

**PLAN KEY**

- 1 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH CITY STANDARDS. CONTRACTOR TO OBTAIN STREET EXCAVATION PERMIT FROM THE CITY TO WORK IN THE RIGHT-OF-WAY
- 2 18" CURB AND GUTTER
- 3 THICKENED EDGE CONCRETE, TYP.
- 4 7" STOP SIGN
- 5 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP
- 6 ACCESSIBLE STALL, TYP.
- 7 VAN ACCESSIBLE PARKING SIGN, TYP.
- 8 CONCRETE SIDEWALK, TYP.
- 9 CURB RAMP TYPE 1, W/DETECTABLE WARNING FIELD, TYP
- 10 CURB RAMP TYPE 2, W/DETECTABLE WARNING FIELD, TYP
- 11 BIKE RACK TO BE DERO PART# BH-FT-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH
- 12 10' x 10' VISION TRIANGLE AT DRIVEWAYS AND 25' X 25' VISION TRIANGLE AT STREETS. NO VISUAL OBSTRUCTIONS ARE ALLOWED BETWEEN THE HEIGHTS OF 30 INCHES AND 10 FEET
- 13 RETAINING WALL, DESIGN BY OTHERS
- 14 BOLLARD
- 15 2' VEHICLE PARKING OVERHANG, TYP.
- 16 EXISTING 10' WIDE UTILITY EASEMENT
- 17 EXISTING DRIVEWAY EASEMENT
- 18 30" CURB AND GUTTER
- 19 SCREENED DUMPSTER, (SEE ARCHITECTURAL PLANS)
- 20 BIORETENTION AREA FOR STORMWATER MANAGEMENT
- 21 REINSTALL "NO PARKING THIS SIDE" SIGNAGE AND POST
- 22 CONCRETE STAIRS WITH HAND RAILS, DESIGN BY OTHERS

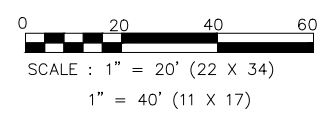
**SITE INFORMATION**

SITE ADDRESS: 4510 & 4522 E WASHINGTON AVENUE  
 SITE ACREAGE TOTAL: 69,376 SF (1.59 ACRES)  
 NUMBER OF BUILDING STORIES = 1  
 BUILDING AREA = 6,881 GSF  
 EXISTING IMPERVIOUS AREA = 59,532 SF  
 PROPOSED IMPERVIOUS AREA = 56,688 SF  
 BUILDING = 6,881 SF  
 PAVEMENT/SIDEWALK = 49,807 SF  
 IMPERVIOUS SURFACE % = 81.7%  
 NUMBER OF PARKING STALLS: 83 (4 HC)  
 TOTAL BIKE PARKING: 6 STALLS

