sau	Sesleria autumnalis / Autumn Moor Grass	46

BIORETENTION PLANTINGS

BOTANICAL NAME	COMMON NAME	SIZE	SPEC	PERCENT
Aquilegia canadensis	Wild Columbine	3.5-inch	Pot	7.5%
Carex bicknellii	Prairie Sedge	3.5-inch	Pot	25%
Carex pennsylvanica	Pennsylvania Sedge	3.5-inch	Pot	20%
Carex rosea	Golden Star Sedge	3.5-inch	Pot	10%
Carex vulpinoidea	Fox Sedge	3.5-inch	Pot	10%
Geranium maculatum	Wild Geranium	3.5-inch	Pot	7.5%
Mertensia virginica	Virginia Bluebells	3.5-inch	Pot	10%
Sporobolus heterolepis	Prairie Dropseed	3.5-inch	Pot	10%

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KEN SAIKI DESIGN
LANDSCAPE ARCHITECTS

303 S. PATERSON SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600

- NOTES:**
- SEE CIVIL DRAWINGS FOR LAYOUT AND GRADING INFORMATION.
 - SEE CIVIL DRAWINGS FOR INFORMATION PERTAINING TO STORMWATER MANAGEMENT.
 - FOR PROPOSED TREES WITHIN R.O.W., CONTRACTOR SHALL CONTACT CITY FORESTRY AT LEAST ONE WEEK PRIOR TO PLANTING TO SCHEDULE MARKING THE PLANTING SITE, APPROVING THE PLANTING STOCK AND REVIEWING PLANTING SPECIFICATIONS WITH THE CONTRACTOR.
 - FINAL LOCATION OF STREET TREES WITHIN MONROE STREET R.O.W. DEPENDENT UPON MONROE STREET RECONSTRUCTION PROJECT AND COORDINATION WITH CITY FORESTER.
 - CALL DIGGER'S HOTLINE BEFORE COMMENCING WORK. 811 OR (800) 242-8511.
 - ALL PLANT BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.

PRELIMINARY
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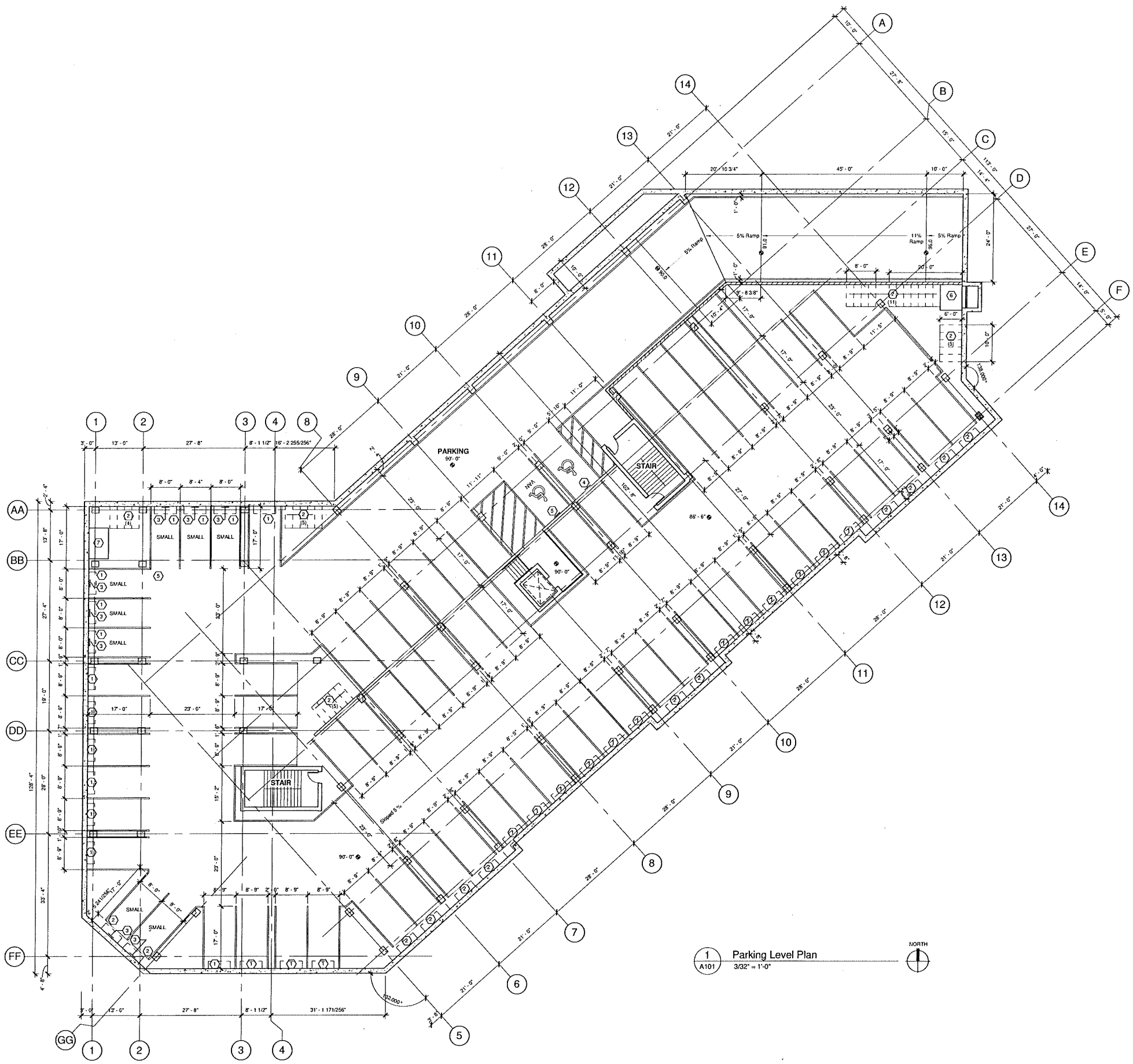
1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Issuance/Revisions	Symbol
11/02/2017	LAND USE APPLICATION	

