

ASSISTED LIVING, CLARE BRIDGE CROSSINGS & CLARE BRIDGE OF MADISON

413 & 429 SOUTH YELLOWSTONE DRIVE
MADISON, WI 53719



SITE PLAN APPROVAL SHEET INDEX	
TS	TITLE SHEET
SURVEY	PLAT OF SURVEY & TOPOGRAPHIC SURVEY
C100	EXISTING & DEMOLITION SITE PLAN
C110	SITE DEVELOPMENT PLAN
C111	RENDERED SITE DEVELOPMENT PLAN
C120	SITE DETAILS
C200	CIVIL EXISTING SITE CONDITIONS
C201	CIVIL SITE DEMOLITION PLAN
C202	CIVIL SITE GRADING PLAN
C203	CIVIL SITE UTILITY PLAN
C204	CIVIL CONSTRUCTION DETAILS
C205	CIVIL CONSTRUCTION DETAILS
C206	CIVIL CONSTRUCTION DETAILS
C207	CIVIL CONSTRUCTION DETAILS
L100	PROPOSED LANDSCAPE PLAN
E001	ELECTRICAL SITE LIGHTING CALCULATION PLAN
E002	ELECTRICAL SITE LIGHTING CUT SHEETS
D210	1ST FLOOR EXISTING/DEMOLITION PLAN
D211	2ND FLOOR EXISTING/DEMOLITION PLAN
A210	1ST FLOOR RENOVATED CLARE BRIDGE CROSSINGS FLOOR PLAN
A211	2ND FLOOR RENOVATED CLARE BRIDGE PLAN
A212	1ST FLOOR NEW ASSISTED LIVING FLOOR PLAN
A213	2ND FLOOR NEW ASSISTED LIVING FLOOR PLAN
A214	3RD FLOOR NEW ASSISTED LIVING FLOOR PLAN
A300	CLARE BRIDGE CROSSINGS / CLARE BRIDGE EXTERIOR ELEVATIONS
A301	CLARE BRIDGE CROSSINGS / CLARE BRIDGE EXTERIOR ELEVATIONS
A302	NEW ASSISTED LIVING EXTERIOR ELEVATIONS
A303	NEW ASSISTED LIVING EXTERIOR ELEVATIONS

PARKING LOT PLAN SITE INFORMATION BLOCK	
SITE ADDRESS	413 & 429 SOUTH YELLOWSTONE DRIVE, MADISON, WI 53719
SITE ACREAGE (TOTAL)	4.06 ACRES
NUMBER OF BUILDING STORIES (ABOVE GRADE)	EXISTING - 2 STORIES NEW - 3 STORIES
BUILDING HEIGHT	55' - 0" TOP OF RIDGE
DILHR TYPE OF CONSTRUCTION (NEW CONSTRUCTION OR ADDITIONS)	EXISTING - TYPE 8, WOOD FRAME UNPROTECTED NEW - TYPE 1A, NON-COMBUSTIBLE PROTECTED
TOTAL GROSS SF OF BUILDING	95,340 SF
USE OF PROPERTY	HOME FOR THE AGED
GROSS SF OF OFFICE	NA
GROSS SF OF RETAIL AREA	NA
# OF EMPLOYEES IN WAREHOUSE	NA
# OF EMPLOYEES IN PRODUCTION AREA	NA
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY	NA
# OF BICYCLE STALLS SHOWN	3
NUMBER OF PARKING STALLS SHOWN	
SMALL CAR	0
LARGE CAR	71
ACCESSIBLE	4
TOTAL	75
NUMBER OF TREES SHOWN	EXISTING - 7 PROPOSED - 16



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12




DRAWN BY CHECKED
BMC | PDJ

SHEET TITLE
TITLE SHEET
& INDEX

SHEET NUMBER
copyright © 2012

TS

NOT FOR CONSTRUCTION
DD PROGRESS SET

CONSULTANTS			OWNER	LOCATION MAP	VICINITY MAP
<p>CIVIL/LANDSCAPE: VIERBICHER PLANNERS/ENGINEERS 999 FOURIER DRIVE, SUITE 201 MADISON, WI 53717 PHONE: 608-626-0532 FAX NUMBER: TIMOTHY SCHLEEPEER/SUZANNE VINCENT</p> <p>MECHANICAL/PLUMBING/FIRE ENGINEER: PSJ ENGINEERING, INC. 6000 GISHOLT DRIVE, SUITE 201 MADISON, WI 53713 PHONE: 608-223-9040 FAX NUMBER: 608-223-9040 JESSE JASPAL, PE</p>	<p>STRUCTURAL: AMBROSE ENGINEERING, INC. W66 N215 COMMERCE CT. S-100 CEDARBURG, WI 53012 PHONE: 262-377-7602 FAX NUMBER: 262-377-4868 TOM DEKKER</p> <p>ELECTRICAL: DOLAN & DUSTIN, INC. 1011 NORTH MAYFAIR ROAD, SUITE 206 MILWAUKEE, WI 53226 PHONE: 414-774-4543 FAX NUMBER: JAMES KNOERR</p>	<p>ARCHITECT/INTERIORS: PDC MIDWEST, INC. 1130 JAMES DR., SUITE 106 HARTLAND, WI 53029 PHONE: 262-367-7770 FAX: 262-367-7712 CONTACT: ROBERT GUMMER, NCARB, AIA</p> <p>FOOD SERVICE: TBD ADDRESS ADDRESS PHONE: FAX: CONTACT:</p>	<p>BROOKDALE SENIOR LIVING, INC. 6737 W. WASHINGTON ST. SUITE 2300 MILWAUKEE, WI 53214</p> 		



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED
BMC PDJ

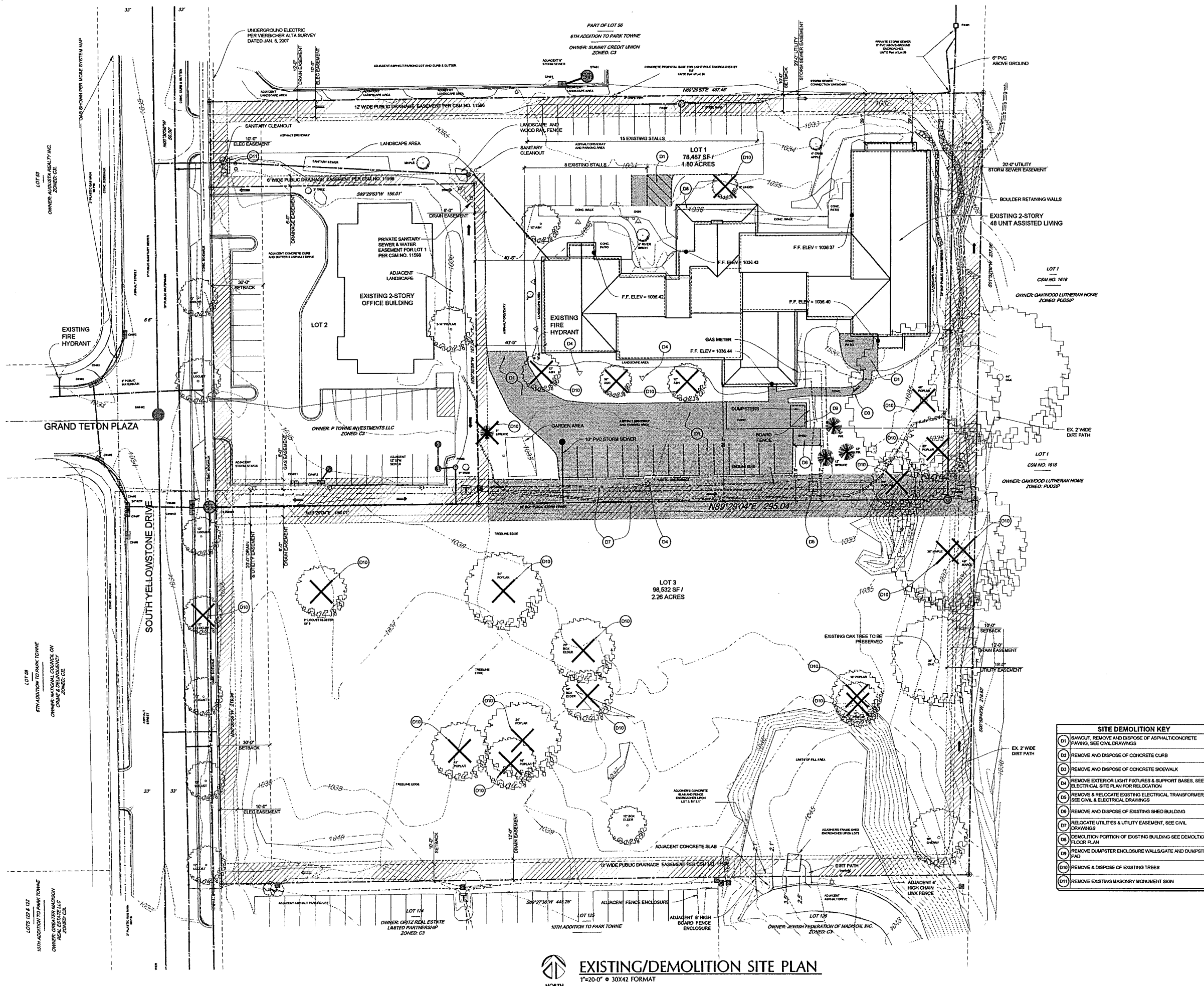
SHEET TITLE

EXISTING/
DEMOLITION
SITE PLAN

SHEET NUMBER
C100
copyright © 2012

C100

NOT FOR CONSTRUCTION
DD PROGRESS SET



SITE DEMOLITION KEY	
D1	SAWCUT, REMOVE AND DISPOSE OF ASPHALT/CONCRETE PAVING, SEE CIVIL DRAWINGS
D2	REMOVE AND DISPOSE OF CONCRETE CURB
D3	REMOVE AND DISPOSE OF CONCRETE SIDEWALK
D4	REMOVE EXTERIOR LIGHT FIXTURES & SUPPORT BASES, SEE ELECTRICAL SITE PLAN FOR RELOCATION
D5	REMOVE & RELOCATE EXISTING ELECTRICAL TRANSFORMER, SEE CIVIL & ELECTRICAL DRAWINGS
D6	REMOVE AND DISPOSE OF EXISTING SHED BUILDING
D7	RELOCATE UTILITIES & UTILITY EASEMENT, SEE CIVIL DRAWINGS
D8	DEMOLITION PORTION OF EXISTING BUILDING SEE DEMOLITION FLOOR PLAN
D9	REMOVE DUMPSTER ENCLOSURE WALLS/GATE AND DUMPSTER PAD
D10	REMOVE & DISPOSE OF EXISTING TREES
D11	REMOVE EXISTING MASONRY MONUMENT SIGN



EXISTING/DEMOLITION SITE PLAN
1"=20'-0" • 30X42 FORMAT



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
BMC | PDJ

SHEET TITLE
RENDERED
SITE DEVELOPMENT
PLAN

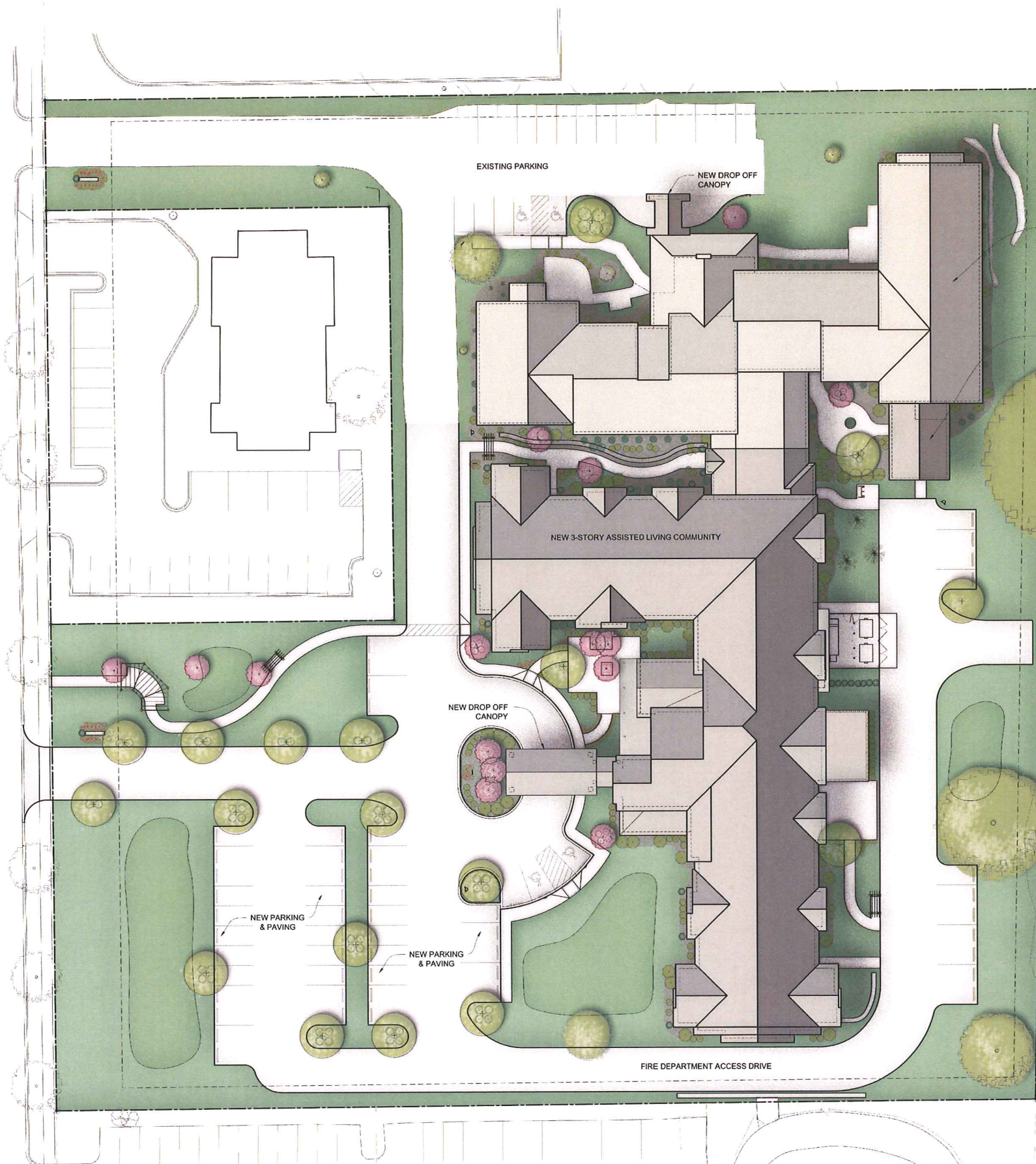
SHEET NUMBER
copyright © 2012

C111

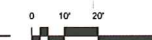
NOT FOR CONSTRUCTION
DD PROGRESS SET

GRAND TETON PLAZA

SOUTH YELLOWSTONE DRIVE



RENDERED SITE DEVELOPMENT PLAN
1"=20'-0" • 30X42 FORMAT





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO.	DATE
11025	12-05-12

DRAWN BY	CHECKED
BMC	PDJ

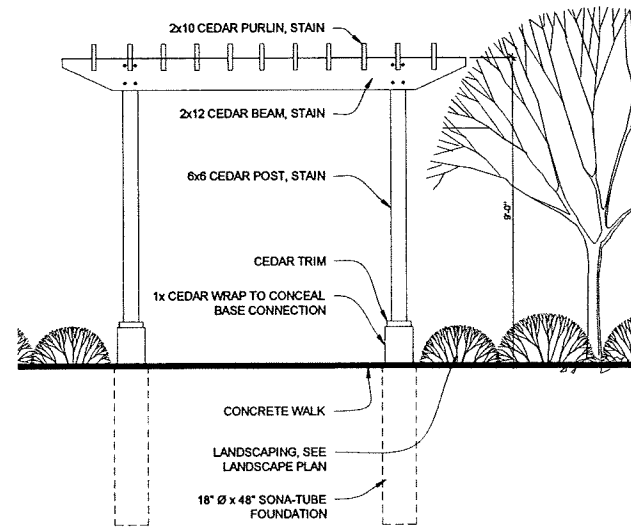
SHEET TITLE

SITE DETAILS

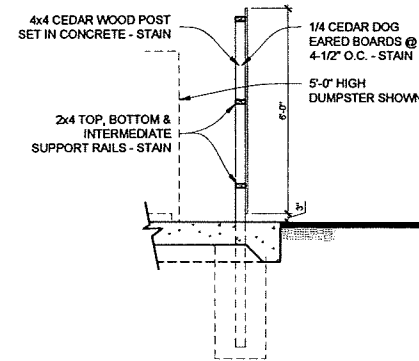
SHEET NUMBER
C120 copyright © 2012

C120

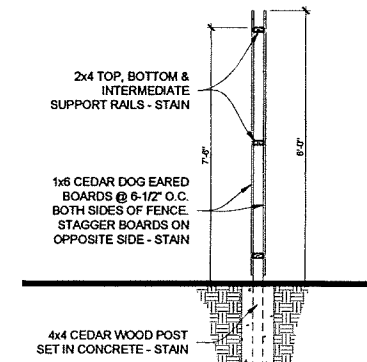
NOT FOR CONSTRUCTION
DD PROGRESS SET



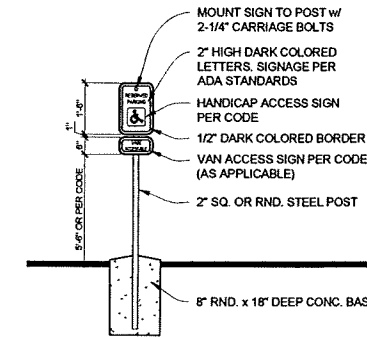
1 TYPICAL PERGOLA ELEVATION
C120 1/2" = 1'-0"



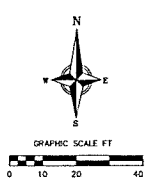
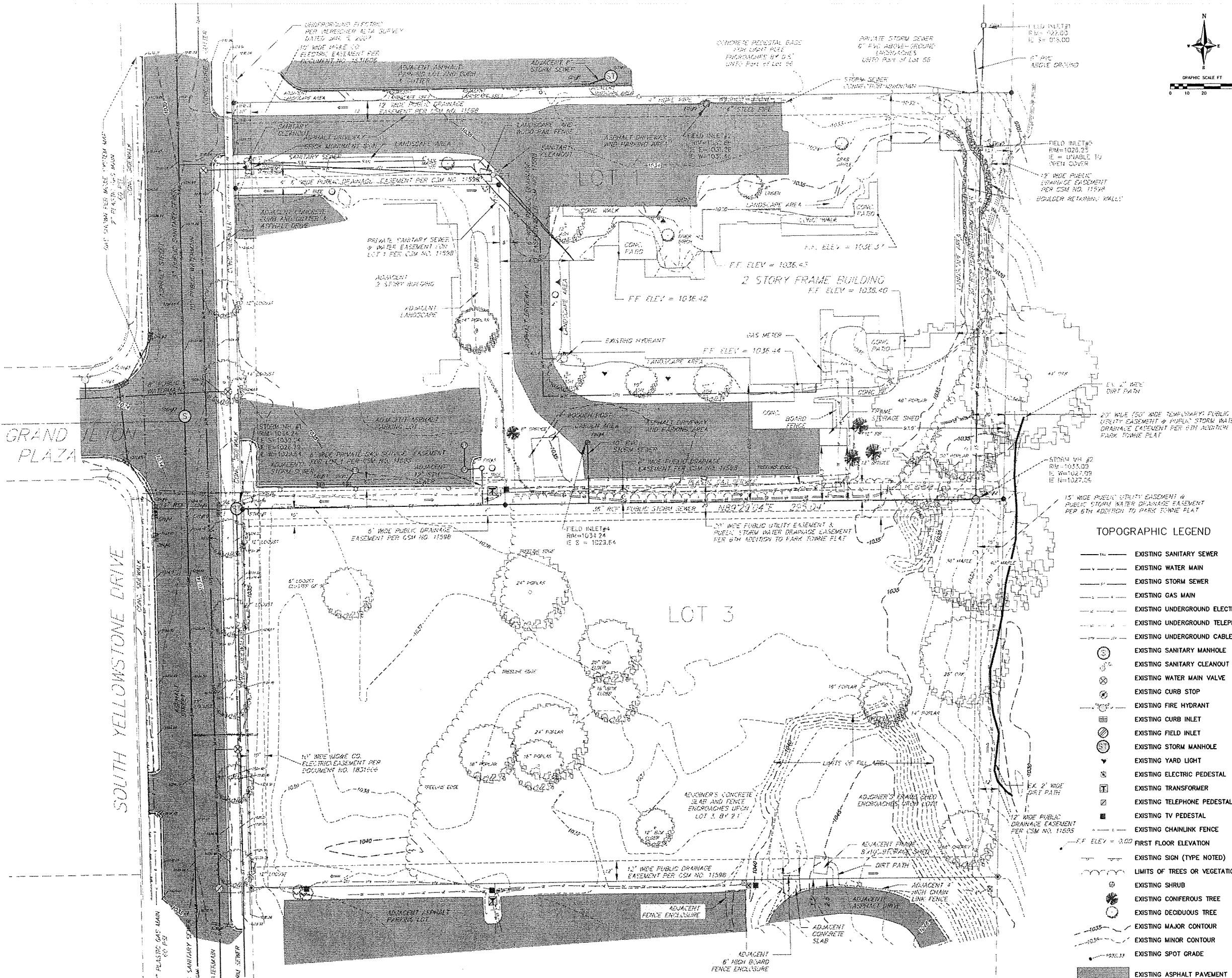
2 DUMPSTER ENCLOSURE FENCE
C120 1/2" = 1'-0"