**KEY**

- ASPHALT PAVEMENT
- CONCRETE
- CONCRETE PAVEMENT
- EXISTING CONCRETE
- BIORETENTION DEVICE
- EXISTING ASPHALT

**NOTE:**  
 RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	11-28-22

818 N Meadowbrook Ln  
 Waukegan, WI 53597  
 phone (608) 849-9378  
 www.pe-wi.com

**PROFESSIONAL ENGINEERING LLC**

**CAFE ZUPAS SITE PLAN**  
 4510 & 4522 E WASHINGTON AVE  
 MADISON, WISCONSIN

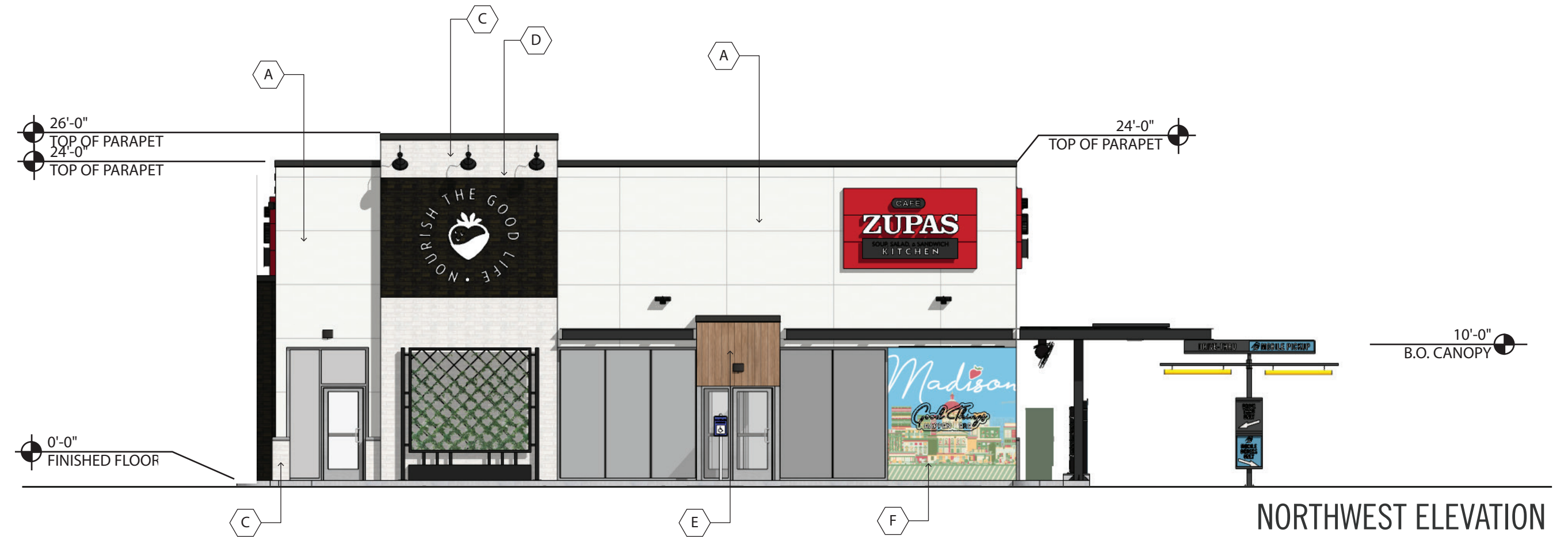
**C200**

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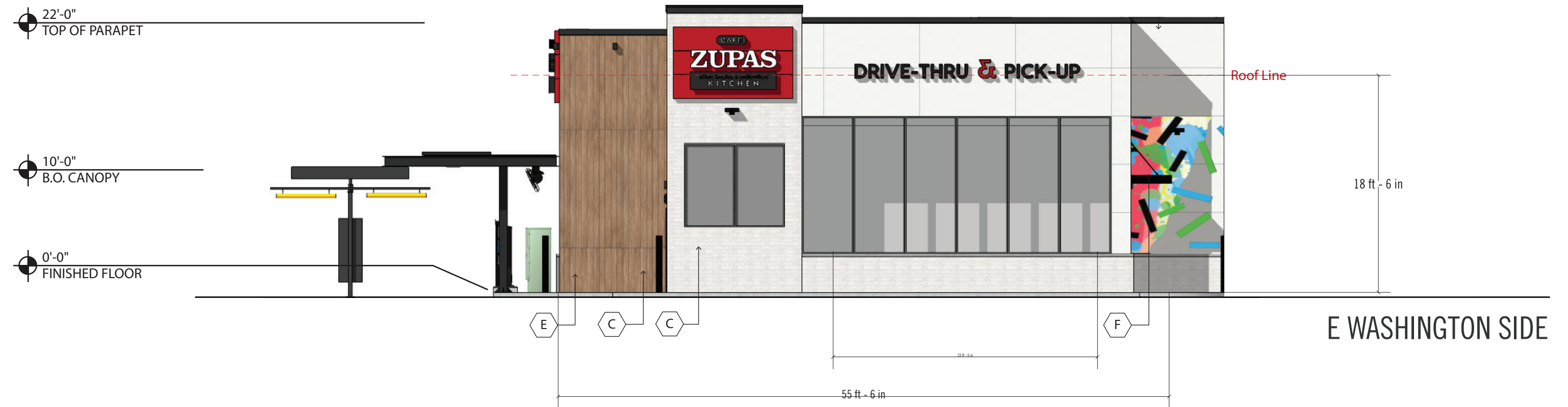
approx:  
4522 E Washington Ave  
Madison, WI 53704

**MATERIALS AND COLORS**

- A FIBER CEMENT PANELS:**  
FINISH: SOLID THROUGH-COLOR  
MFG: AFC CEMBRIT SOLID  
COLOR: S 212 LUNA
- B NOT USED**  
FINISH: NOT USED  
MFG: NOT USED  
COLOR: NOT USED
- C BRICK:**  
FINISH: NORMAN 2.25X11.685  
MFG: BELDEN BRICK  
COLOR: ALASKA WHITE VELOUR  
PAINT SW 7004 SNOWBOUND
- D BRICK:**  
FINISH: NORMAN 2.25X11.685  
MFG: BELDEN BRICK  
COLOR: DOWNING BLACK VELOUR  
SW 6258 TRICORN BLACK
- E COMPOSITE WOOD:**  
MFG: NICHIIHA  
STYLE: VINTAGE WOOD (FCB)  
COLOR: "SPRUCE"
- F PAINTED MURAL:**  
FINISH: BRICK OR EIFS  
MFG: BY OWNER  
COLOR: TBD CUSTOM  
MADISON THEME