Landscape Plan

L101



- Notes:
- KEY NOTES**
- ① HORIZONTAL WALL MOUNTED BIKE STALLS AT THE FRONT OF PARKING STALLS 2' X 6' (MOUNT ABOVE FRONT END OF CAR)
 - ② HORIZONTAL FLOOR MOUNTED BIKE STALLS 2' X 6'
 - ③ SMALL CAR PARKING STALL SIGN
 - ④ ACCESSIBLE PARKING STALL SIGN
 - ⑤ VAN ACCESSIBLE PARKING STALL SIGN
 - ⑥ HVAC GARAGE EXHAUST FAN - SEE MECHANICAL
 - ⑦ HVAC GARAGE INTAKE FAN - SEE MECHANICAL

PARKING COUNTS

REGULAR PARKING STALLS	60
SMALL CAR STALLS	8
VAN ACCESSIBLE STALLS	1
ACCESSIBLE STALLS	1
TOTAL PARKING STALLS	70
BIKE STALLS	
LONG TERM FLOOR MOUNTED	42
LONG TERM WALL MOUNTED	28
TOTAL BIKE STALLS	70

PRELIMINARY
NOT FOR CONSTRUCTION

1720 Monroe Street
Urban Land Interest

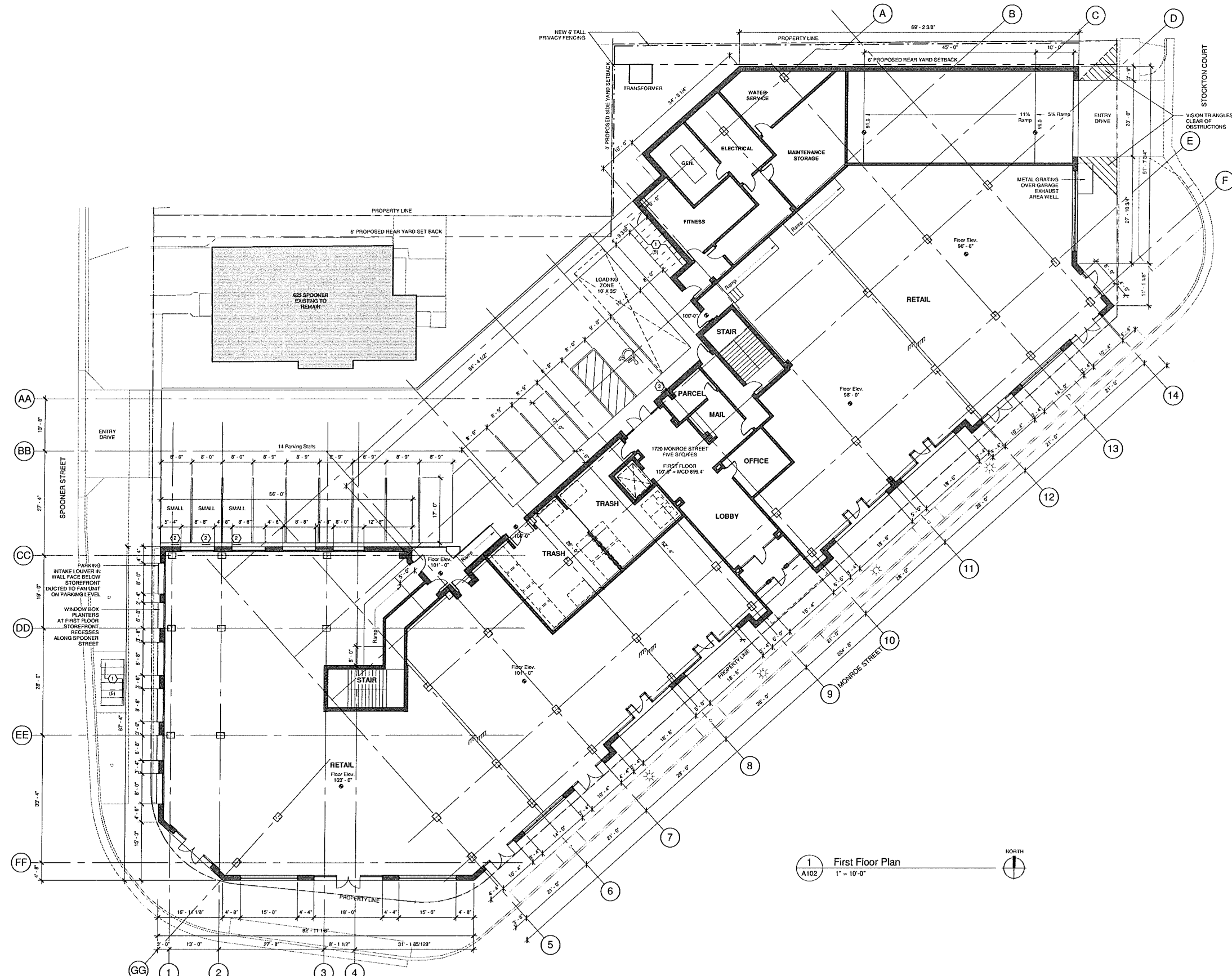
2017.09.00

Date	Revisions	Symbol
11/03/2017	LAND USE APPLICATION	

1 Parking Level Plan
A101 3/32" = 1'-0"

Parking Level Plan

A101



Notes:

- KEY NOTES**
- ① HORIZONTAL GROUND MOUNTED BIKE STALL 2' X 6'
 - ② SMALL CAR PARKING STALL SIGN
 - ③ ACCESSIBLE PARKING STALL SIGN

