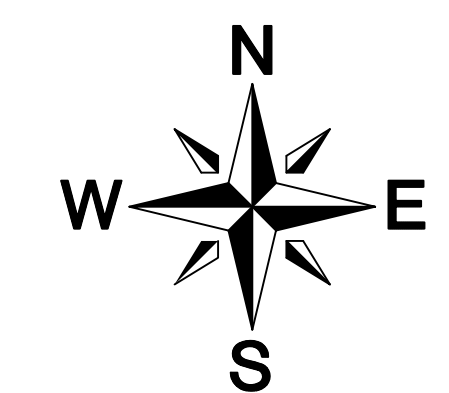
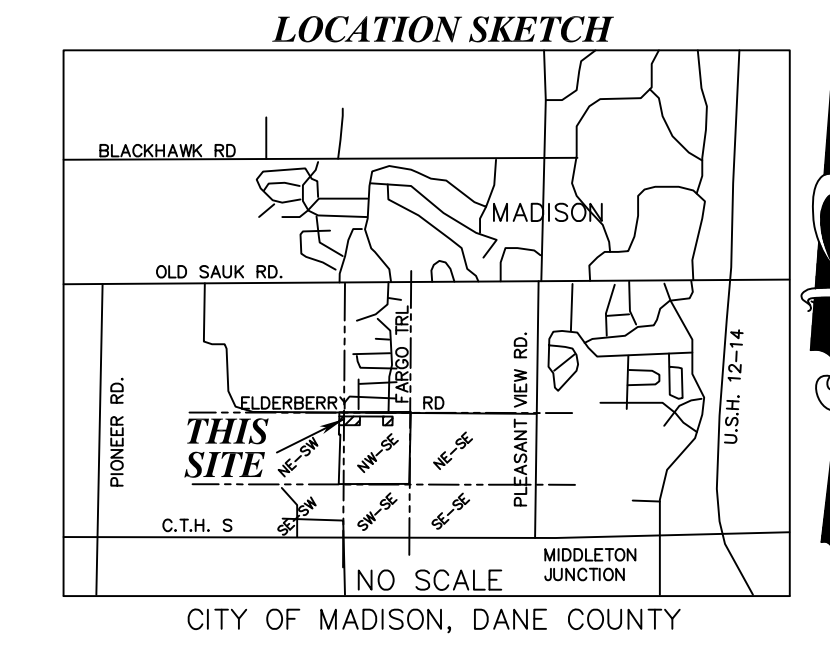


Woodstone Replat

BEING ALL OF LOTS 1, 2, 57, 64, 65, 72, 73 AND 86, WOODSTONE, LOCATED IN THE NW1/4 OF THE SE1/4 AND THE NE1/4 OF THE SW1/4, SECTION 21, T. 7 N., R. 8 E., CITY OF MADISON, DANE COUNTY, WISCONSIN. CONTAINING: 102,264 SQ. FT. - 2.35 ACRES



SCALE: 1" = 50'

