

APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL

AGENDA ITEM # \_\_\_\_\_  
Project # \_\_\_\_\_  
Legistar # 21680

DATE SUBMITTED: 7-27-2011  
UDC MEETING DATE: 8-3-2011

Action Requested  
 Informational Presentation  
 Initial Approval and/or Recommendation  
 Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 4716 VERONA ROAD

ALDERMANIC DISTRICT: 10

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
AMERCO REAL ESTATE CO. DAVID POLLOCK

CONTACT PERSON: DAVID POLLOCK

Address: 2727 N CENTRAL AVE

PHX. AZ. 85004

Phone: 602-263-6502

Fax: 602-277-1026

E-mail address: DAVID\_POLLOCK@UHALL.COM

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.





**AMERCO Real Estate Co.**

U-HAUL INTERNATIONAL • 2727 N. CENTRAL AVE. • PHOENIX, AZ 85004 • (602) 263-6502 • FAX NO. (602) 277-1026

July 25, 2011

To; Urban Design Commission

Re: U-Haul Madison, 4716 Verona Road – “Recommendation for Final Approval of the Design”

U-Haul International is respectfully requesting the Urban Design Commission to consider our application and request to be placed on the August 3, 2011 Urban Design Commission agenda in order to obtain a recommendation for “Final Approval” for the design of our proposed development located at 4716 Verona Road.

On July 5, 2011 the Common Council approved the rezoning of our property at 4716 Verona Road from PUD(GDP)(SIP) to Amended PUD(GDP)(SIP) with approved design changes and the 32 conditions placed upon this proposed development.

Below, we have prepared a narrative overview of this development that outlines the current design changes that the Common Council approved along with the status of the conditions as compared to the design items that the Urban Design Commission “Granted Initial Approval” at the meeting of May 25, 2011.

1. Final plans submitted for approval have been reconciled to show the accurate view and location of the new “**Real Glass Windows**” on the south façade of the main building. Refer to Sheets A3.1 & A-4
2. The area designated as “**Future Development**” has been modified to reflect the final Storm Water Pond to be constructed by WDOT. The “Space for Future Development” may not be utilized for parking, storage or advertising for U-Haul. Area will be allowed for charitable & neighborhood events. The designated “Display Parking” area may be utilized temporarily by U-Haul until the vacant parcel is developed. The area for Future Development shall remain paved and a permanent physical concrete barrier at a min of 32” high shall be install to prevent access and usage. Refer to Sheet A-1
3. Final plans submitted now reflect the **2 Approved Outside Storage units** (Building B & C) with a total **14 Operable Storage doors** facing the Frontage Road. The building materials shall be similar to the existing main building. Refer to Sheets A-1 and A-3
4. Final plans submitted now reflect the **removal of the fabric canopy** as originally requested Refer to Sheet A-1
5. **No Equipment Cleaning** area is proposed for the application

6. **Signage** for this property has been submitted with this application. U-Haul is seeking final approval for our proposed signs (Pylon & Wall) in order to achieve a true “Retail” look versus a plain industrial appearance

**Pylon Sign;** Referring to Sheet A-5, we are submitting for your approval a Pylon Sign that would be 30 Feet Tall with 5 individual 60 inch square Vacuum formed / embossed letter faces with an area square footage of 135 SF. This pylon sign would be supported by 2-12” diameter thick steel pipes painted Egg Shell Black. Also, included as part of this pylon sign request is a 40 SF adjustable reader board. Total sign area is 175 SF

**Note:** The pylon sign that is currently exists stands 30 feet tall with a total area of 150 SF.

**Wall Signs;** The goal of our wall sign request is to be able to incorporate the proposed wall signs and the exterior wall painting “Retail” look that is shown on Sheet A-3.1. We believe this design combination is what is needed at this location in order to achieve the significant aesthetic improvements that has been requested by city staff instead of the plain “industrial” look that is depicted on Sheet A-3.2.

Sheets A-3.1 and A-3.3 currently delineate the locations and calculations for the proposed wall signs at the existing main building and the 2 new outside storage buildings. We are proposing 4 locations of wall signs on the main building (refer to Sheet A-3.1) and 2 wall sign locations on the outside storage buildings (refer to Sheet A-3.3)

**Wall Sign Analysis as follows:**

**Main Building**

Area 1 Sign = SELF-STORAGE

Sign Area = 678 SF / Allowable Sign Area = 203 SF / Proposed Sign Area = 37 SF

Area 2 Sign = MOVING SUPPLIES – CUSTOM HITCHES

Sign Area = 1,831 SF / Allowable Sign Area = 549 SF / Proposed Sign Area = 100 SF

Area 3 Sign = UHAUL (WITH 4 ILLUMINATED CANS)

Sign Area = 822 SF / Allowable Sign Area = 247 SF / Proposed Sign Area = 225 SF

Area 4 Sign = CUSTOM HITCHES

Sign Area = 590 SF / Allowable Sign Area = 177 SF / Proposed Sign Area = 46 SF

**Outside Storage Building B & C = UHAUL**

Sign Area = 60 SF each / Allowable Sign Area = 24 each / Proposed Sign Area = 14 each

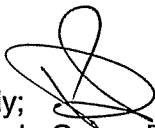
7. A **comprehensive Landscape Plan** has been prepared and included with this application. Sheet L-1 referred to as the Existing Vegetation Plan documents all the existing trees, shrubs ground covers and lawns areas for this development. Sheet L-2 is the Planting Plan that indicates all the new trees, shrubs and ground covers which are being adapted into this Re-use development application for approval.

Our Landscape Architect has provided extra attention to the **screening of the Propane Tank**, refer to Sheet L-2. Provisions of additional islands has been incorporated into this Final plan that includes trees, shrubs and ground covers that separates and screens the future development area from the equipment staging area. Landscaping along the existing **bike path** is shown on sheet L-2. Orchard Ridge Community Association has been contacted and find this design acceptable.

Page 3 – Continue Item 7;

On Sheet L-2 you will find the Landscape Planting Schedule and the completed Landscape Worksheet as required.

8. **All Traffic Engineering, City Engineering, Water Utility and Madison Fire Department conditions** have either been or shall be resolved and incorporated into Final Plans for City Staff Final Approvals.
9. Final plans submitted reflect the **1,000 gallon horizontal propane tank** in the WDOT land area. U-Haul shall obtain written assurance from WDOT that this installation / location is allowable as an encroachment prior to city staff final approvals. Refer to Sheet A-1. **Heavy landscaping** has also been provided around the propane tank. Refer to Sheet L-2
10. **As required by the Zoning Administrator**, parking for persons with disabilities complies with the City of Madison General Ordinances Section 28.11(3)6(m). this includes a Van accessible stall and the required signage placed at the head of each stall accessible path from the stalls to the building. The existing accessible access to the right-of-way shall remain and not be impacted by the development.
11. Current plan has **added 12 additional Bike parking stalls** that are located at the front of the development. Each of these 12 new bike racks shall be the city approved "Inverted-U type racks". Bike parking stalls shall be two feet by six feet with a five foot access area. Refer to Sheet A-1. Note; Existing Bike racks located at the new Load / Unload entrance shall remain
12. Exterior **lighting for this project complies** with MGO Section 10.085, "Outdoor Lighting Standards". Refer to Photometric Plan Sheet No. A-6 to review Luminaire Schedule, Statistics and Layout. Refer to Sheet A-1 for location of building wall lights, existing parking lot lights and existing Frontage Road Pole Lights. No Additional Lights have been added to this development. Refer to Sheet A-3.1 Exterior Building Elevations that identify the wall light locations and existing heights.



Respectfully;  
David Pollock, Owner Rep / Applicant  
U-Haul International / AMERCO Real Estate Company



# LAND USE APPLICATION FOR U-HAUL - MADISON

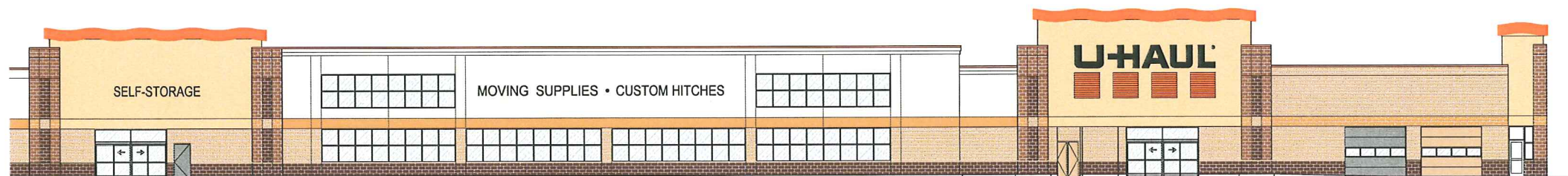
4716 VERONA ROAD  
CENTER #887052



EXISTING BUILDING VIEW



PROPOSED "RETAIL LOOK" BUILDING VIEW - OPTION 1



PROPOSED "INDUSTRIAL LOOK" BUILDING VIEW - OPTION 2

## INDEX OF DRAWINGS

- C-1 COVER SHEET
- A-1 SITE PLAN
- A-3.1 PROPOSED BUILDING ELEVATIONS - OPTION 1
- A-3.2 PROPOSED BUILDING ELEVATIONS - OPTION 2
- A-3.3 PROPOSED EXTERIOR STORAGE ELEVATIONS
- A-4 FLOOR PLANS
- A-5 PROPOSED PYLON SIGN PLAN
- A-6 PHOTOMETRIC PLAN
- L-1 EXISTING VEGETATION PLAN
- L-2 PLANTING PLAN

