

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____

Project # _____

04825

DATE SUBMITTED: <u>October 25, 2006</u>	<u>Informational Presentation</u>
UDC MEETING DATE: <u>November 1, 2006</u>	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Lot 1 of Hawks Creek Plat

ALDERMANIC DISTRICT: Jed Sanborn #1

OWNER/DEVELOPER (Partners and/or Principals)	ARCHITECT/DESIGNER/OR AGENT:
<u>Mike Fisher /Great Dane Development</u>	<u>Knothe & Bruce Architects, LLC</u>
<u>P.O. Box 620800</u>	<u>7601 University Avenue, Suite 201</u>
<u>Middleton, WI 53562-0800</u>	<u>Middleton, Wisconsin 53562</u>

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

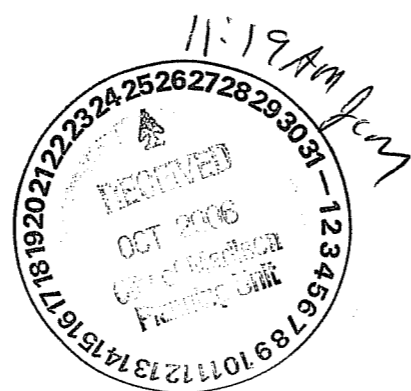
Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com



TYPE OF PROJECT:

(See Section A For:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

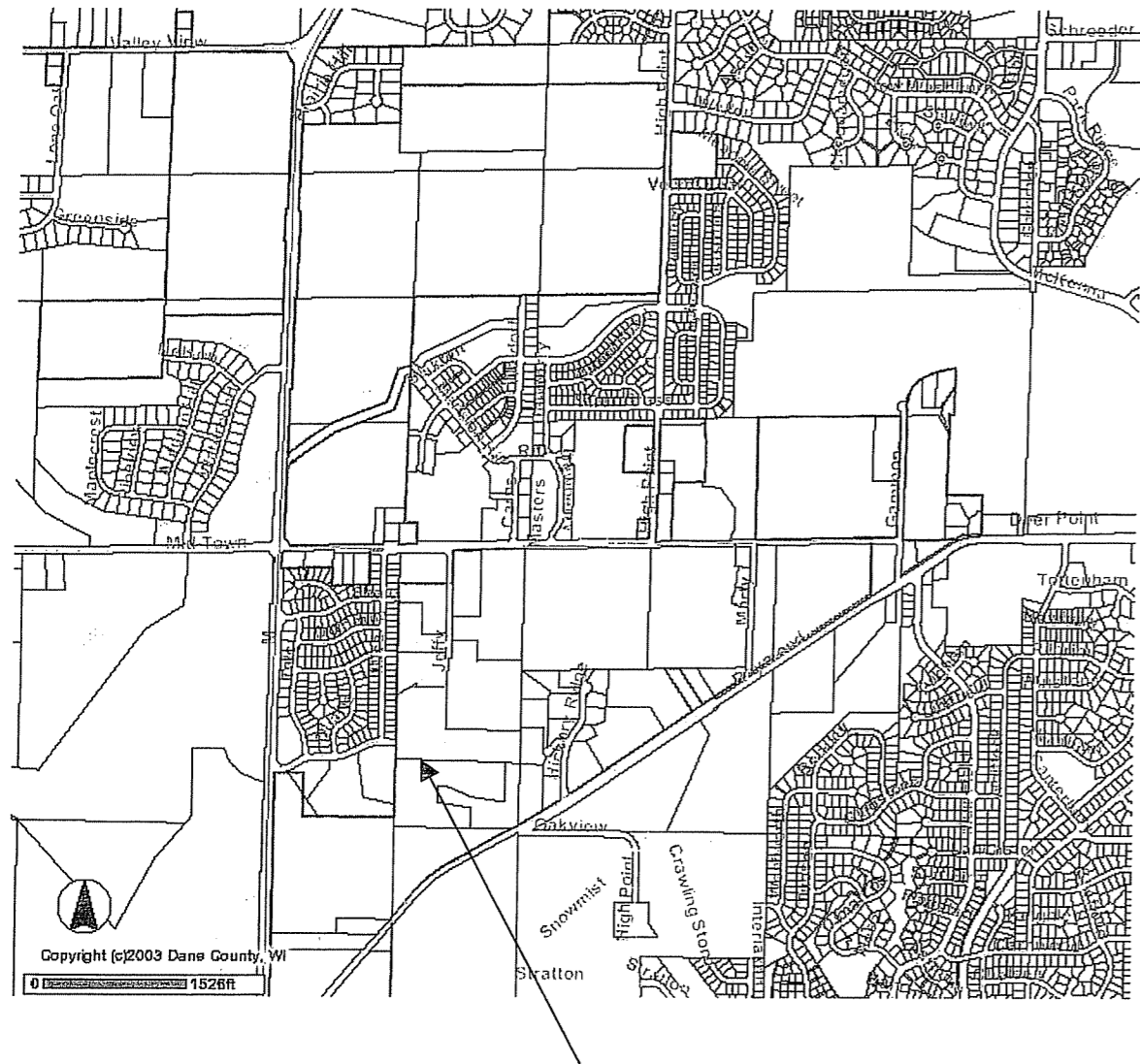
- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee Required)

Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



Site Locator Map

Lot 1 of Hawks Creek Plat



October 25, 2006

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
R-4 Planned Residential Development
Southwest Corner of Flagstone Drive & Jeffy Trail
Madison, WI

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: Great Dane Development
2249 Pinehurst Drive
P.O. Box 620800
Middleton, WI 53562-0800
608-836-8084
608-836-0480 fax
Contact: Mike Fisher

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: Randy Bruce
rbruce@knothebruce.com

Engineer: Calkins Engineering
5010 Voges Road
Madison, WI 53718
(608) 838-0444
(608) 838-0445 fax
Contact: Dave Glusick

Landscape Design: Ken Saiki Design
303 S. Paterson St.
Suite 1
Madison, WI 53703
(608) 251-3600
Contact: Ken Saiki

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
p (608) 836-3690
f (608) 836-6934
www.knothebruce.com

Introduction:

The proposed site is Lot 1 of the Hawks Creek Plat and is located at the southwest corner of the street at Flagstone Drive and Jeffy Trail. The Hawks Creek plat was approved by the Common Council on July 18, 2006 and the neighborhood plan amended in response to the plat. The property was zoned R-4 during the platting process. The proposed development and the resulting 15 units/acre density conforms to the R-4 zoning standards and neighborhood plan.