3 TYPICAL COURTYARD FENCE
C120 1/2" = 1'-0"



4 ACCESSIBLE PARKING SIGNAGE
C120 1/2" = 1'-0"



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T: 262-367-7770
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



CONSULTANT
vierbicher
planner | engineer | architect
1000 W. WASHINGTON ST., SUITE 200
MADISON, WI 53703
PHONE: 608.261.1111 FAX: 608.261.1112

STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
ACAR | TSCH

SHEET TITLE
EXISTING SITE
CONDITIONS
PLAN

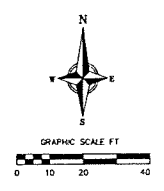
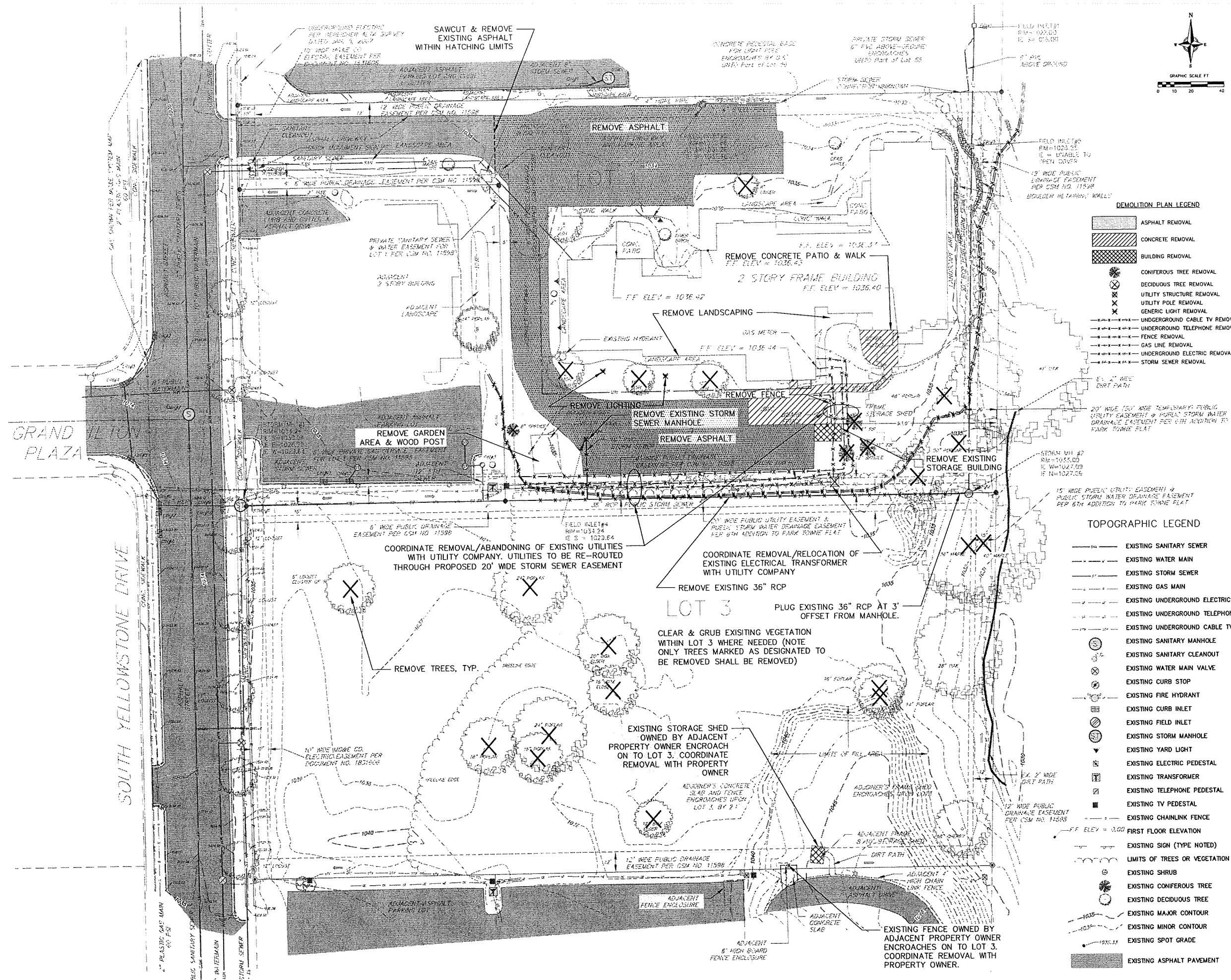
SHEET NUMBER
C200
copyright © 2012

C200

NOT FOR CONSTRUCTION
DD PROGRESS SET

TOPOGRAPHIC LEGEND

- — — — — EXISTING SANITARY SEWER
- — — — — EXISTING WATER MAIN
- — — — — EXISTING STORM SEWER
- — — — — EXISTING GAS MAIN
- — — — — EXISTING UNDERGROUND ELECTRIC
- — — — — EXISTING UNDERGROUND TELEPHONE
- — — — — EXISTING UNDERGROUND CABLE TV
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING SANITARY CLEANOUT
- ⊙ EXISTING WATER MAIN VALVE
- ⊙ EXISTING CURB STOP
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING CURB INLET
- ⊙ EXISTING FIELD INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING YARD LIGHT
- ⊙ EXISTING ELECTRIC PEDESTAL
- ⊙ EXISTING TRANSFORMER
- ⊙ EXISTING TELEPHONE PEDESTAL
- ⊙ EXISTING TV PEDESTAL
- ⊙ EXISTING CHAINLINK FENCE
- — — — — FIRST FLOOR ELEVATION
- — — — — EXISTING SIGN (TYPE NOTED)
- — — — — LIMITS OF TREES OR VEGETATION
- ⊙ EXISTING SHRUB
- ⊙ EXISTING CONIFEROUS TREE
- ⊙ EXISTING DECIDUOUS TREE
- — — — — EXISTING MAJOR CONTOUR
- — — — — EXISTING MINOR CONTOUR
- — — — — EXISTING SPOT GRADE
- — — — — EXISTING ASPHALT PAVEMENT



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T: 262-387-7770 F:
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



CONSULTANT
vierbicher | 
planning | engineering | architecture
1000 W. WASHINGTON ST., SUITE 1000
MADISON, WISCONSIN 53703

STATUS
SITE PLAN APPROVAL
SUBMITTAL










PROJECT NO. DATE
11025 | 12-05-12

























DRAWN BY CHECKED
ACAR | TSCH

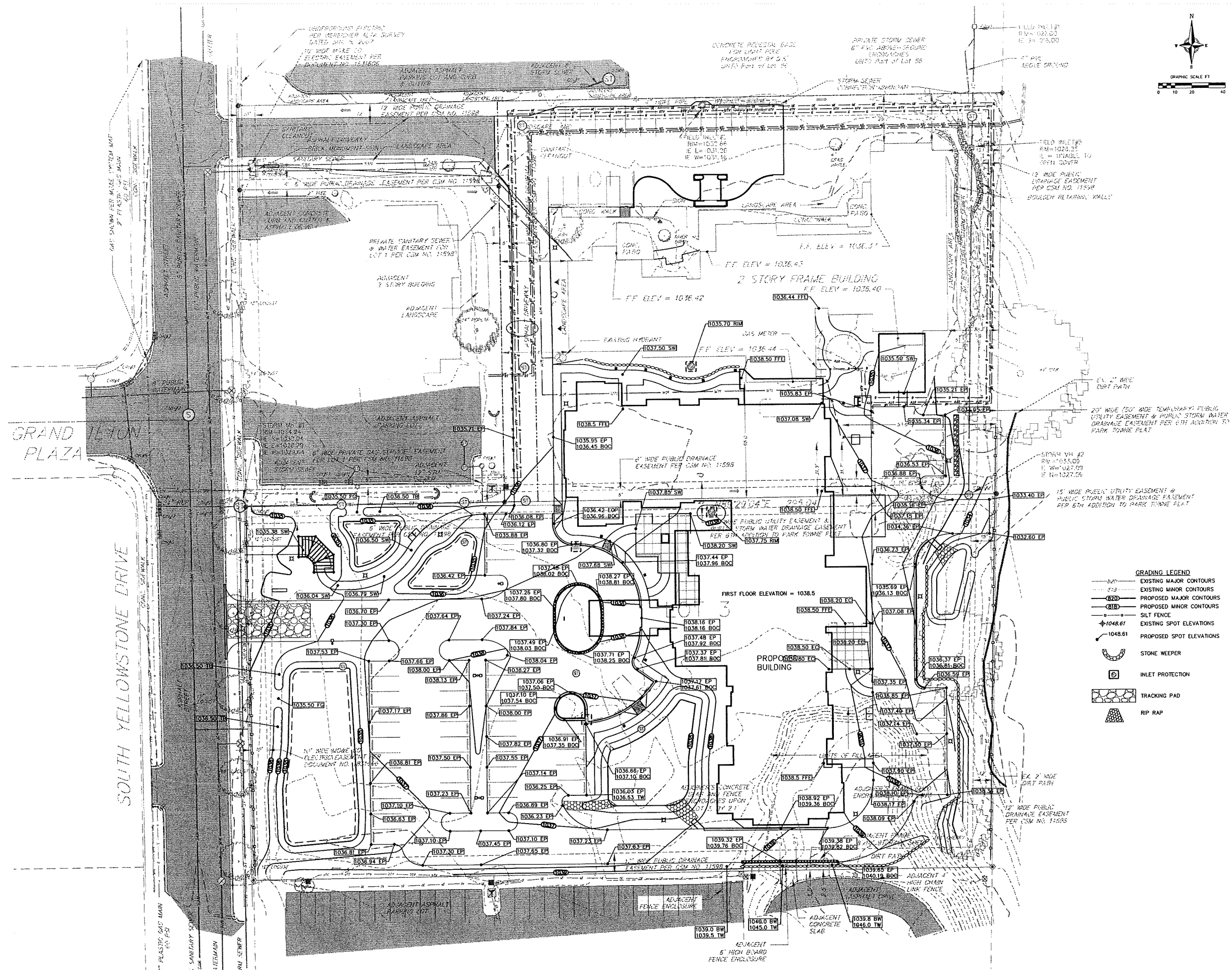
SHEET TITLE
SITE DEMOLITION
PLAN

SHEET NUMBER
C201
copyright © 2012

NOT FOR CONSTRUCTION
DD PROGRESS SET

- DEMOLITION PLAN LEGEND**
-  ASPHALT REMOVAL
 -  CONCRETE REMOVAL
 -  BUILDING REMOVAL
 - CONIFEROUS TREE REMOVAL
 - DECIDUOUS TREE REMOVAL
 - UTILITY STRUCTURE REMOVAL
 - UTILITY POLE REMOVAL
 - GENERIC LIGHT REMOVAL
 -  UNDERGROUND CABLE TV REMOVAL
 -  UNDERGROUND TELEPHONE REMOVAL
 -  FENCE REMOVAL
 -  GAS LINE REMOVAL
 -  UNDERGROUND ELECTRIC REMOVAL
 -  STORM SEWER REMOVAL

- TOPOGRAPHIC LEGEND**
-  EXISTING SANITARY SEWER
 -  EXISTING WATER MAIN
 -  EXISTING STORM SEWER
 -  EXISTING GAS MAIN
 -  EXISTING UNDERGROUND ELECTRIC
 -  EXISTING UNDERGROUND TELEPHONE
 -  EXISTING UNDERGROUND CABLE TV
 -  EXISTING SANITARY MANHOLE
 -  EXISTING SANITARY CLEANOUT
 -  EXISTING WATER MAIN VALVE
 -  EXISTING CURB STOP
 -  EXISTING FIRE HYDRANT
 -  EXISTING CURB INLET
 -  EXISTING FIELD INLET
 -  EXISTING STORM MANHOLE
 -  EXISTING YARD LIGHT
 -  EXISTING ELECTRIC PEDESTAL
 -  EXISTING TRANSFORMER
 -  EXISTING TELEPHONE PEDESTAL
 -  EXISTING TV PEDESTAL
 -  EXISTING CHAINLINK FENCE
 -  EXISTING SIGN (TYPE NOTED)
 -  LIMITS OF TREES OR VEGETATION
 -  EXISTING SHRUB
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SPOT GRADE
 - EXISTING ASPHALT PAVEMENT



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T: 262-367-7770
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



CONSULTANT
vierbicher | architects
planners | engineers | interior
designers | landscape architects
interior designers | landscape architects
interior designers | landscape architects

STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

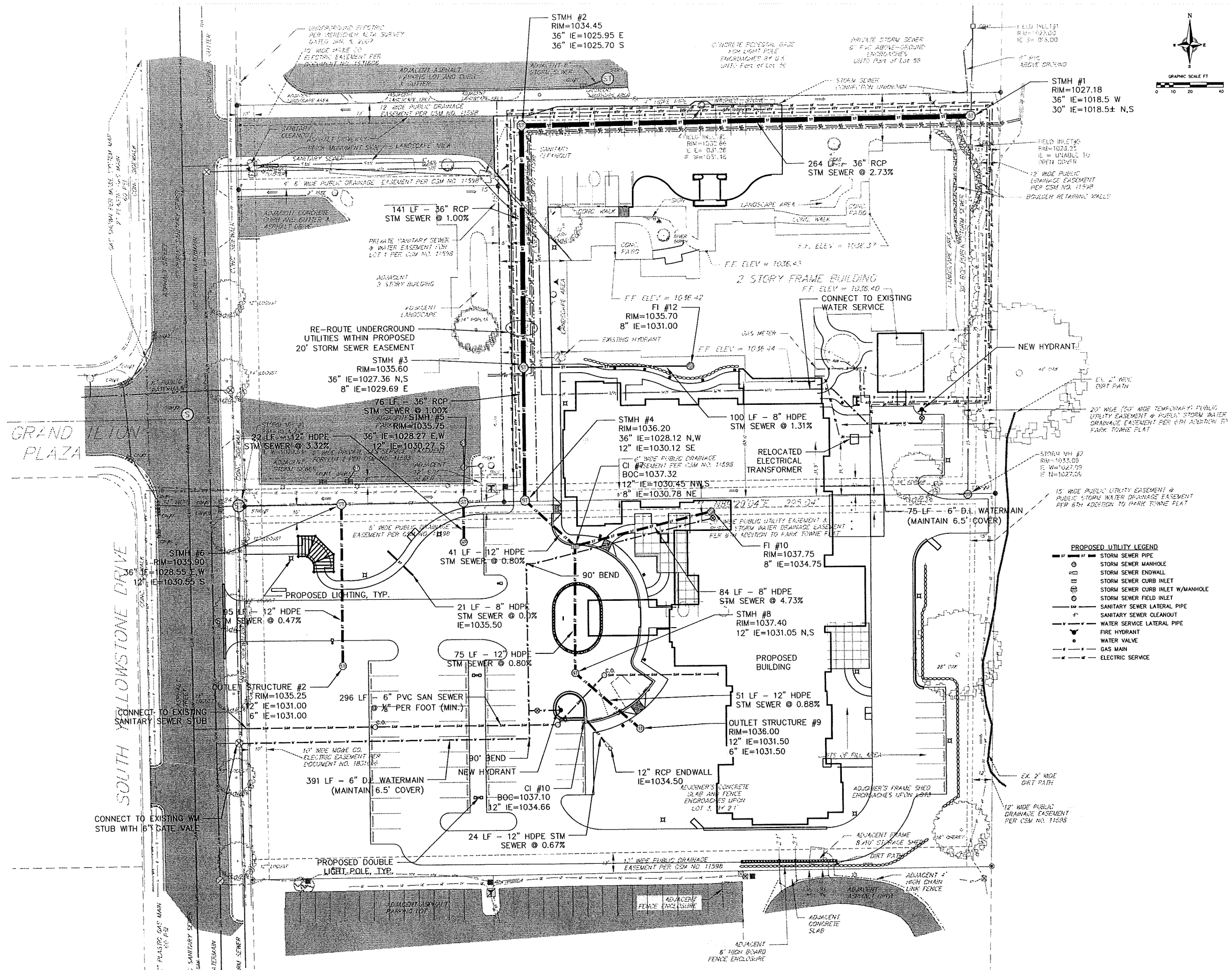
DRAWN BY CHECKED
RKOL | TSCH

SHEET TITLE
SITE GRADING
PLAN

SHEET NUMBER
C202
copyright © 2012

C202

NOT FOR CONSTRUCTION
DD PROGRESS SET



**PLANNING
DESIGN
CONSTRUCTION**

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 108
HARTLAND, WISCONSIN 53029
T: 262-367-7770
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

**BROOKDALE
SENIOR LIVING**

CONSULTANT
vierbicher |

STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
RKOL | TSCH

SHEET TITLE
SITE UTILITY
PLAN

SHEET NUMBER
C203
copyright © 2012

C203

**NOT FOR CONSTRUCTION
DD PROGRESS SET**



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 108
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F.
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214

BROOKDALE
SENIOR LIVING

CONSULTANT



STATUS

SITE PLAN
APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
ACAR | TSCH

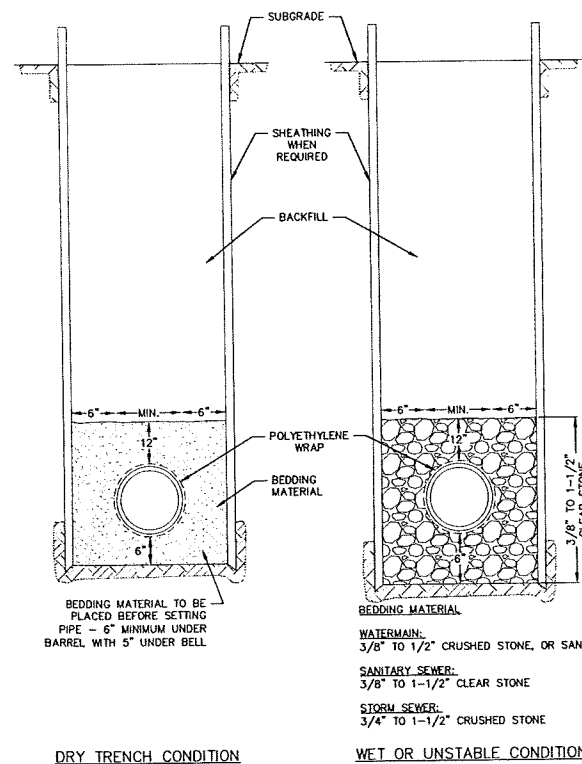
SHEET TITLE

CIVIL
CONSTRUCTION
DETAILS

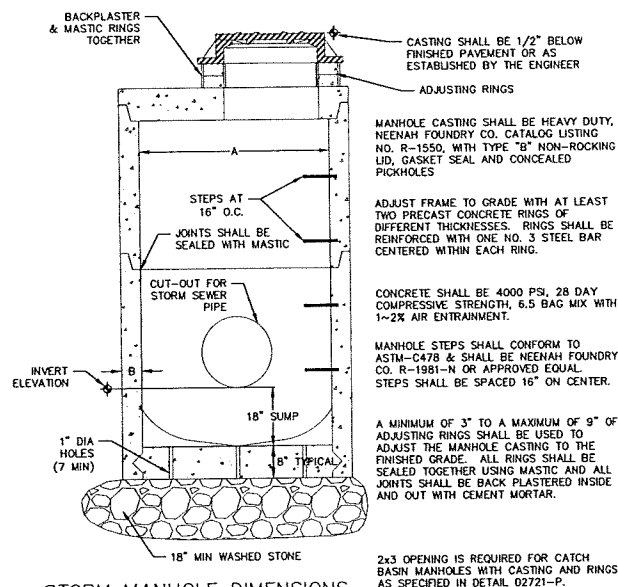
SHEET NUMBER
copyright © 2012

C204

NOT FOR CONSTRUCTION
DD PROGRESS SET



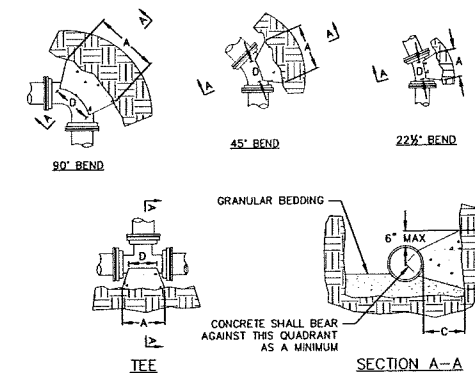
1 STANDARD TRENCH SECTION
C203 NOT TO SCALE