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	07/26/11	DP	UDC SUBMITTAL
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

ARCHITECT LOGO:

**AMERCO**  
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT  
2727 NORTH CENTRAL AVENUE  
PHOENIX, ARIZONA 85004  
P: (602) 263-6502  
F: (602) 277-1026

SITE ADDRESS:  
Proposed Acquisition  
4716 Verona Road  
Madison, WI

SHEET CONTENTS:  
COVER SHEET

887052

DRAWN: BLC  
CHECKED: DP  
DATE: 07/25/11

C-1

887052A10

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**SITE DATA**

NAME OF PROJECT: U-HAUL MADISON  
 PROJECT ADDRESS: 4716 VERONA ROAD  
 PARCEL NO: 0709-323-0222-0  
 PARCEL CLASS: COMMERCIAL  
 LOT NO AND SIZE:  
 LOT 1 297,568.76 S.F.± (6.83 ACRES)  
 LOT 2 60,603.72 S.F.± (1.39 ACRES)  
 TOTAL AREA 358,063 S.F.± (8.22 ACRES)  
 ZONING: PUD / GDP / SIP  
 EXISTING BUILDING: 73,473± S.F.  
 PROPOSED USES:  
 RETAIL/RENTAL 2,299 S.F.±  
 OFFICE/BUSINESS 5,023 S.F.±  
 SELF-STORAGE AREA 47,489 S.F.±  
 WAREHOUSE AREA (U-BOX) 12,978 S.F.±  
 EXTERIOR STORAGE 2,850 S.F.±  
 PROPOSED FUTURE COMMERCIAL  
 RETAIL/BUSINESS DEVELOPMENT 75,000 S.F.±  
 PARKING:  
 EXISTING (LOT 1 & 2) = 506 SPACES  
 PARKING: (PER SECTION 28.11 CITY OF MADISON ZONING ORDINANCE)

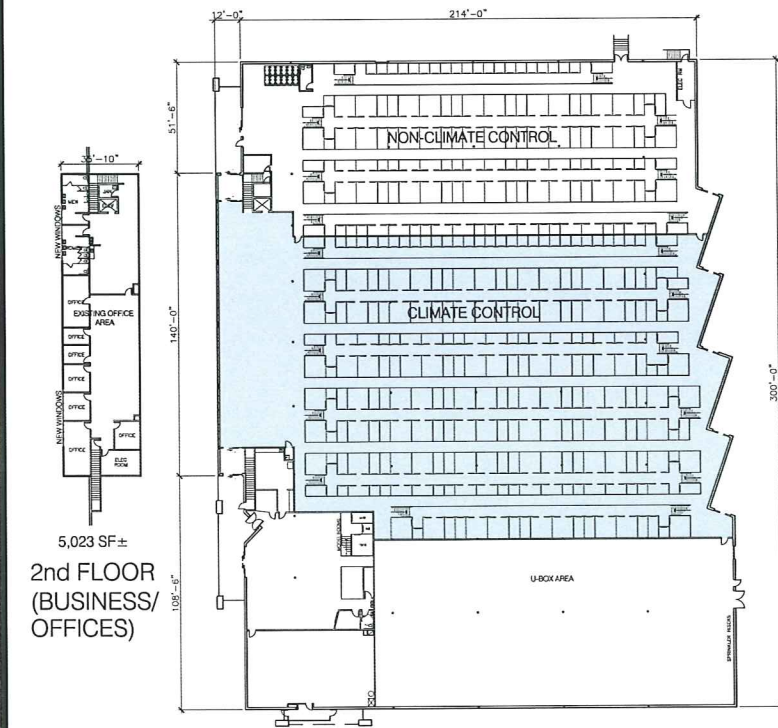
	REQUIRED	PROPOSED
BUSINESS OFFICE = 5,023 S.F. 1 SP/400 S.F.	13 SPACES	14 SPACES
RETAIL = 2,299 S.F. 1SP/ 300 S.F.	08 SPACES	26 SPACES
STORAGE/ WAREHOUSE = 1 SP/ 2 EMPLOYEES	05 SPACES	39 SPACES
LOADING SPACES	00 SPACES	07 SPACES
DISPLAY SPACES	00 SPACES	13 SPACES
TOTAL SPACES	26 SPACES	99 SPACES

\*NOTE: SITE IS PROVIDED WITH (2) HANDICAPPED AND (1) VAN ACCESSIBLE SPACE

**PROPOSED ROOM MIX**

ROOM SIZE	NON-CLIMATE CONTROL					CLIMATE CONTROL					MINI BUILDINGS			TOTAL				
	SINGLE LEVEL	SC-10s UP/DN	TOTAL QTY.	SQ. FT.	%	SINGLE LEVEL	SC-10s UP/DN	TOTAL QTY.	SQ. FT.	%	TOTAL QTY.	SQ. FT.	%	TOTAL QTY.	SQ. FT.	%		
5 x 5	0	47	6	53	1,325	7%	31	63	13	107	2,875	7%	0	0	0%	160	4,000	7%
5 x 10	7	54	6	113	5,650	30%	10	103	72	185	9,250	26%	0	0	0%	298	14,900	26%
5 x 15	0	0	1	1	75	0%	0	0	1	75	0%	0	0	0%	2	150	0%	
8 x 10	1	0	1	1	80	0%	0	0	0	0	0%	0	0	0%	1	80	0%	
10 x 10	2	34	90	90	9,000	49%	5	77	79	161	16,100	44%	0	0	0%	251	25,100	44%
10 x 15	1	0	15	16	2,400	14%	4	0	51	55	8,250	23%	14	2,100	100%	85	12,750	23%
<b>TOTAL</b>	<b>11</b>	<b>135</b>	<b>128</b>	<b>274</b>	<b>18,530</b>	<b>100%</b>	<b>50</b>	<b>243</b>	<b>216</b>	<b>509</b>	<b>36,350</b>	<b>100%</b>	<b>14</b>	<b>2,100</b>	<b>100%</b>	<b>797</b>	<b>56,980</b>	<b>100%</b>

CLIMATE CONTROL - 509 ROOMS, 36,350 S.F. = 63%  
 NON-CLIMATE CONTROL - 296 ROOMS, 21,830 S.F. = 37%



SC-10 UPPER LEVEL

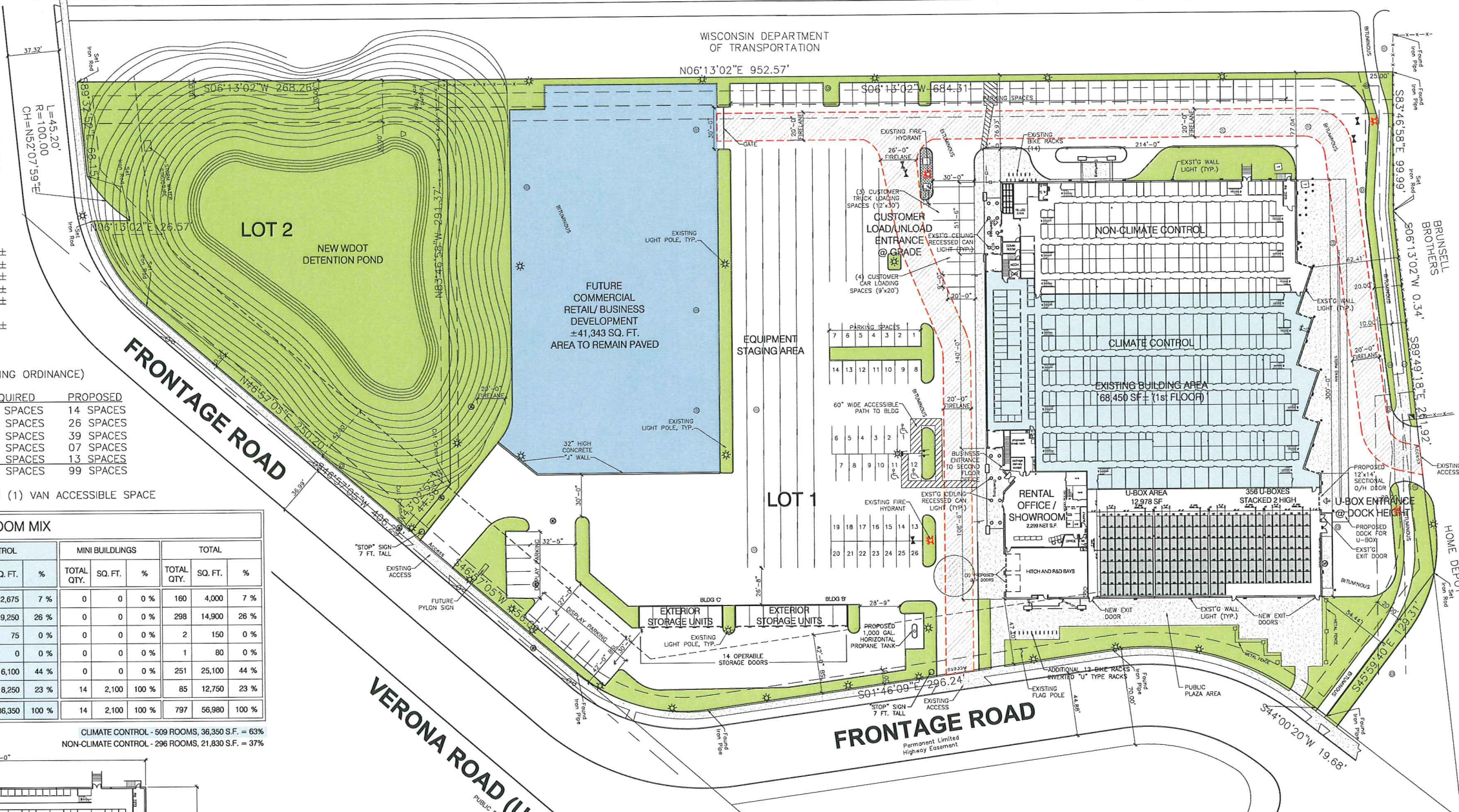
Scale: 1" = 40'-0"