Project Description:

The development consists of a total of 40 condominiums in 5 seven-unit buildings and 1 five-unit building. The buildings are all two stories with a loft and an exposed lower level for the garage entry. The buildings have a cottage-style architecture that will be distinctive while still compatible with adjacent developments. The building exteriors will utilize an attractive, low-maintenance, and environmentally friendly fiber-cement board siding.

Each condominium has a private two-car attached garage. Parking for guests will be available in the condominium driveways with additional guest parking for 10 cars distributed throughout the site. Pedestrian access is maintained with sidewalks throughout the site and pedestrian connections to Flagstone Drive and Jeffy Trail.

Site Development Data:

Densities:

Lot Area	116,555 SF or 2.67 acres
Dwelling Units	40 Units
Lot Area / D.U.	2,914 S.F./Unit
Density	14.9 Units/Acre
Open Space	50,185 S.F.
Usable Open Space	21,599 S.F.
Usable Open Space/D.U.	539.9 S.F.

Dwelling Unit Mix:

Three-Bedroom Townhomes	40
-------------------------	----

Building Height:

2-3 Stories

Parking

Automobile	
Surface	10 spaces
Garage	<u>80 spaces</u>
Total	90 spaces

Bicycle

Surface	6 spaces
Garage	<u>40 spaces</u>
Total	46 spaces


Letter of Intent -
Mill Creek Homes
Northeast Corner of Flagstone Dr. & Jeffy Trail
October 25, 2006
Page 3 of 3

Project Schedule:

It is anticipated that construction of the first building will start in March of 2007 and be completed by August of 2007. Construction of the remaining buildings will proceed as market conditions dictate, with overall completion scheduled for 2010.

Thank you for your time in reviewing our proposal.

Very Truly Yours,



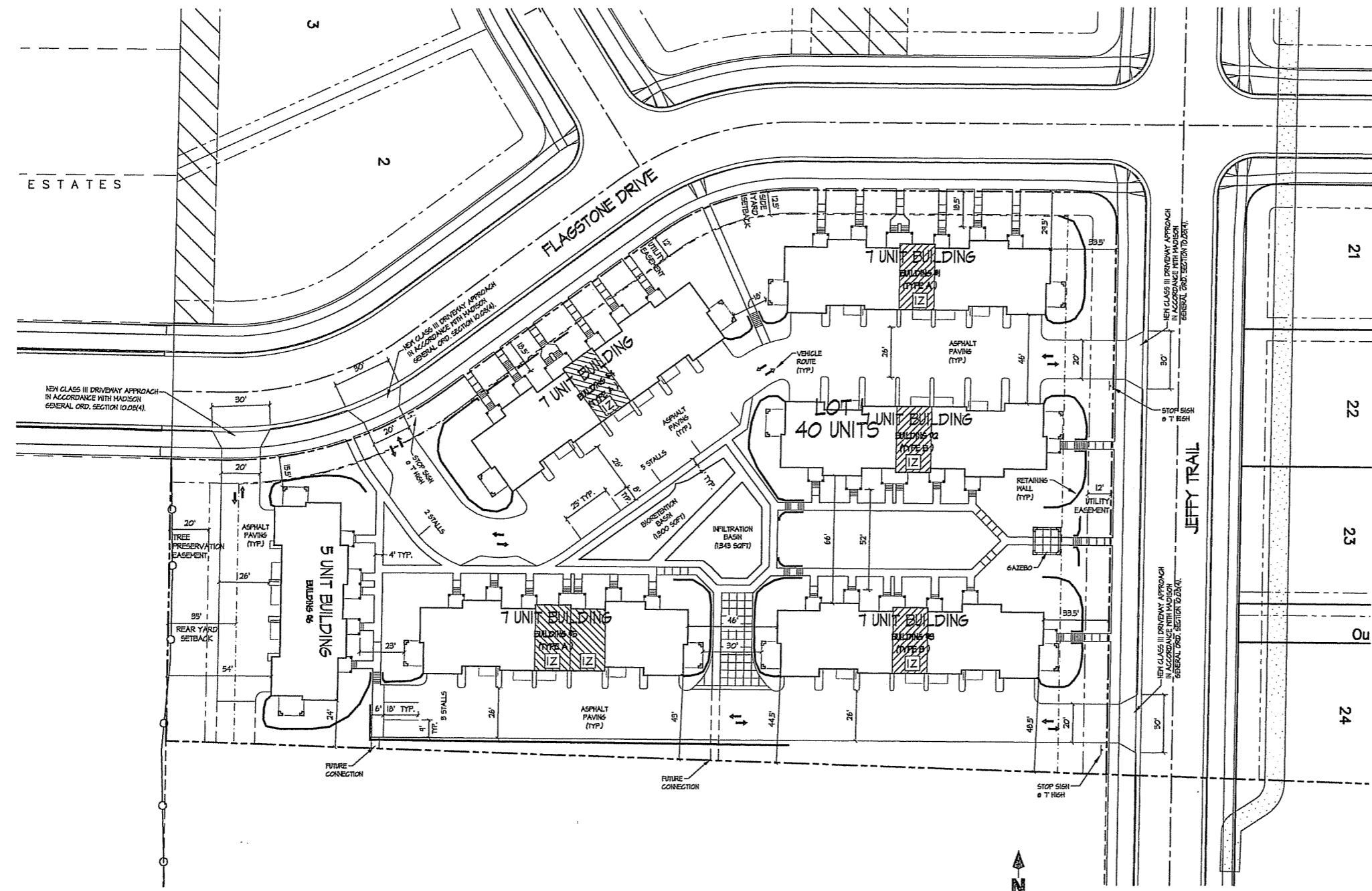
J. Randy Bruce, AIA
Managing Member

Consultant

Notes

SHEET INDEX

C-1.1	SITE PLAN
C-2.1	GRADING & UTILITY PLAN
L-1.1	LANDSCAPE PLAN
A-1.1	7 UNIT FLOOR PLANS
A-1.2	7 UNIT FLOOR PLANS
A-1.3	5 UNIT FLOOR PLANS
A-1.4	5 UNIT FLOOR PLANS
A-2.1	7 UNIT ELEVATIONS
A-2.2	5 UNIT ELEVATIONS



LEGAL DESCRIPTION - LOT 1 of HAWKS CREEK

LOT AREA - 116,555 Sq.Ft. (2.67 ACRES)
DWELLING UNITS - 40 UNITS
LOT AREA / D.U. - 2,914 Sq.Ft. /D.U.
DENSITY - 14.9 Units/Acre

DWELLING UNIT MIX

THREE BEDROOM	40
---------------	----

PARKING PROVIDED

GARAGE -	80
SURFACE -	10
TOTAL PARKING -	90

PARKING / D.U. - 2.25 / D.U.