<p><b>REQUIRED FENESTRATION LENGTH:</b> LENGTH = 60% of 55'-6" = 33.3' ✓ACTUAL= 23'-6" + 11'-9" = 35'-3"</p>	<p><b>REQUIRED FENESTRATION AREA:</b> AREA = 40% of (18'-6" X 55'-6") = 40% of 1026.75 = 410.7 sq ft ✓ACTUAL= (11'-9" x 7') + (23'-6" x 14') = 82.25 sq ft + 329 sq ft = 411.25 sq ft</p>	<p><b>SPANDREL RESTRICTION:</b> AREA = 20% of 411.25 sq ft = only 82.25 sq ft allowed ✓ACTUAL= (11'-9" x 7') = 82.25 sq ft</p>
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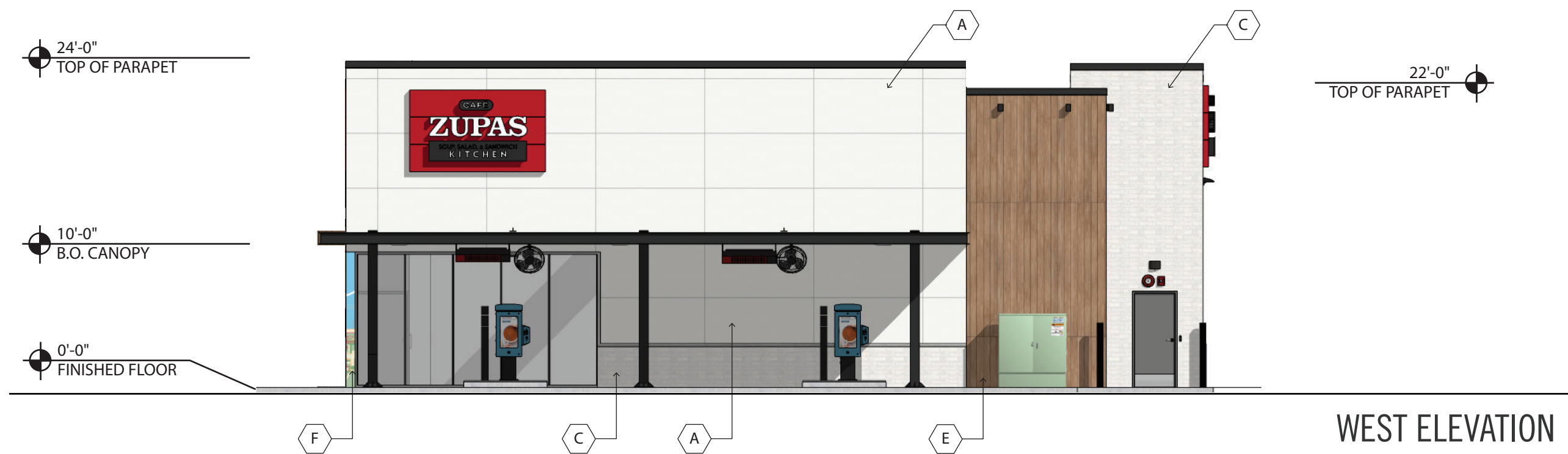
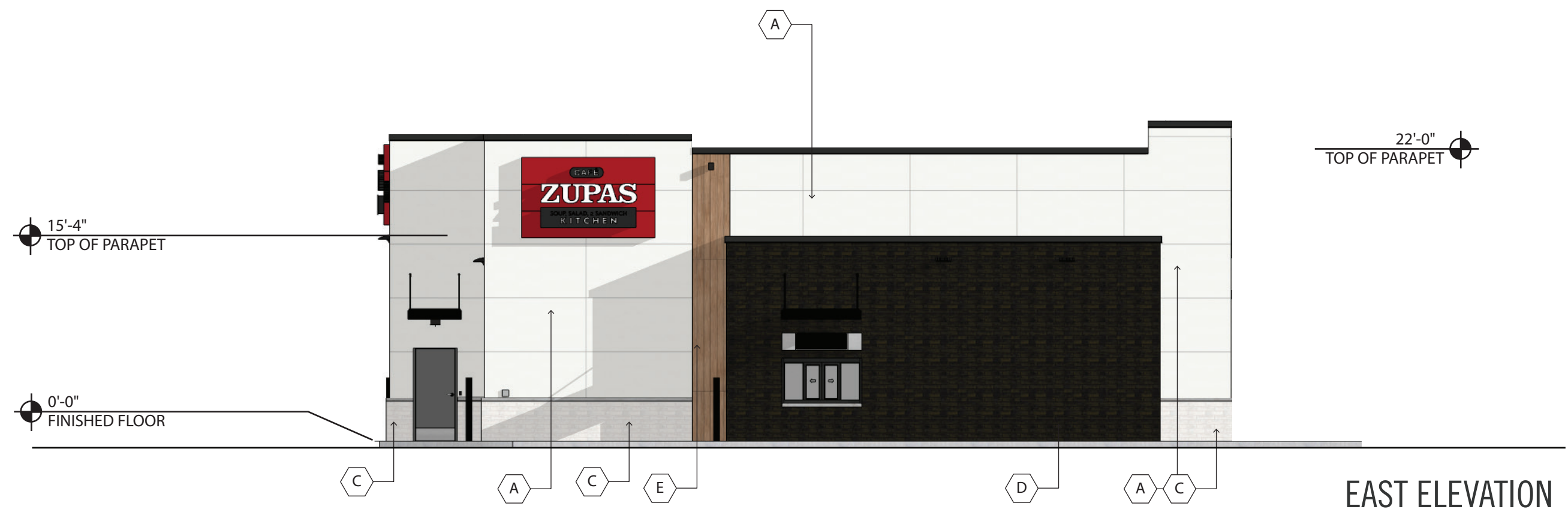