2 STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

2 STORM SEWER MANHOLE CATCH BASIN
C203 NOT TO SCALE



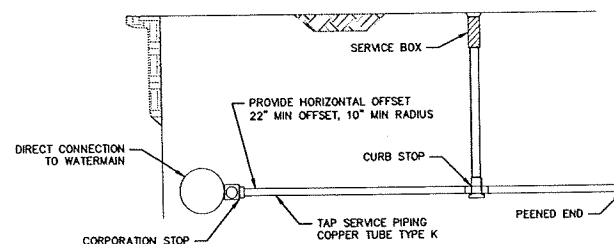
CONCRETE SHALL BE CLASS "CC", SEE SECTION 03301

PIPE SIZE	TEES	BUTTRESS DIMENSIONS			
		22.5° BEND	45° BEND	90° BEND	90° BEND
6"	1'-3"	1'-0"	1'-0"	1'-0"	1'-3"
8"	1'-5"	1'-4"	1'-0"	1'-4"	1'-10"
10/12"	2'-0"	1'-4"	1'-4"	1'-10"	2'-8"
14/16"	2'-6"	1'-10"	1'-8"	2'-6"	3'-10"
18/24"	3'-0"	2'-4"	2'-0"	3'-3"	5'-0"
22/24"	3'-4"	2'-10"	2'-4"	4'-0"	6'-4"
30"	4'-3"	3'-6"	3'-0"	5'-4"	8'-14"

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS/SQ FT

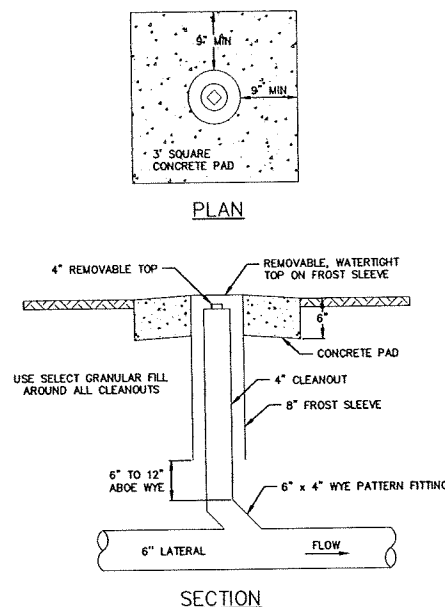
* = FOR TEE THIS WILL BE THE BRANCH PIPE

3 BUTTRESS FOR BENDS
C203 NOT TO SCALE



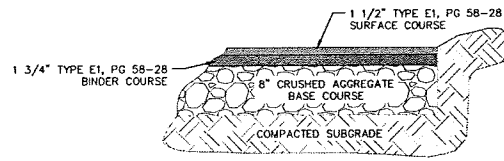
NOTE:
UNLESS OTHERWISE STATED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING BODY, ALL LATERALS SHALL BE INSTALLED TO A POINT TO BEYOND THE BACK OF ANY PROPOSED SIDEWALK OR 5 FEET BEYOND THE LIMITS OF ANY UTILITY EASEMENTS IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY, WHICHEVER IS GREATER. CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE LENGTH OF LATERAL REQUIRED FOR INSTALLATION AND THE REQUIRED TERMINATION POINT.

4 WATER SERVICE
C203 NOT TO SCALE



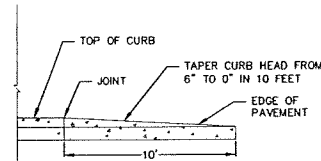
5 6" SANITARY CLEANOUT
C203 NOT TO SCALE

4 WATER SERVICE
C203 NOT TO SCALE



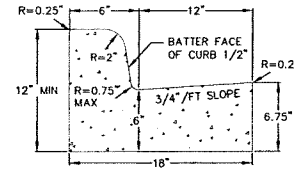
BITUMINOUS PAVEMENT
PARKING LOT

1 SITE PAVEMENT
C202 NOT TO SCALE

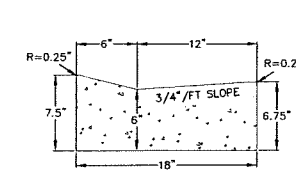


PROFILE VIEW

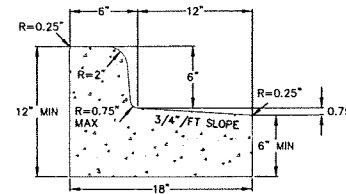
2 CURB & GUTTER TERMINATION
C202 NOT TO SCALE



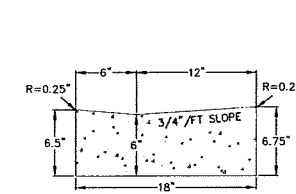
CURB AND GUTTER
CROSS SECTION



DRIVEWAY GUTTER
CROSS SECTION

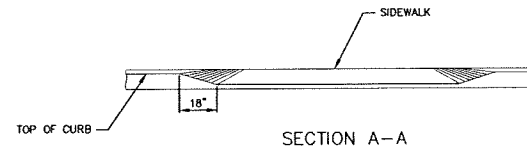


CURB AND GUTTER
REJECT SECTION

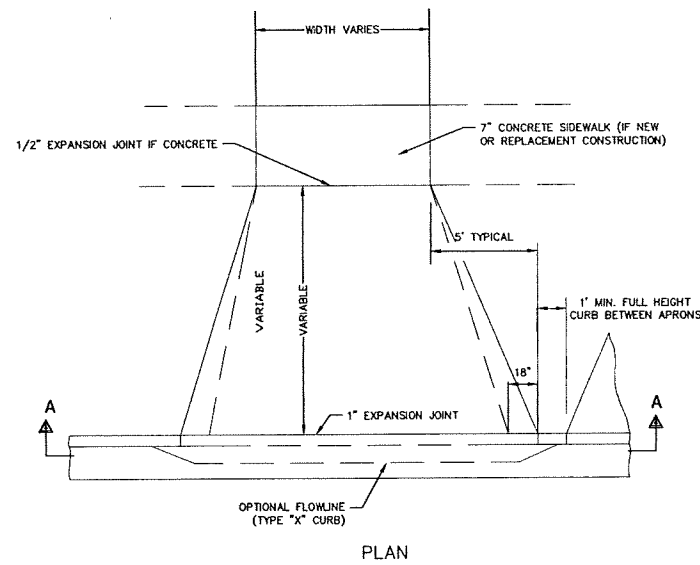


HANDICAP RAMP
GUTTER CROSS SECTION

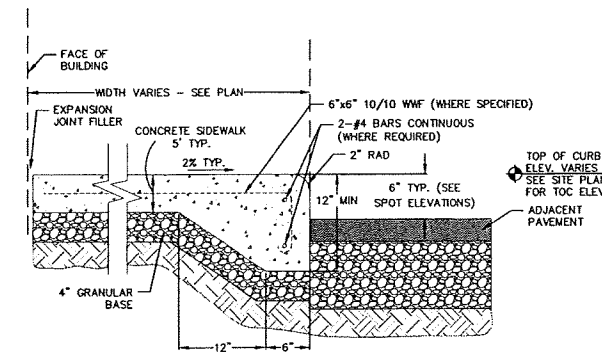
3 18" CONCRETE CURB & GUTTER
C202 NOT TO SCALE



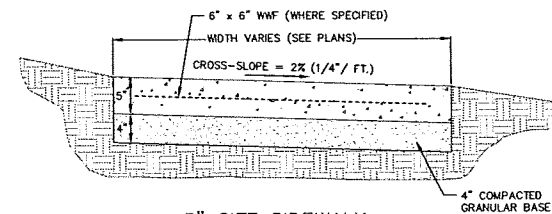
SECTION A-A



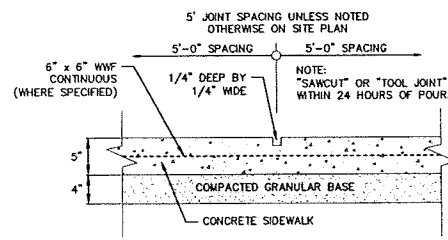
PLAN



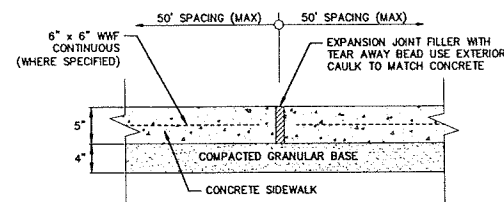
4 CURBED SIDEWALK DETAIL
C202 NOT TO SCALE



5" SITE SIDEWALK

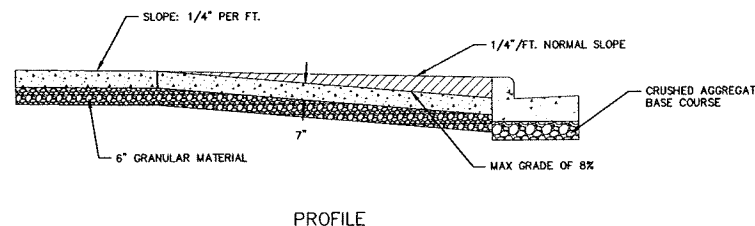


SIDEWALK CONTROL JOINT



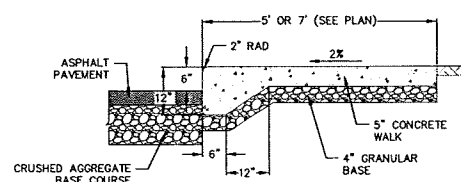
SIDEWALK EXPANSION JOINT

5 5" SIDEWALK
C202 NOT TO SCALE



PROFILE

6 COMMERCIAL DRIVE DETAIL
C202 NOT TO SCALE



7 CURBED SIDEWALK SITE DETAIL
C202 NOT TO SCALE



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 108
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F.
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



CONSULTANT

vierbicher | architects
planners | engineers | advisors
REG. ARCH. MADISON: PHILIP BLUMEN
REG. ENGR. MILWAUKEE: MICHAEL STOFF
PHOTO: SHANE WILSON FOR VIERBICHER

STATUS

SITE PLAN
APPROVAL
SUBMITTAL

PROJECT NO. DATE

11025 | 12-05-12

DRAWN BY CHECKED

ACAR | TSCB

SHEET TITLE

CIVIL
CONSTRUCTION
DETAILS

SHEET NUMBER

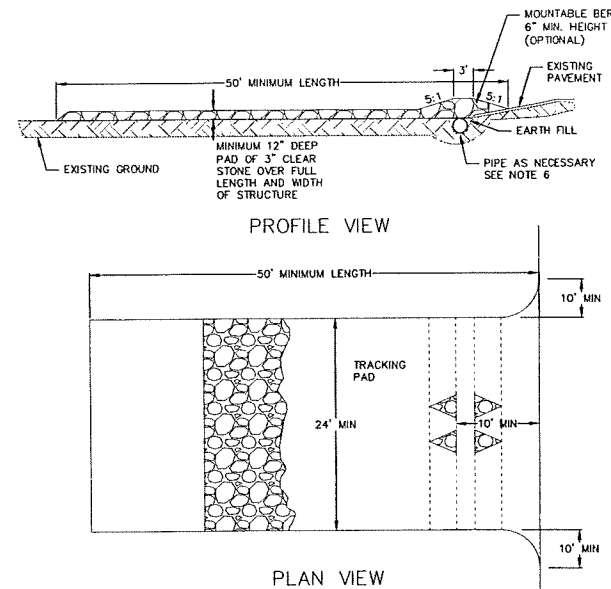
copyright © 2012

C205

NOT FOR CONSTRUCTION
DD PROGRESS SET

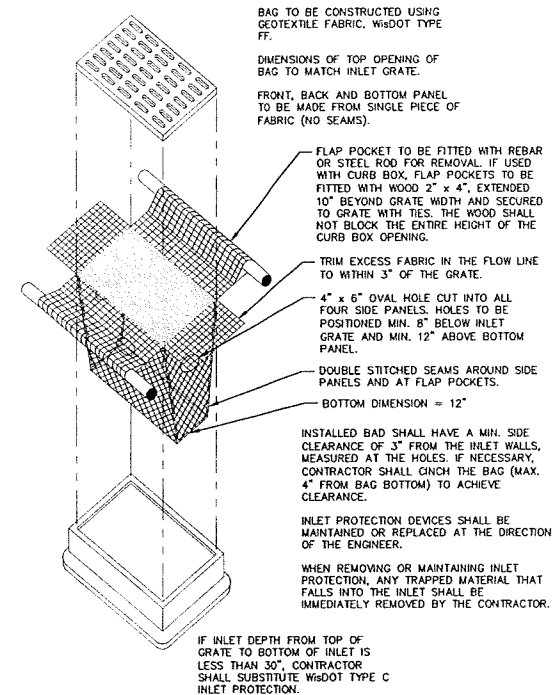
EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- WASHED STONE WEEDERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOO) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDING AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (TYPE 1 CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



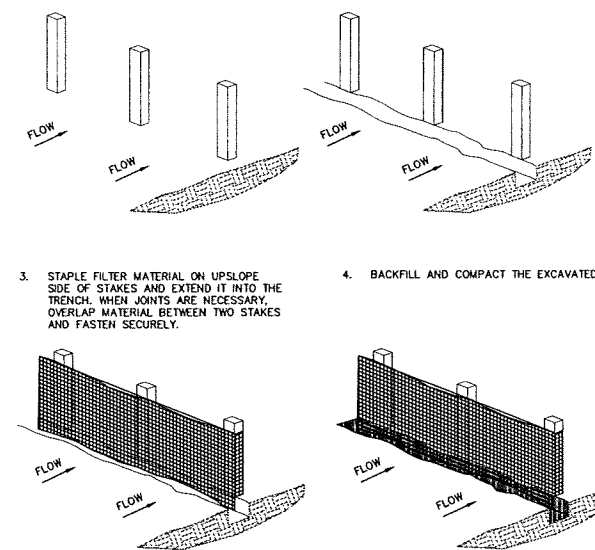
- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUNDWATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

8 TRACKING PAD
NOT TO SCALE



9 INLET PROTECTION TYPE D
NOT TO SCALE

- DRIVE STAKES INTO THE GROUND AT LEAST 8". STAKE SPACING TO BE PER MANUFACTURER'S RECOMMENDATIONS BUT IN NO CASE, MORE THAN 8' BETWEEN STAKES.
- EXCAVATE A 4" x 6" DEEP TRENCH UPSLOPE ALONG THE LINE OF STAKES.
- STAPLE FILTER MATERIAL ON UPSLOPE SIDE OF STAKES AND EXTEND IT INTO THE TRENCH. WHEN JOINTS ARE NECESSARY, OVERLAP MATERIAL BETWEEN TWO STAKES AND FASTEN SECURELY.
- BACKFILL AND COMPACT THE EXCAVATED SOIL.



10 CONSTRUCTION OF A FILTER BARRIER
NOT TO SCALE

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.
- FERTILIZING RATES:**
TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.
- MULCHING RATES:**
TEMPORARY AND PERMANENT:
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3. OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD.
- INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- PERFORM SITE DEMOLITION AND REMOVE PAVEMENT.
- STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
- ROUGH GRADE FOR BUILDING PADS AND WALKS.
- CONSTRUCT UNDERGROUND UTILITIES.
- INSTALL INLET PROTECTION ON NEW INLETS.
- CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
- FINAL GRADE SITE, INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
- REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.



PLANNING DESIGN CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T: 262-367-7770 F:
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING, CLARE BRIDGE CROSSINGS & CLARE BRIDGE OF MADISON

413 & 429 SOUTH YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



CONSULTANT



STATUS

SITE PLAN APPROVAL SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
ACAR | TSCH

SHEET TITLE

CIVIL CONSTRUCTION DETAILS

SHEET NUMBER
copyright © 2012

C206

NOT FOR CONSTRUCTION DD PROGRESS SET



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T 262-867-7770 F
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



CONSULTANT



STATUS

SITE PLAN
APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
ACAR | TSCH

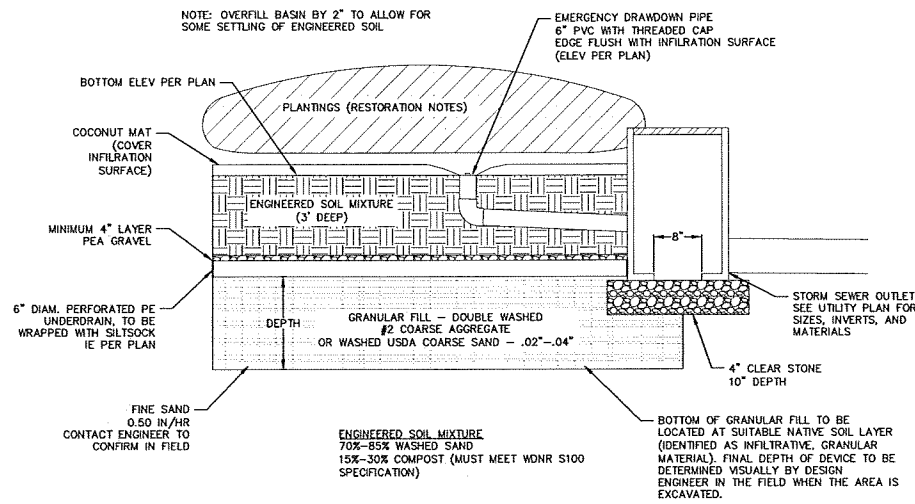
SHEET TITLE

CIVIL
CONSTRUCTION
DETAILS

SHEET NUMBER
copyright © 2012

C207

NOT FOR CONSTRUCTION
DD PROGRESS SET

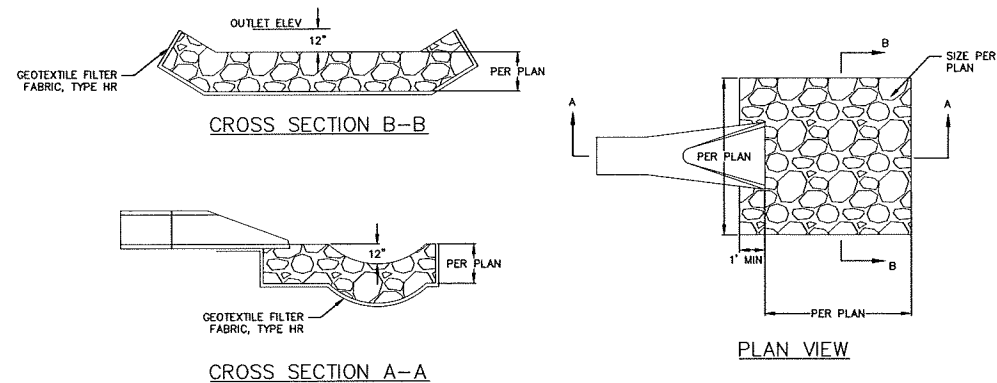


6 BIO-RETENTION BASIN
C203 NOT TO SCALE

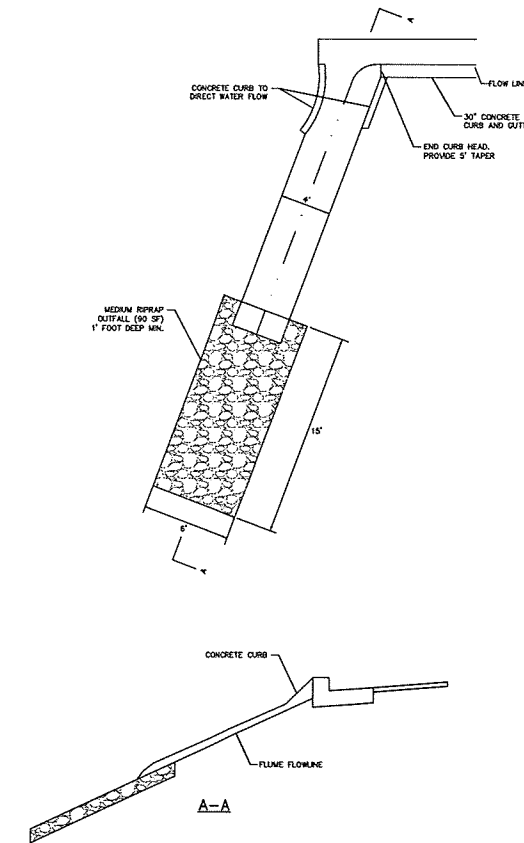
BIO-RETENTION AREA RESTORATION SPECIFICATIONS:
NOTE: BIO-RETENTION AREA MUST NOT BE CONSTRUCTED (INSTALLED) UNTIL THE SITE IS STABILIZED, I.E. THE GRASS COVER IS WELL ESTABLISHED.
BIO-RETENTION AREA MUST CONFORM TO WISCONSIN DNR TECHNICAL STANDARD 1004 (BIORETENTION FOR INFILTRATION)
USE RAINWATER GARDEN LIVE NATIVE PLANT PLUGS FROM AGRECOL (SUNNY, SHORT, OR MEDIUM STATURE) - OR ENGINEER APPROVED EQUAL.
PLANT PLUGS AT 1 PER SQUARE FOOT.