AERIAL IMAGE nts

SITE PLAN AND PROPOSED STORAGE LAYOUT

Scale: 1" = 40'-0"



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	07/26/11	UDC	SUBMITTAL

PROFESSIONAL SEAL:

ARCHITECT LOGO:

**AMERCO**  
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT  
 2727 NORTH CENTRAL AVENUE  
 PHOENIX, ARIZONA 85004  
 P: (602) 263-6502  
 F: (602) 277-1026

SITE ADDRESS:  
 Proposed Acquisition  
 4716 Verona Road  
 Madison, WI  
 SHEET CONTENTS:  
 Site Plan  
 Proposed Storage

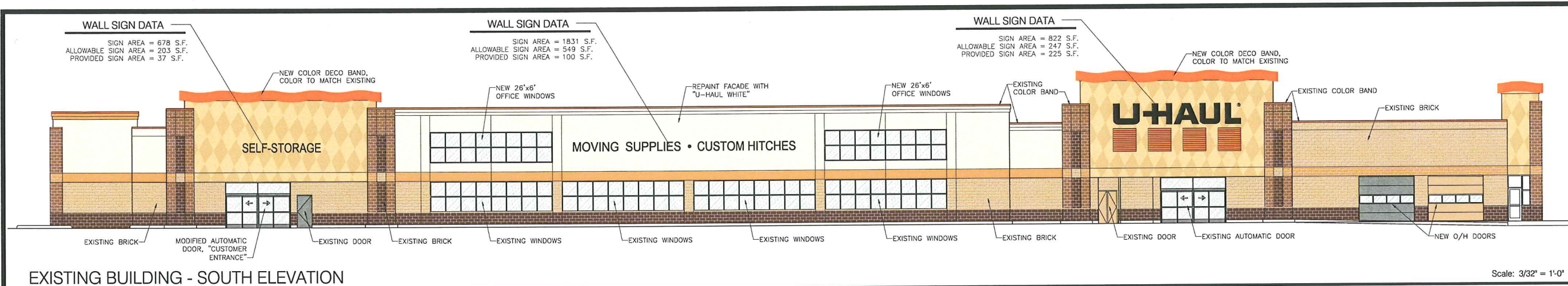
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 DATE: 07/25/11  
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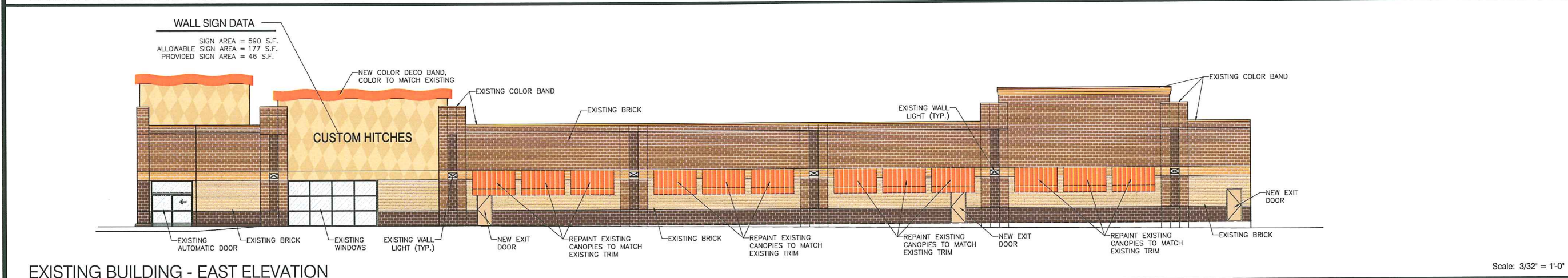
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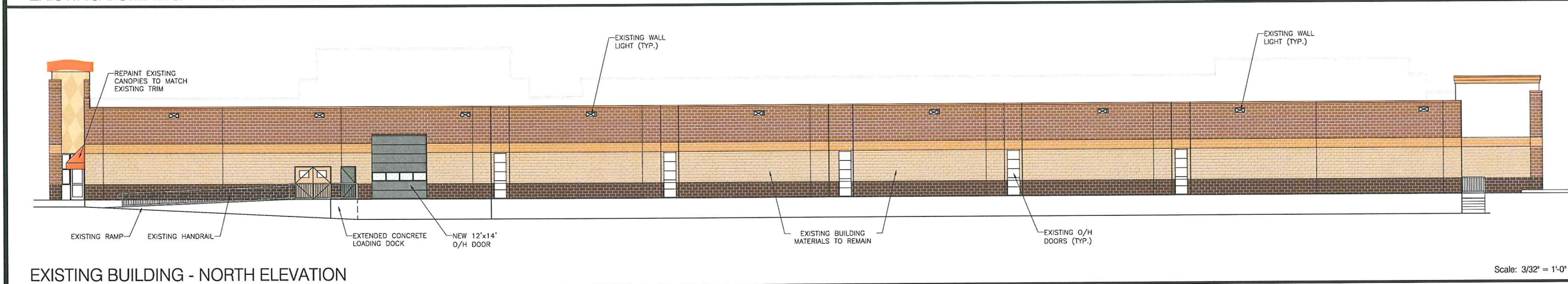
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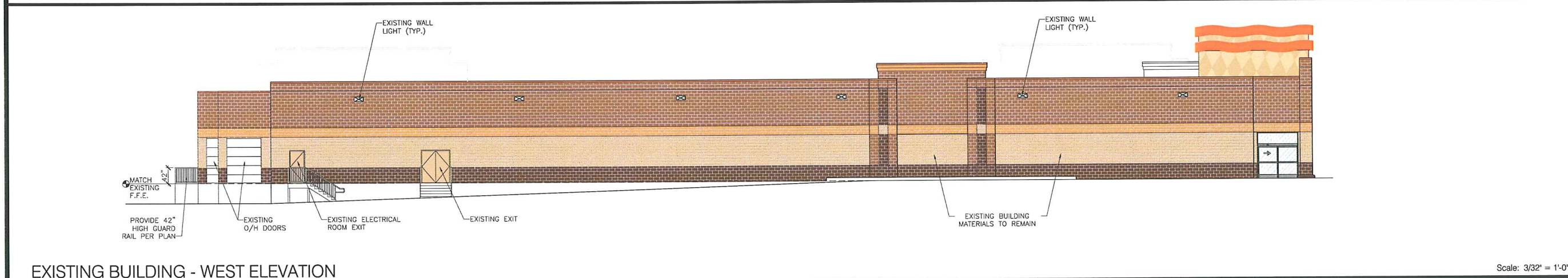
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EXISTING BUILDING - NORTH ELEVATION

Scale: 3/32" = 1'-0"



EXISTING BUILDING - WEST ELEVATION

Scale: 3/32" = 1'-0"

GENERAL NOTES:

NO.	DATE	INITIALS	NOTES
1	07/26/11	DP	UDC SUBMITTAL
2			
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REVISIONS:

PROFESSIONAL SEAL:

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SHEET CONTENTS:  
PROPOSED BUILDING  
ELEVATIONS  
OPTION 1

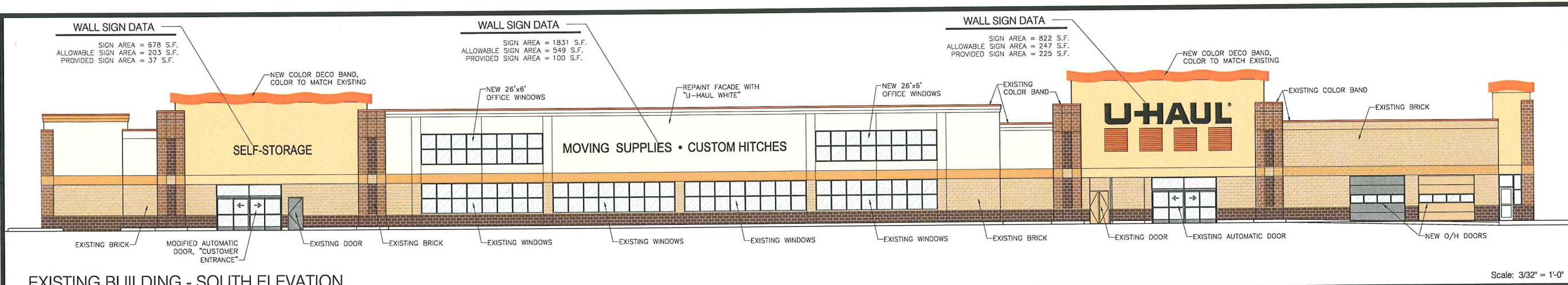
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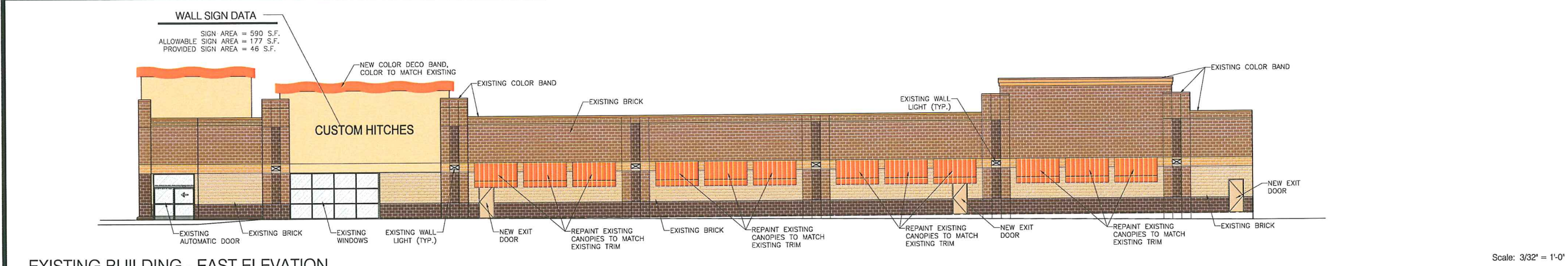
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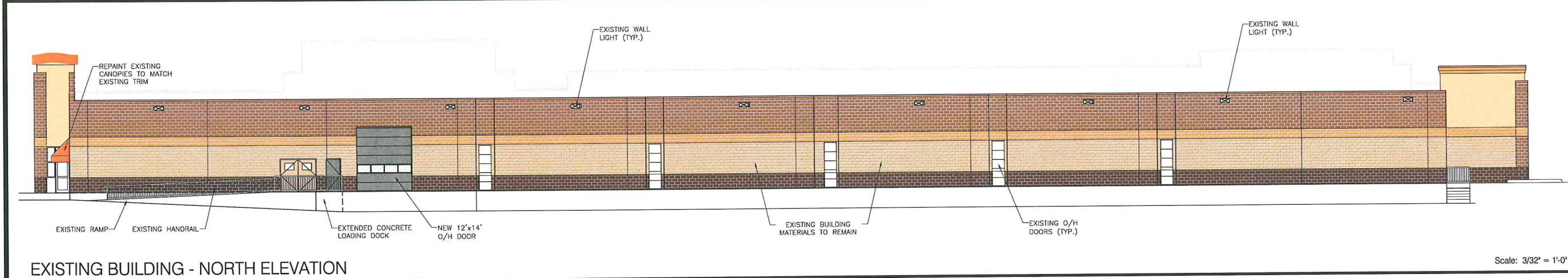
EXISTING BUILDING - SOUTH ELEVATION

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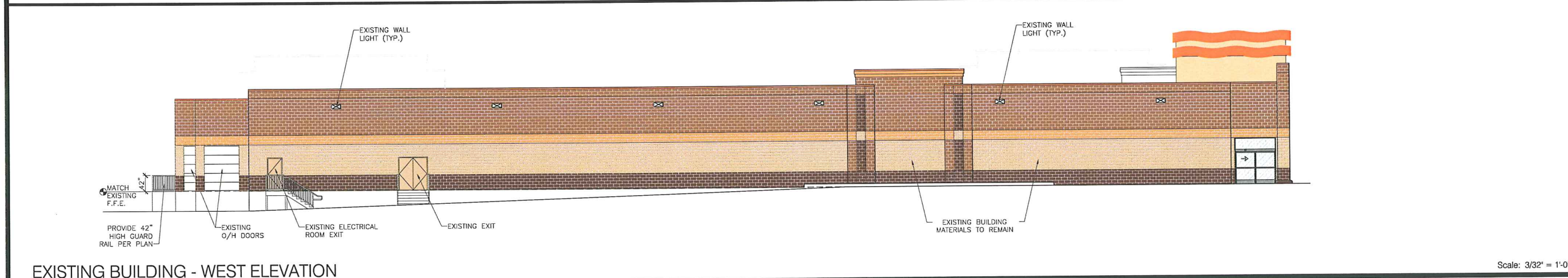
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EXISTING BUILDING - NORTH ELEVATION

Scale: 3/32" = 1'-0"



EXISTING BUILDING - WEST ELEVATION

Scale: 3/32" = 1'-0"

GENERAL NOTES:

REVISIONS:

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ARCHITECT LOGO:

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SHEET CONTENTS:  
PROPOSED BUILDING  
ELEVATIONS  
OPTION 2

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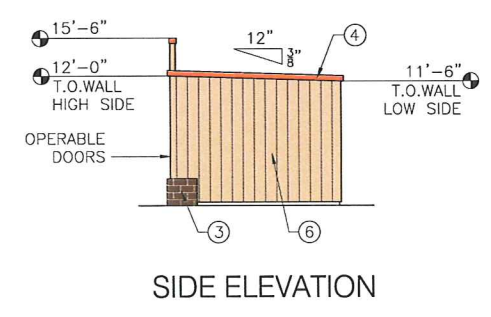
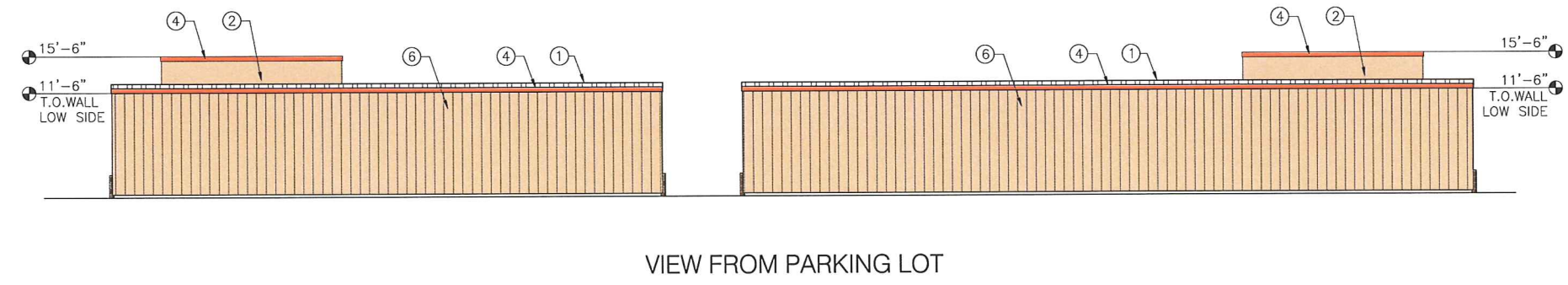
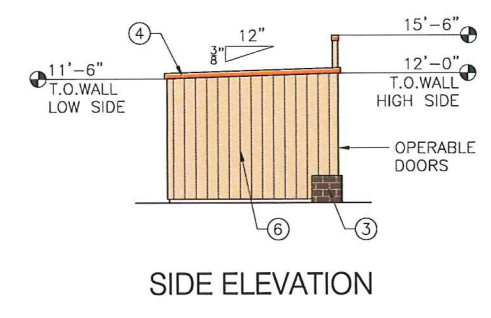
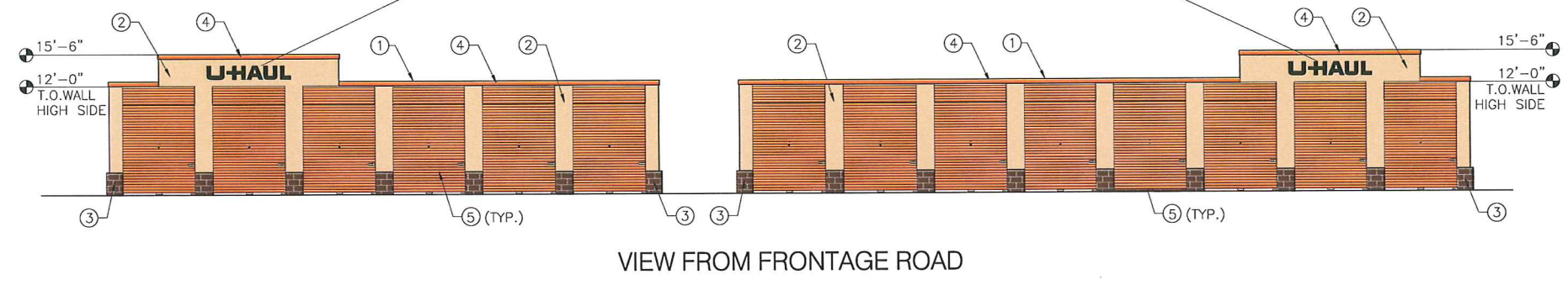