BIKE PARKING PROVIDED

GARAGE-	40
SURFACE -	6
TOTAL PARKING -	46

BIKE PARKING / D.U. - 1.15 / D.U.

BUILDING COVERAGE - 20,307 Sq. Ft. (24.3 %) (INCL. STOODS)

SIDEWALK COVERAGE - 6,410 Sq.Ft.

ASPHALT COVERAGE - 31,645 Sq.Ft.

TOTAL PAVEMENT - 38,055 Sq.Ft. (32.6 %)

OPEN SPACE - 50,185 Sq. Ft. (43.1 %)

USEABLE OPEN SPACE - 21,544 Sq. Ft.

USEABLE OPEN SPACE / D.U. - 539.4 Sq. Ft./D.U.

Revisions

- OCTOBER 3, 2006 - ISSUED
- OCTOBER 14, 2006 - IZ PRE-APPLICATION INTER DEPARTMENT SUBMITTAL
- OCTOBER 25, 2006 - PLAN COMMISSION SUBMITTAL
- OCTOBER 25, 2006 - INITIAL U.G.D. SUBMITTAL

Project Title

Mill Creek Townhomes

Lot 1 of Hawks Creek Plat

Drawing Title

Conceptual Site Plan

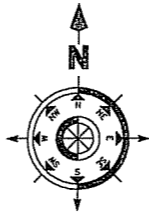
Project No.

0520

Drawing No.

C-1.1

CONCEPTUAL SITE PLAN
1" = 30'



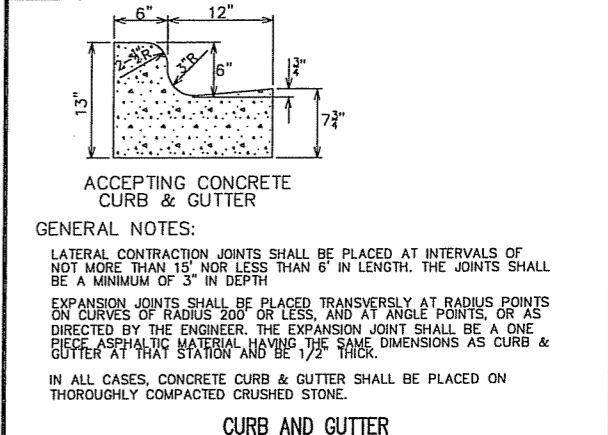
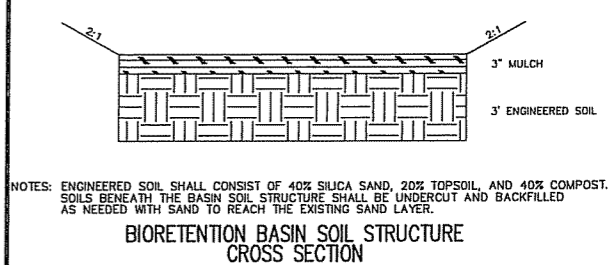
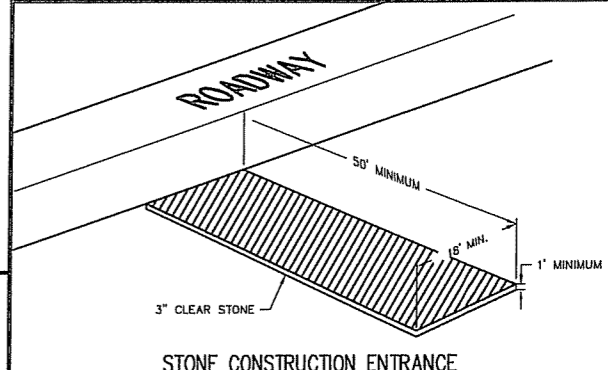
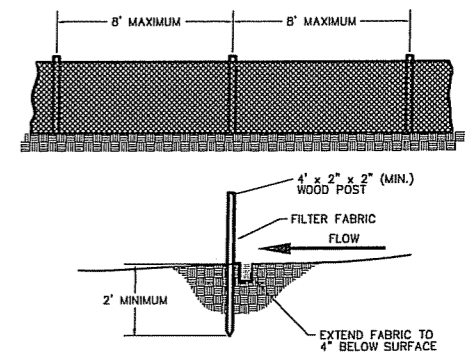
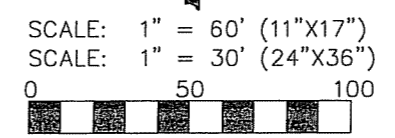
This document contains confidential or proprietary information of Knothe & Bruce Architects. If this document is disseminated to any other party, it is to be held in confidence. It is not to be used, copied, or reproduced in any way without the written consent of Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

TO OBTAIN LOCATION OF PARTNERSHIP UNDERGROUND FACILITIES LOCATE FOR DUG BY RECORDS
CALL DIGGER HOTLINE
1-800-242-8911
TOLL FREE
 WE STAY OPEN 24 HOURS (800) NUMBER AVAILABLE 24 HOURS A DAY
 NOTICE BEFORE YOU DIG



NOTES: ENGINEERED SOIL SHALL CONSIST OF 40% SILICA SAND, 20% TOPSOIL, AND 40% COMPOST. SOILS BENEATH THE BASIN SOIL STRUCTURE SHALL BE UNDERCUT AND BACKFILLED AS NEEDED WITH SAND TO REACH THE EXISTING SAND LAYER.