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MADISON THEME



approx:  
4522 E Washington Ave  
Madison, WI 53704



NORTHWEST ELEVATION

approx:  
4522 E Washington Ave  
Madison, WI 53704



SOUTHEAST ELEVATION



Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

PROPOSED CHAPTER AESTHETIC STUDIO DEVELOPMENT FOR:  
**GALWAY COMPANIES**  
4522 E. WASHINGTON AVE. • MADISON, WI 53704

PROFESSIONAL SEAL

PRELIMINARY DATES

NOV. 22, 2022

NOT FOR CONSTRUCTION

JOB NUMBER

2278720

SHEET NUMBER

A21

EXTERIOR FINISH KEY

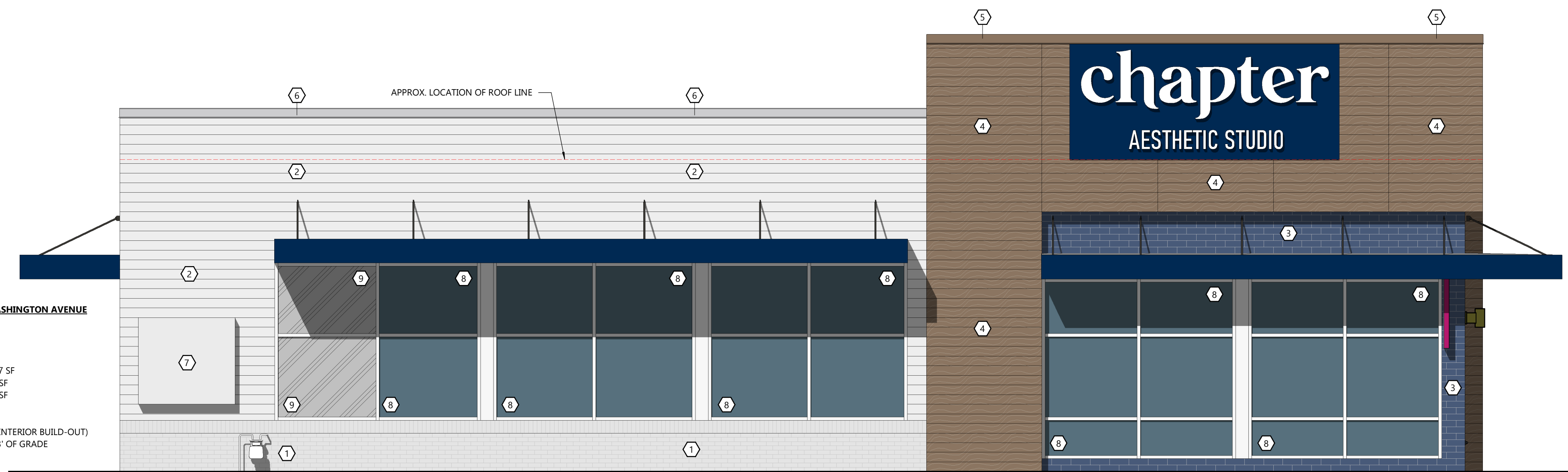
- 9 THERMALLY BROKEN ALUMINUM FRAME W/  
INSULATED SPANDREL GLAZING  
• SEE A6 SHEET(S)  
• CONFIRM FINAL LOCATIONS W/ TENANT  
INTERIOR DOCUMENTS PRIOR TO ORDERING
- 8 THERMALLY BROKEN ALUMINUM  
FRAME W/ INSULATED GLAZING  
• SEE A6 SHEET(S)
- 7 PAINT  
COLOR: PAINT TO MATCH SIDING
- 6 PREFINISHED METAL COPING  
MFR: FIRESTONE UNA-CLAD  
COLOR: STONE WHITE
- 5 PREFINISHED METAL COPING  
MFR: FIRESTONE UNA-CLAD  
COLOR: SIERRA TAN
- 4 FIBER CEMENT PANEL  
MFR: NICHHA  
STYLE: VINTAGE WOOD  
COLOR: SPRUCE
- 3 GLAZED SUBWAY TILE  
CROSSVILLE RETRO ACTIVE  
ROYAL NAVY 4"x12"  
GROUT: WHITE
- 2 FIBER CEMENT LAP SIDING  
MFR: JAMES HARDIE  
STYLE: SELECT CEDARMILL  
COLOR: ARTIC WHITE
- 1 BRICK VENEER  
MFR: BELDEN BRICK  
COLOR: ALASKAN WHITE VELOUR