GENERAL NOTES:

**MATERIAL LEGEND**

SYMBOL	DESCRIPTION
①	BUTLER MANUFACTURED METAL SEAMED ROOF SYSTEM
②	MASONRY PRE-CAST TILT WALL SYSTEM W/ LIGHT BROOM FINISH. PAINT TO MATCH EXISTING BUILDING
③	BRICK VENEER TO BE SIMILAR TO EXISTING BUILDING
④	SIERRA SUNSET DECO PAINTED BAND TO MATCH EXISTING BUILDING
⑤	SIERRA SUNSET 8'x10' O/H OPERABLE STORAGE DOORS WITH 24" HEADER PANEL ABOVE
⑥	METAL FRAME EXTERIOR WALL PANEL PAINTED TO MATCH EXISTING BUILDING

**WALL SIGN DATA**  
 SIGN AREA = 60 S.F.  
 ALLOWABLE SIGN AREA = 24 S.F.  
 PROVIDED SIGN AREA = 14 S.F.  
 (EACH WALL AREA)



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 PROPOSED  
 EXTERIOR STORAGE  
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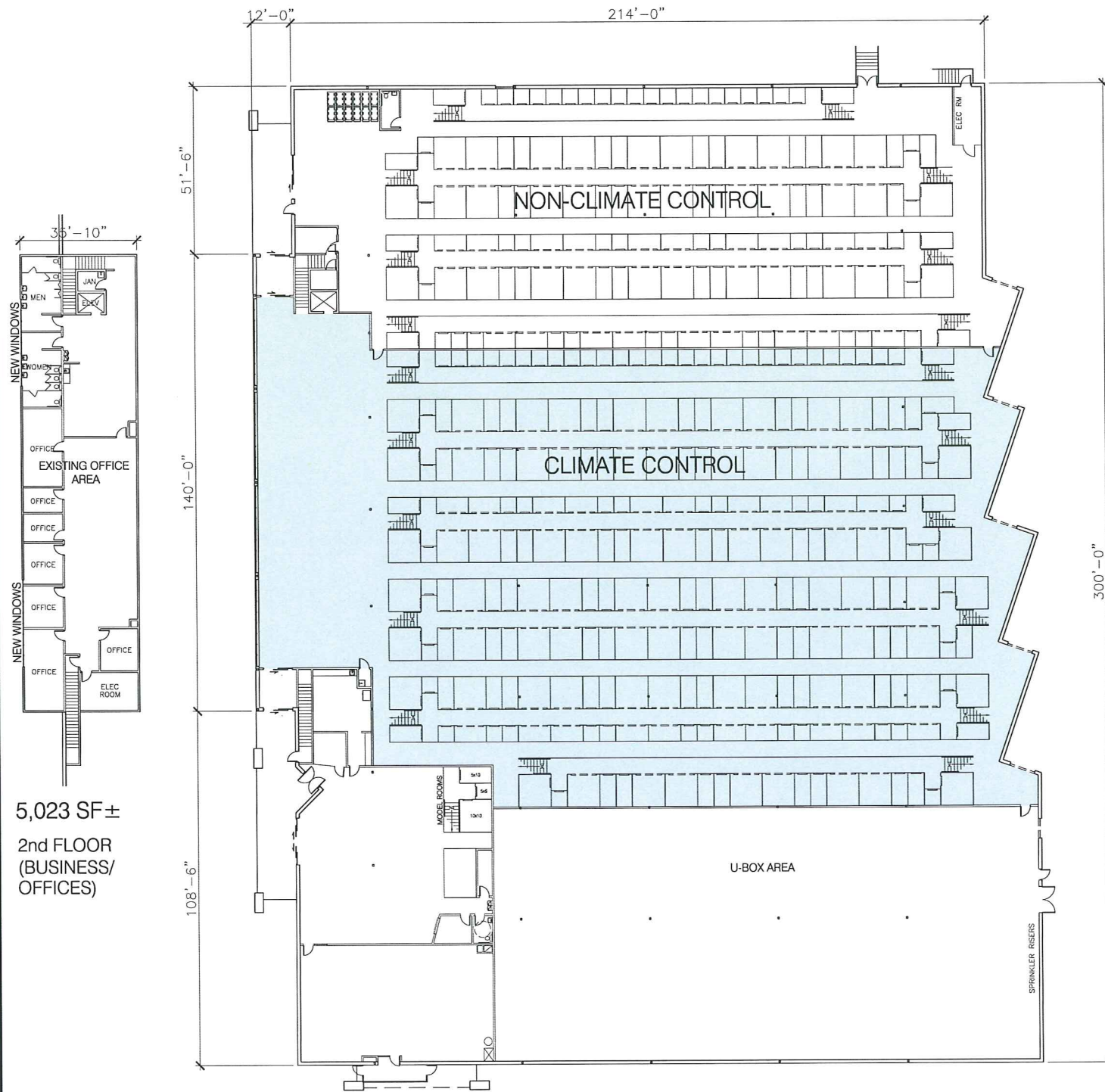
A-3.3

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PROPOSED ROOM MIX														
ROOM SIZE	NON-CLIMATE CONTROL				CLIMATE CONTROL				MINI BUILDINGS			TOTAL		
	SINGLE LEVEL	SC-10s UP/DN	TOTAL QTY.	SQ. FT.	%	SINGLE LEVEL	SC-10s UP/DN	TOTAL QTY.	SQ. FT.	%	TOTAL QTY.	SQ. FT.	%	
5 x 5	0	47	53	1,325	7 %	31	63	107	2,675	7 %	0	0	0 %	
5 x 10	7	54	113	5,650	30 %	10	103	185	9,250	26 %	0	0	0 %	
5 x 15	0	0	1	75	0 %	0	0	1	75	0 %	0	0	0 %	
8 x 10	1	0	1	80	0 %	0	0	0	0	0 %	0	0	0 %	
10 x 10	2	34	90	9,000	49 %	5	77	161	16,100	44 %	0	0	0 %	
10 x 15	1	0	16	2,400	14 %	4	0	55	8,250	23 %	14	2,100	100 %	
<b>TOTAL</b>	<b>11</b>	<b>135</b>	<b>274</b>	<b>18,530</b>	<b>100 %</b>	<b>50</b>	<b>243</b>	<b>509</b>	<b>36,350</b>	<b>100 %</b>	<b>14</b>	<b>2,100</b>	<b>100 %</b>	

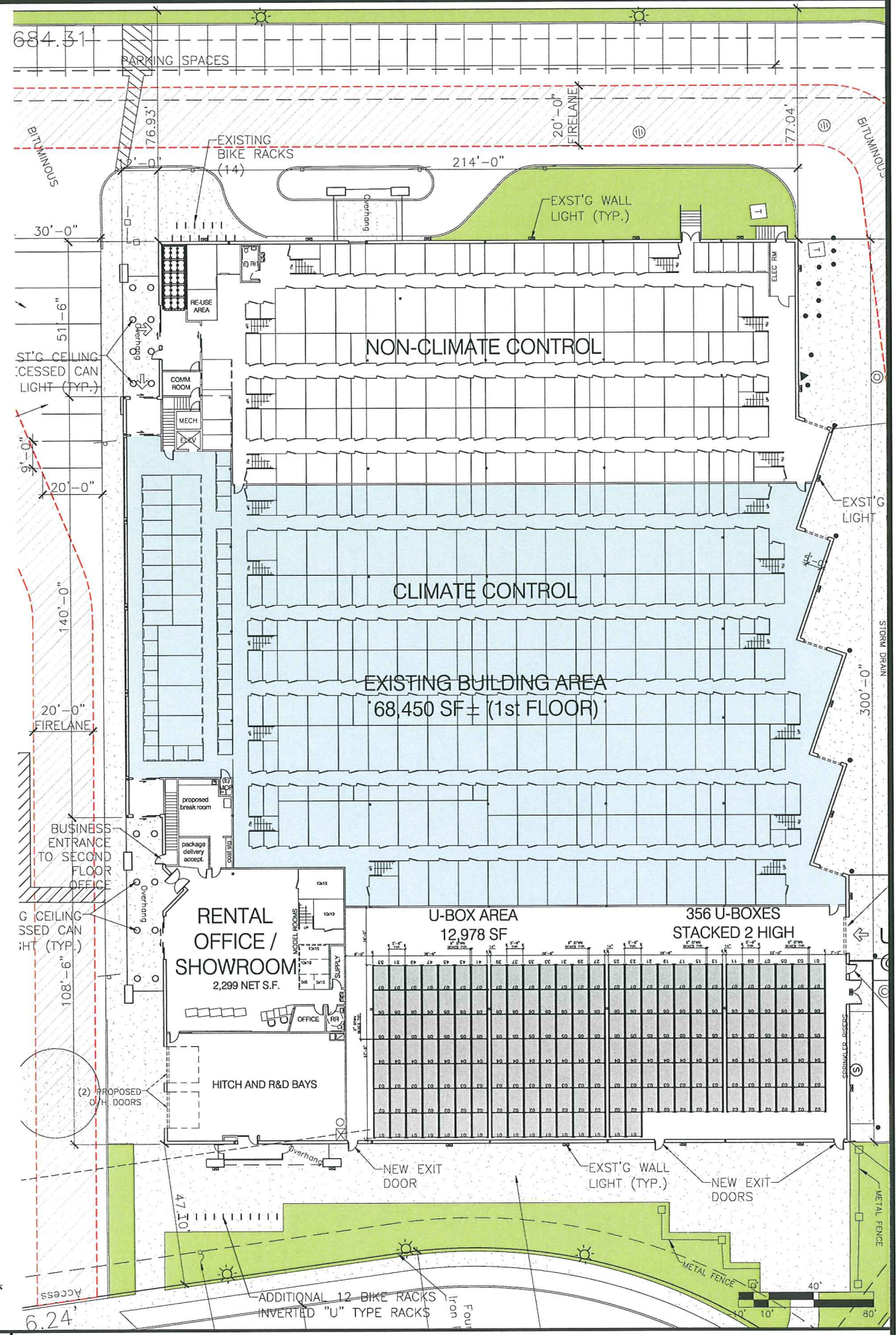
CLIMATE CONTROL - 509 ROOMS, 36,350 S.F. = 63%  
 NON-CLIMATE CONTROL - 296 ROOMS, 21,830 S.F. = 37%