INFILTRATION BASIN SOIL STRUCTURE CROSS SECTION

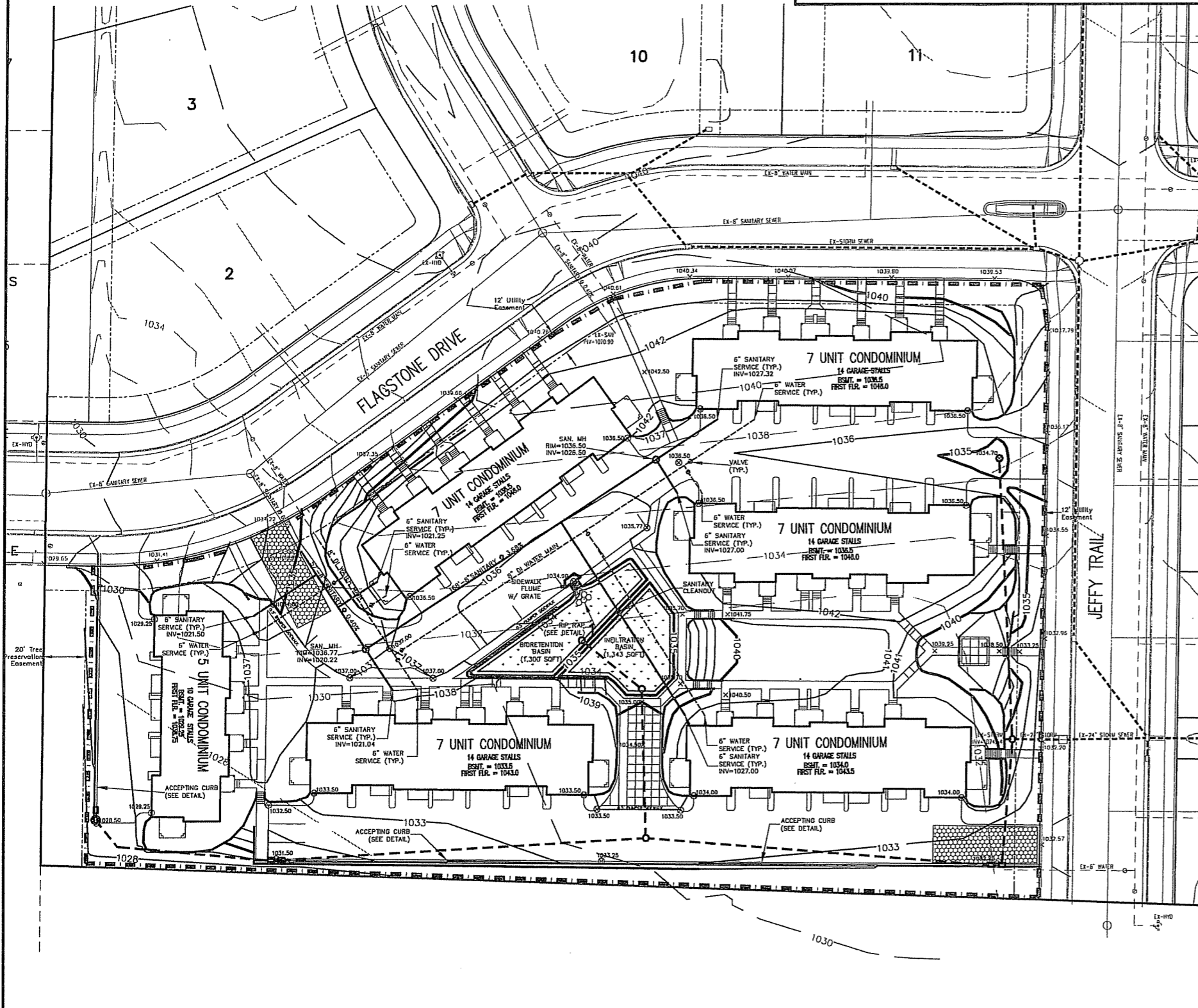


CURB AND GUTTER

SIZE	NO.	X (ft)	Y (ft)	Z (ft)	APPROX. HEIGHT (ft)
12"	24	48	48	1.78	
15"	30	60	60	2.84	
18"	36	60	60	2.76	
21"	42	72	72	3.83	
24"	48	72	72	4.00	
27"	54	72	81	4.42	
30"	60	84	84	5.64	
36"	72	96	108	7.56	
42"	84	96	120	8.32	
48"	96	108	120	9.50	
54"	108	108	120	11.00	
60"	108	120	120	11.75	
66"	120	132	120	13.28	
72"	108	132	120	15.19	

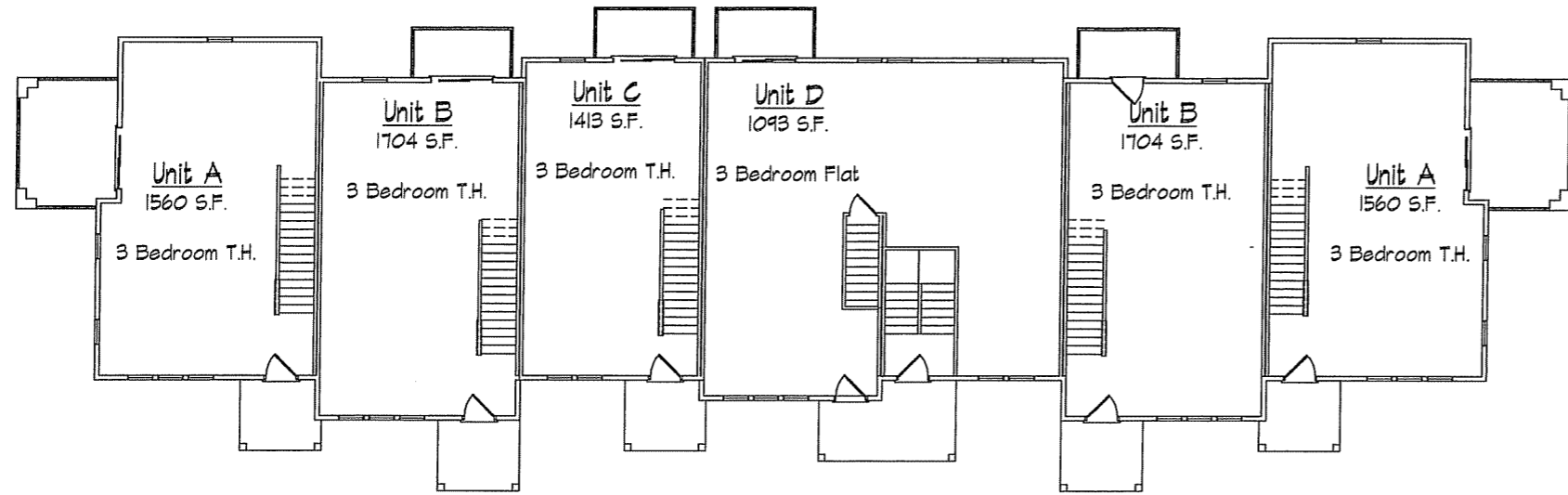
NOTES:
 1) PIPES 36" AND GREATER SHALL HAVE JOINT TIES PER STANDARD DETAIL DRAWINGS.
 2) PIPES 30" OR GREATER SHALL HAVE 50% OF THE RIP RAP PAD PLACED WITH A SLURRY GROUT MIX ON AN UNDEVELOPED SURFACE. SLURRY GROUT SHALL BE TYPE B SLURRY PER STANDARD SPECIFICATIONS.
 3) TYPICAL INSTALLATIONS SHALL BE GOVERNED BY THE OUTSIDE DIMENSIONS OF A SINGLE PIPE.