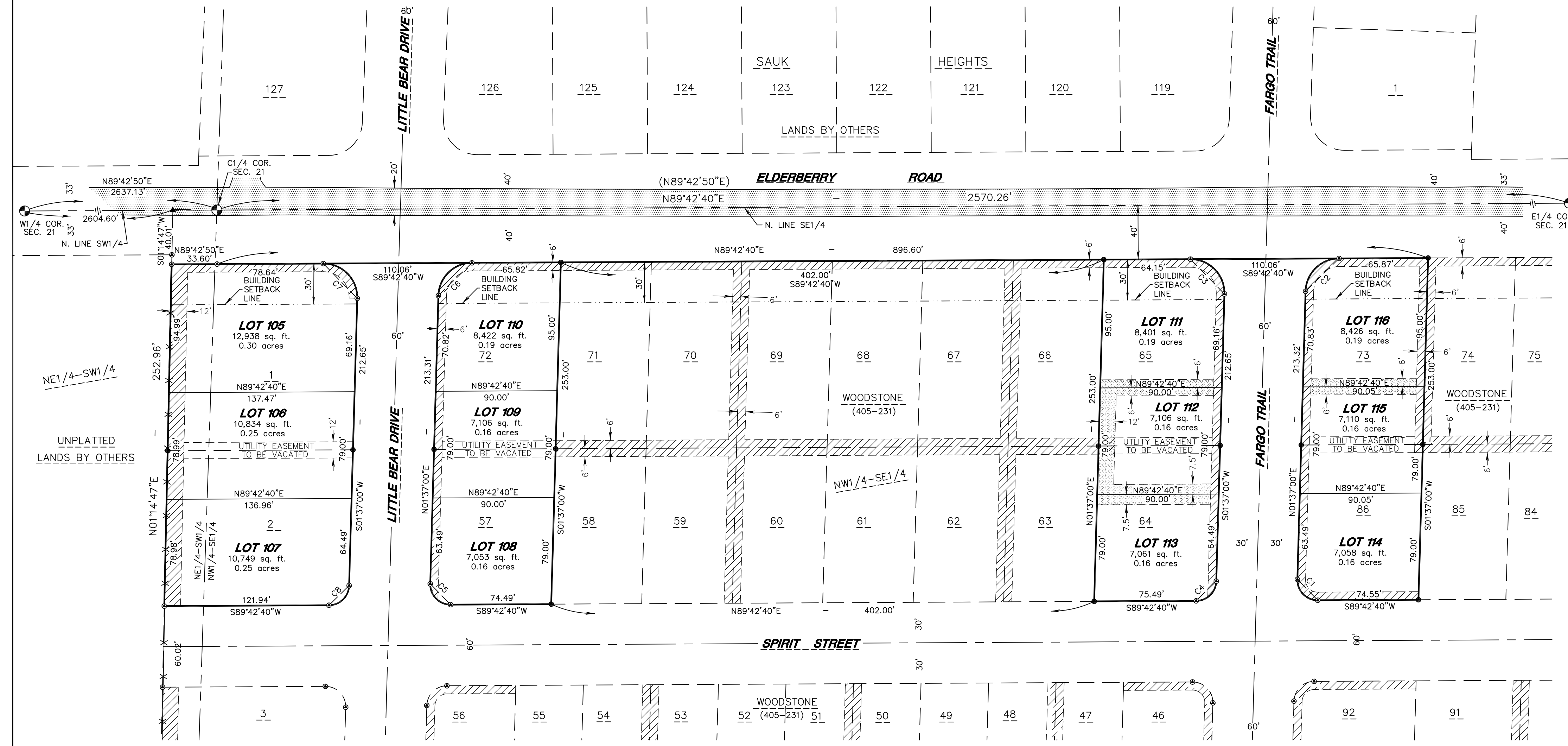
BASIS OF BEARINGS: IS THE NORTH LINE OF THE SW1/4, SECTION 21, WHICH BEARS N89°42'50"E AS REFERENCED TO GRID NORTH, DANE COUNTY COORDINATE SYSTEM NAD83 (1991).

- LEGEND**
- 1 1/4" X 30" IRON REBAR SET (WT. = 4.3 LBS / L.F.)
 - ▲ P.K. NAIL FND.
 - 3/4" IRON REBAR FND.
 - 1 1/4" IRON REBAR FND.
 - ⊙ CITY OF MADISON BRASS CAP CONCRETE MONUMENT FND.
 - () PREVIOUS SURVEY OR RECORD DATA
 - ▨ PROPOSED PUBLIC UTILITY EASEMENT
 - ▨ EXISTING PUBLIC UTILITY EASEMENT
- ALL OTHER LOT CORNERS ARE MONUMENTED WITH 3/4" X 24" IRON REBAR (WT = 1.5 LBS/L.F.)

OWNER/SUBDIVIDER
PHEASANT RIDGE, LLC.
C/O DANIEL HEFFRON SR.
2000 PRAIRIE STREET, SUITE 100
PRAIRIE DU SAC, WI 53578

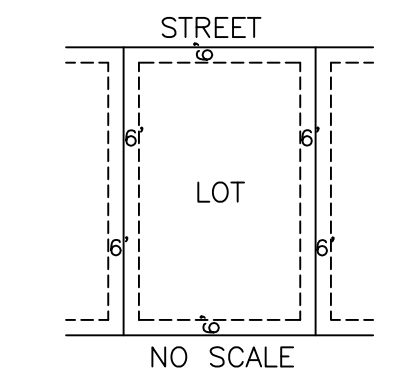
ENGINEER
MSA PROFESSIONAL SERVICES
BRAD REENTS
2901 INTERNATIONAL LANE
SUITE 300
MADISON, WI 53704
PHONE: 1-800-446-0679