OPENING CALCULATIONS FACING E. WASHINGTON AVENUE

TOTAL FAÇADE LENGTH: 70'-9"  
60% OF LENGTH: 42'-5 3/8"  
OPENINGS LENGTH: 53'-5"

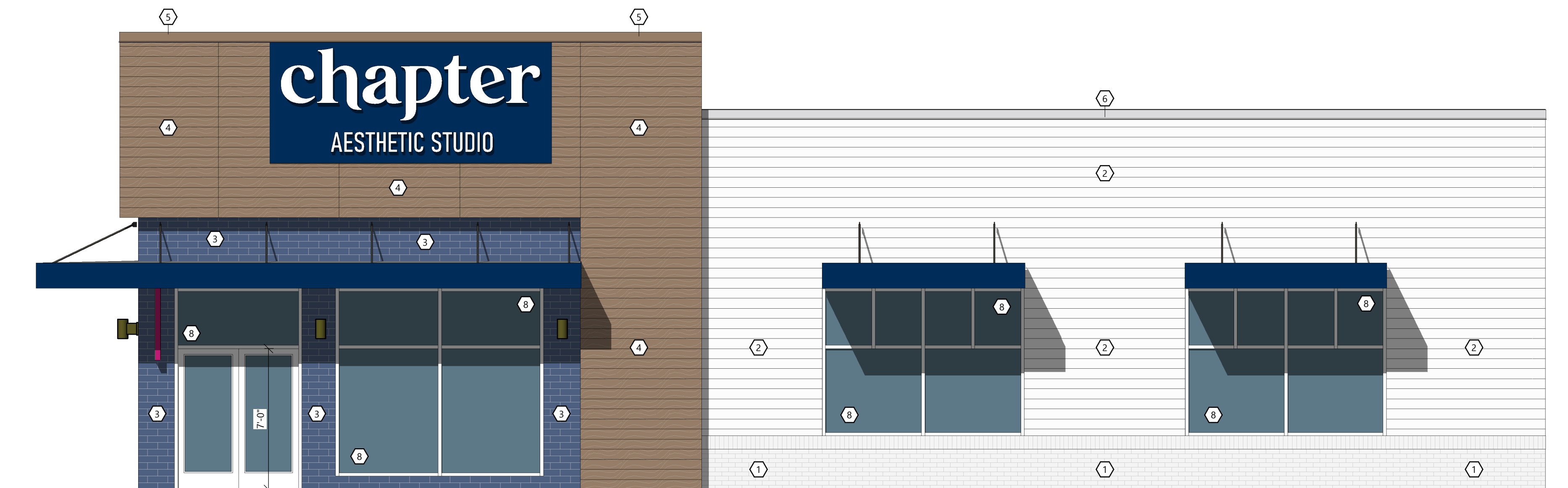
FAÇADE AREA (BELOW ROOF LINE): 1,147 SF  
40% OF AREA: 459 SF  
OPENINGS AREA: 460 SF

20% ALLOWED TO BE SPANDREL GLAZING  
(TO BE COORDINATED WITH TENANT'S INTERIOR BUILD-OUT)  
100% OF OPENINGS HAVE A SILL WITHIN 3' OF GRADE