TOP VIEW
SIDE VIEW
RIP RAP

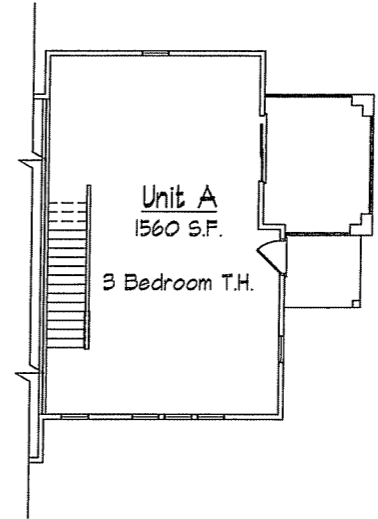


LEGEND:
 [Symbol] = STORM SEWER
 [Symbol] = SILT FENCE
 [Symbol] = STONE CONSTRUCTION ENTRANCE
 [Symbol] = BIORETENTION/INFILTRATION BASIN
 X1000.00 = PROPOSED SIDEWALK/GROUND GRADE
 O1000.00 = PROPOSED PAVEMENT GRADE
 X1000.00 = EXISTING SPOT GRADE

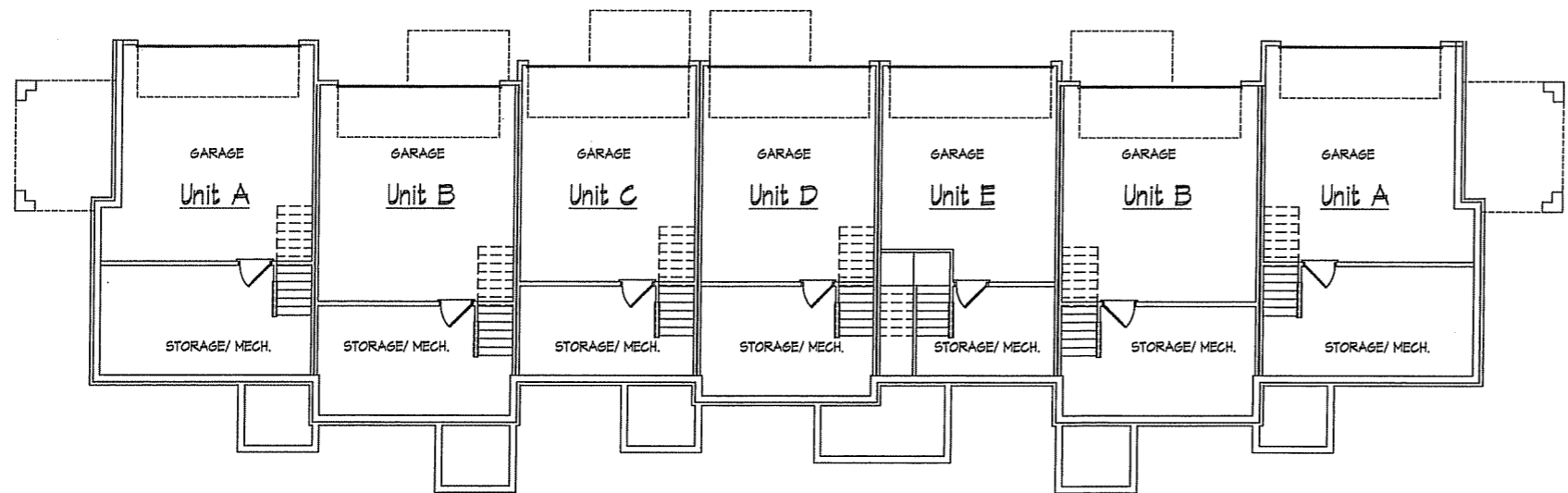
GENERAL NOTES:
 STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.
 SILT FENCE SHALL BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS. SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.
 TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE CITY.
 CONTRACTOR SHALL INSPECT AND REPAIR EROSION CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT EXCEEDING 0.5" DURING CONSTRUCTION.
 INLET SEDIMENTATION FILTERS SHALL BE INSTALLED AT ALL INLET LOCATIONS, AND ADJACENT DOWNSTREAM INLETS.
 ALL WORK WITHIN CITY RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
 CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT AS NECESSARY PRIOR TO CONSTRUCTION.
 CONTRACTOR SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO CONSTRUCTION.
 ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.
 PRIVATE STORM SEWER SHALL BE ADS N-12.
 PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151-CLASS 52).
 PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).
 PUBLIC SIDEWALK AT DRIVEWAY LOCATIONS SHALL BE 7" THICK.
 CONTRACTOR SHALL HAVE THE BUILDING PLUMBER VERIFY SIZE, Slope, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.
 PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
 DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEEMED NECESSARY BY THE CITY ENGINEER.
 EXISTING CONTOURS AND PUBLIC SIDEWALK GRADES FOR LOT 1 ARE PER HAWK'S CREEK PROPOSED PLANS AND HAVE NOT BEEN FIELD VERIFIED.
 BIORETENTION BASIN AND INFILTRATION BASIN SHALL BE CONSTRUCTED AFTER PARKING LOT GRAVEL BASE COURSE INSTALLATION TO PREVENT THEM FROM CLOGGING WITH SEDIMENT.
 ROOTSTOCK AND PLUGS SHALL BE USED TO ESTABLISH WATER TOLERANT VEGETATION IN BIORETENTION BASINS AS SPECIFIED IN THE PLANTING PLAN.
 VEGETATION IN THE INFILTRATION BASIN SHALL BE ESTABLISHED WITH THE CITY OF MADISON RAIN GARDEN SEED MIX. APPLICATION RATES OF SEED AND MULCH SHALL BE PER CITY OF MADISON SPECIFICATIONS.
 GRASS AREAS SHALL RECEIVE FERTILIZER, SEED, AND MULCH WITHIN 7 DAYS OF COMPLETION OF GRADING. SEED SHALL BE MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF DOT SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF 3 POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%, PHOSPHORIC ACID, NOT LESS THAN 8%, POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT A RATE OF 7 POUNDS PER 1,000 SQUARE FEET. MULCHING SHALL CONSIST OF STRAW AT A RATE OF 1.5 TONS PER ACRE.