SURVEYOR
JAMES R. GROTHMAN
P.O. BOX 373
625 E. SLIFER STREET
PORTAGE, WI 53901
PHONE PORTAGE: (608) 742-7788
PHONE SAUK PRAIRIE: (608) 644-8877
FAX: (608) 742-0434
e-mail: surveying@grothman.com



CURVE DATA TABLE

CURVE	LOT #	DELTA	ARC	RADIUS	BEARING	DIST
C1	114	91°54'20"	24.06	15.00	N44°20'10"W	21.56
C2	116	88°05'40"	38.44	25.00	N45°39'50"E	34.76
C3	111	91°54'20"	40.10	25.00	S44°20'10"E	35.94
C4	113	88°05'40"	23.06	15.00	S45°39'50"W	20.86
C5	108	91°54'20"	24.06	15.00	N44°20'10"W	21.56
C6	110	88°05'40"	38.44	25.00	N45°39'50"E	34.76
C7	105	91°54'20"	40.10	25.00	S44°20'10"E	35.94
C8	107	88°05'40"	23.06	15.00	S45°39'50"W	20.86



NOTE: UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.

NOTE: ALL THE LOTS WITHIN THIS SUBDIVISION ARE SUBJECT TO IMPACT FEES THAT ARE DUE AND PAYABLE WITHIN FOURTEEN DAYS OF THE ISSUANCE OF THE BUILDING PERMIT(S).

NOTE: IN THE EVENT OF A CITY OF MADISON PLAN COMMISSION AND/OR COMMON COUNCIL APPROVED RE-DIVISION OF A PREVIOUSLY SUBDIVIDED PROPERTY, THE UNDERLYING PUBLIC EASEMENTS FOR DRAINAGE PURPOSES ARE RELEASED AND REPLACED BY THOSE REQUIRED AND CREATED BY THE CURRENT APPROVED SUBDIVISION.

NOTE: THE INTRA-BLOCK DRAINAGE EASEMENTS SHALL BE GRADED WITH THE CONSTRUCTION OF EACH PRINCIPLE STRUCTURE IN ACCORDANCE WITH THE APPROVED STORM WATER DRAINAGE PLAN ON FILE WITH THE CITY ENGINEER AND THE ZONING ADMINISTRATOR, AS AMENDED IN ACCORDANCE WITH THE MADISON GENERAL ORDINANCES.

NOTE: ALL LOTS WITHIN THIS PLAT ARE SUBJECT TO PUBLIC EASEMENTS FOR DRAINAGE PURPOSES WHICH SHALL BE A MINIMUM OF 6- FEET IN WIDTH MEASURED FROM THE PROPERTY LINE TO THE INTERIOR OF EACH LOT, EXCEPT THAT THE EASEMENTS SHALL BE 12- FEET IN WIDTH ON THE PERIMETER OF THE PLAT. FOR PURPOSES OF TWO (2) OR MORE LOTS COMBINED FOR A SINGLE DEVELOPMENT SITE, OR WHERE TWO (2) OR MORE LOTS HAVE A SHARED DRIVEWAY AGREEMENT, THE PUBLIC EASEMENT FOR DRAINAGE PURPOSES SHALL BE A MINIMUM OF SIX (6) FEET IN WIDTH AND SHALL BE MEASURED ONLY FROM THE EXTERIOR PROPERTY LINES OF THE COMBINED LOTS THAT CREATE A SINGLE DEVELOPMENT SITE, OR HAVE A SHARED DRIVEWAY AGREEMENT, EXCEPT THAT THE EASEMENT SHALL BE TWELVE (12) FEET IN WIDTH ALONG THE PERIMETER OF THE PLAT. EASEMENTS SHALL NOT BE REQUIRED ON PROPERTY LINES SHARED WITH GREENWAYS OR PUBLIC STREETS. NO BUILDINGS, DRIVEWAYS, OR RETAINING WALLS SHALL BE PLACED IN ANY EASEMENT FOR DRAINAGE PURPOSES. FENCES MAY BE PLACED IN THE EASEMENT ONLY IF THEY DO NOT IMPED THE ANTICIPATED FLOW OF WATER. NOTE: IN THE EVENT OF A CITY OF MADISON PLAN COMMISSION AND/OR COMMON COUNCIL APPROVED RE-DIVISION OF A PREVIOUSLY SUBDIVIDED PROPERTY, THE UNDERLYING PUBLIC EASEMENTS FOR DRAINAGE PURPOSES ARE RELEASED AND REPLACED BY THOSE REQUIRED AND CREATED BY THE CURRENT APPROVED SUBDIVISION.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____
Department of Administration