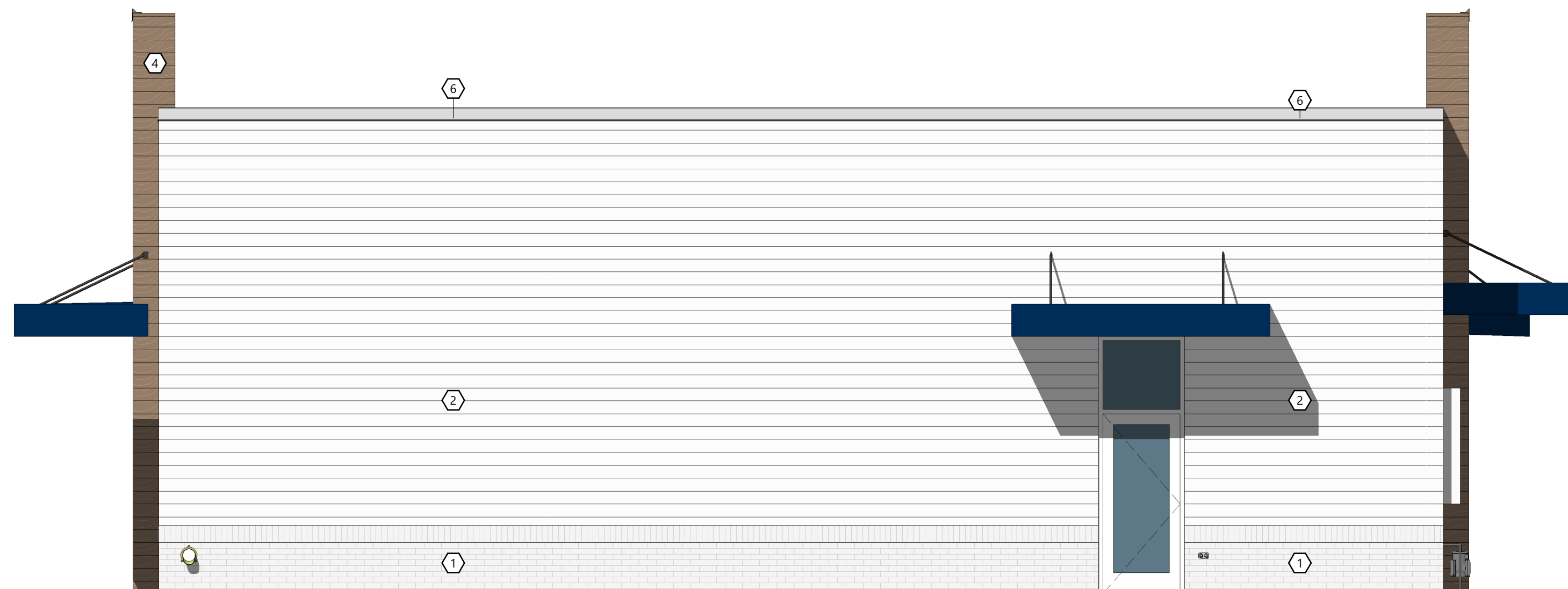
SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



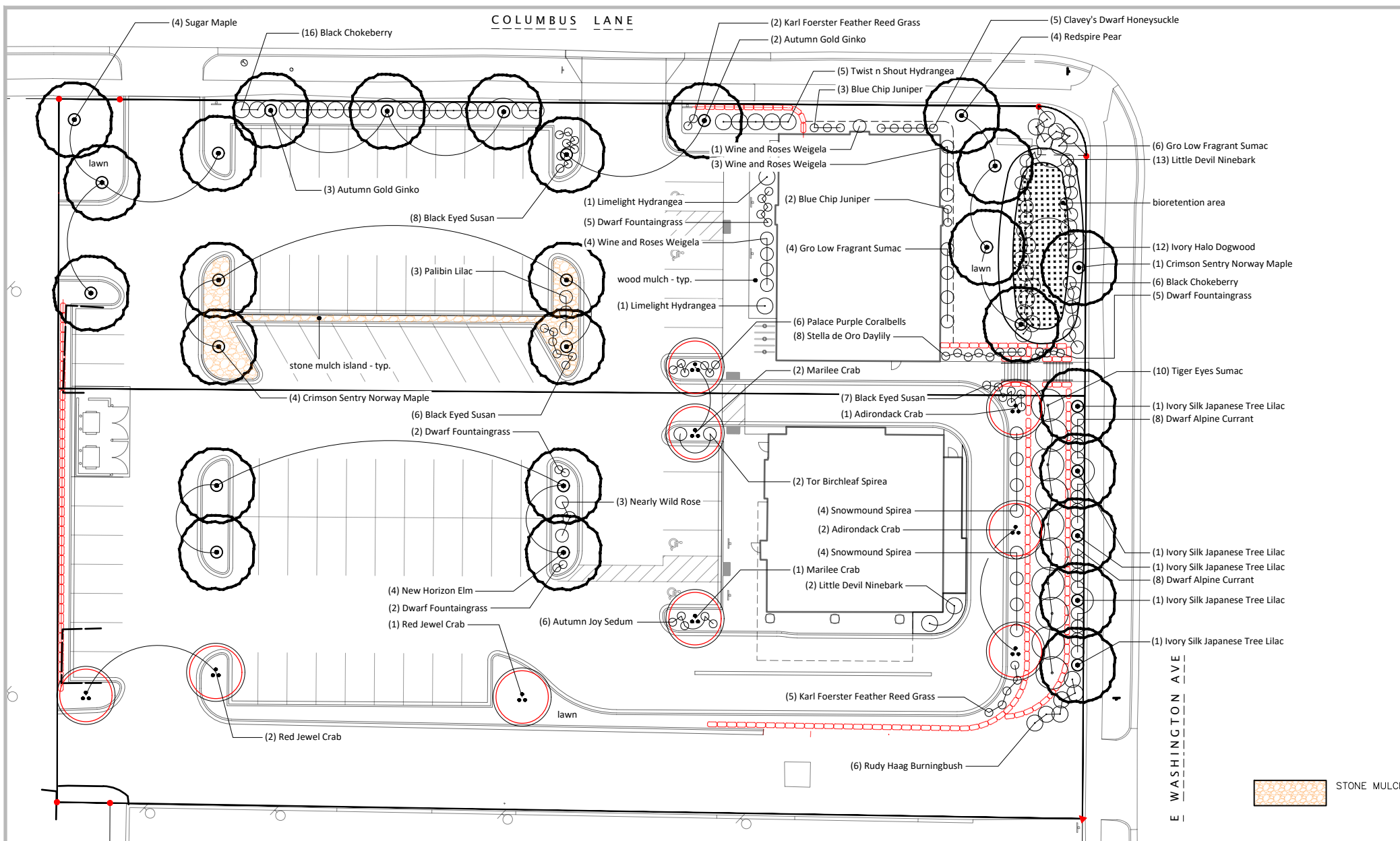
SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