SURFACE PARKING

REGULAR PARKING STALLS	10
SMALL CAR STALLS	3
ACCESSIBLE STALLS	1
TOTAL PARKING STALLS	14

BIKE STALLS

RESIDENTIAL VISITOR STALLS	7
RETAIL VISITOR STALLS	8
TOTAL BIKE STALLS	15

PARKING BELOW GRADE

REGULAR PARKING STALLS	50
SMALL CAR STALLS	8
VAN ACCESSIBLE STALLS	1
ACCESSIBLE STALLS	1
TOTAL PARKING STALLS	70

BIKE STALLS

LONG TERM FLOOR MOUNTED	42
LONG TERM WALL MOUNTED	28
TOTAL BIKE STALLS	70

SITE TOTALS

REGULAR PARKING STALLS	70
SMALL CAR STALLS	11
VAN ACCESSIBLE STALLS	1
ACCESSIBLE STALLS	2
TOTAL PARKING STALLS	84

BIKE STALLS

LONG TERM	70
VISITOR	15
TOTAL BIKE STALLS	85

PRELIMINARY
NOT FOR CONSTRUCTION

1720 Monroe Street
Urban Land Interest

2017.09.00

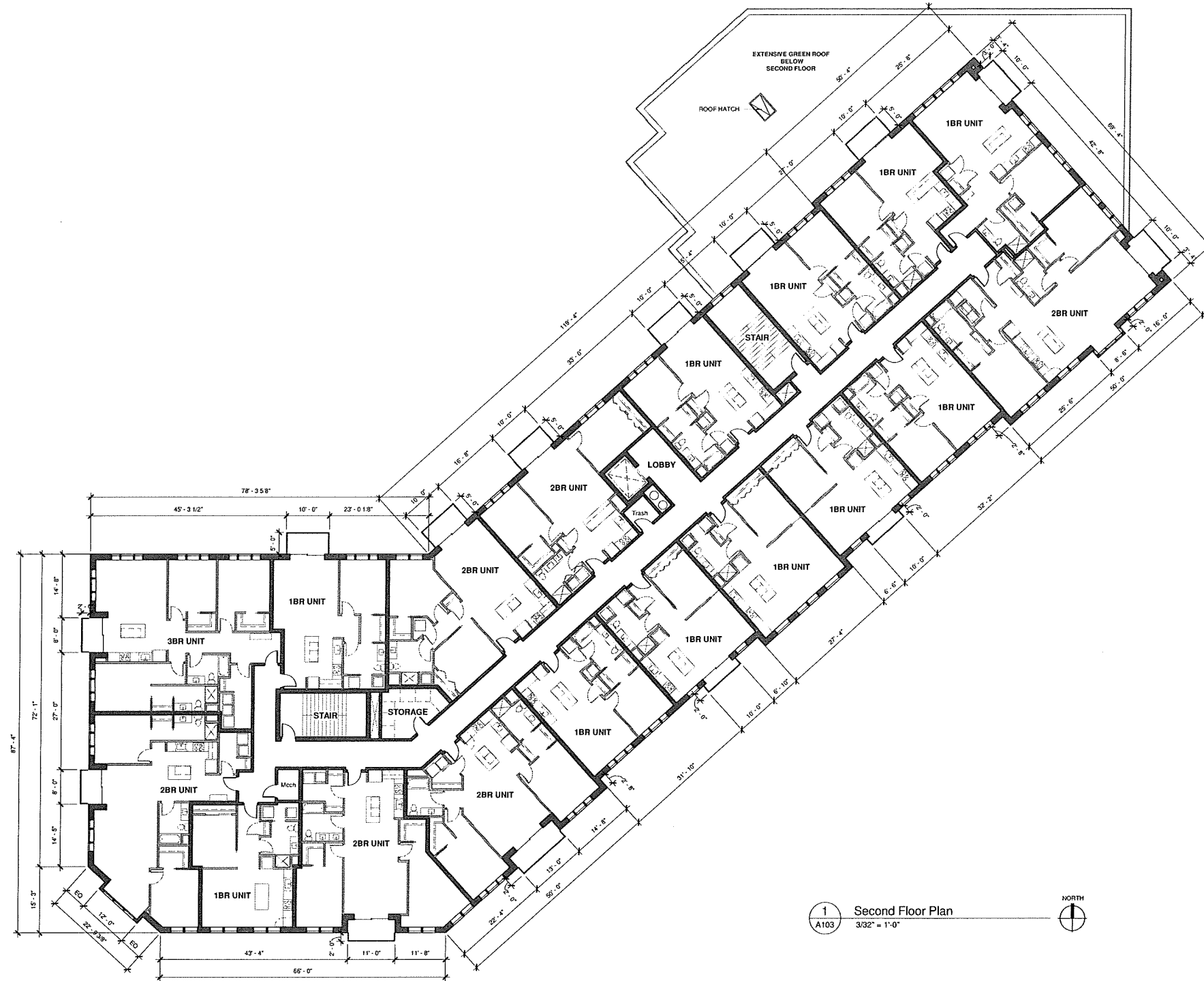
Date	Revisions/Comments	Symbol
11/29/2017	LAND USE APPLICATION	

1 First Floor Plan
A102 1" = 10'-0"



First Floor Plan

A102



Notes:

Units	Floors	2nd	3rd	4th	5th	Totals
1BR		11	11	11	2	35
2BR		6	6	6	8	26
3BR		1	1	1	1	4
Total Units		18	18	18	11	65
Total Bedrooms		26	26	20	21	99