5/20/11 DATE	SEAL DATE REVISION	JRG BY	APV/D
A FINAL PLAT OF <h2>Woodstone Replat</h2>		G GROTHMAN & ASSOCIATES S.C. LAND SURVEYORS 625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901 PHONE: PORTAGE: (608) 742-7788 SAUK: (608) 644-8877 FAX: (608) 742-0434 E-MAIL: surveying@grothman.com	
FILE NO. 511-159	PROJ. NO. 405-231	DWG NO. 511159 FINAL	
THIS INSTRUMENT DRAFTED BY JERON ABEGLLEN		SHEET 1 OF 2	

Woodstone Replat

OWNER'S CERTIFICATE OF DEDICATION

As Owner, I hereby certify that I caused the land on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. As Owner, I do further certify that this plat is required by Statutes 236.10 or 236.12 to be submitted to the following for approval or objection:

- City of Madison
- Department of Administration
- Dane County Zoning and Land Regulation Committee

Witness the hand and seal of said Owner this _____ day of _____, 20____.

In the Presence of: Pheasant Ridge, L.L.C.

Witness Daniel R. Heffron
Managing Member Pheasant Ridge, L.L.C.

STATE OF WISCONSIN)
SS)
COUNTY OF DANE)

Personally came before me this _____ day of _____, 20____, the above named **Daniel R. Heffron, Managing Member Pheasant Ridge, L.L.C.**, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public _____
County, Wisconsin My commission expires: _____

CONSENT OF MORTGAGEE

We, **Susan E. Annen, Richard A. Annen, Alan E. Backus, Jane A. Backus, Kay E. Backus**, Mortgagees of the above described land do hereby certify to the surveying, dividing, mapping, and dedication of the land described on this plat, and we do consent to the above certificates of **Daniel R. Heffron, Managing Member Pheasant Ridge, L.L.C.**, Owners.

Witness the hand and seal of **Susan E. Annen, Richard A. Annen, Alan E. Backus, Jane A. Backus, Kay E. Backus**, this _____ day of _____, 20____.

Susan E. Annen

Richard A. Annen

Alan E. Backus

Jane A. Backus

Kay E. Backus

STATE OF WISCONSIN)
SS)
COUNTY OF _____)

Personally came before me this _____ day of _____, 20____, the above named **Susan E. Annen, Richard A. Annen, Alan E. Backus, Jane A. Backus, Kay E. Backus** to me known to be the person who executed the foregoing instrument and acknowledge the same.

Notary Public _____
County, Wisconsin My commission expires: _____

STATE OF WISCONSIN)
SS)
COUNTY OF _____)

Personally came before me this _____ day of _____, 20____, the above named **Susan E. Annen, Richard A. Annen, Alan E. Backus, Jane A. Backus, Kay E. Backus** to me known to be the person who executed the foregoing instrument and acknowledge the same.

Notary Public _____
County, Wisconsin My commission expires: _____

COMMON COUNCIL RESOLUTION

Resolved, that the plat of **Woodstone Replat** located in the City of Madison was hereby approved by Enactment Number _____, File ID Number _____, adopted on _____ day of _____, 20____, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said plat to the City of Madison for public use.

Dated this _____ day of _____, 20____.

Maribeth Witzel - Behl, City Clerk

STATE OF WISCONSIN)
SS)
COUNTY OF Dane)

CERTIFICATE OF CITY TREASURER

I, **David Gawenda**, being duly appointed, qualified and acting Treasurer of the City of Madison, do hereby certify that in accordance with my records in my office there are no unpaid taxes or unpaid special assessments as of _____, 20____ affecting the lands included in the plat of **Woodstone Replat**.

David Gawenda, Treasurer Date _____

PLAN COMMISSION

Approved for recording by the Secretary of the Plan Commission of the City of Madison, Dane County, Wisconsin.

Dated this _____ day of _____, 20____.