5,023 SF±  
2nd FLOOR  
(BUSINESS/  
OFFICES)

SC-10 UPPER LEVEL

Scale: 1" = 20'-0"



FLOOR LEVEL

Scale: 1" = 20'-0"

GENERAL NOTES:

REVISIONS:

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PROFESSIONAL SEAL:

ARCHITECT LOGO:

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SHEET CONTENTS:  
FLOORPLAN  
Proposed Storage

887052

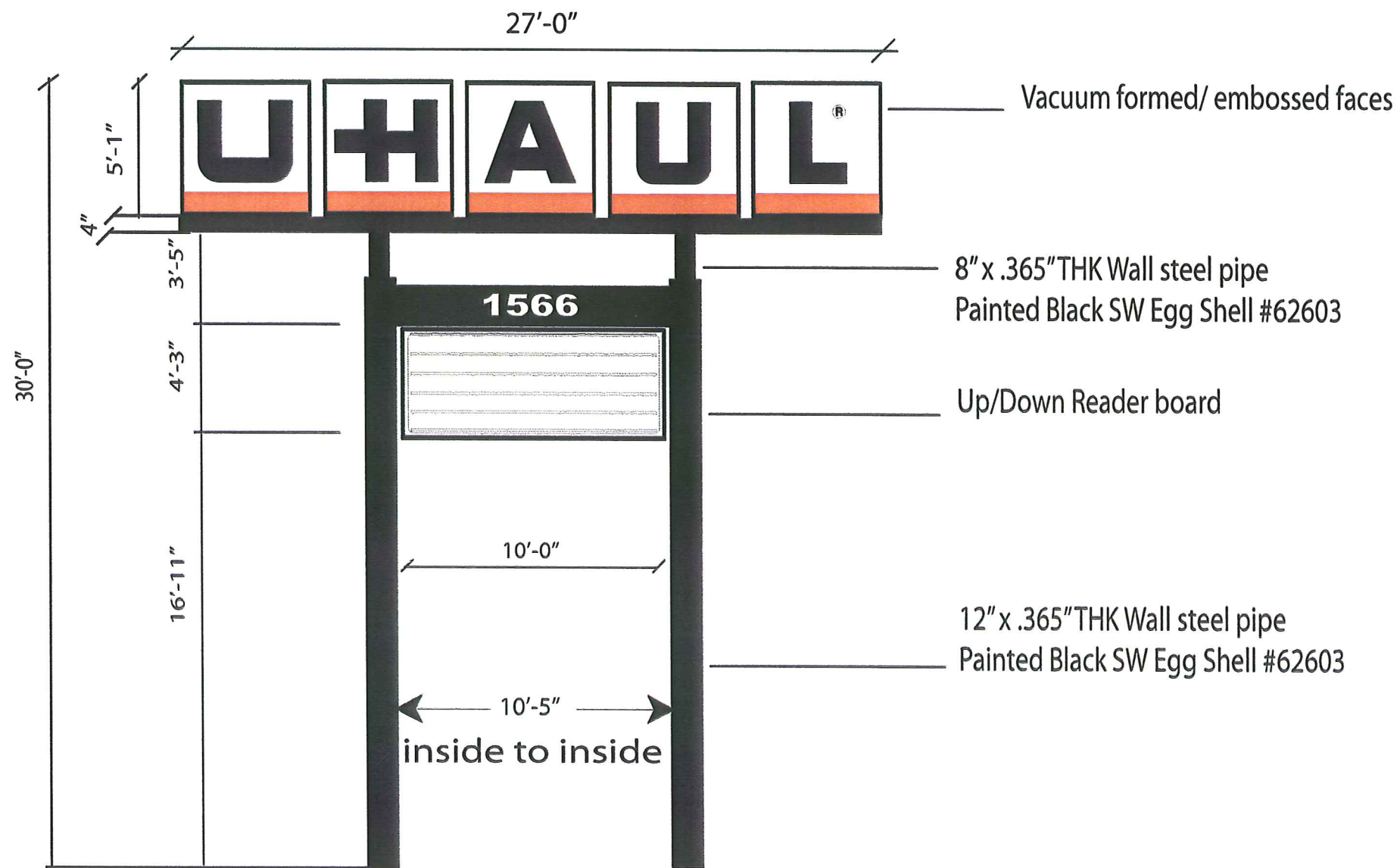
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CHECKED: -  
DATE: 07/25/11

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GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
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6			

PROFESSIONAL SEAL:

ARCHITECT LOGO:

**AMERCO**  
REAL ESTATE COMPANY

CONSTRUCTION & RENOVATION  
2727 NORTH CENTRAL AVENUE  
PHOENIX, ARIZONA 85004

P: (602) 263-6502  
F: (602) 277-1026

SITE ADDRESS:

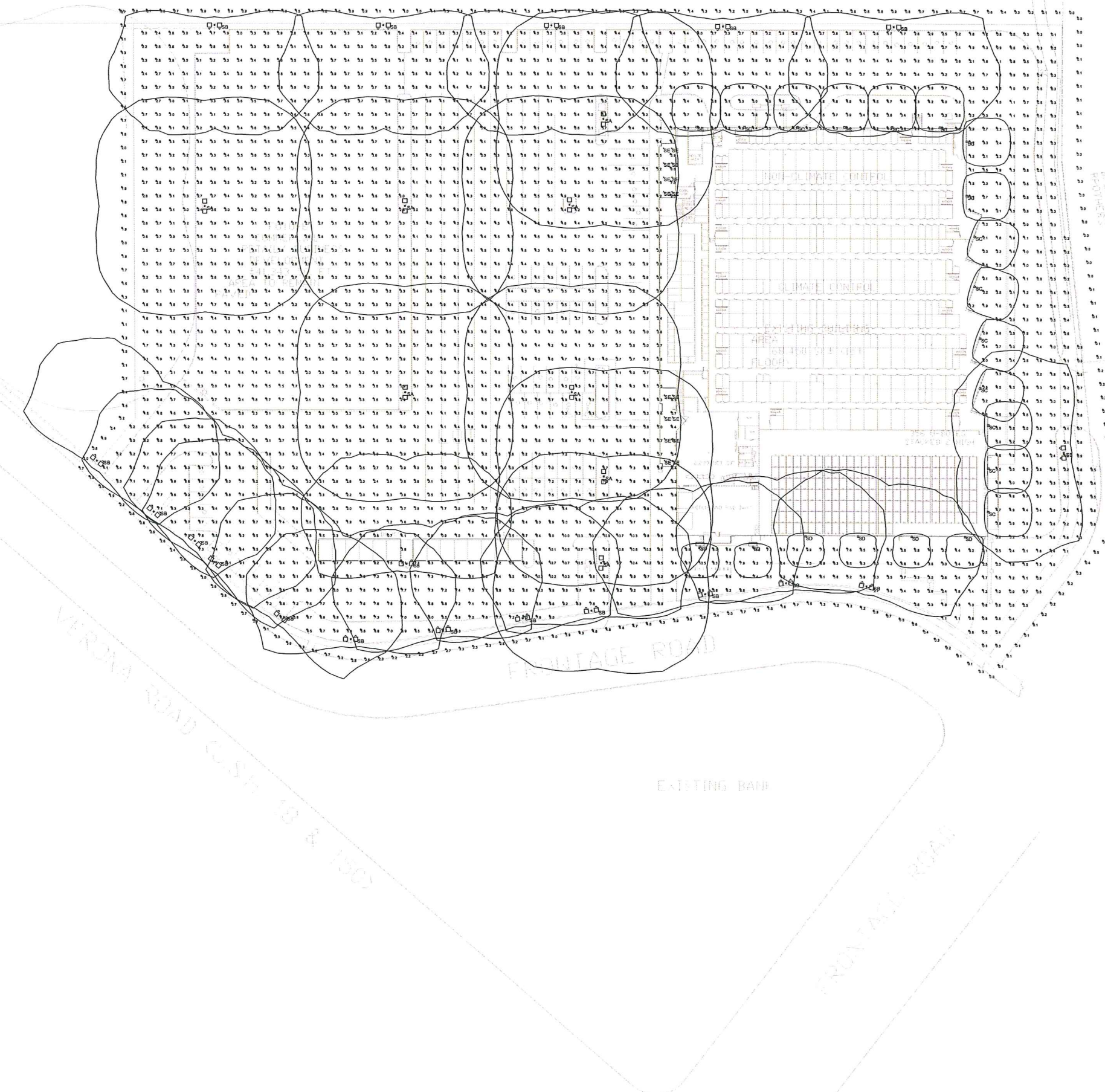
U-Haul Moving & Storage  
1435 E. Main St  
Madison, WI