PRELIMINARY
NOT FOR CONSTRUCTION

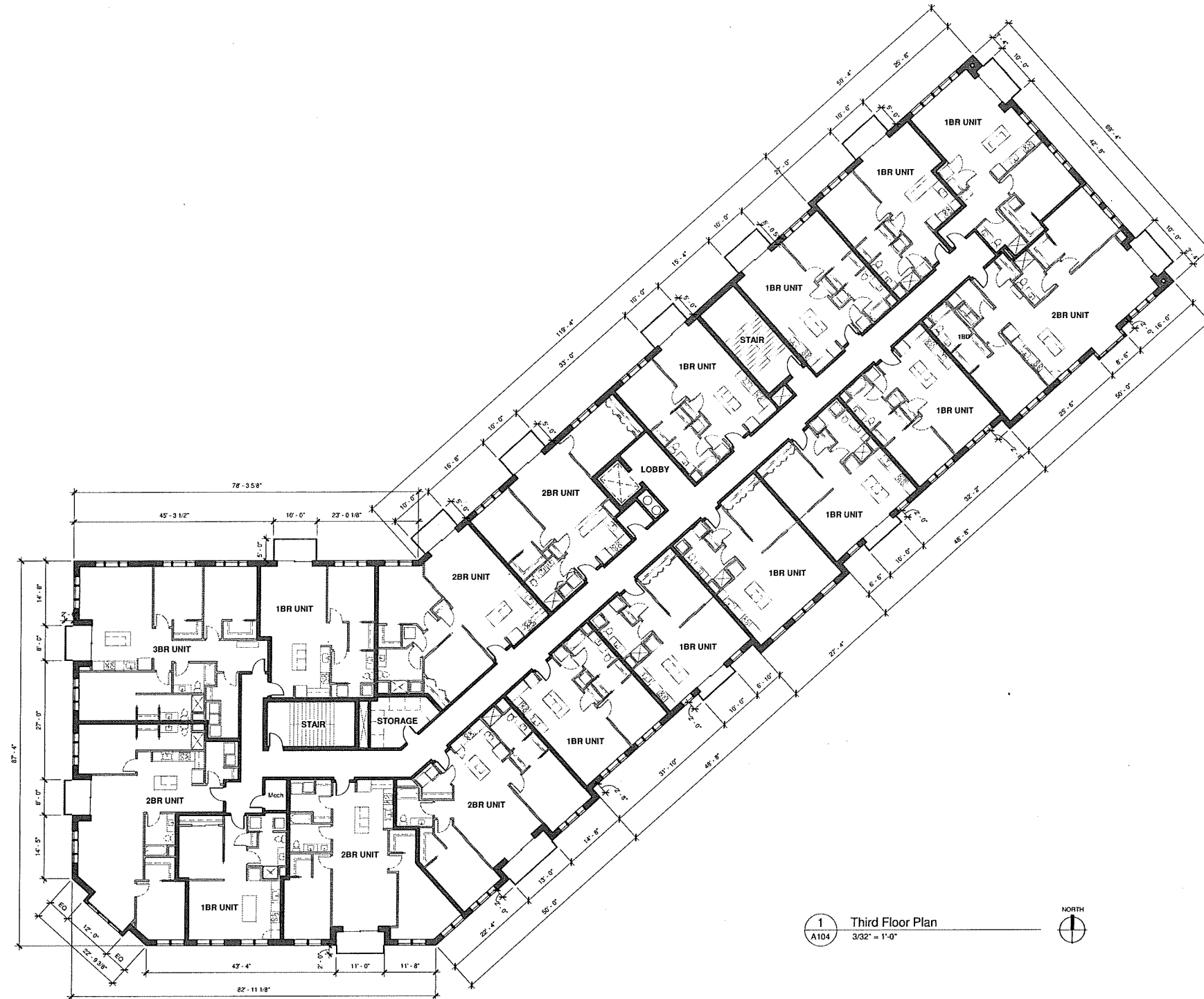
1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Revisions	Symbol
11/02/2017	LAND USE APPLICATION	

Second Floor Plan

A103



1 Third Floor Plan
A104 3/32" = 1'-0"

Notes:

Units	Floors	2nd	3rd	4th	5th	Totals
1BR		11	11	11	2	35
2BR		6	6	8	2	22
3BR		1	1	1	1	4
Total Units		18	18	20	5	61
Total Bedrooms		26	26	26	21	99