PLANTING MULCH AND MAINTENANCE NOTES:
PLANTING SHOULD TAKE PLACE BETWEEN AVAILABILITY OF PLANTS IN SPRING AND JUNE 30TH, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 15TH. IF PLANTED JULY 1ST THROUGH AUGUST 31ST, HEAVILY WATER THE PLANTS AT THE TIME THEY ARE PLANTED, AND EVERY OTHER DAY FOR A TOTAL OF 4 WATERINGS. A RAIN EVENT GREATER THAN 0.5 INCHES CONSTITUTES A WATERING. IF PLANTED SEPTEMBER 1ST THROUGH OCTOBER 15TH, PLACE CERTIFIED WEED-FREE STRAW MULCH AT 3" MINIMUM THICKNESS BETWEEN PLANTS TO HELP PREVENT FROST HEAVE. IF PLANTING IS TO OCCUR AFTER OCTOBER 15TH, IT MUST BE POSTPONED UNTIL THE FOLLOWING SPRING (MAY). FOR THE FIRST 3 YEARS AFTER PLANTING, SPOT TREAT THE AREA WITH HERBICIDE TO REMOVE WEEDS.

RESTORATION OF THE INFILTRATION AREA (NOT INCLUDING SIDE SLOPES):
1. OVER-EXCAVATE THE AREA TO INFILTRATIVE LAYER TO BE DETERMINED IN THE FIELD, DURING EXCAVATION, BY DESIGN ENGINEER.
2. CHISEL PLOW, OR ROTO-TILL THE BASE OF THE AREA TO BREAK UP ANY HARDPAN IN THE NATIVE SOIL LAYER.
3. PLACE WASHED SAND (FREE OF P200 PARTICLES) TO 46 INCHES BELOW GROUND SURFACE (IF REQUIRED).
4. PLACE 36 INCHES OF ENGINEERED SOIL, COMPRISED OF:
70-85% WASHED SAND
15-30% COMPOST (MUST MEET WQNR S100 SPECIFICATION)
5. PLANT PLUG, MULCH, WATER, AND MAINTAIN AS DIRECTED ABOVE.

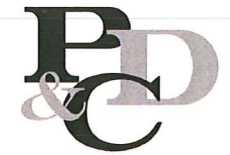


7 RIP-RAP OUTLET
C203 NOT TO SCALE



8 CONCRETE DRAINAGE FLUME DETAIL
C203 NOT TO SCALE

NOTE:
FINAL LENGTH, ANGLE AND SLOPE OF FLUME TO BE FIELD FIT TO MATCH DITCH. CONTRACTOR TO COORDINATE WITH ENGINEER.



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 108
HARTLAND, WISCONSIN 53029
T: 262-367-7770
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
SVIN | TSCH

SHEET TITLE

PROPOSED
LANDSCAPE
PLAN

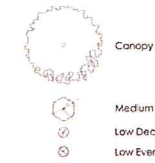
SHEET NUMBER
copyright © 2012

L100

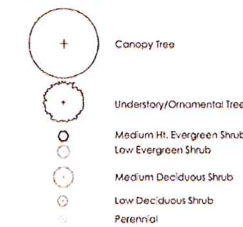
NOT FOR CONSTRUCTION
DD PROGRESS SET

Landscape Legend:

Existing Landscape:



Proposed Landscape:



GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates.
- Areas labeled "Bioretention" to be planted with native perennial plugs: list to be developed.
- Planting beds to be mulched with natural colored shredded hardwood bark mulch to 2" depth min. over weed barrier fabric. Weed-x or equal quality, 8" min. lap joints.
- Planting beds to be edged with black plastic landscape edging. Valley View Black Diamond or equal.

PLANT LIST

botanical name	common name	planting size	root cond.	mature size (h x w)
canopy trees				
<i>Acer x freemanii</i> 'Morgan'	Morgan Maple	2' cal.	8.5	45 x 40
<i>Carya ovata</i>	Shagbark Hickory	2' cal.	8.5	80 x 40
<i>Fagus grandifolia</i>	American Beech	2' cal.	8.5	60 x 55
<i>Quercus bicolor</i>	Grain Oak	2' cal.	8.5	65 x 40
<i>Philadelphus korolkowii</i>	Cornicle	2' cal.	8.5	45 x 50
<i>Quercus rubra</i>	Red Oak	2' cal.	8.5	65 x 65
understory trees				
<i>Acer glabrum</i>	Paperbark Maple	1.5' cal.	8.5	25 x 25
<i>Amelanchier x grandiflora</i>	Apple Serviceberry	1.5' cal.	8.5	25 x 25
<i>Cercis canadensis</i>	Eastern Redbud	1.5' cal.	8.5	25 x 25
<i>Cornus alternifolia</i>	Flowering Dogwood	1.5' cal.	8.5	20 x 30
<i>Malus sp.</i>	Crabapple	1.5' cal.	8.5	20 x 20
deciduous shrubs				
<i>Aronia melanocarpa</i>	Black Chokeberry	#3	cont.	6 x 5
<i>Cornus paniculata</i>	Dwarf dogwood	#3	cont.	3 x 4
<i>Cornus sericea</i>	Redtwig Dogwood	#3	cont.	8 x 8
<i>Daphne x burkwoodii</i> 'Carol Mackenzie'	Carol Maackia Daphne	#3	cont.	3 x 4
<i>Diervilla lonicera</i>	Dwarf bushhoneysuckle	#3	cont.	4 x 5
<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	#3	cont.	4 x 5
<i>Ilex verticillata</i> 'Athena'	Athena Winterberry	#3	cont.	5 x 5
<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry	#3	cont.	5 x 5
<i>Ribes opimum</i>	Alpine Currant	#3	cont.	4 x 5
<i>Spiraea betulifolia</i> 'Tor'	Tor Birchleaf Spirea	#3	cont.	30' x 3
<i>Viburnum cerasifolium</i>	Korean Spice Viburnum	#3	cont.	6 x 7
evergreen shrubs				
<i>Juniperus horizontalis</i> 'Wichoriana'	Wichoriana Juniper	#3	cont.	8 x 5
<i>Juniperus</i> 'N. Select Blue'	Star Power Juniper	#3	cont.	17 x 8
<i>Taxus x media</i> 'Hecht Low Dense'	Hecht Low Dense Yew	#3	cont.	4 x 6
<i>Taxus x media</i> 'Hicks'	Hicks Yew	#3	cont.	10' x 5
<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvitae	#3	cont.	14 x 3
perennials				
<i>Allium senescens</i> 'Mongolian Gem'	Mongolian Gem Ornamental Onion	#1	cont.	18' x 18'
<i>Arisaema 'Blue Ice'</i>	Blue Ice Arisaema	#1	cont.	18' x 20'
<i>Alarum canadense</i>	Wild Ginger	#1	cont.	8' x 18'
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	cont.	4 x 2
<i>Chenopodium</i>	Chenopodium	#1	cont.	10' x 3
<i>Gastium odoratum</i>	Sweet Woodruff	#1	cont.	8' x 24'
<i>Hamamelis 'Stella D'Oro'</i>	Stella D'Oro Doily	#1	cont.	16' x 18'
<i>Polygonum</i>	Polygonum	#1	cont.	2 x 2
<i>Pieris japonica</i>	Russian Sage	#1	cont.	3 x 3
<i>Phlox subulata</i>	Creeping Phlox	#1	cont.	6' x 24'
<i>Vinca minor</i> 'Bowles'	Bowles Dwarf Periwinkle	#1	cont.	6' x 30'

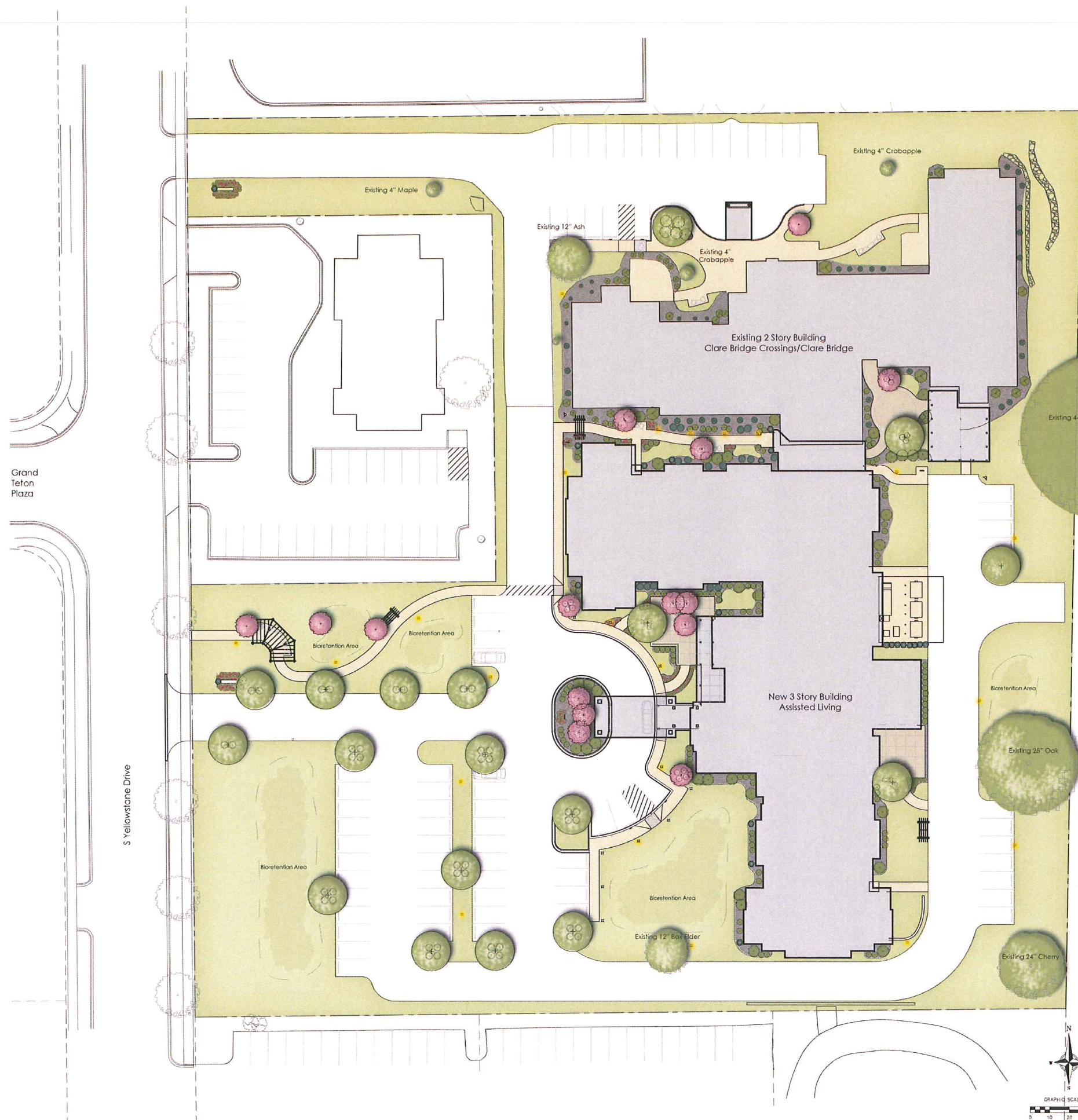
LANDSCAPING REQUIREMENTS: CITY OF MADISON

I. NUMBER OF TREES REQUIRED:
NUMBER OF PARKING STALLS: 71
TOTAL SQUARE FOOTAGE OF STORAGE AREA/300 SF: 0
NUMBER OF CANOPY SHADE TREES REQUIRED: 6 TREES

II. NUMBER OF LANDSCAPE POINTS REQUIRED:
POINTS REQUIRED FOR PARKING STALLS: 331.4
POINTS REQUIRED FOR LOADING AREAS: 0
NUMBER OF POINTS REQUIRED: 331.4

Madison Landscape Points + Credits

element	point value	quantity	credits	
			points achieved	points
Canopy Tree: 2'-2.5'	35	10	350	8
Deciduous Shrub	2	0	0	16
Evergreen Shrub	3	42	126	0
Decorative Wall or Fence (per 10 LF)	5	0	0	0
Earth Berm (per 10 LF)	5	0	0	0
Avg. Height 10'	2	0	0	0
Avg. Height 15'	15	0	0	0
Evergreen Trees: 3' height minimum	15	6	90	0
Canopy Tree or Small Tree: 1.5'-2' cal. (i.e. Crab, Hawthorn)	15	6	90	0
Total Points Provided:				842



Grand Teton Plaza

S Yellowstone Drive



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53039
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING
OF MADISON

TBD SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN
APPROVAL SUBMITTAL



PROJECT NO. DATE
11025 12-05-12

DRAWN BY CHECKED

SHEET TITLE

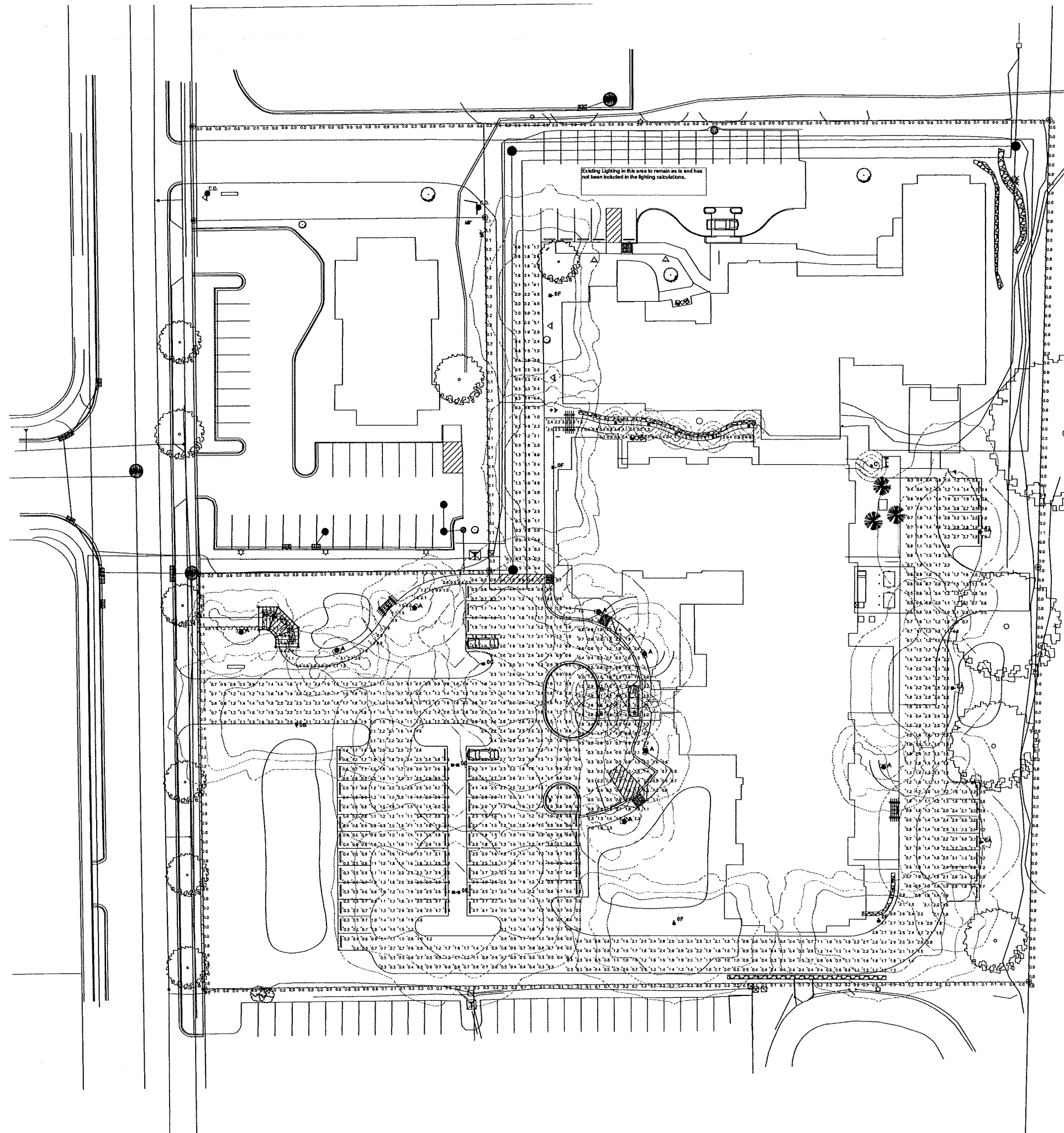
Electrical Site
Lighting Calculation
Plan

SHEET NUMBER

copyright © 2012

E001

NOT FOR CONSTRUCTION
DD PROGRESS SET



STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East Lot Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
East Parking	+	1.5 fc	3.3 fc	0.3 fc	11.0:1	5.0:1
Entry Canopy Drive	+	1.8 fc	5.6 fc	0.3 fc	18.7:1	8.0:1
Entry drive and main parking	+	1.5 fc	4.2 fc	0.3 fc	14.0:1	5.0:1
Innovative Senior Care Entry	+	1.1 fc	2.8 fc	0.2 fc	14.0:1	5.5:1
North Lot Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Northwest Area	+	1.5 fc	5.4 fc	0.3 fc	18.0:1	5.0:1
Northwest Lot Line	+	0.1 fc	0.4 fc	0.1 fc	4.0:1	1.0:1
sidewalk	+	1.4 fc	3.2 fc	0.4 fc	8.0:1	3.5:1
South Drive	+	1.4 fc	2.9 fc	0.3 fc	9.7:1	4.7:1
South Lot Line	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
West Center Lot Line	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
West Lot Line	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A

Lighting Calculation Notes:
 1. Calculations are prepared showing maintained light levels in accordance with IESNA standards.
 2. Calculations at property line show calculated values at 4'-0" above grade as required by Madison Outdoor Lighting Ordinance Section 10.065.
 3. Proposed lighting design utilizes 0.074 watts per square foot which is less than the 0.08 watts per square foot allowed for Open Parking Facilities of "Low" Level of Activity.
 4. Light levels for the "East Entry Canopy" slightly exceed the "Maximum Uniformity Ratio" because of a desired under the drive up canopy.