SHEET CONTENTS:

PROPOSED  
SIGNAGE RENDERING

Drawing# 887052

DRAWN:	JP
CHKD BY:	
DATE:	1-10-2011



Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	
□	SA	8		ESTIMATE FOR EXISTING TWIN HEAD 100 WATT METAL HALIDE AREA LIGHT / POLE MOUNTED AT 40 FEET AFG	SQUARE AREA LIGHT, SYMMETRIC DISTRIBUTION, FLAT LENS MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 100-WATT CLEAR 81-37 METAL HALIDE, VERTICAL BASE-UP POSITION	KVZF_1000M_57WFL.ms	110000	0.50	2160
□	SB	19		ESTIMATE FOR EXISTING TWIN HEAD 100 WATT METAL HALIDE AREA LIGHT / POLE MOUNTED AT 40 FEET AFG	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, FLAT LENS, HOUSE SIDE SHIELD	ONE 100-WATT CLEAR 81-37 METAL HALIDE, VERTICAL BASE-UP POSITION	KVZF_1000M_ASYFL.ms	110000	0.50	2160
□	SC	15		ESTIMATE FOR EXISTING WALL MOUNT 250 WATT METAL HALIDE / WALL MOUNT AT 18 FEET AFG	ARM MOUNTED PREMIUM CUT-OFF FIXTURE WITH COMBINED OPTICS MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 250-WATT CLEAR ED-38 METAL HALIDE, HORIZONTAL POSITION	KSE1_250M_R_45C_(P800).ms	20000	0.50	297
□	SD	6		ESTIMATE FOR EXISTING WALL MOUNT 175 WATT METAL HALIDE / WALL MOUNT AT 11 FEET AFG	ARM MOUNTED PREMIUM OPTIC FIXTURE WITH SHROUDED REFLECTOR MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 175-WATT CLEAR ED-38 METAL HALIDE, HORIZONTAL POSITION	KSE1_175M_R_45C_(P800).ms	12000	0.50	213
○	SE	18		EXISTING DOWNLIGHT RETROFITTED WITH LITHONIA ACCESSLAMP ALSP30 500L 40K	STANDARD DOWNLIGHT WITH LED RETROFIT LAMP	PAR30 LED 500Lumen 2800K 25 Degree	ALSP30_500L.ms	525	0.90	15.1

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
LIGHT SPILL BEYOND PROPERTY LINE MEASURED AT 5 FEET HIGH	±	1.5fc	5.4fc	0.0fc	N/A	N/A
SITE ILLUMINANCE	±	4.2fc	19.5fc	0.1fc	195.0:1	42.0:1

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	07/26/11	DP	UDC SUBMITTAL

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Proposed Acquisition  
4716 Verona Road  
Madison, WI

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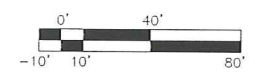
PHOTOMETRIC PLAN

887052

DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
DATE: 07/25/11

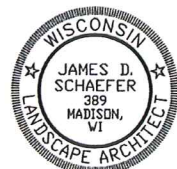
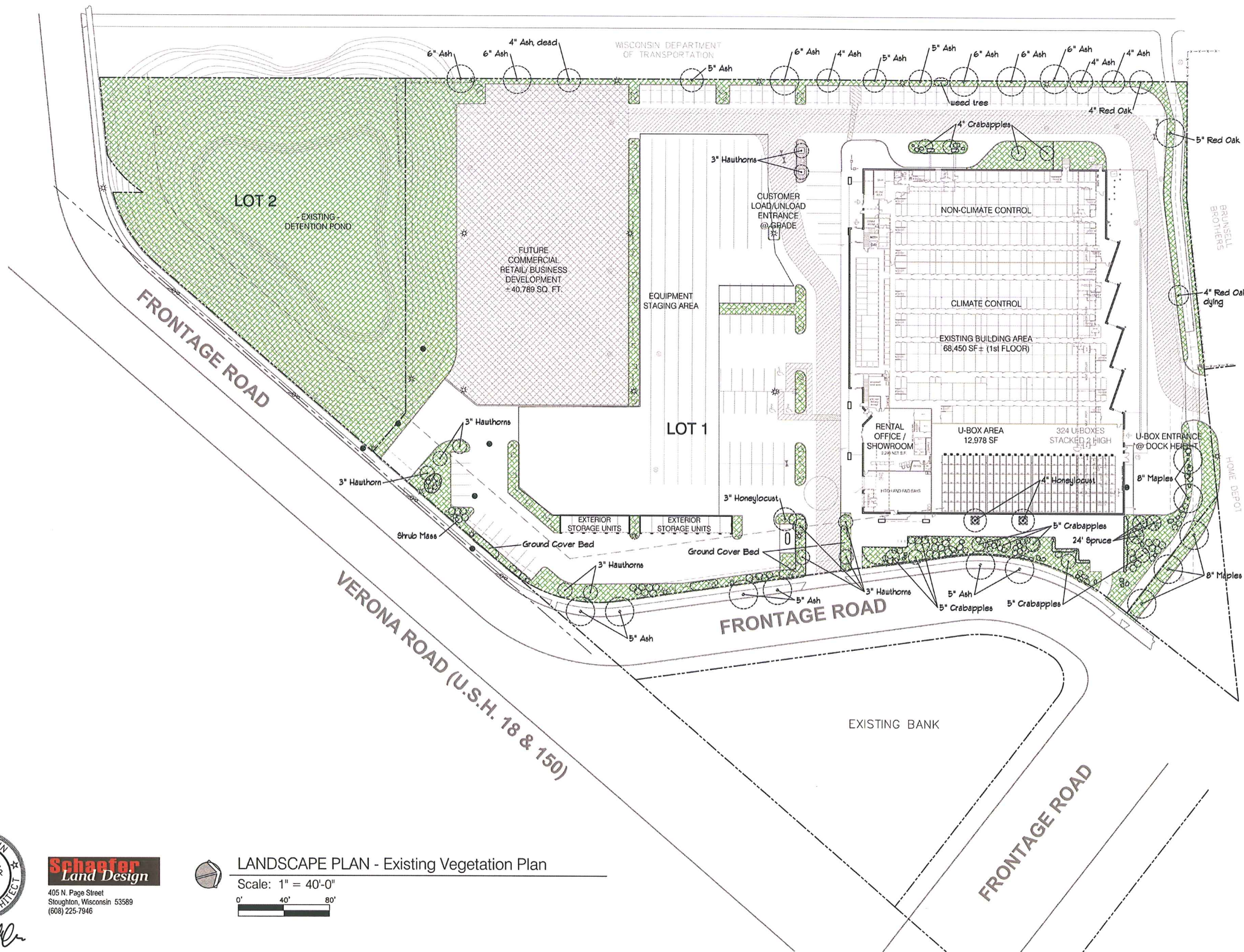
A-6

887052A10



Scale: 1" = 40'-0"





James D. Schaefer

**Schaefer**  
Land Design

405 N. Page Street  
Stoughton, Wisconsin 53589  
(608) 225-7946



LANDSCAPE PLAN - Existing Vegetation Plan

Scale: 1" = 40'-0"



GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
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SHEET CONTENTS:

Existing Vegetation Plan  
Proposed Storage

887052

DRAWN: JS  
CHECKED: JS  
DATE: 07/25/11

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# PLANTING NOTES

## GENERAL

### DIGGING

Contact local Digger's Hot Line prior to any digging.

### PLANT STARTER MIX:

A mix of 25% mushroom compost and 75% black topsoil.

### FERTILIZER / SOIL AMENDMENTS:

For deciduous and evergreen trees, shrubs & vines provide a 6-12-8 slow release fertilizer.

### BED PREPARATION & PLANTING

Planting plans are diagrammatic. Provide additional plant quantities as needed, based on actual field dimensions to satisfy the design intent of the drawings.