PRELIMINARY
NOT FOR CONSTRUCTION

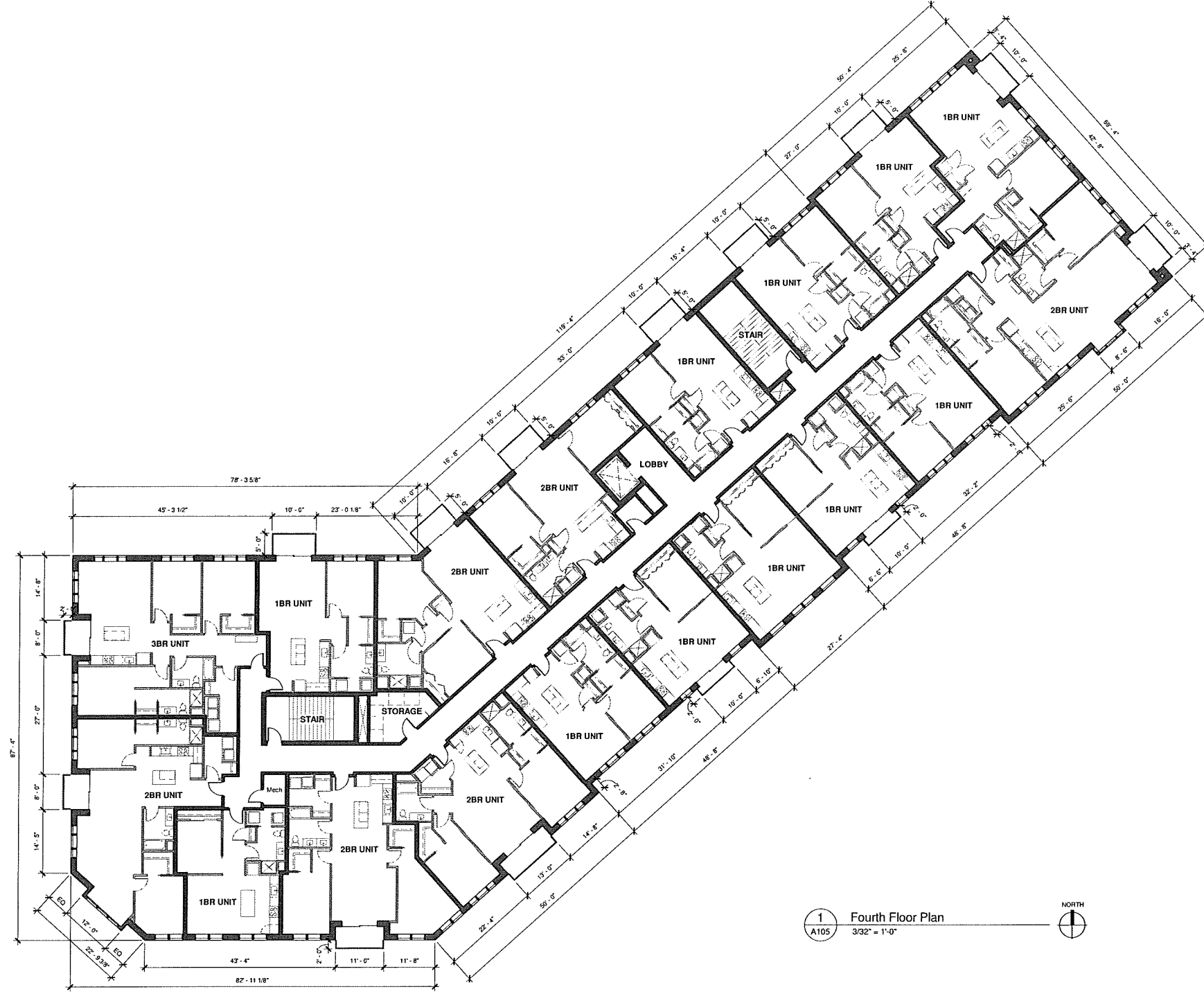
1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Revised/Revision	Symbol
11/02/2017	LAND USE APPLICATION	

Third Floor Plan

A104



Notes:

Units	Floors	2nd	3rd	4th	5th	Totals
1BR		11	11	11	2	35
2BR		6	6	8	2	26
3BR		1	1	1	1	4
Total Units		18	18	18	11	65
Total Bedrooms		26	26	26	21	99

PRELIMINARY
NOT FOR CONSTRUCTION

1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Revisions/Revisions	Symbol
11/02/2017	LAND USE APPLICATION	

Fourth Floor Plan

A105

Notes:

Units	Floors	2nd	3rd	4th	5th	Totals
1BR		11	11	11	2	35
2BR		6	6	8	8	28
3BR		1	1	1	1	4
Total Units		18	18	19	11	65
Total Bedrooms		20	20	20	21	81