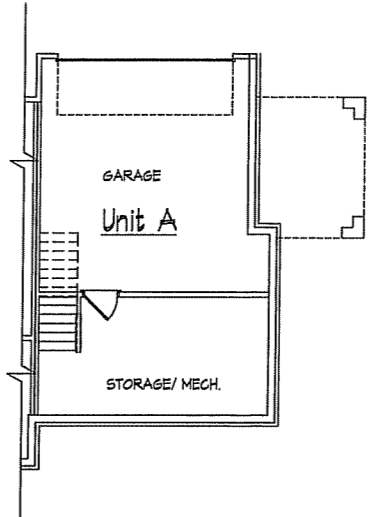
○ FIRST FLOOR PLAN
1/8" = 1'-0" 7 UNIT TYPE "A"



○ PARTIAL FIRST FLOOR
1/8" = 1'-0" 1 UNIT TYPE "B"



○ BASEMENT FLOOR PLAN
1/8" = 1'-0" 7 UNIT TYPE "A"



○ PARTIAL BASEMENT FLOOR
1/8" = 1'-0" 1 UNIT TYPE "B"

Revisions
12 Pre-app. Inter. Dept. Submittal - October 14, 2006
Plan Commission Submittal - October 25, 2006
Initial UDG Submittal - October 25, 2006

Project Title
Mill Creek Townhomes

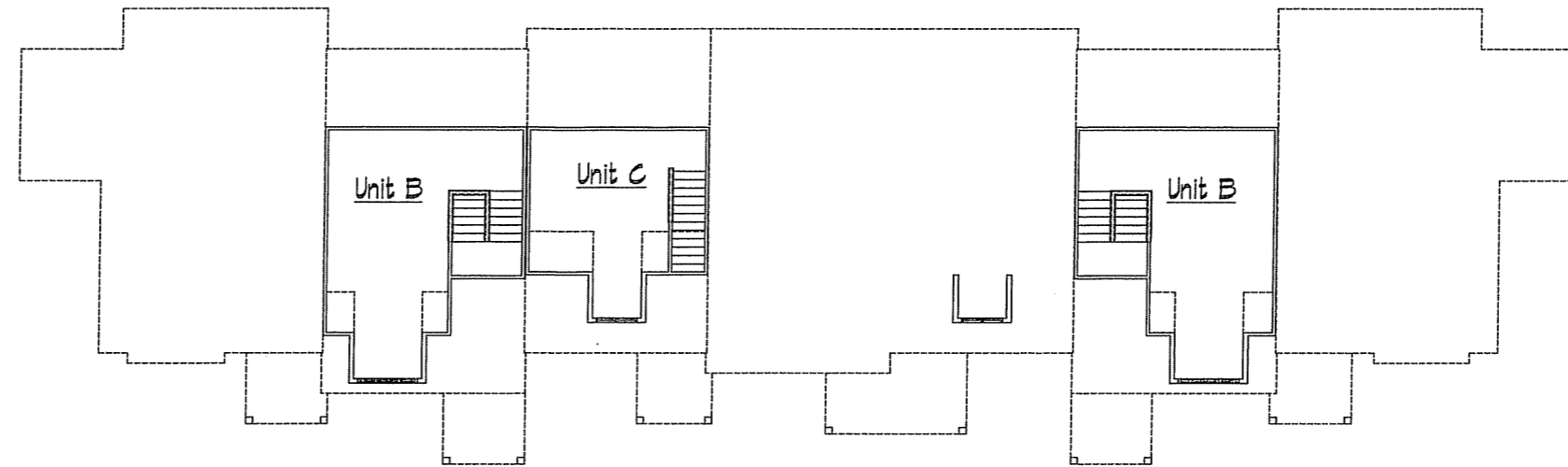
Lot 1 of Hanks Creek
Flat

Drawing Title
Basement/ 1st Fl. Plans
7 Unit Building

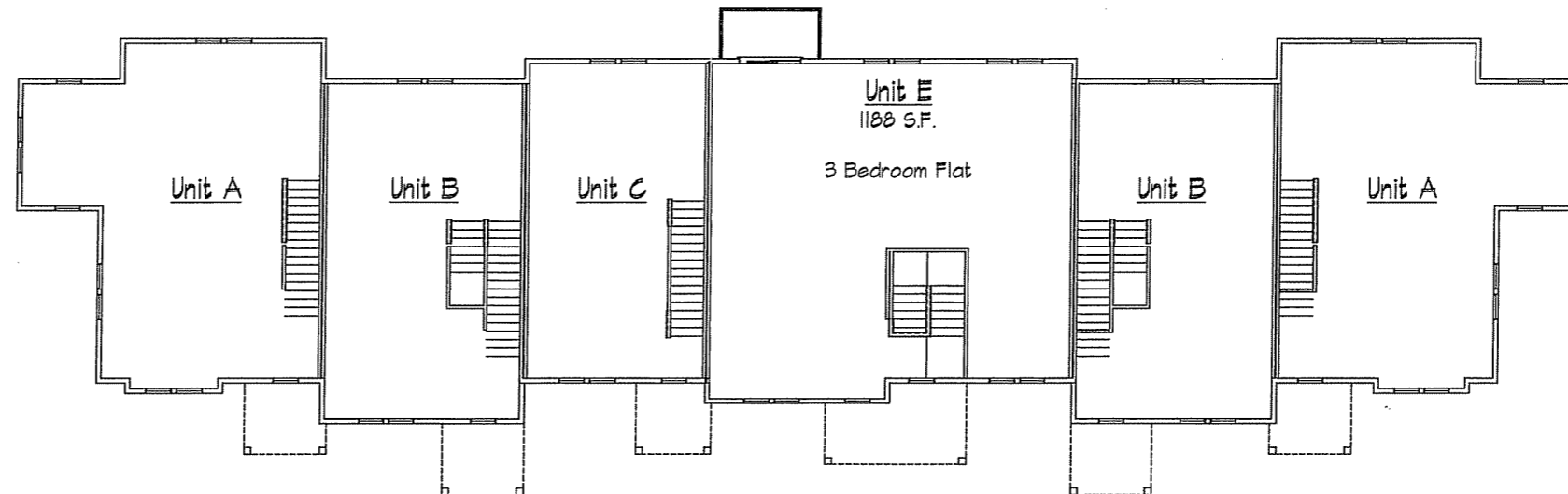
Project No. Drawing No.