**TREES** - Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Mix slow release fertilizer with back fill per manufacturer's instructions. Add 1/2 lb. of granular sulphur to each planting pit. Tree holes to be at least 3 times the spread diameter of the root ball. Use shovel to rough up sides of exposed walls. Set depth of root ball to slightly higher than grown in nursery. Water in well to avoid settling of plant.

**SHRUBS** - Pocket plant and back fill pits with a mix of 10% plant starter mix, and 90% existing soil. Mix slow release fertilizer with back fill per manufacturer's instructions. Add 1 ounce of granular sulphur to each 2 gallon shrub and 4.5 ounces to each shrub 10 gallons or larger. Set depth of root ball to slightly higher than grown in nursery. Re-grade around plantings as necessary to provide positive drainage away from adjacent structures and/or crown bed, and meet adjacent walks, patio, etc. Water plants in well to avoid settling.

### MULCHING

Install a 3-4" layer of shredded bark around trees & shrubs. For trees in lawn, install a 4-5' diameter circle of mulch around each tree. When installing mulches, do not allow mulch to touch plant stems. When installing mulches around perennials, ground covers, ornamental grasses & annuals, do not allow mulch to touch plant stems. Do not install any mulch over ground covers.

### PLANT GUARANTEE

The landscape contractor shall guarantee to replace once, without charge, any woody plant material (deciduous or evergreen trees, shrubs, vines, and shrub roses) that dies within one year of installation, providing the owner gives normal plant care (regular watering). The owner must report plant losses within the guarantee period.

The contractor should not be expected to replace transplanted plants or plants killed by rodents, insects, mechanical damage, neglect, or natural disasters. Also, perennials, annuals, hybrid tea roses, bulbs, plants identified as semi-hardy or non-hardy, and plants planted in tubs or planter boxes will not be guaranteed. The contractor will only guarantee plants which they have supplied.

# LANDSCAPE WORKSHEET

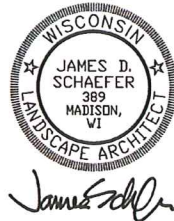
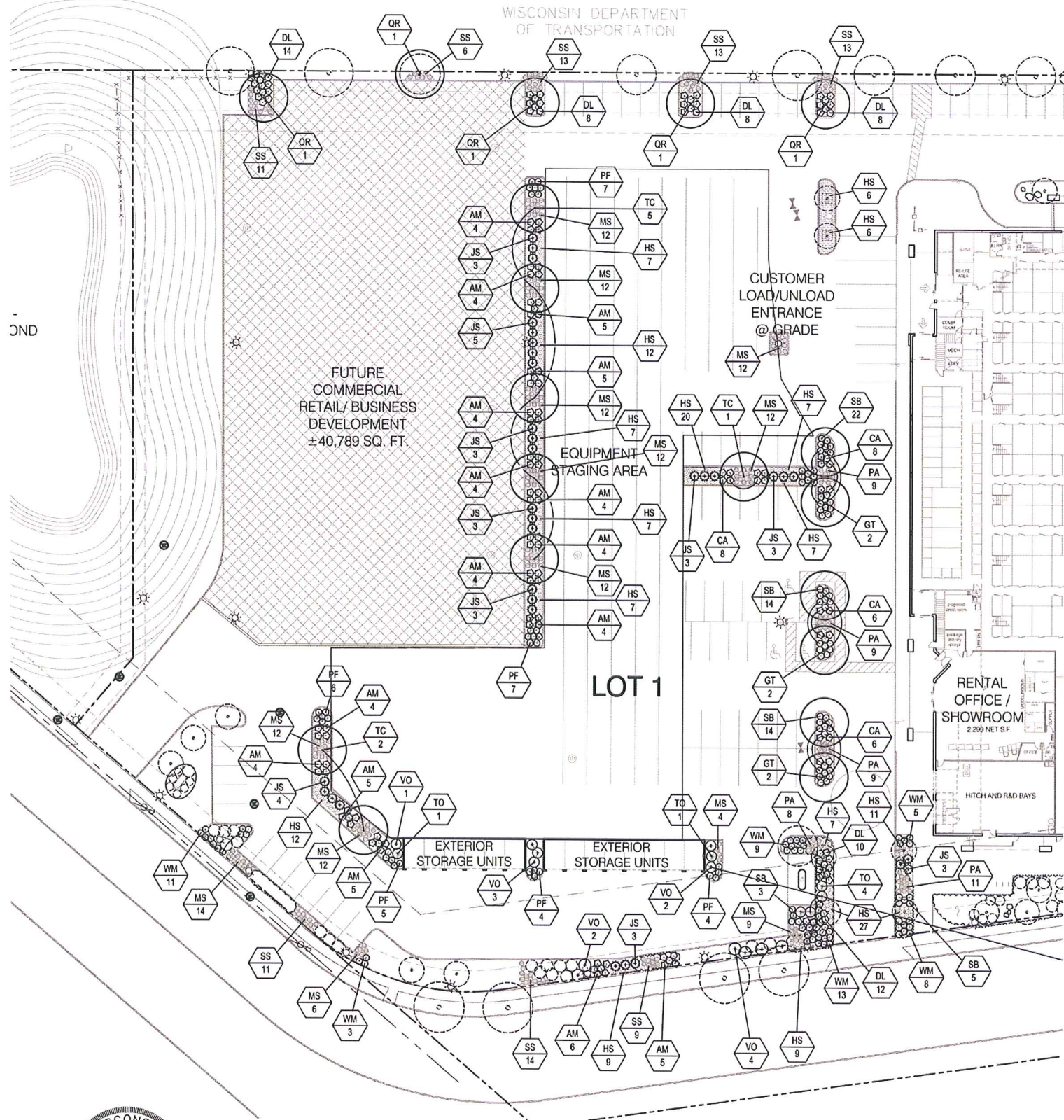
Number of Trees Required	92
Number of Parking Stalls	130
Square Footage of Storage Area / 300	15
Number of Canopy Shade Trees Required	

Number of Landscape Points Required	908
Number of Points Required for Loading Areas	525 (7 berths x 75 pts/berth)
Number of Points Required	1,433

Element	Pt. Value	Dry	Pts. Achieved	Credits	Points	Total
Canopy Tree	35	4	140	20	700	
Deciduous Shrub	2	311	622	24	48	
Evergreen Shrub	3	39	117			
			879		748	1,627

# PLANTING SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COND	SPACING	PT VALUE	POINTS
<b>Shade Trees</b>								
GT	<i>Gleditsia tracanthos</i> 'Shademaster'	Shademaster Honeylocust	6	2 1/2" Cal	B/B	As shown	35	210
TC	<i>Tilia cordata</i> 'Greenstar'	Greenstar Linden	8	2 1/2" Cal	B/B	As shown	35	280
QR	<i>Quercus rubra</i>	Red Oak	5	2 1/2" Cal	B/B	As shown	35	175
<b>Deciduous Shrubs</b>								
AM	<i>Aronia melanocarpa</i> var. <i>alata</i> 'Innocent Beauty'	Innocent Beauty Black Chokeberry	71	2 Gal	Container	45" o.c.	2	142
CA	<i>Cornus alternifolia</i>	Cornus Cobus	28	2 Gal	Container	42" o.c.	2	56
DL	<i>Diervilla lonicera</i>	Dwarf Bush Honey suckle	60	2 Gal	Container	54" o.c.	2	120
PF	<i>Forsythia</i> 'Mr. Topsy's White'	Mr. Topsy's White Forsythia	33	2 Gal	B/B	30" o.c.	2	66
SB	<i>Spiraea x bumalda</i> 'Anthony Waterer'	Anthony Waterer Spiraea	66	2 Gal	Container	42" o.c.	2	132
WM	<i>Wibegia</i> 'Mueen'	Mueen Weigelia	49	2 Gal	Container	30" o.c.	2	98
VO	<i>Viburnum opulus</i>	European Cranberrybush Viburnum	12	36" HT	B/B	60" o.c.	2	24
<b>Evergreen Shrubs</b>								
JS	<i>Juniperus sabina</i> 'Mini Arcadia'	Mini Arcadia Juniper	33	5 Gal	Container	45" o.c.	3	99
TO	<i>Thuja occidentalis</i> 'Teddy'	Teddy Arborvitae	6	5 1/2"	B/B	45" o.c.	3	18
<b>Perennials</b>								
HS	<i>Hemerocallis</i> 'Stella d'Oro'	Low Yellow Gold Daylily	161	1 Gal	Container	15" o.c.		
MS	<i>Miscanthus sinensis</i> 'Red Flame'	Red Flame Miscanthus	141	1 Gal	Container	30" o.c.		
PA	<i>Pennisetum alopecuroides</i> 'Harris'	Harris Dwarf Fountain Grass	46	1 Gal	Container	18" o.c.		
SS	<i>Scirpochloa scoparium</i>	Little Bluestem	90	1 Gal	Container	30" o.c.		



**Schaeffer Land Design**  
 405 N. Page Street  
 Stoughton, Wisconsin 53589  
 (608) 225-7946

**LANDSCAPE PLAN - Planting Plan**  
 Scale: 1" = 30'-0"  
 0' 30' 60'

## GENERAL NOTES:

## REVISIONS:

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