PRELIMINARY
NOT FOR CONSTRUCTION

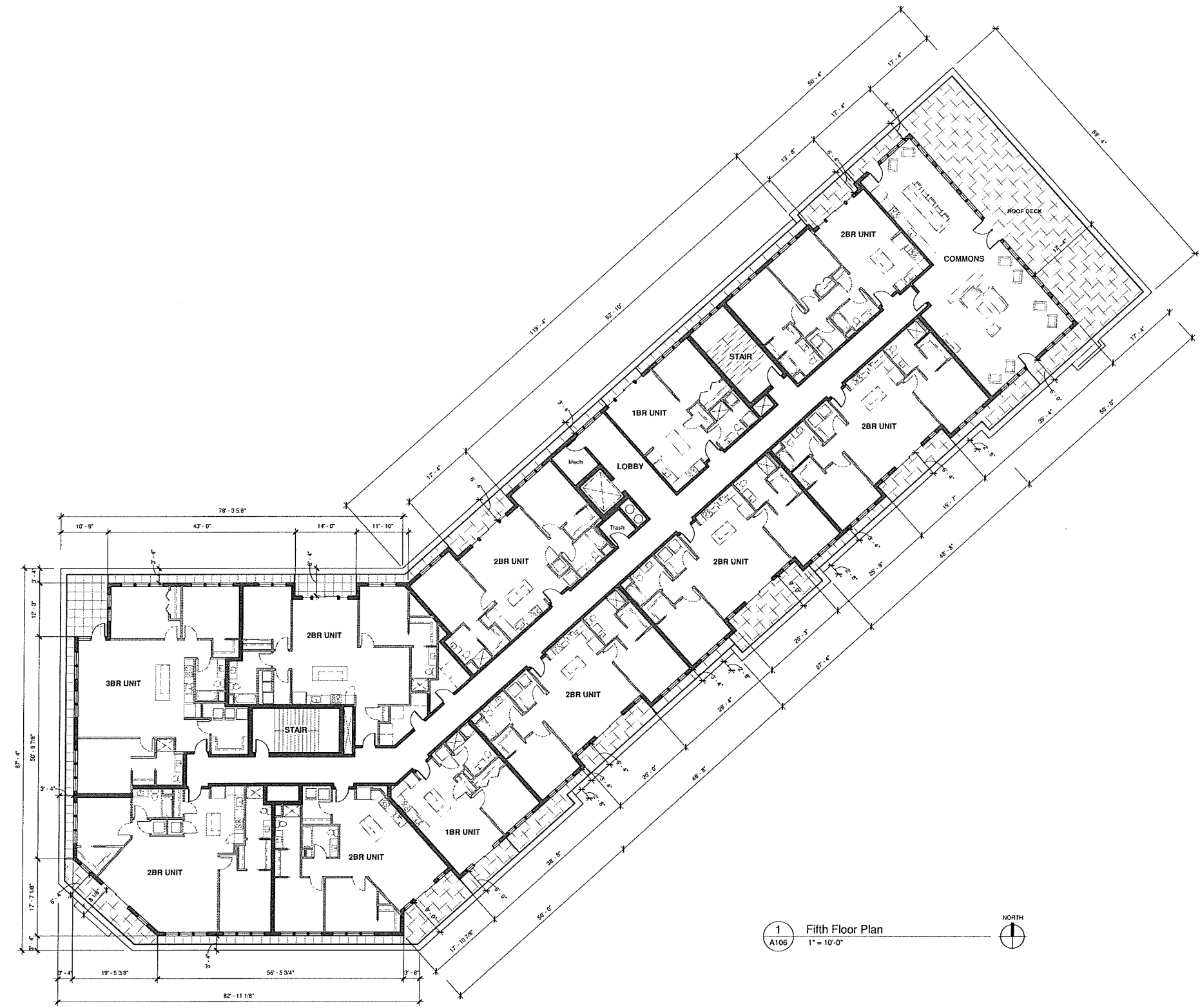
1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Issuance/Revisions	Symbol
11/03/2017	LAND USE APPLICATION	

Fifth Floor Plan

A106



Notes:

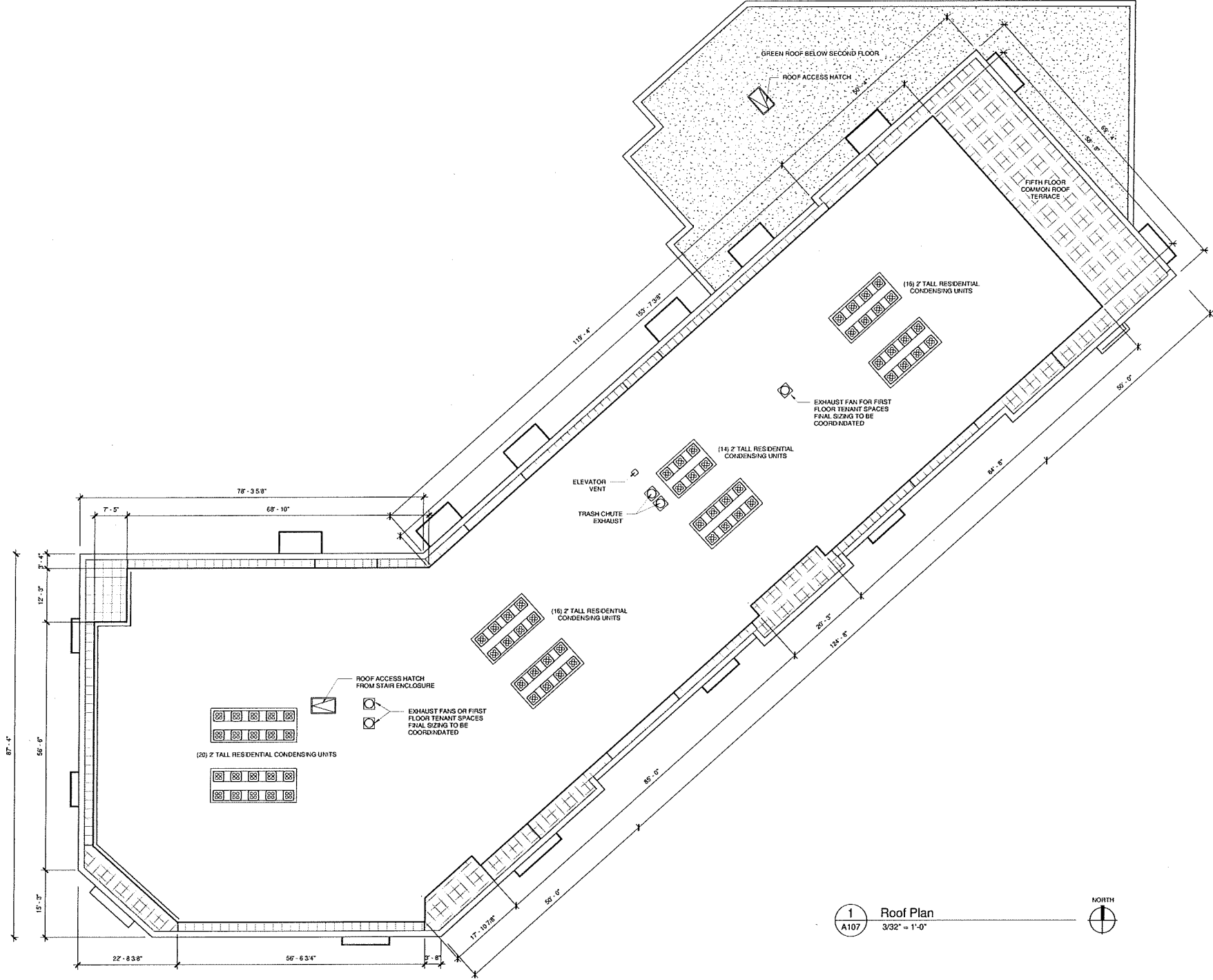
PRELIMINARY
NOT FOR CONSTRUCTION

1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Issuance/Revisions	Symbol

Roof Plan





1 Monroe Street (East) Elevation
A201 3/32" = 1'-0"



3 West Lawn Avenue (South) Elevation
A201 3/32" = 1'-0"



2 North Elevation
A201 3/32" = 1'-0"



5 Northwest Elevation
A201 3/32" = 1'-0"



4 Spooner Street (West) Elevation
A201 3/32" = 1'-0"

KEYNOTES:

- 1 BRICK TYPE 1
- 2 BRICK TYPE 2
- 3 CAST STONE
- 4 VERTICAL METAL WALL PANELS
- 5 ACCENT METAL PANELS
- 6 METAL CLAD BALCONIES WITH ALUMINUM RAILINGS
- 7 ALUMINUM STOREFRONT
- 8 AWNING
- 9 CAST STONE ACCENT BANDING
- 10 CAST STONE COPING OR CORNICE
- 11 DECORATIVE ALUMINUM RAILING
- 12 STEEL ENTRY CANOPY
- 13 HIGH SPEED ROLLING GARAGE DOOR WITH VISION GLASS
- 14 ALUMINUM WALL LOUVER
- 15 METAL WINDOW PLANTER BOXES
- 16 DECORATIVE GLASS
- 17 METAL WALL COPING
- 18 PAINTED STEEL ACCENT ELEMENTS
- 19 PATIO DOOR
- 20 WINDOW UNIT
- 21 HM DOOR

RETAIL STOREFRONTS AND SIGNAGE SHOWN ARE FOR DESIGN INTENT & LOCATIONS ONLY. FINAL RETAIL STOREFRONTS & SIGNAGE WILL BE SUBMITTED FOR APPROVAL BY TENANTS AT A FUTURE DATE.

PRELIMINARY
NOT FOR CONSTRUCTION

1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Issuance/Revisions	Symbols
11/20/2017	LAND USE APPLICATION	

Building Elevations

11/20/2017 7:08:37 AM



MONROE & GRANT STREET INTERSECTION



SPOONER STREET & WEST LAWN AVENUE INTERSECTION



MONROE STREET SIDEWALK - LOOKING NORTH



MONROE & STOCKTON INTERSECTION - LOOKING SOUTH



MONROE STREET FACADE

PRELIMINARY
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1720 Monroe Street
Urban Land Interest

2017.09.00

Date	Issuance/Revisions	Symbol
11/20/2017	LAND USE APPLICATION	

**Building
Perspective Views**