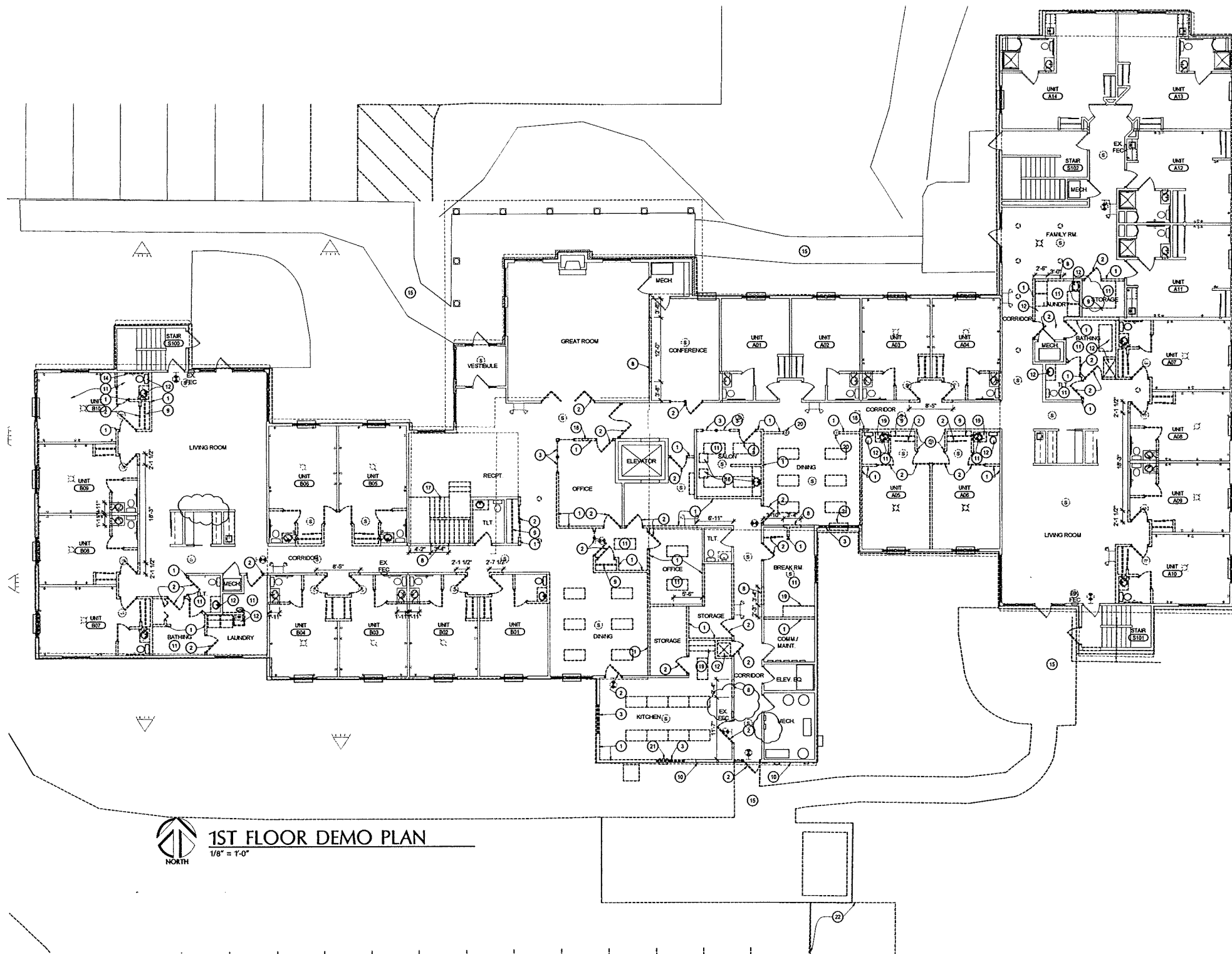
Lighting Calculations Prepared by:
 James B. Koenig, P.E.
Dolan & Dustin, Inc.
 Consulting Electrical Engineers & Planners
 1011 North Mayfair Road, Suite 205
 Wauwatosa, WI 53226
 PH (414) 774-4543
 email: james@dolananddustin.com

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	0A	3	GFM-3-250-PSMV-F-HSS	GREENBRIAR	1-250W PSMV CLEAR BU	GFM-3-250-PSMV-F-HSS	22000	0.75	291
■	0B	1	GFM-2-250-PSMV-F-HSS	GREENBRIAR	1-250W PSMV CLEAR BU	GFM-2-250-PSMV-F-HSS	22000	0.75	291
■	0C	1	GFM-3-250-PSMV-F	GREENBRIAR	1-250W PSMV CLEAR BU	GFM-3-250-PSMV-F	22000	0.75	291
■	0E	2	GFM-FP-250-PSMV-F	GREENBRIAR	1-250W PSMV CLEAR BU	GFM-FP-250-PSMV-F	22000	0.75	582
■	0F	4	GFM-2-200W-PSMV-F-HSS	GREENBRIAR	1-200W PSMV CLEAR BU	GFM-2-200W-PSMV-F-HSS	19000	0.75	241
●	A	8	ACRD-GR3-150MM-CAST ALUMINUM ALUMI	ALUMI POST TOP ARTS AND CRAFTS STYLE PALL CUTOFF LUMINAIRE WITH TYPE 3 REFLECTOR AND ROUND ALUMINUM SHADE	ONE 150W MH ED17 B20 BASE; LUMENS=14000	ACRD-GR3-150MM-ALUMI	6200	0.75	105
■	B	4	220-P-42TRF	DESIGNER CANOPY	42W TRI-TUBE FLUOR RATED 3200 LUMENS	220-P-42F	3200	0.75	46
●	C	6	BYS-R-32-CFL-CP	ARCHITECTURAL BOLLARD	1-32W CFL BU	BYS-R-32-CFL-CP	2200	0.75	36

LUMINAIRE LOCATIONS

No.	Label	X	Y	Z	MH	Orientation	TIR	X	Y	Z
1	0B	297.1	410.5	22.5	22.5	0.0	0.0	297.1	411.9	0.0
2	0C	396.7	443.6	22.5	22.5	90.0	0.0	396.1	443.6	0.0
3	0E	383.1	322.6	22.5	22.5	90.0	0.0			
4	0E	382.7	390.1	22.5	22.5	90.0	0.0			
5	0A	667.6	349.8	22.5	22.5	270.0	0.0	666.2	349.8	0.0
6	0A	666.3	514.1	22.5	22.5	270.0	0.0	664.9	514.1	0.0
7	0A	652.0	431.3	22.5	22.5	270.0	0.0	650.6	431.3	0.0
8	0F	500.2	307.4	18.0	18.0	180.0	0.0	500.2	306.0	0.0
9	0F	610.7	309.0	18.0	18.0	180.0	0.0	610.7	307.6	0.0
10	0F	436.8	547.5	15.0	15.0	270.0	0.0	435.4	547.5	0.0
11	0F	435.4	638.5	18.0	18.0	270.0	0.0	434.0	638.5	0.0
12	A	473.4	350.1	10.0	10.0	-27.0	0.0	473.4	350.1	0.0
13	A	485.2	397.7	10.0	10.0	-65.7	0.0	485.2	397.7	0.0
14	A	484.4	448.9	10.0	10.0	243.5	0.0	484.4	448.9	0.0
15	A	499.7	471.1	10.0	10.0	203.1	0.0	499.7	471.1	0.0
16	A	361.3	473.3	10.0	10.0	-27.8	0.0	361.3	473.3	0.0
17	A	287.9	460.7	10.0	10.0	-2.0	0.0	287.9	460.7	0.0
18	B	458.9	428.9	12.0	12.0	0.0	0.0	458.9	428.9	0.0
19	B	476.4	428.2	12.0	12.0	0.0	0.0	476.4	428.2	0.0
20	B	476.6	416.4	12.0	12.0	0.0	0.0	476.6	416.4	0.0
21	B	458.6	416.1	12.0	12.0	0.0	0.0	458.6	416.1	0.0
22	C	489.1	571.3	3.0	3.0	0.0	0.0	489.1	571.3	0.0
23	C	486.9	570.4	3.0	3.0	0.0	0.0	486.9	570.4	0.0
24	C	501.7	565.4	3.0	3.0	0.0	0.0	501.7	565.4	0.0
25	C	521.3	563.7	3.0	3.0	0.0	0.0	521.3	563.7	0.0
26	C	540.3	569.6	3.0	3.0	0.0	0.0	540.3	569.6	0.0
27	C	605.9	548.6	3.0	3.0	0.0	0.0	605.9	548.6	0.0
28	A	318.8	450.9	10.0	10.0	169.9	0.0	318.8	450.9	0.0
29	A	613.3	389.5	10.0	10.0	0.0	0.0	613.3	389.5	0.0



1ST FLOOR DEMO PLAN
1/8" = 1'-0"

- DEMOLITION GENERAL NOTES**
1. ALL EXISTING ROOMS, WALLS, DOORS, WINDOWS, ETC. SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.
 2. REFER TO CIVIL, PLUMBING, HVAC, AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES.
 3. THE EXISTING BUILDING FLOOR PLAN IS PROVIDED AS A REFERENCE DRAWING INDICATING AREAS OF DEMOLITION AND REMODELING AND SHOULD BE USED FOR GENERAL REFERENCE ONLY. EACH SUB-CONTRACTOR MUST DETERMINE THE EXACT EXTENT OF THE DEMOLITION AND REMODELING WORK FROM THE ACTUAL JOBSITE CONDITIONS.
 4. EACH SUB-CONTRACTOR SHALL INCLUDE THE COST TO REMOVE, REMODEL AND IF NECESSARY RELOCATE ANY EXISTING CONSTRUCTION WHICH WOULD COMPLICATE OR PROHIBIT THE INSTALLATION OF THEIR PORTION OF THE NEW WORK AT HEIGHTS AND LOCATIONS AS SHOWN AND/OR IMPLIED ON ALL PROJECT DRAWINGS AND/OR SPECIFICATIONS.
 5. SUB-CONTRACTOR SHALL REMOVE AND IF INTENDED TO REMAIN IN SERVICE SHALL RELOCATE EXISTING ELECTRICAL, TELEPHONE, PLUMBING, HVAC, CABLE, LIFE SAFETY, ETC. SYSTEM ITEMS PRESENT WITHIN EXISTING CONSTRUCTION OR SURFACE INDICATED ON EXISTING CONSTRUCTION WHICH IS SCHEDULED FOR DEMOLITION OR REMODELING. REMOVAL, TERMINATION AND RELOCATION SHALL BE PERFORMED BY TRADESMEN SKILLED IN THAT TYPE OF WORK. INCLUDE ALL ASSOCIATED COSTS IN BID.
 6. SUB-CONTRACTOR WHOSE WORK MAY AFFECT THE WATER TIGHT CONDITION OF THE BUILDING SHALL MAKE TEMPORARY PROVISIONS DURING PROJECT PERIOD AS REQUIRED TO ENSURE THAT BUILDING BE KEPT WATER TIGHT.
 7. REFER TO INTERIOR FINISH DRAWINGS FOR NOTES AND DETAILS ON EXISTING WALL AND FLOOR FINISHES THAT ARE TO BE REMOVED AND REPLACED.
 8. REFER TO CONSTRUCTION PHASING PLAN FOR ADDITIONAL DEMOLITION WORK.
 9. SEE STRUCTURAL DRAWINGS FOR REQUIRED STRUCTURAL DEMOLITION.
 10. SEE PLUMBING DRAWINGS FOR REQUIRED PLUMBING DEMOLITION.
 11. SEE HVAC DRAWINGS FOR REQUIRED HVAC DEMOLITION.
 12. SEE ELECTRICAL DRAWINGS FOR REQUIRED ELECTRICAL & FIRE DETECTION DEMOLITION.
 13. ALL FURNITURE, APPLIANCES AND EQUIPMENT TO BE SALVAGED IS TO BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
 14. PROTECT EXISTING FINISHES IN CORRIDOR AND SURROUNDING PUBLIC SPACES.
 15. FLOOR, WALL, AND CEILING SURFACES TO RECEIVE NEW FINISHES AS INDICATED ON INTERIOR FINISH DRAWINGS. SURFACES SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AND PREPARED TO RECEIVE NEW FINISHES, AS APPLICABLE.

- DEMOLITION KEY**
1. REMOVE & DISPOSE OF WALL.
 2. REMOVE & DISPOSE OF DOOR, FRAME, AND SIDELIGHT IF APPLICABLE.
 3. REMOVE & DISPOSE OF WINDOW.
 4. REMOVE & DISPOSE OF SINK.
 5. REMOVE EXTERIOR SIDING & SALVAGE FOR REUSE.
 6. REMOVE & DISPOSE OF CABINETS & COUNTERTOPS.
 7. REMOVE EXISTING HANDRAIL, BASE AND CASING (TYP.).
 8. DEMO PORTION OF WALL FOR NEW OPENING. REFER TO FLOOR PLANS. PROVIDE NEW HEADER AS REQUIRED.
 9. REMOVE & DISPOSE OF SHELVING AND BRACKETS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
 10. REMOVE & DISPOSE OVERHANG AS REQUIRED TO INSTALL NEW ROOF.
 11. REMOVE & DISPOSE OF EXISTING FLOORING, PREPARE FOR NEW.
 12. REMOVE & DISPOSE OF EXISTING PLUMBING FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH.
 13. REMOVE & DISPOSE OF EXISTING LIGHT FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH.
 14. REMOVE EXISTING GRAB BAR, REPAIR DRYWALL & PREP FOR NEW GRAB BAR.
 15. SEE CIVIL DEMOLITION PLAN FOR SITE DEMOLITION.
 16. REMOVE & DISPOSE OF EXISTING SALON EQUIPMENT, VERIFY WITH OWNER.
 17. REMOVE & DISPOSE OF STAIRS AND HANDRAILS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
 18. REMOVE & STORE FIRE EXTINGUISHER CABINET. SEE NEW FLOOR PLANS FOR NEW LOCATION.
 19. REMOVE & DISPOSE OF CABINETS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
 20. REMOVE & DISPOSE OF EXISTING DECORATIVE COLUMN COVER, STRUCTURAL COLUMN TO REMAIN.
 21. REMOVE & DISPOSE OF HVAC UNIT, VERIFY WITH OWNER.
 22. REMOVE & DISPOSE OF EXISTING STORAGE SHED.



**PLANNING
DESIGN
CONSTRUCTION**

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
**ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON**

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
**BROOKDALE SENIOR
LIVING COMMUNITIES, INC.**
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
**SITE PLAN APPROVAL
SUBMITTAL**

PROJECT NO. DATE
11025 | 12-05-12

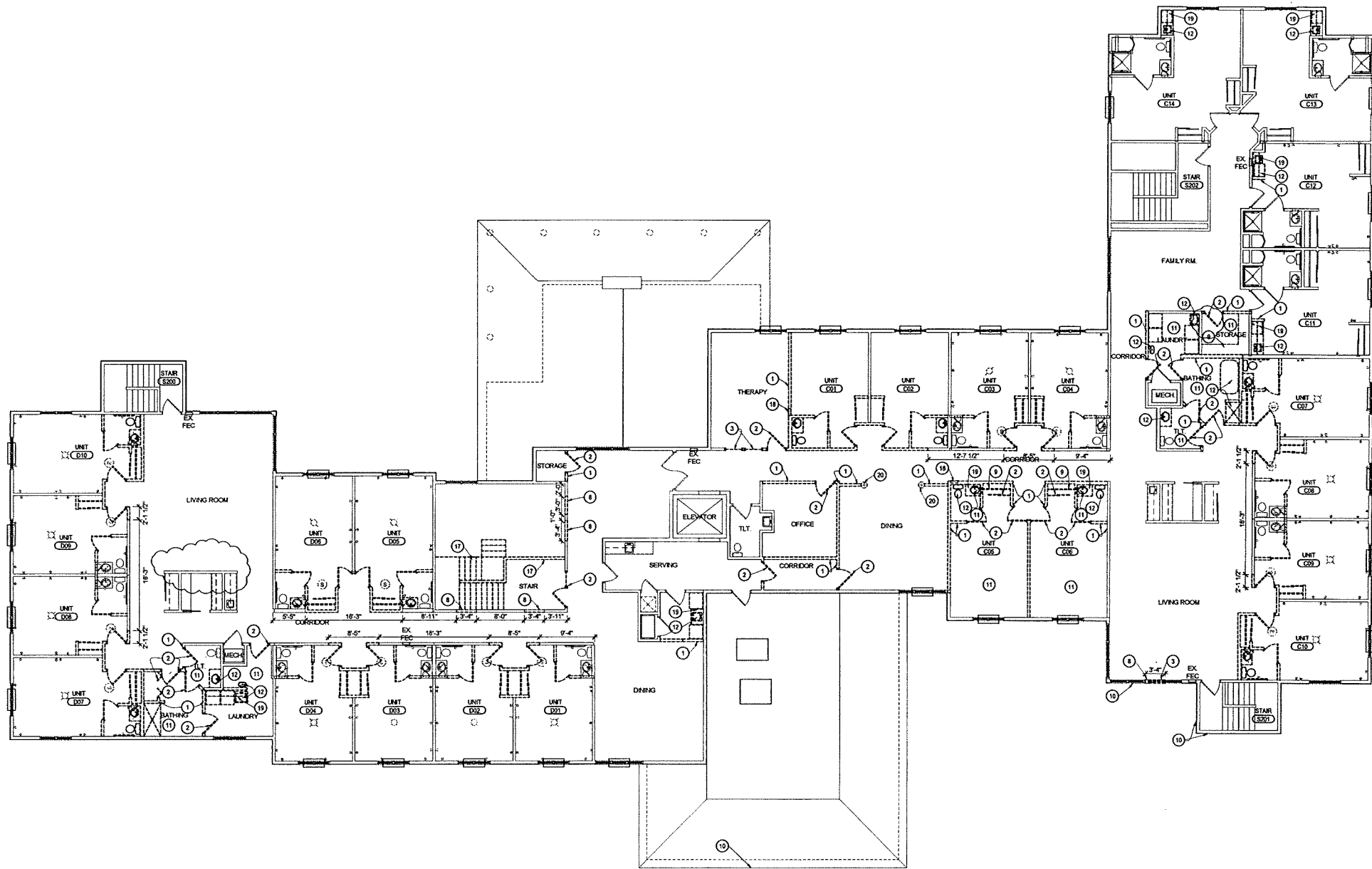
DRAWN BY CHECKED
JDS | PJD

SHEET TITLE
**1ST FLOOR
DEMO PLAN**

SHEET NUMBER
copyright © 2012

D210

NOT FOR CONSTRUCTION
DD PROGRESS SET



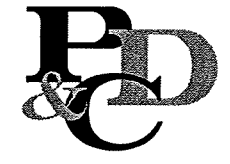
2ND FLOOR DEMO PLAN
 1/8" = 1'-0"
 NORTH

DEMOLITION GENERAL NOTES

1. ALL EXISTING ROOMS, WALLS, DOORS, WINDOWS, ETC. SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.
2. REFER TO CIVIL, PLUMBING, HVAC, AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES.
3. THE EXISTING BUILDING FLOOR PLAN IS PROVIDED AS A REFERENCE DRAWING INDICATING AREAS OF DEMOLITION AND REMODELING AND SHOULD BE USED FOR GENERAL REFERENCE ONLY. EACH SUB-CONTRACTOR MUST DETERMINE THE EXACT EXTENT OF THE DEMOLITION AND REMODELING WORK FROM THE ACTUAL JOBSITE CONDITIONS.
4. EACH SUB-CONTRACTOR SHALL INCLUDE THE COST TO REMOVE, RELOCATE, AND IF NECESSARY RELOCATE ANY EXISTING CONSTRUCTION WHICH WOULD COMPLICATE OR PREHIBIT THE INSTALLATION OF THEIR PORTION OF THE NEW WORK AT HEIGHTS AND LOCATIONS AS SHOWN AND/OR IMPLIED ON ALL PROJECT DRAWINGS AND/OR SPECIFICATIONS.
5. SUB-CONTRACTOR SHALL REMOVE, AND IF INTENDED TO REMAIN IN SERVICE SHALL RELOCATE EXISTING ELECTRICAL, TELEPHONE, PLUMBING, HVAC, CABLE, LIFE SAFETY, ETC. SYSTEM ITEMS PRESENT WITHIN EXISTING CONSTRUCTION OR SURFACE MOUNTED ON EXISTING CONSTRUCTION WHICH IS SCHEDULED FOR DEMOLITION OR REMODELING. REMOVAL, TERMINATION AND RELOCATION SHALL BE PERFORMED BY TRADESMEN SKILLED IN THAT TYPE OF WORK. INCLUDE ALL ASSOCIATED COSTS IN BID.
6. SUB-CONTRACTOR WHOSE WORK MAY AFFECT THE WATER TIGHT CONDITION OF THE BUILDING SHALL MAKE TEMPORARY PROVISIONS DURING PROJECT PERIOD AS REQUIRED TO ENSURE THAT BUILDING BE KEPT WATER TIGHT.
7. REFER TO INTERIOR FINISH DRAWINGS FOR NOTES AND DETAILS ON EXISTING WALL AND FLOOR FINISHES THAT ARE TO BE REMOVED AND REPLACED.
8. REFER TO CONSTRUCTION PHASING PLAN FOR ADDITIONAL DEMOLITION WORK.
9. SEE STRUCTURAL DRAWINGS FOR REQUIRED STRUCTURAL DEMOLITION.
10. SEE PLUMBING DRAWINGS FOR REQUIRED PLUMBING DEMOLITION.
11. SEE HVAC DRAWINGS FOR REQUIRED HVAC DEMOLITION.
12. SEE ELECTRICAL DRAWINGS FOR REQUIRED ELECTRICAL & FIRE DETECTION DEMOLITION.
13. ALL FURNITURE, APPLIANCES AND EQUIPMENT TO BE SALVAGED IS TO BE REMOVED BY THE OWNER PRIOR TO DEMOLITION.
14. PROTECT EXISTING FINISHES IN CORRIDOR AND SURROUNDING PUBLIC SPACES.
15. FLOOR, WALL, AND CEILING SURFACES TO RECEIVE NEW FINISHES AS INDICATED ON INTERIOR FINISH DRAWINGS. SURFACES SHALL BE RETURNED TO PRE-CONSTRUCTION CONDITION AND PREPARED TO RECEIVE NEW FINISHES, AS APPLICABLE.