0520 A-1.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. Without the disclosure of the information herein to be by reproduction, distribution, sale, or otherwise, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



○ LOFT FLOOR PLAN 704 SF
1/8" = 1'-0" 7 UNIT TYPE "A" AND "B"



○ SECOND FLOOR PLAN 4835 SF
1/8" = 1'-0" 7 UNIT TYPE "A" AND "B"

Revisions
12 Pre-app, Inter. Dept. Submittal - October 14, 2006
Plan Commission Submittal - October 25, 2006
Initial UDC Submittal - October 25, 2006

Project Title
Mill Creek Townhomes

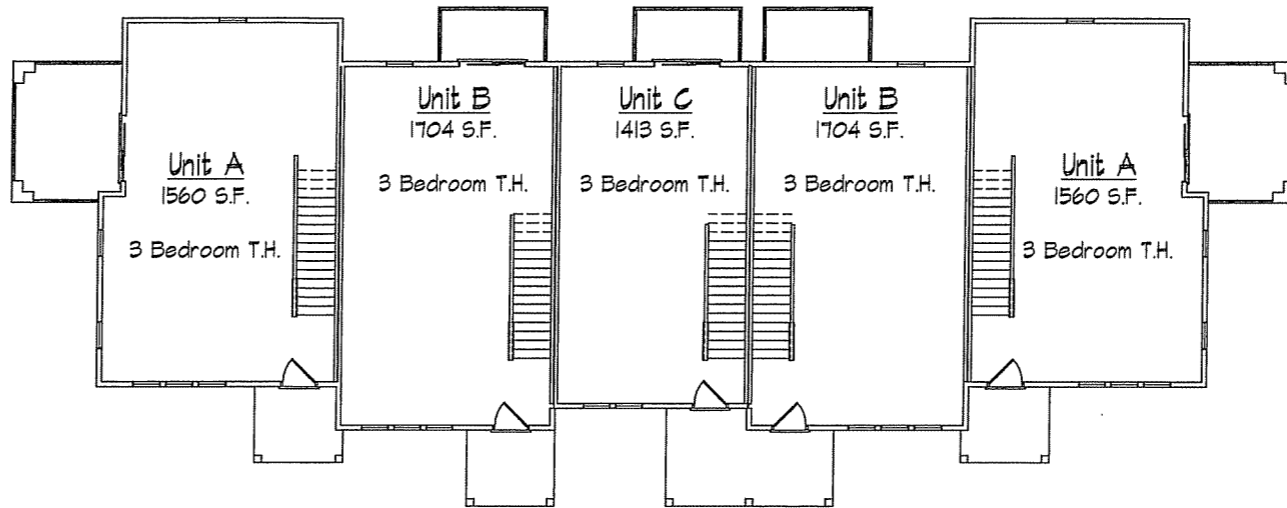
Lot 1 of Hawks Creek
Flat

Drawing Title
Second/ Loft Fl. Plans
7 Unit Building

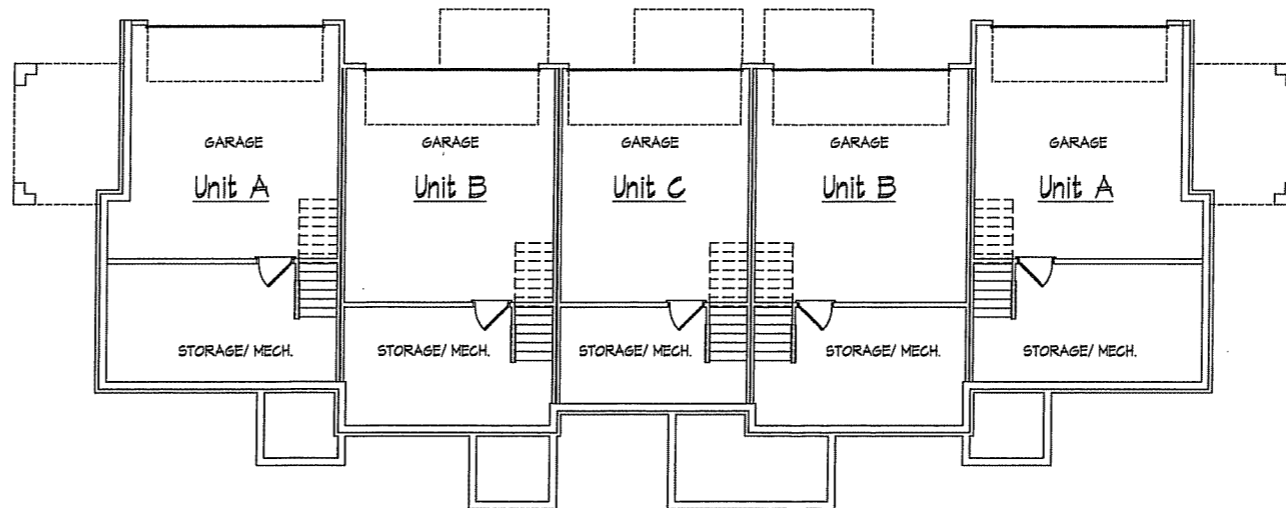
Project No. Drawing No.

0520 A-1.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. Whether the disclosure of the information herein is to be requested, obtained, used, or disclosed, other in whole or in part, except as specifically authorized by Knothe & Bruce Architects, Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.



FIRST FLOOR PLAN 3371 SF
1/8" = 1'-0" 5 UNIT



BASEMENT FLOOR PLAN
1/8" = 1'-0" 5 UNIT

Revisions
IZ Pre-app. Inter. Dept. Submittal - October 14, 2006
Plan Commission Submittal - October 25, 2006
Initial UDC Submittal - October 25, 2006

Project Title
Mill Creek Townhomes

Lot 1 of Hawks Creek
Flat

Drawing Title
Basement/ 1st Fl. Plans
5 Unit Building

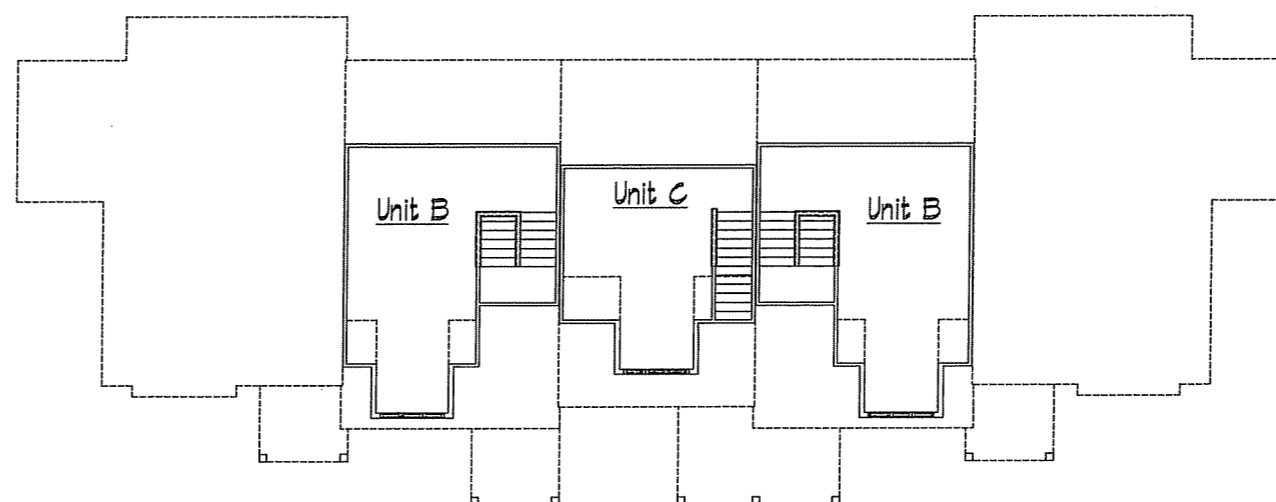
Project No. Drawing No.