# 1 LANDSCAPE PLAN

Scale: 1" = 40'-0" (11x17)

- GENERAL NOTES:**
- Trees and shrub groupings are to receive wood mulch beds consisting of a mixture of recycled brown dyed wood mulch spread to a 3" min. depth over a pre-emergent herbicide.
  - "Lawn" areas shall be finish graded and seeded at a rate of 4 lbs. per 1,000 sq. ft. Basis of Design: Madison Parks Lawn Seed Mix. EarthCarpet Corporation. ([www.seedsolutions.com](http://www.seedsolutions.com))
  - "Edging" to be professional grade polyethylene lawn edging available in 20' flat strips. Basis of Design: Valley View Black Diamond. Valley View Industries.
  - "Stone mulch" to be clean washed 1 1/2" - 2 1/2" durable landscape stone spread to a 3" min. depth over a commercial grade weed barrier fabric.
  - Landscape Contractor shall provide regular maintenance until a date 60 days after completion of planting. Maintenance shall begin when planting is started for ongoing planting areas. Maintenance operations shall include watering, weeding, and mowing. Contractor shall provide temporary irrigation equipment if needed to provide a minimum of 1" of water per week throughout the maintenance period for all planting areas.
  - Landscape Contractor shall guarantee to replace once, without charge, any plant material that dies within one year of installation providing the Owner gives normal plant care (regular watering). The Owner must report plant losses within the guarantee period.

**Landscape Calculations and Distribution (Site is CC - T Zoning):**  
 Five (5) landscape points shall be provided per each (300) sf of developed area  
 Total sf of developed area = 49,575 sf  
 Developed area divided by (300) x 5 = 827 Points Required

**Development Frontage Landscaping**  
 Total lf of lot frontage = 529  
 Required Trees = 18  
 Required Shrubs = 90

**Provided Trees = 18  
 Provided Shrubs = 90**

**Tabulation of Points and Credits:**

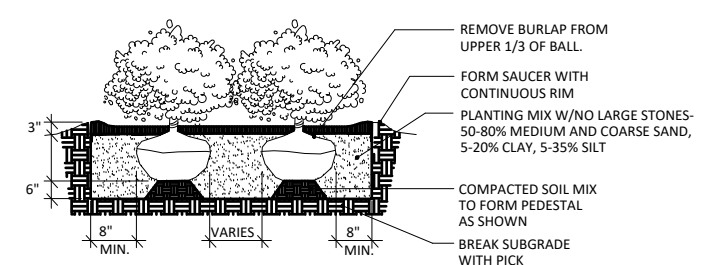
Plant Type/Element	Min. size	Points	Existing Qty.	Existing Pts.	Proposed Qty.	Proposed Pts.
Overstory Deciduous Tree	2 1/2" cal.	35	-	-	27	945
Ornamental tree	1 1/2" cal.	15	-	-	7	105
Upright evergreen shrub	3-4 feet tall	10	-	-	-	-
Shrub, deciduous	18" or 3 gal.	3	-	-	122	366
Shrub, evergreen	18" or 3 gal.	4	-	-	5	20
Ornamental grasses	18" or 3 gal.	2	-	-	18	36
Ornamental fence or wall	na	4/10 lf	-	-	-	-
<b>Total</b>						