DEMOLITION KEY

- 1 REMOVE & DISPOSE OF WALL
- 2 REMOVE & DISPOSE OF DOOR, FRAME, AND SIDELIGHT IF APPLICABLE
- 3 REMOVE & DISPOSE OF WINDOW
- 4 REMOVE & DISPOSE OF SINK
- 5 REMOVE EXTERIOR SINKING & SALVAGE FOR REUSE
- 6 REMOVE & DISPOSE OF CABINETS & COUNTERTOPS
- 7 REMOVE EXISTING HANDRAIL, BASE AND CASING (TYP.)
- 8 DEMO PORTION OF WALL FOR NEW OPENING. REFER TO FLOOR PLANS PROVIDE NEW HEADER AS REQUIRED.
- 9 REMOVE & DISPOSE OF SHELVING AND BRACKETS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
- 10 REMOVE & DISPOSE OVERHANG AS REQUIRED TO INSTALL NEW ROOF.
- 11 REMOVE & DISPOSE OF EXISTING FLOORING, PREPARE FOR NEW
- 12 REMOVE & DISPOSE OF EXISTING PLUMBING FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH
- 13 REMOVE & DISPOSE OF EXISTING LIGHT FIXTURES AFTER VERIFYING WITH MAINTENANCE TECH
- 14 REMOVE EXISTING GRAB BAR, REPAIR DRYWALL & PREP FOR NEW GRAB BAR
- 15 SEE CIVIL DEMOLITION PLAN FOR SITE DEMOLITION.
- 16 REMOVE & DISPOSE OF EXISTING SALON EQUIPMENT. VERIFY W/ OWNER.
- 17 REMOVE & DISPOSE OF STAIRS AND HANDRAILS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
- 18 REMOVE & STORE FIRE EXTINGUISHER CABINET. SEE NEW FLOOR PLANS FOR NEW LOCATION.
- 19 REMOVE & DISPOSE OF CABINETS. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES.
- 20 REMOVE & DISPOSE OF EXISTING DECORATIVE COLUMN COVER, STRUCTURAL COLUMN TO REMAIN.
- 21 REMOVE & DISPOSE OF HVAC UNIT, VERIFY WITH OWNER.
- 22 REMOVE & DISPOSE OF EXISTING STORAGE SHED.



**PLANNING
 DESIGN
 CONSTRUCTION**

PDC MIDWEST, INC.
 1130 JAMES DRIVE, SUITE 106
 HARTLAND, WISCONSIN 53029
 T. 262-367-7770 F. 262-367-7712
 WWW.PDCMIDWEST.COM

PROJECT
 ASSISTED LIVING,
 CLARE BRIDGE CROSSINGS
 & CLARE BRIDGE
 OF MADISON

413 & 429 SOUTH
 YELLOWSTONE DRIVE
 MADISON, WI 53719

OWNER
 BROOKDALE SENIOR
 LIVING COMMUNITIES, INC.
 6737 W. WASHINGTON ST.
 MILWAUKEE, WI 53214



STATUS
 SITE PLAN APPROVAL
 SUBMITTAL

PROJECT NO. DATE
 11025 | 12-05-12

DRAWN BY CHECKED
 JDS | PJD

SHEET TITLE
 2ND FLOOR
 DEMO PLAN

SHEET NUMBER
 copyright © 2012

D211

NOT FOR CONSTRUCTION
 DD PROGRESS SET



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

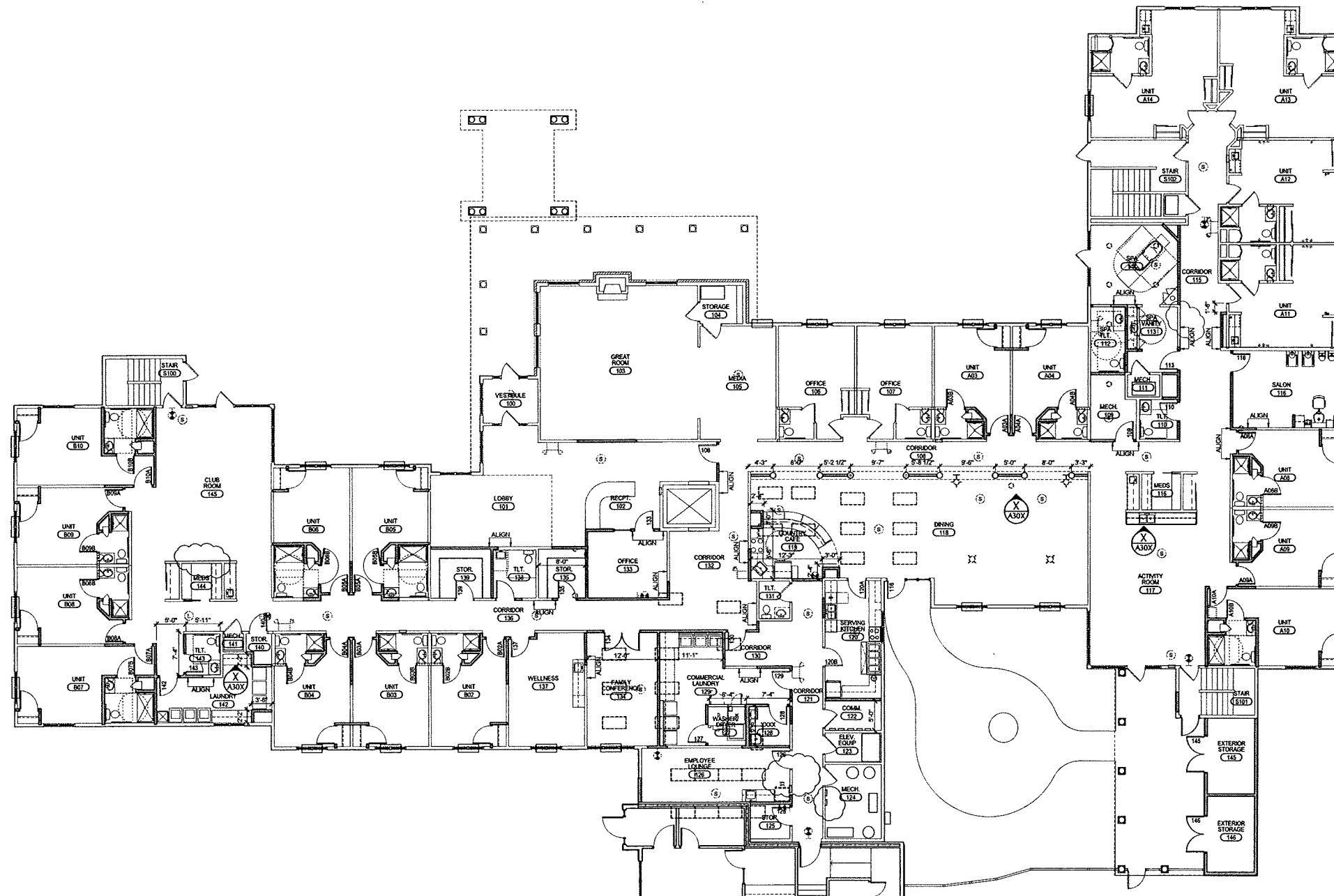
PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL



1ST FLOOR PLAN
1/8" = 1'-0"

**CLARE BRIDGE CROSSINGS
COMMON AREA DATA**

COMMON AREA REQUIRED PER HFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY
NON-AMBULATORY REQUIRES 90sf / RESIDENT X 20
RESIDENTS 1,800 SF
0 ONE BEDROOM UNITS W/ 0sf OF HABITABLE FLOOR
SPACE 0 SF
0 x 25 = 0 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 0
TOTAL COMMON AREA REQUIRED 1,800 SF

COMMON AREA PROVIDED

DINING ROOM	1,058 SF
GREAT ROOM	689 SF
ACTIVITY ROOM	494 SF
CLUB ROOM	459 SF
LOBBY	263 SF
MEDIA ROOM	251 SF
TOTAL COMMON AREA PROVIDED	3,214 SF

**ASSISTED LIVING
COMMON AREA DATA**

COMMON AREA REQUIRED PER HFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY
NON-AMBULATORY REQUIRES 90sf / RESIDENT X 69
RESIDENTS 6,210 SF
42 ONE BEDROOM UNITS W/ 42 x 255 sf OF HABITABLE
FLOOR SPACE 1,260 SF
255 x 25 = 63,75 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 42
2 TWO BEDROOM UNITS W/ 377 sf OF HABITABLE
FLOOR SPACE 60 SF
377 x 25 = 9,425 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 2
TOTAL COMMON AREA REQUIRED 4,894 SF

COMMON AREA PROVIDED

DINING ROOM	2,814 SF
CLUB ROOM (2ND FLOOR)	837 SF
GAME ROOM (3RD FLOOR)	875 SF
PUB/CAFE	659 SF
LOUNGE/ATRIUM	642 SF
ARTS & CRAFTS ROOM (3RD FLOOR)	617 SF
LOUNGE (2ND FLOOR)	393 SF
PRIVATE DINING	265 SF
FITNESS ROOM	263 SF
CONVERSATION AREA (2ND FLOOR)	181 SF
CONVERSATION AREA (3RD FLOOR)	180 SF
TOTAL COMMON AREA PROVIDED	6,748 SF

**CLARE BRIDGE
COMMON AREA DATA**

COMMON AREA REQUIRED PER HFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY
NON-AMBULATORY REQUIRES 90sf / RESIDENT X 21
RESIDENTS 1,890 SF
0 ONE BEDROOM UNITS W/ 0sf OF HABITABLE FLOOR
SPACE 0 SF
0 x 25 = 0 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 0
TOTAL COMMON AREA REQUIRED 1,890 SF

COMMON AREA PROVIDED

DINING ROOM	1,049 SF
ACTIVITY ROOM	494 SF
CLUB ROOM	459 SF
LIVING ROOM	474 SF
LOBBY	206 SF
TOTAL COMMON AREA PROVIDED	2,682 SF

PROJECT BUILDING DATA

PROJECT LIVING UNIT ANALYSIS

	EXISTING	REMOVE/ CONVERT	NEW	TOTAL
EXISTING WYNNWOOD	48	-48	0	0
BEDS	52	-52	0	0
NEW CLAREBRIDGE CROSSINGS	0	0	18	18
BEDS	0	0	20	20
NEW CLAREBRIDGE	0	0	19	19
BEDS	0	0	21	21
NEW ASSISTED LIVING	0	0	67	67
BEDS	0	0	69	69
CAMPUS TOTALS	48	-48	104	104 (+56)
BEDS	52	-52	110	110 (+58)

* 11 UNITS REMOVED FOR CONVERSION OF WYNNWOOD TO CLARE BRIDGE / CLARE BRIDGE CROSSINGS

PROJECT SQUARE FOOT ANALYSIS

EXISTING SQ FT	Gsf / UNIT	GROSS SQ FT
EXISTING 1ST FLOOR	-	16,478 SF
EXISTING 2ND FLOOR	-	14,018 SF
TOTAL EXISTING	636 SF/UNIT	30,496 SF
RENOVATION	% OF TOTAL	
EXISTING 1ST FLOOR	35%	6,422 SF
EXISTING 2ND FLOOR	35%	5,492 SF
TOTAL RENOVATION	35%	11,914 SF
PROPOSED SQ FT	Gsf / UNIT	
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SF/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SF/UNIT	14,018 SF (EXISTING)
ASSISTED LIVING (1ST FLOOR)	-	23,164 SF
ASSISTED LIVING (2ND FLOOR)	-	20,844 SF
ASSISTED LIVING (3RD FLOOR)	-	20,838 SF
TOTAL ASSISTED LIVING	968 SF/UNIT	64,846 SF
TOTAL PROPOSED	917 SF/UNIT	95,340 SF
PROPOSED CAMPUS TOTALS		
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SF/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SF/UNIT	14,018 SF (EXISTING)
ASSISTED LIVING (1ST, 2ND & 3RD FLOOR)	968 SF/UNIT	64,846 SF (EXISTING)
CAMPUS TOTALS	917 SF/UNIT	95,340 SF

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
JDS | PJD

SHEET TITLE

1ST FLOOR PLAN

SHEET NUMBER
copyright © 2012

A210

NOT FOR CONSTRUCTION
DD PROGRESS SET



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

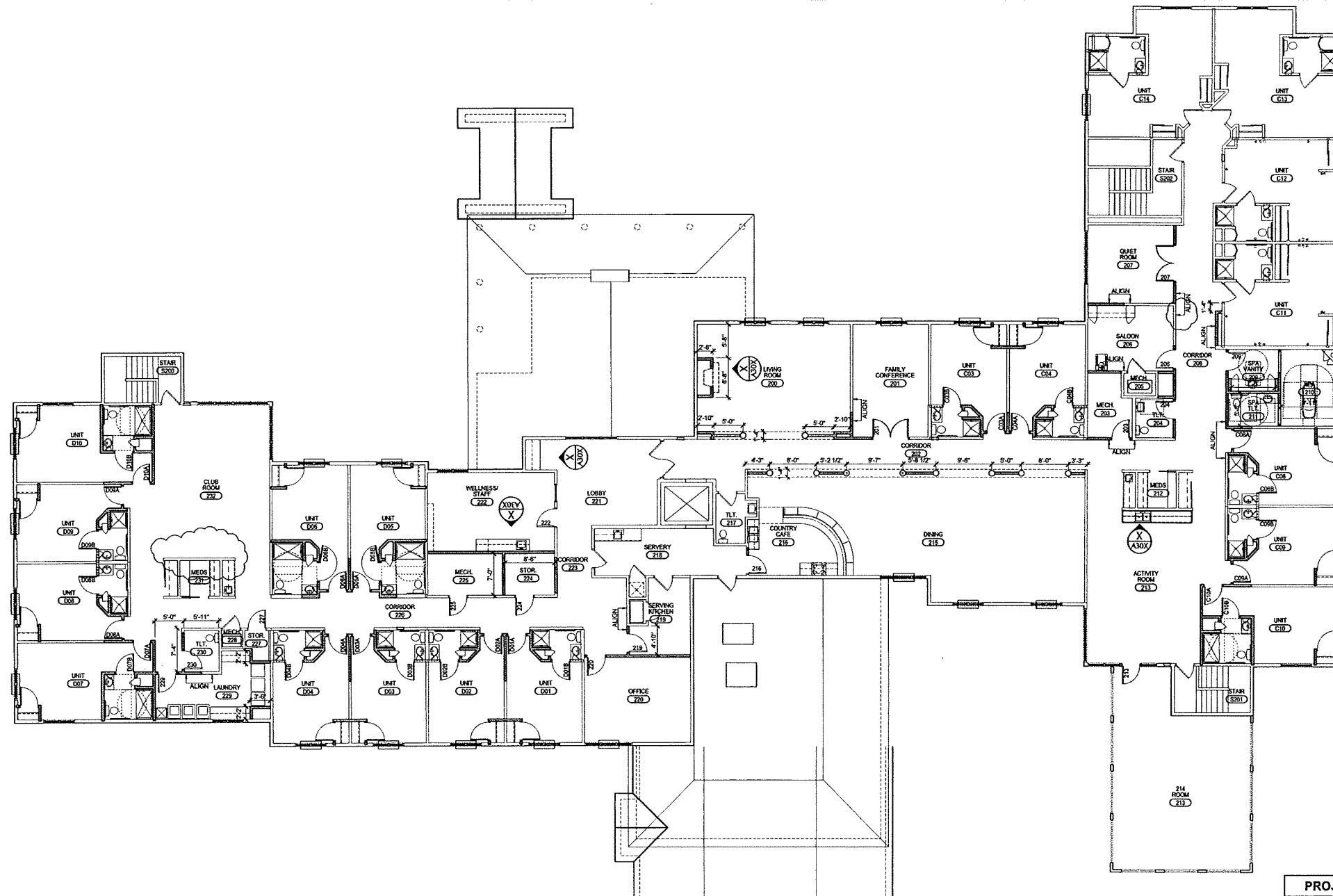
OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL



2ND FLOOR PLAN

1/8" = 1'-0"

ASSISTED LIVING COMMON AREA DATA

COMMON AREA REQUIRED PER HFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY

NON-AMBULATORY REQUIRES 907 / RESIDENT X 89
RESIDENTS 6,210 SF

42 ONE BEDROOM UNITS w/ 41,256 sf OF HABITABLE FLOOR SPACE
255 x .25 = 63.75 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 42
2 TWO BEDROOM UNITS w/ 377 sf OF HABITABLE FLOOR SPACE
377 x .25 = 94.25sf, 30sf MAX. PER 83.52 (1)(B) 30 x 2

TOTAL COMMON AREA REQUIRED 4,898 SF

COMMON AREA PROVIDED

INCLUDING:

DINING ROOM	2,014 SF
CLUB ROOM (2ND FLOOR)	857 SF
GAME ROOM (3RD FLOOR)	675 SF
PUB/CAFE	659 SF
LOUNGE/ATRIUM	642 SF
ARTS & CRAFTS ROOM (3RD FLOOR)	617 SF
LOUNGE (2ND FLOOR)	393 SF
PRIVATE DINING	265 SF
FITNESS ROOM	263 SF
CONVERSATION AREA (2ND FLOOR)	181 SF
CONVERSATION AREA (3RD FLOOR)	180 SF
TOTAL COMMON AREA PROVIDED	8,748 SF

CLARE BRIDGE CROSSINGS COMMON AREA DATA

COMMON AREA REQUIRED PER HFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY

NON-AMBULATORY REQUIRES 907 / RESIDENT X 20
RESIDENTS 1,800 SF

0 ONE BEDROOM UNITS w/ 0 sf OF HABITABLE FLOOR SPACE
0 x .25 = 0 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 0

TOTAL COMMON AREA REQUIRED 1,800 SF

COMMON AREA PROVIDED

INCLUDING:

DINING ROOM	1,056 SF
GREAT ROOM	699 SF
ACTIVITY ROOM	494 SF
CLUB ROOM	459 SF
LOBBY	263 SF
MEDIA ROOM	251 SF
TOTAL COMMON AREA PROVIDED	3,214 SF

CLARE BRIDGE COMMON AREA DATA

COMMON AREA REQUIRED PER HFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY

NON-AMBULATORY REQUIRES 907 / RESIDENT X 21
RESIDENTS 1,890 SF

0 ONE BEDROOM UNITS w/ 0 sf OF HABITABLE FLOOR SPACE
0 x .25 = 0 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 0

TOTAL COMMON AREA REQUIRED 1,890 SF

COMMON AREA PROVIDED

INCLUDING:

DINING ROOM	1,049 SF
ACTIVITY ROOM	494 SF
CLUB ROOM	459 SF
LIVING ROOM	474 SF
QUIET ROOM	296 SF
TOTAL COMMON AREA PROVIDED	2,842 SF

PROJECT BUILDING DATA

PROJECT LIVING UNIT ANALYSIS

	EXISTING	REMOVE/ CONVERT	NEW/ CONVERT	TOTAL
EXISTING WYNWOOD UNITS	48	-48	0	0
EXISTING WYNWOOD BEDS	52	-52	0	0
NEW CLAREBRIDGE UNITS	0	0	18	18
NEW CLAREBRIDGE BEDS	0	0	20	20
NEW CLAREBRIDGE UNITS	0	0	19	19
NEW CLAREBRIDGE BEDS	0	0	21	21
NEW ASSISTED LIVING UNITS	0	0	67	67
NEW ASSISTED LIVING BEDS	0	0	69	69
CAMPUS UNITS	48	-48	104	104 (+56)
CAMPUS BEDS	52	-52	110	110 (+58)