0520 A-1.3

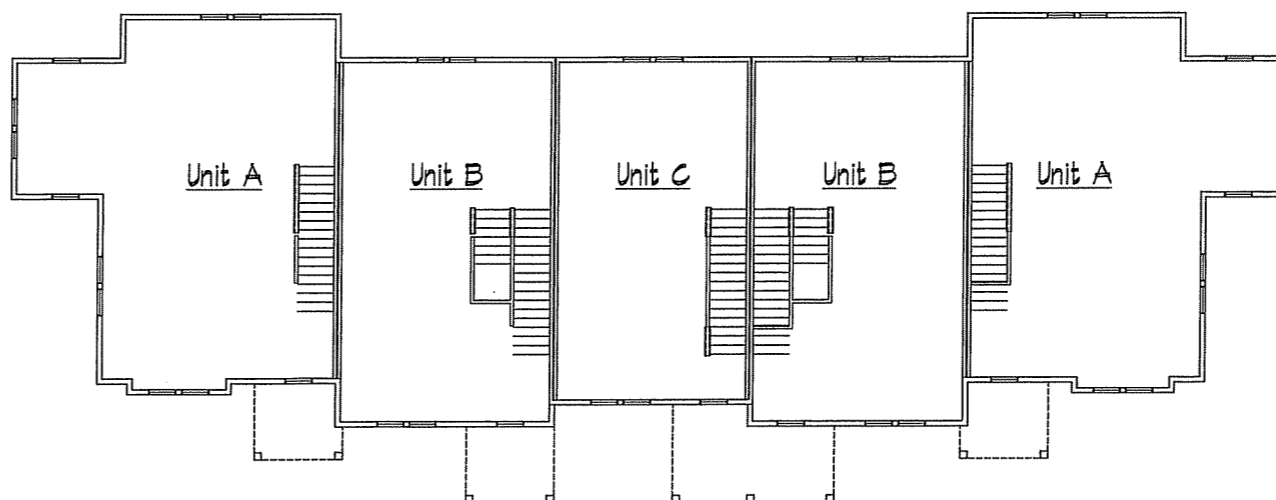
This document contains confidential or proprietary information of Knothe & Bruce Architects. Without the document and the information herein to be reproduced, distributed, used, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Consultant

Notes



○ LOFT FLOOR PLAN
1/8" = 1'-0" 5 UNIT



○ SECOND FLOOR PLAN
1/8" = 1'-0" 5 UNIT

Revisions
12 Pre-app. Inter. Dept. Submittal - October 19, 2006
Plan Commission Submittal - October 25, 2006
Initial UDG Submittal - October 25, 2006

Project Title
Mill Creek Townhomes

Lot 1 of Hawks Creek
Flat

Drawing Title
Second/ Loft Fl. Plans
5 Unit Building

Project No. Drawing No.
0520 A-1.4

This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, stored, used, or disseminated in whole or in part, except as expressly authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Consultant

Notes

TYPICAL MATERIALS:

- ASPHALT SHINGLES
- 1x8 HARDI-PLANK FASCIA
- 5/4x10 HARDI-PLANK RAKE TRIM
- 1x4 OVER 5/4x10 HARDI-PLANK FRIEZE BOARD
- HARDI-PLANK SIDING
- 5/4x6 CORNER TRIM
- HARDI-PLANK SIDING
- VINYL WINDOW
- HARDI-PLANK WINDOW TRIM
- SCREEN PORCH
- PREFABRICATED ALUMINUM RAILING
- MASONRY VENEER



○ REAR ELEVATION
 1/8" = 1'-0" 7 UNIT TYPE "A" AND "B"



○ PARTIAL FRONT ELEVATION
 1/8" = 1'-0" 7 UNIT TYPE "B"



○ FRONT ELEVATION
 1/8" = 1'-0" 7 UNIT TYPE "A"



○ SIDE ELEVATION
 1/8" = 1'-0" 7 UNIT TYPE "B"



○ SIDE ELEVATION
 1/8" = 1'-0" 7 UNIT TYPE "A"

Revisions
 12 Pre-app. Inter. Dept. Submittal - October 14, 2006
 Plan Commission Submittal - October 25, 2006
 Initial UDC Submittal - October 25, 2006

Project Title
 Mill Creek Townhomes

Lot 1 of Hawks Creek Plat

Drawing Title
 Elevations
 7 Unit Building

Project No.
 0520

Drawing No.
 A-2.1

This document contains confidential or proprietary information of Knothe & Bruce Architects. Further dissemination of the information herein is to be prohibited, distributed, used, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.

Consultant

Notes



○ SIDE ELEVATION
1/8" = 1'-0" 5 UNIT

TYPICAL MATERIALS:

- ASPHALT SHINGLES
- 1x8 HARDI-PLANK FASCIA
- 5/4x10 HARDI-PLANK RAKE TRIM
- 1x4 OVER 5/4x10 HARDI-PLANK FRIEZE BOARD
- HARDI-PLANK SIDING
- 5/4x6 CORNER TRIM
- HARDI-PLANK SIDING
- VINYL WINDOW
- HARDI-PLANK WINDOW TRIM
- SCREEN PORCH
- PREFABRICATED ALUMINUM RAILINGS
- MASONRY VENEER



○ REAR ELEVATION
1/8" = 1'-0" 5 UNIT



○ FRONT ELEVATION
1/8" = 1'-0" 5 UNIT

Revisions
12 Pre-opp. Inter. Dept. Submittal - October 19, 2006
Plan Commission Submittal - October 25, 2006
Initial UDC Submittal - October 25, 2006

Project Title
Mill Creek Townhomes

Lot 1 of Hawks Creek Plat

Drawing Title
Elevations
5 Unit Building

Project No. 0520 Drawing No. A-2.2

This document contains confidential or proprietary information of Knothe & Bruce Architects. Neither the document nor the information herein is to be reproduced, distributed, used, or disclosed, either in whole or in part, except as specifically authorized by Knothe & Bruce Architects. Knothe & Bruce Architects is a Limited Liability Company of Wisconsin.