Timothy Parks, Secretary

CERTIFICATE OF COUNTY TREASURER

STATE OF WISCONSIN)
SS)
COUNTY OF Dane)

I, **David Worzala** being duly elected, qualified and acting Treasurer of the County of Dane, do hereby certify that the records in my tax office show no unredeemed tax sales and no unpaid taxes or unpaid special assessments as of _____, 20____ affecting the lands included in the plat of **Woodstone Replat**.

David Worzala, County Treasurer

CERTIFICATE OF COUNTY REGISTER OF DEEDS

Received for record this _____ day of _____, 20____, at _____ o'clock, _____ M. and recorded in Volume _____ of

Plats on Page _____ as Document Number _____.

Kristi Chlebowski, Register of Deeds

CONSENT OF MORTGAGEE

I, of **State Bank of Cross Plains**, Mortgagee of the above described land do hereby certify to the surveying, dividing, mapping, and dedication of the land described on this plat, and I do consent to the above certificates of **Daniel R. Heffron, Managing Member Pheasant Ridge, L.L.C.**, Owners.

Witness the hand and seal of **State Bank of Cross Plains**, this _____ day of _____, 20____.

State Bank of Cross Plains

James Tubbs, Vice President

STATE OF WISCONSIN)
SS)
COUNTY OF _____)

Personally came before me this _____ day of _____, 20____, the above named **James Tubbs, Vice President**, to me known to be the person who executed the foregoing instrument and acknowledge the same.

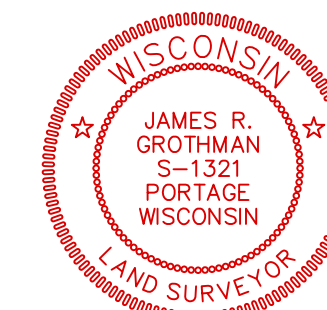
Notary Public _____
County, Wisconsin My commission expires: _____

SURVEYOR'S CERTIFICATE

I, **JAMES R. GROTHMAN**, Registered Land Surveyor, do hereby certify that in full compliance with the Provisions of Chapter 236 of the Wisconsin State Statutes and the City of Madison Subdivision Ordinance and under the direction of **Daniel R. Heffron of Pheasant Ridge, L.L.C.**, I have surveyed, monumented, mapped and divided the plat of **Woodstone Replat**, that such plat correctly represents all exterior boundaries of the land surveyed and subdivision thereof being all of Lots 1, 2, 57, 64, 65, 72, 73, and 86, Woodstone, located in the Northwest Quarter of the Southeast Quarter and the Northeast Quarter of the Southwest Quarter of Section 21, Town 7 North, Range 8 East, City of Madison, Dane County, Wisconsin, described as follows:

Commencing at the west quarter corner of said Section 21;
thence North 89°42'50" East along the north line of the Southwest Quarter of said Section 21, 2,604.60 feet to the northwest corner of Woodstone plat;
thence South 01°14'47" West along the west line of Woodstone plat, 40.01 feet to a point in the south right-of-way line of Elderberry Road said point also being the Northwest corner of said Lot 1 and the point of beginning;
thence North 89°42'50" East along the south right-of-way line of Elderberry Road and the north line of said Lot 1, 33.60 feet;
thence North 89°42'40" East along the south right-of-way line of Elderberry Road, 896.60 feet to the northeast corner of said Lot 73;
thence South 01°37'00" West along the east line of said Lots 73 and 86, 253.00 feet to a point in the north right-of-way line of Spirit Street said point also being the southeast corner of said Lot 86;
thence South 89°42'40" West along the north right-of-way line of Spirit Street, 74.55 feet;
thence northwesterly along a 15.00 foot radius curve to the right in the northerly right-of-way line of Spirit Street also being the easterly right-of-way of Fargo Trail having a central angle of 91°54'20" and whose long chord bears North 44°20'10" West, 21.56 feet;
thence North 01°37'00" East along the east right-of-way line of Fargo Trail, 213.32 feet;
thence northeasterly along a 25.00 foot radius curve to the right in the easterly right-of-way line of Fargo Trail having a central angle of 88°05'40" and whose long chord bears North 45°39'50" East, 34.76 feet;
thence South 89°42'40" West, 110.06 feet to a point in the westerly right-of-way line of Fargo Trail;
thence southeasterly along a 25.00 foot radius curve to the right in the westerly right-of-way line of Fargo Trail having a central angle of 91°54'20" and whose long chord bears South 44°20'10" East, 35.94 feet;
thence South 01°37'00" West along the westerly right-of-way line of Fargo Trail, 212.65 feet;
thence southwesterly along a 15.00 foot radius curve to the right in the westerly right-of-way line of Fargo Trail and the northerly right-of-way line of Spirit Street having a central angle of 88°05'40" and whose long chord bears South 45°39'50" West, 20.86 feet;
thence South 89°42'40" West along the north right-of-way line of Spirit Street, 75.49 feet to the southwest corner of said Lot 64;
thence North 01°37'00" East along the west line of said Lots 64 and 65, 253.00 feet to a point in the south right-of-way line of Elderberry Road said point also being the northwest corner of said Lot 65;
thence South 89°42'40" West along the south right-of-way line of Elderberry Road, 402.00 feet to the northeast corner of said Lot 72;
thence South 01°37'00" West along the east line of said Lots 57 and 72, 253.00 feet to a point in the north right-of-way line of Spirit Street said point also being the southeast corner of said Lot 57;
thence South 89°42'40" West along the south right-of-way line of Spirit Street, 74.49 feet;
thence northwesterly along a 15.00 foot radius curve to the right in the northerly right-of-way line of Spirit Street and the easterly right-of-way line of Little Bear Drive having a central angle of 91°54'20" and whose long chord bears North 44°20'10" West, 21.56 feet;
thence North 01°37'00" East along the east right-of-way line of Little Bear Drive, 213.31 feet;
thence northeasterly along a 25.00 foot radius curve to the right in the easterly right-of-way line of Little Bear Drive having a central angle of 88°05'40" and whose long chord bears North 45°39'50" East, 34.76 feet to a point in the southerly right-of-way line of Elderberry Road;
thence South 89°42'40" West, 110.06 feet;
thence southeasterly along a 25.00 foot radius curve to the right in the westerly right-of-way line of Little Bear Drive having a central angle of 91°54'20" and whose long chord bears South 44°20'10" East, 35.94 feet;
thence South 01°37'00" West along the west right-of-way line of Little Bear Drive, 212.65 feet;
thence southwesterly along a 15.00 foot radius curve to the right in the westerly right-of-way line of Little Bear Drive and the northerly right-of-way line of Spirit Street having a central angle of 88°05'40" and whose long chord bears South 45°39'50" West, 20.86 feet;
thence South 89°42'40" West along the north right-of-way line of Spirit Street, 121.94 feet to the southwest corner of said Lot 2;
thence North 01°14'47" East along the west line of said Lots 1 and 2, 252.96 feet to the point of beginning.
Containing 102,264 square feet, (2.35 acres), more or less.

JAMES R. GROTHMAN
Registered Land Surveyor, No. 1321
Dated: May 20, 2011
File No. 511-159



OWNER/SUBDIVIDER

PHEASANT RIDGE, LLC.
C/O DANIEL HEFFRON SR.
2000 PRAIRIE STREET, SUITE 100
PRAIRIE DU SAC, WI 53578

ENGINEER

MSA PROFESSIONAL SERVICES
THOMAS PINION
2901 INTERNATIONAL LANE
SUITE 300
MADISON, WI 53704
PHONE: 1-800-446-0679

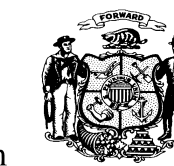
SURVEYOR

JAMES R. GROTHMAN
P.O. BOX 373
625 E. SLIFER STREET
PORTAGE, WI 53901
PHONE PORTAGE: (608) 742-7788
PHONE SAUK PRAIRIE: (608) 644-8877
FAX: (608) 742-0434
e-mail: surveying@grothman.com

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



DATE	SEAL DATE	REVISION	BY	APVD
5/20/11			JRG	
A FINAL PLAT OF				
Woodstone Replat				
G GROTHMAN & ASSOCIATES S.C. LAND SURVEYORS				
625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901 PHONE: PORTAGE: (608) 742-7788 SAUK: (608) 644-8877 FAX: (608) 742-0434 E-MAIL: surveying@grothman.com				
FILE NO. 511-159	PROJ. NO. 405-231	DWG NO. 511159_FINAL		
THIS INSTRUMENT DRAFTED BY JERON ABEGLLEN		SHEET 2 OF 2		