* 11 UNITS REMOVED FOR CONVERSION OF WYNWOOD TO CLARE BRIDGE / CLARE BRIDGE CROSSINGS

PROJECT SQUARE FOOT ANALYSIS

EXISTING SQ FT	GSF / UNIT	GROSS SQ FT
EXISTING 1ST FLOOR	-	16,478 SF
EXISTING 2ND FLOOR	-	14,018 SF
TOTAL EXISTING	635 SFA/UNIT	30,496 SF
RENOVATION		
EXISTING 1ST FLOOR	39%	6,422 SF
EXISTING 2ND FLOOR	39%	5,492 SF
TOTAL RENOVATION	39%	11,914 SF
PROPOSED SQ FT	GSF / UNIT	
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SFA/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SFA/UNIT	14,018 SF (EXISTING)
ASSISTED LIVING (1ST FLOOR)	-	23,164 SF
ASSISTED LIVING (2ND FLOOR)	-	20,844 SF
ASSISTED LIVING (3RD FLOOR)	-	20,838 SF
TOTAL ASSISTED LIVING	968 SFA/UNIT	64,846 SF
TOTAL PROPOSED	917 SFA/UNIT	95,340 SF

PROPOSED CAMPUS TOTALS

CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SFA/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SFA/UNIT	14,018 SF (EXISTING)
ASSISTED LIVING (1ST, 2ND & 3RD FLOOR)	968 SFA/UNIT	64,846 SF
CAMPUS TOTALS	917 SFA/UNIT	95,340 SF

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
JDS | PJD

SHEET TITLE

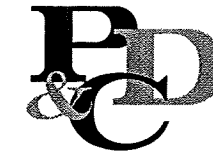
2ND FLOOR PLAN

SHEET NUMBER

A211

NOT FOR CONSTRUCTION
DD PROGRESS SET

copyright © 2012



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL

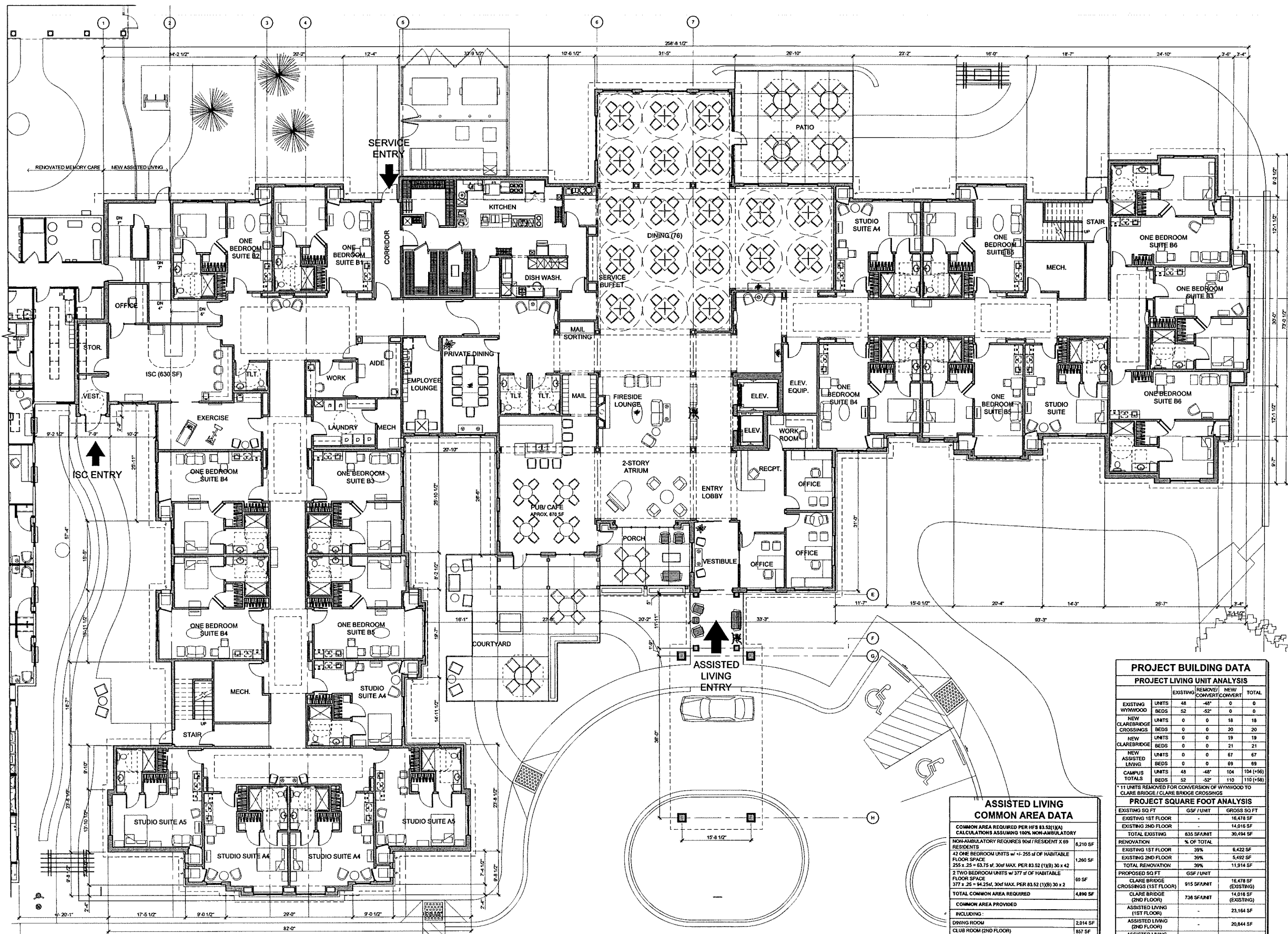
PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
JRM | PDJ

SHEET TITLE
NEW ASSISTED-LIVING FIRST
FLOOR PLAN

SHEET NUMBER
A212

NOT FOR CONSTRUCTION
DD PROGRESS SET



ASSISTED LIVING COMMON AREA DATA

COMMON AREA REQUIRED PER IFS 83.52(1)(A)
CALCULATIONS ASSUMING 100% NON-AMBULATORY

NON-AMBULATORY REQUIRES 90sq/RESIDENT X 69 RESIDENTS	6,210 SF
42 ONE BEDROOM UNITS w/ +/- 255 sq of HABITABLE FLOOR SPACE	1,260 SF
255 x 25 = 6375 sq 30sq MAX. PER 83.52 (1)(B) 30 x 42	
2 TWO BEDROOM UNITS w/ 377 sq of HABITABLE FLOOR SPACE	60 SF
377 x 25 = 9425sq 30sq MAX. PER 83.52 (1)(B) 30 x 2	
TOTAL COMMON AREA REQUIRED	4,898 SF
COMMON AREA PROVIDED	
INCLUDING:	
DINING ROOM	2,014 SF
CLUB ROOM (2ND FLOOR)	857 SF
GAME ROOM (3RD FLOOR)	875 SF
FLORIBUZZ	659 SF
LOUNGE/ATRIUM	942 SF
ARTS & CRAFTS ROOM (3RD FLOOR)	517 SF
LOUNGE (2ND FLOOR)	393 SF
PRIVATE DINING	265 SF
FITNESS ROOM	263 SF
CONVERSATION AREA (2ND FLOOR)	181 SF
CONVERSATION AREA (3RD FLOOR)	150 SF
TOTAL COMMON AREA PROVIDED	6,748 SF

PROJECT BUILDING DATA

PROJECT LIVING UNIT ANALYSIS

	EXISTING	REMOVE/ CONVERT	NEW/ CONVERT	TOTAL
EXISTING WYWOOD UNITS	48	-48	0	0
EXISTING WYWOOD BEDS	52	-52	0	0
NEW CLAREBRIDGE CROSSINGS UNITS	0	0	18	18
NEW CLAREBRIDGE CROSSINGS BEDS	0	0	20	20
NEW CLAREBRIDGE UNITS	0	0	19	19
NEW CLAREBRIDGE BEDS	0	0	21	21
NEW ASSISTED LIVING UNITS	0	0	67	67
NEW ASSISTED LIVING BEDS	0	0	89	89
CAMPUS UNITS	48	-48	104	104 (+56)
TOTALS UNITS	52	-52	110	110 (+58)
TOTALS BEDS	52	-52	110	110 (+58)

* 11 UNITS REMOVED FOR CONVERSION OF WYWOOD TO CLARE BRIDGE / CLARE BRIDGE CROSSINGS

PROJECT SQUARE FOOT ANALYSIS

EXISTING SQ FT	GSF / UNIT	GROSS SQ FT
EXISTING 1ST FLOOR	-	16,478 SF
EXISTING 2ND FLOOR	-	14,016 SF
TOTAL EXISTING	635 SF/UNIT	30,494 SF
RENOVATION	% OF TOTAL	
EXISTING 1ST FLOOR	39%	6,432 SF
EXISTING 2ND FLOOR	39%	5,492 SF
TOTAL RENOVATION	39%	11,914 SF
PROPOSED SQ FT	GSF / UNIT	
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SF/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SF/UNIT	14,016 SF (EXISTING)
ASSISTED LIVING (1ST FLOOR)	-	23,164 SF
ASSISTED LIVING (2ND FLOOR)	-	20,844 SF
ASSISTED LIVING (3RD FLOOR)	-	20,838 SF
TOTAL ASSISTED LIVING	968 SF/UNIT	64,846 SF
TOTAL PROPOSED	917 SF/UNIT	95,340 SF
PROPOSED CAMPUS TOTALS		
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SF/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SF/UNIT	14,016 SF (EXISTING)
ASSISTED LIVING (1ST, 2ND & 3RD FLOOR)	968 SF/UNIT	64,846 SF
CAMPUS TOTALS	917 SF/UNIT	95,340 SF



PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

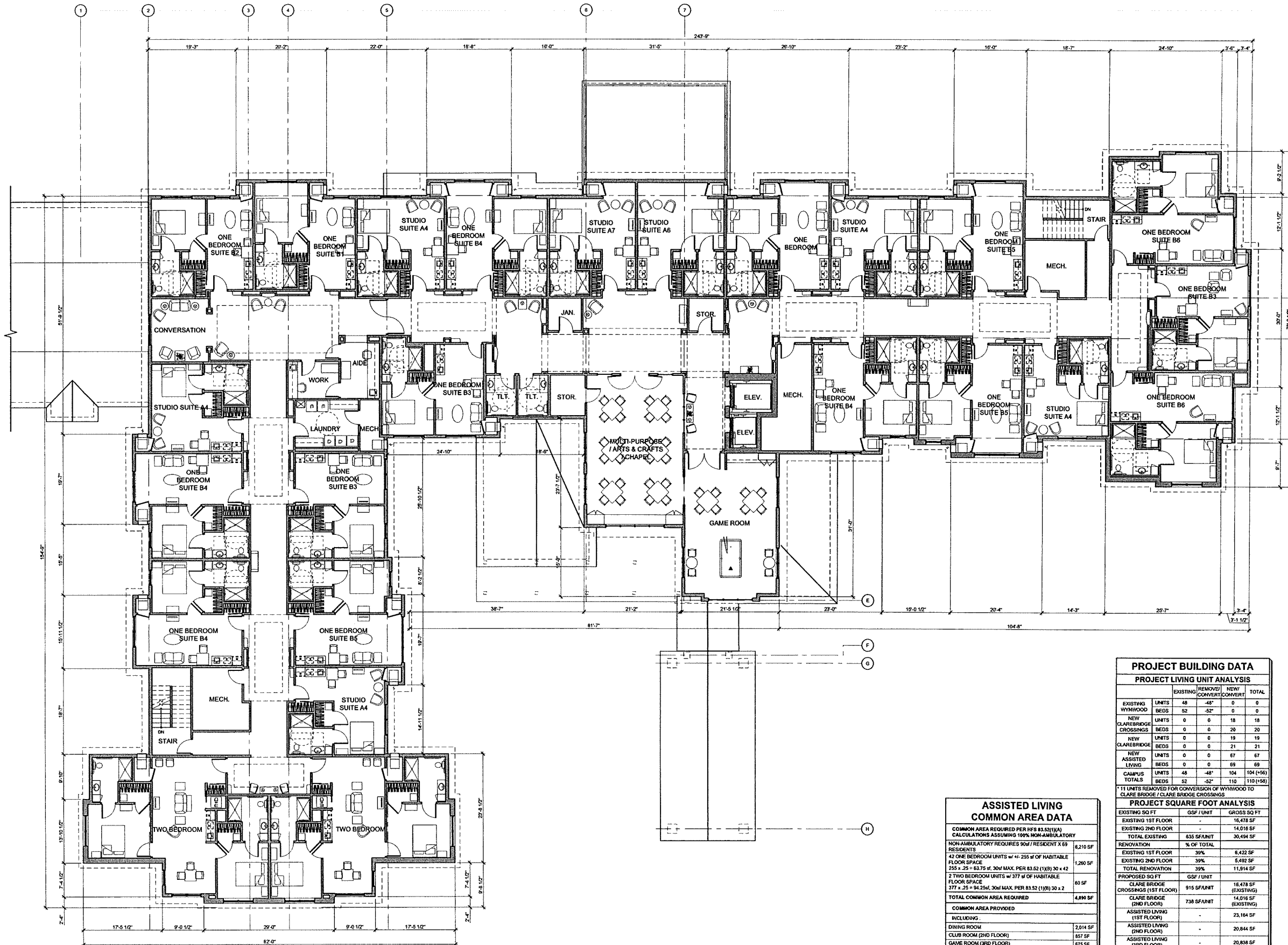
OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL



PROJECT BUILDING DATA

PROJECT LIVING UNIT ANALYSIS

	EXISTING	REMOVE/ CONVERT	NEW/ CONVERT	TOTAL
EXISTING WYNWOOD UNITS	48	-48*	0	0
EXISTING WYNWOOD BEDS	52	-52*	0	0
NEW CLARE BRIDGE CROSSINGS UNITS	0	0	18	18
NEW CLARE BRIDGE CROSSINGS BEDS	0	0	28	28
NEW CLARE BRIDGE UNITS	0	0	19	19
NEW CLARE BRIDGE BEDS	0	0	21	21
NEW ASSISTED LIVING UNITS	0	0	67	67
NEW ASSISTED LIVING BEDS	0	0	69	69
CAMPUS UNITS	48	-48*	104	104 (+56)
CAMPUS BEDS	52	-52*	110	110 (+58)

* 11 UNITS REMOVED FOR CONVERSION OF WYNWOOD TO CLARE BRIDGE / CLARE BRIDGE CROSSINGS

PROJECT SQUARE FOOT ANALYSIS

EXISTING SQ FT	GSF / UNIT	GROSS SQ FT
EXISTING 1ST FLOOR	-	16,478 SF
EXISTING 2ND FLOOR	-	14,016 SF
TOTAL EXISTING	635 SF/UNIT	30,494 SF
RENOVATION	% OF TOTAL	
EXISTING 1ST FLOOR	39%	6,422 SF
EXISTING 2ND FLOOR	39%	5,492 SF
TOTAL RENOVATION	39%	11,914 SF
PROPOSED SQ FT	GSF / UNIT	
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SF/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SF/UNIT	14,016 SF (EXISTING)
ASSISTED LIVING (1ST FLOOR)	-	23,164 SF
ASSISTED LIVING (2ND FLOOR)	-	20,844 SF
ASSISTED LIVING (3RD FLOOR)	-	20,838 SF
TOTAL ASSISTED LIVING	968 SF/UNIT	64,846 SF
TOTAL PROPOSED	917 SF/UNIT	95,340 SF
PROPOSED CAMPUS TOTALS		
CLARE BRIDGE CROSSINGS (1ST FLOOR)	915 SF/UNIT	16,478 SF (EXISTING)
CLARE BRIDGE (2ND FLOOR)	738 SF/UNIT	14,016 SF (EXISTING)
ASSISTED LIVING (1ST, 2ND & 3RD FLOOR)	968 SF/UNIT	64,846 SF
CAMPUS TOTALS	917 SF/UNIT	95,340 SF

ASSISTED LIVING COMMON AREA DATA

COMMON AREA REQUIRED PER 100 RS 83.31(1)(A) CALCULATIONS ASSUMING 100% NON-AMBULATORY	
NON-AMBULATORY REQUIRES 90sf / RESIDENT X 69 RESIDENTS	6,210 SF
42 ONE BEDROOM UNITS w/ +/- 255 sf OF HABITABLE FLOOR SPACE	1,260 SF
255 x 25 = 63.75 sf, 30sf MAX. PER 83.52 (1)(B) 30 x 42	
2 TWO BEDROOM UNITS w/ 377 sf OF HABITABLE FLOOR SPACE	60 SF
377 x 25 = 94.25sf, 30sf MAX. PER 83.52 (1)(B) 30 x 2	
TOTAL COMMON AREA REQUIRED	4,890 SF
COMMON AREA PROVIDED	
INCLUDING:	
DINING ROOM	2,014 SF
CLUB ROOM (2ND FLOOR)	657 SF
GAME ROOM (3RD FLOOR)	675 SF
PUB/CAFE	659 SF
LOUNGE/ATRIUM	642 SF
ARTS & CRAFTS ROOM (3RD FLOOR)	617 SF
LOUNGE (2ND FLOOR)	393 SF
PRIVATE DINING	265 SF
FITNESS ROOM	263 SF
CONVERSATION AREA (2ND FLOOR)	191 SF
CONVERSATION AREA (3RD FLOOR)	180 SF
TOTAL COMMON AREA PROVIDED	8,148 SF

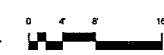
PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
JRM | PDJ