**1,472 Total Points Provided (827 Required)**

- DECIDUOUS**
- Autumn Gold Ginko
  - New Horizon Elm
  - Redspire Pear
  - Adirondack Crab
  - Sugar Maple
  - Ivory Silk Japanese Tree Lilac
  - Crimson Sentry Norway Maple
  - Marilee Crab
  - Red Jewel Crab
- SHRUBS**
- Glossy Black Chokeberry
  - Limelight Hydrangea
  - Gro Low Fragrant Sumac
  - Snowmound Spirea
  - Rudy Haag Burningbush
  - Ivory Halo Dogwood
  - Tor Birchleaf Spirea
  - Nearly Wild Rose
  - Twist-n-shout Hydrangea
  - Wine and Roses Weigela
  - Little Devil Ninebark
  - Blue Chip Juniper
  - Clavey's Dwarf Honeysuckle
  - Palibin Lilac
  - Dwarf Alpine Currant
- PERENNIALS and VINES**
- Autumn Joy Sedum
  - Northwind Switchgrass
  - Karl Foerster Feather Reed Grass
  - Dwarf Fountaingrass
  - Black Eyed Susan
  - Palace Purple Coralbells
  - Stella de Oro Daylily
- Ginkgo biloba 'Autumn Gold'**
- Ulmus 'New Horizon'
  - Pyrus calleryana 'Redspire'
  - Malus 'Adirondack'
  - Acer saccharum
  - Syringa reticulata 'Ivory Silk'
  - Acer platanoides 'Crimson Sentry'
  - Malus 'Jarmin' PP 14337
  - Malus 'Jewelcole'
- Aronia melanocarpa**
- Hydrangea paniculata 'Limelight'
  - Rhus aromatica 'Gro Low'
  - Spiraea nipponica 'Snowmound'
  - Euonymus alatus 'Rudy Haag'
  - Cornus alba 'Baillhalo'
  - Spiraea betulifolia 'Tor'
  - Rosa 'Nearly Wild'
  - Hydrangea macrophylla 'Twist n Shout'
  - Weigela florida 'Alexandra'
  - Physocarpus opulifolius 'Little Devil'
  - Juniperus horizontalis 'Blue Chip'
  - Lonicera xylosteum 'Clavey'
  - Syringa meyeri 'Palibin'
  - Ribes alpinum 'Pumilium'
- Sedum 'Herbstfreude'**
- Panicum virgatum 'Northwind'
  - Calamagrostis acutiflora 'Karl Foerster'
  - Pennisetum alopecuroides 'Hamel'
  - Rudbeckia hirta
  - Heuchera micrantha 'Palace Purple'
  - Hemerocallis 'Stella de Oro'

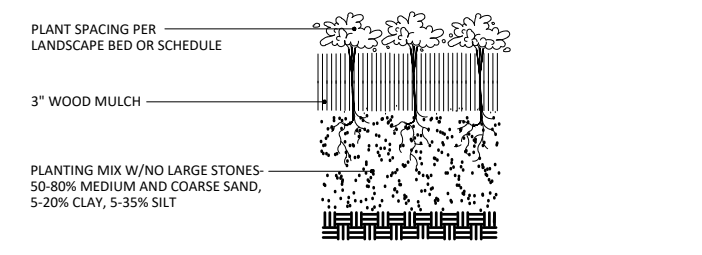
# 2 TREE PLANTING

NTS



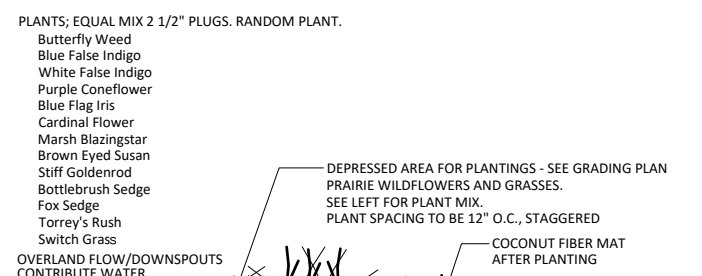
# 3 SHRUB PLANTING

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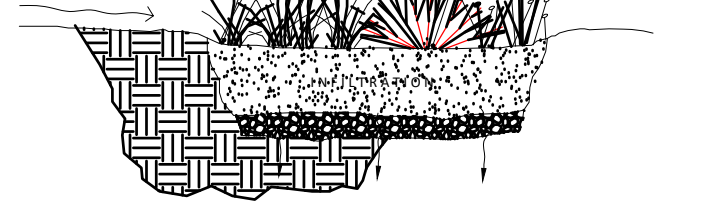
# 4 PERENNIAL PLANTING

NTS



# 5 BIORETENTION AREA

NTS



ISSUANCE/REVISION	DATE
SITE PLAN REVIEW	11-28-22

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 Waunakee, WI 53597  
 phone (608) 849-9378  
[www.pe-wi.com](http://www.pe-wi.com)

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**CAFE ZUPAS LANDSCAPE PLAN**

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 MADISON, WISCONSIN

**L100**