SHEET TITLE
NEW ASSISTED-LIVING THIRD FLOOR PLAN

SHEET NUMBER
A214

NOT FOR CONSTRUCTION
DD PROGRESS SET





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT

ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER

BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS

SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

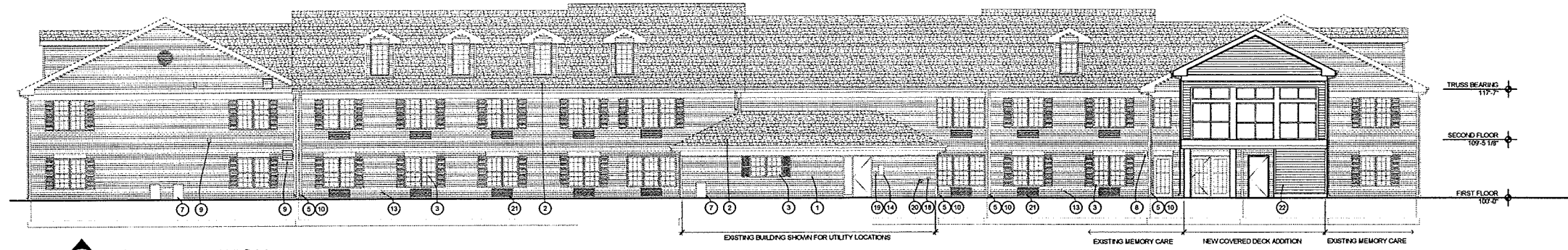
DRAWN BY CHECKED
JMH PDJ

SHEET TITLE
EXTERIOR
ELEVATIONS

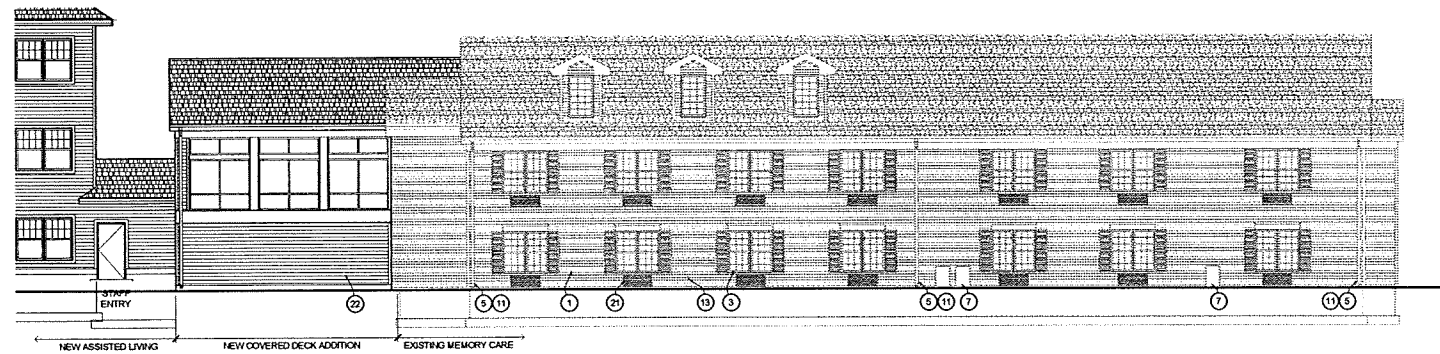
SHEET NUMBER
A300
copyright © 2012

A300

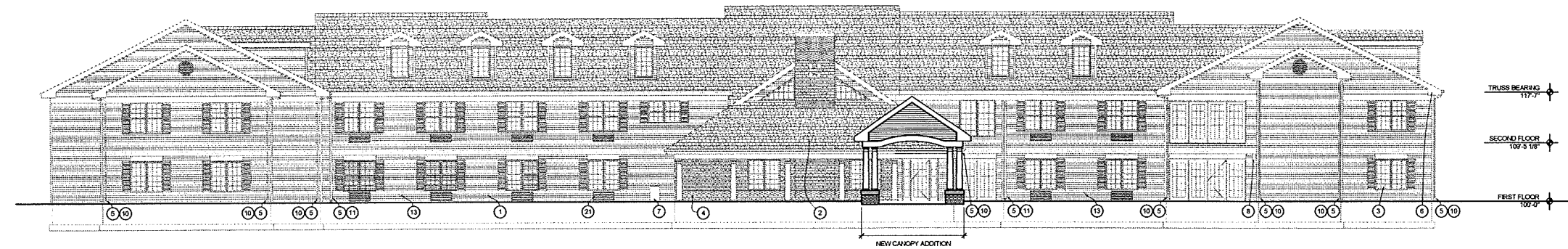
NOT FOR CONSTRUCTION
DD PROGRESS SET



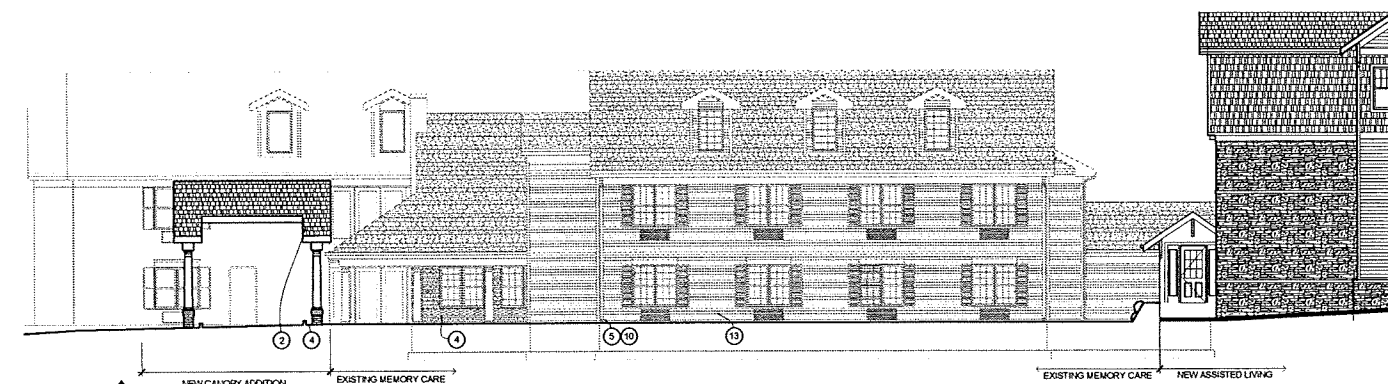
1 SOUTH ELEVATION
A300 1/8" = 1'-0"



2 EAST ELEVATION
A300 1/8" = 1'-0"

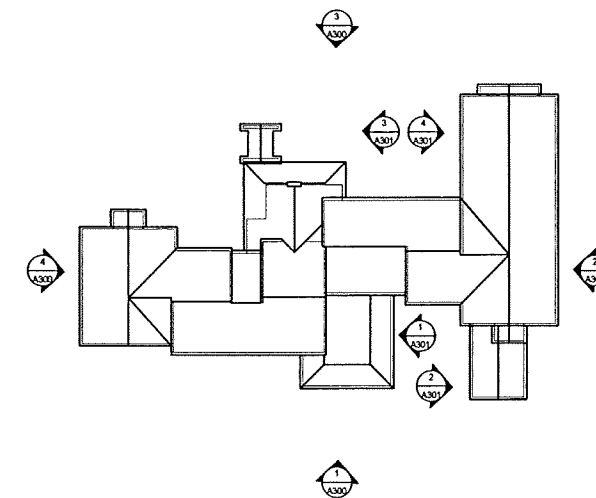


3 NORTH ELEVATION
A300 1/8" = 1'-0"



4 WEST ELEVATION
A300 1/8" = 1'-0"

ELEVATION KEY	
1	4" HORIZONTAL VINYL SIDING
2	ASPHALT SHINGLES
3	VINYL WINDOW UNIT
4	BRICK VENEER
5	PREFINISHED ALUMINUM DOWNSPOUT & GUTTER
6	PREFINISHED ALUMINUM FASCIA AND SOFFIT
7	CONDENSING UNIT
8	EXTERIOR LIGHT FIXTURE
9	EXTERIOR VENT
10	DRAIN BELOW GRADE
11	DRAIN AT GRADE
12	GAS METER
13	HOSE BIB
14	ELECTRIC METER
15	ELECTRICAL CONNECTION
16	TELEPHONE PEDESTAL
17	SPRINKLER DRAIN
18	WATER METER
19	KEY PAD
20	FIRE CONNECTION
21	PTAC UNIT
22	FIBER CEMENT BOARD





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 12-05-12

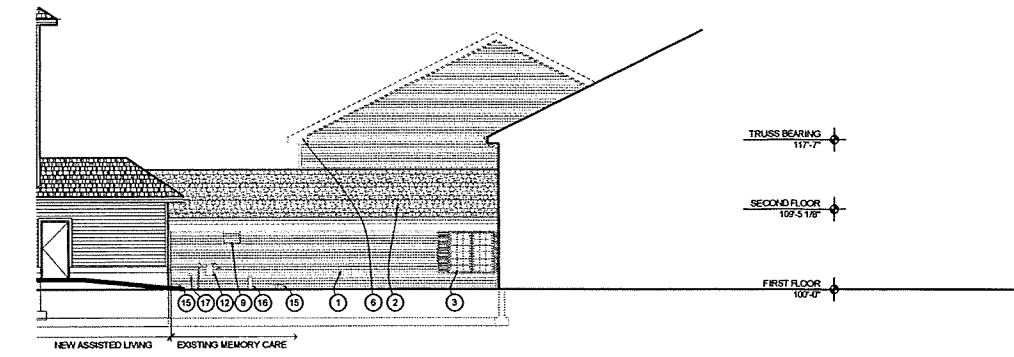
DRAWN BY CHECKED
JMH PDJ

SHEET TITLE
EXTERIOR
ELEVATIONS

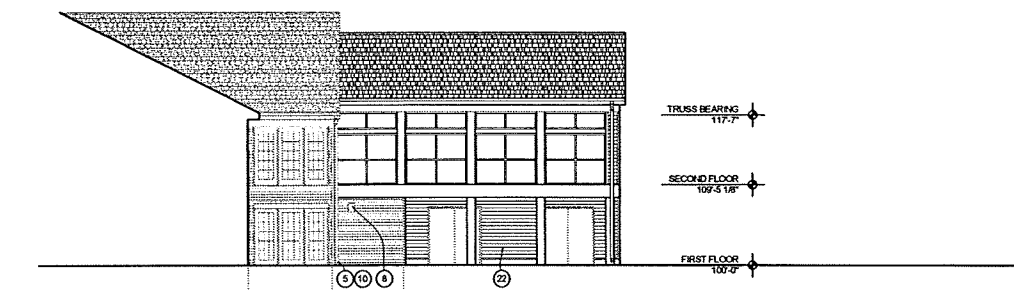
SHEET NUMBER
A301
copyright © 2012

A301

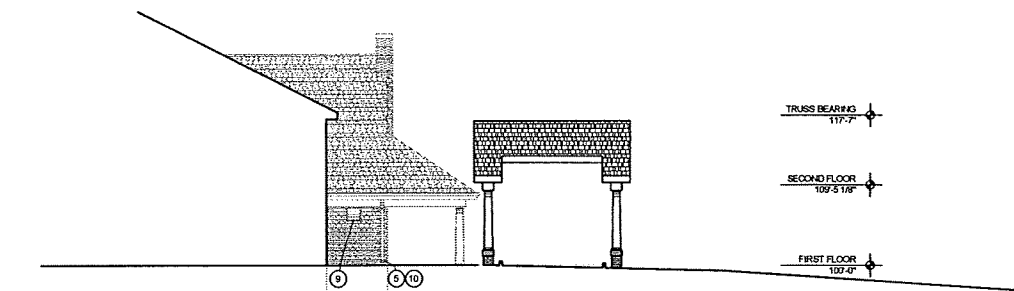
NOT FOR CONSTRUCTION
DD PROGRESS SET



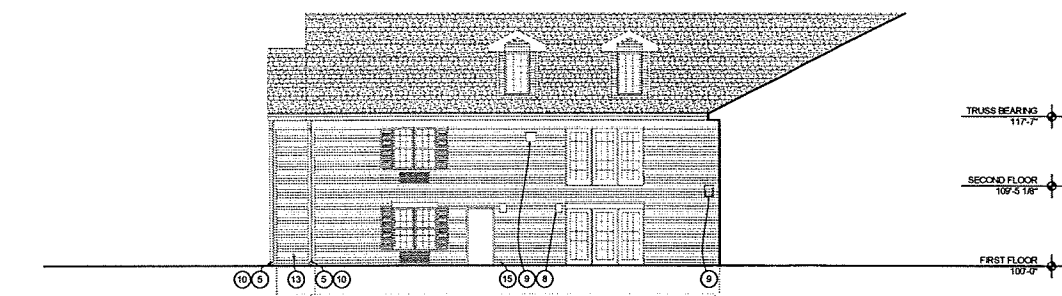
1 SOUTH ELEVATION
A300 1/8" = 1'-0"



2 EAST ELEVATION
A300 1/8" = 1'-0"

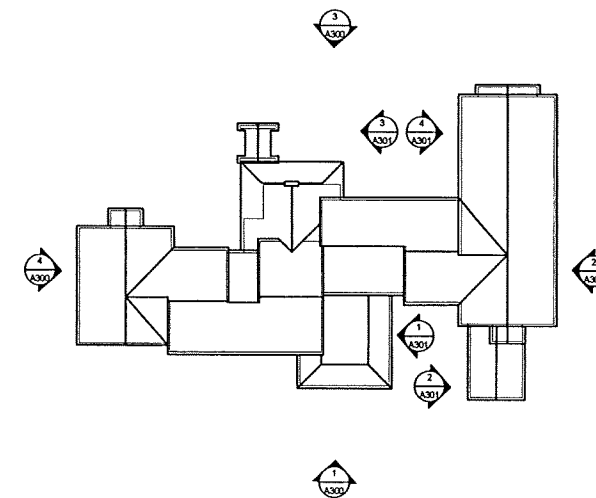


3 NORTH ELEVATION
A300 1/8" = 1'-0"



4 WEST ELEVATION
A300 1/8" = 1'-0"

ELEVATION KEY	
1	4" HORIZONTAL VINYL SIDING
2	ASPHALT SHINGLES
3	VINYL WINDOW UNIT
4	BRICK VENEER
5	PREFINISHED ALUMINUM DOWNSPOUT & GUTTER
6	PREFINISHED ALUMINUM FASCIA AND SOFFIT
7	CONDENSING UNIT
8	EXTERIOR LIGHT FIXTURE
9	EXTERIOR VENT
10	DRAIN BELOW GRADE
11	DRAIN AT GRADE
12	GAS METER
13	HOSE BIB
14	ELECTRIC METER
15	ELECTRICAL CONNECTION
16	TELEPHONE PEDESTAL
17	SPRINKLER DRAIN
18	WATER METER
19	KEY PAD
20	FIRE CONNECTION
21	PTAC UNIT
22	FIBER CEMENT BOARD





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

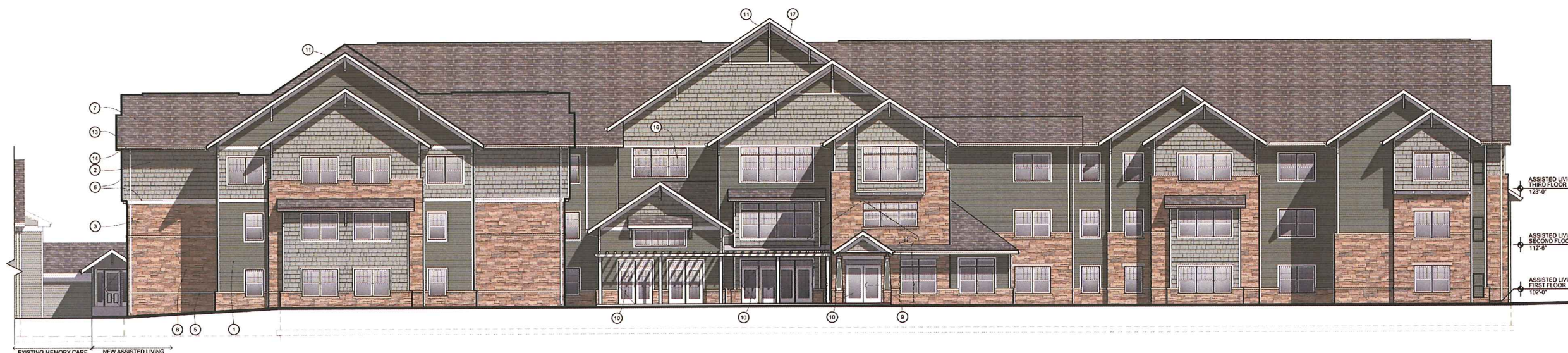
DRAWN BY CHECKED
BMC | PDJ

SHEET TITLE
NEW ASSISTED-
LIVING EXTERIOR
ELEVATIONS

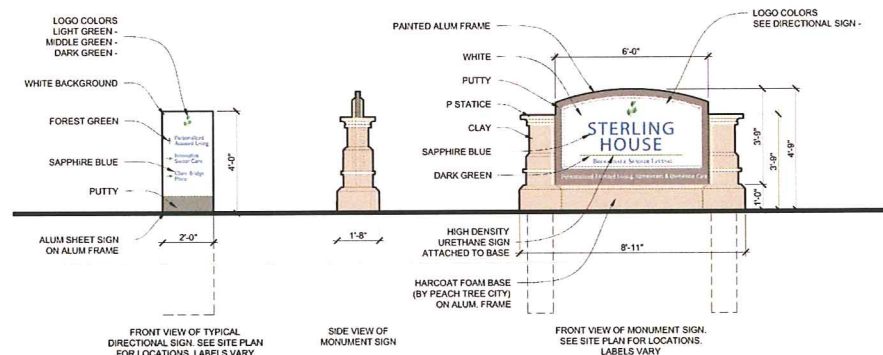
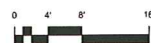
SHEET NUMBER
A302 copyright © 2012

A302

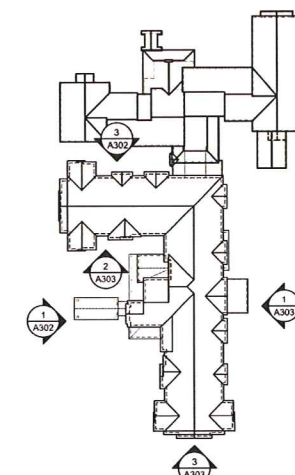
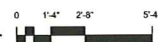
NOT FOR CONSTRUCTION
DD PROGRESS SET



1 WEST ELEVATION
A302 1/8" = 1'-0"



2 TYPICAL SIGNAGE ELEVATIONS
A302 3/8" = 1'-0"

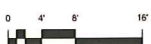


ELEVATION KEY
N15

- ELEVATION KEY**
- 1 HORIZONTAL FIBER CEMENT SIDING 1 - OLIVE GREEN
 - 2 FIBER CEMENT SHAKE SIDING - MONTEREY TAUPE
 - 3 STONE VENEER
 - 4 STONE LINTEL
 - 5 STONE SILL
 - 6 FIBER CEMENT TRIM - ARCTIC WHITE
 - 7 ASPHALT SHINGLES
 - 8 VINYL WINDOW w/ INTEGRAL GRIDS
 - 9 DECORATIVE MASONRY & WOOD COLUMN
 - 10 EXTERIOR DOOR
 - 11 DECORATIVE BRACKET
 - 12 PRE-FINISHED HVAC GRILLE
 - 13 PRE-FINISHED AL WRAPPED FASCIA
 - 14 PRE-FINISHED AL GUTTERS & DOWNSPOUTS
 - 15 STAINED WOOD DUMPSTER & MECHANICAL EQUIPMENT ENCLOSURE
 - 16 VINYL WINDOW W/ SPANDREL GLASS
 - 17 PRE-FINISHED LOUVRE VENT
 - 18 STAINED WOOD PERGOLA
 - 19 PRE-FINISHED VINYL RAILING SYSTEM
 - 20 HORIZONTAL FIBER CEMENT SIDING 2 - TAN



3 NORTH ELEVATION
A302 1/8" = 1'-0"





PLANNING
DESIGN
CONSTRUCTION

PDC MIDWEST, INC.
1130 JAMES DRIVE, SUITE 106
HARTLAND, WISCONSIN 53029
T. 262-367-7770 F. 262-367-7712
WWW.PDCMIDWEST.COM

PROJECT
ASSISTED LIVING,
CLARE BRIDGE CROSSINGS
& CLARE BRIDGE
OF MADISON

413 & 429 SOUTH
YELLOWSTONE DRIVE
MADISON, WI 53719

OWNER
BROOKDALE SENIOR
LIVING COMMUNITIES, INC.
6737 W. WASHINGTON ST.
MILWAUKEE, WI 53214



STATUS
SITE PLAN APPROVAL
SUBMITTAL

PROJECT NO. DATE
11025 | 12-05-12

DRAWN BY CHECKED
BMC | PDJ

SHEET TITLE
NEW ASSISTED-
LIVING EXTERIOR
ELEVATIONS

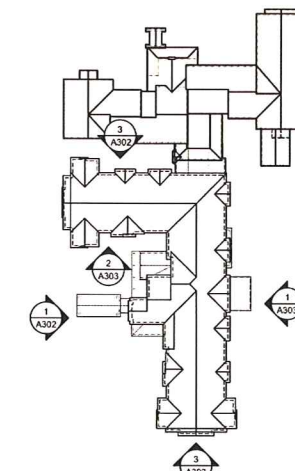
SHEET NUMBER
A303 copyright © 2012

A303

NOT FOR CONSTRUCTION
DD PROGRESS SET



1 EAST ELEVATION
A303 1/8" = 1'-0"

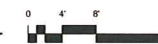


ELEVATION KEY	
1	HORIZONTAL FIBER CEMENT SIDING 1 - OLIVE GREEN
2	FIBER CEMENT SHAKE SIDING - MONTEREY TAUPE
3	STONE VENEER
4	STONE LINTEL
5	STONE SILL
6	FIBER CEMENT TRIM - ARCTIC WHITE
7	ASPHALT SHINGLES
8	VINYL WINDOW w/ INTEGRAL GRIDS
9	DECORATIVE MASONRY & WOOD COLUMN
10	EXTERIOR DOOR
11	DECORATIVE BRACKET
12	PRE-FINISHED HVAC GRILLE
13	PRE-FINISHED AL WRAPPED FASCIA
14	PRE-FINISHED AL GUTTERS & DOWNSPOUTS
15	STAINED WOOD DUMPSTER & MECHANICAL EQUIPMENT ENCLOSURE
16	VINYL WINDOW w/ SPANDREL GLASS
17	PRE-FINISHED LOUVRE VENT
18	STAINED WOOD PERGOLA
19	PRE-FINISHED VINYL RAILING SYSTEM
20	HORIZONTAL FIBER CEMENT SIDING 2 - TAN

ELEVATION KEY
N15



2 PARTIAL SOUTH ELEVATION A
A303 1/8" = 1'-0"



3 PARTIAL SOUTH ELEVATION B
A303 1/8" = 1'-0"

