

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: February 27, 2013

Action Requested

- Informational Presentation
 Initial Approval and/or Recommendation
 Final Approval and/or Recommendation

UDC MEETING DATE: March 6, 2013

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 5302 Tancho Drive & 5101 American Parkway

ALDERMANIC DISTRICT: District 17

OWNER/DEVELOPER (Partners and/or Principals)

Fiduciary Real Estate Development
789 North Water Street – Suite 200
Milwaukee, Wisconsin 53202

ARCHITECT/DESIGNER/OR AGENT:

JLA Architects + Planners
5325 Wall Street – Suite 2700
Madison, Wisconsin 53718
Contact: Joseph Lee

CONTACT PERSON: Joseph Lee (JLA Architects + Planners)

Address: 5325 Wall Street – Suite 2700
Madison, Wisconsin 53718

Phone: 608.241.9500

Fax: _____

E-mail address: jlee@jla-ap.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Community Development (PCD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Residential Development (PRD)
 New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 School, Public Building or Space (Fee may be required)
 New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
 Street Graphics Variance* (Fee required)
 Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

FEATURES & SPECIFICATIONS

INTENDED USE – Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION – Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant, tempered, glass lens that is fully gasketed with one-piece tubular silicone. Finish: Standard finish is dark bronze (DDB) polyester powder finish, with other architectural colors available.

OPTICS – Anodized, aluminum reflectors: IES full cutoff distributions R2 (asymmetric), R3 (asymmetric), R4 (forward throw) and R5S (square) are interchangeable. High-performance anodized, segmented aluminum reflectors IES full cutoff distributions SR2 (asymmetric), SR3 (asymmetric) and SR4SC (forward throw, sharp cutoff). High-performance reflectors attach with tool-less fasteners and are rotatable and interchangeable.

ELECTRICAL – Ballast: High pressure sodium: 70-150W is high reactance, high power factor. Constant wattage autotransformer for 200-400W. Metal halide: 70-150W is high reactance, high power factor and is standard with pulse-start ignitor technology. "SCWA" not required. Constant wattage autotransformer for 175-400W. Super CWA (pulse start ballast), 88% efficient and EISA legislation compliant, is required for metal halide 151-400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Pulse-start ballast (SCWA) required for 200W, 320W, or 350W. Ballast is 100% factory-tested.

Socket: Porcelain, horizontally oriented medium base socket for 70-150M. Mogul base socket for 175M and above, and 70-400S, with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

LISTINGS – UL Listed (standard). CSA Certified (see Options). UL listed for 25°C ambient and wet locations. IP65 rated in accordance with standard IEC 529.

Specifications subject to change without notice.

| | |
|----------------|-----------|
| Catalog Number | |
| Notes | |
| Type | OA1 & OA2 |



Soft Square Lighting

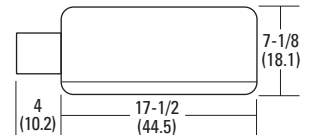
KAD



Specifications

EPA: 1.2 ft.²
 *Weight: 35.9 lbs (16.28 kg)
 Length: 17-1/2 (44.5)
 Width: 17-1/2" (44.5)
 Depth: 7-1/8 (18.1)
 All dimensions are inches (centimeters) unless otherwise specified.
 *Weight as configured in example below.

METAL HALIDE: 70-400W
 HIGH PRESSURE SODIUM: 70-400W
 20" TO 35" MOUNTING



ORDERING INFORMATION For shortest lead times, configure product using **bolded options**.

Example: KAD 400M R3 TB SCWA SPD04 LPI

| KAD | Wattage | | | Distribution | | Voltage | Ballast | Mounting ¹² | |
|------------|---|---|---|---|--|---|---|---|--|
| KAD | Metal halide | High pressure sodium¹ | Ceramic metal halide | Standard reflectors | High performance reflectors⁸ | 120 208 ⁹ 240 ⁹ 277 347 480⁹ TB¹⁰ 23050HZ ¹¹ | (blank) Magnetic ballast CWI Contant wattage isolated ¹¹ Pulse Start SCWA Super CWA pulse-start ballast NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA. | Ships in fixture carton SPD ___ Square pole RPD ___ Round pole WBD ___ Wall bracket WWD ___ Wood or pole wall Ships separately^{13,14} DAD12P Degree arm (pole) DAD12WB Degree arm (wall) WBA Decorative wall bracket ¹⁵ KMA Mast arm external fitter KTMB Twin mounting bar | Arm length 04 4" arm 06 6" arm 09 9" arm 12 12" arm |
| | 70M ^{1,2} 250M⁵ 100M ¹ 320M ⁴ 150M 350M ^{3,4} 175M ³ 400M^{5,6} 200M ⁴ | 70S 100S 150S 250S 400S | 70MHC ^{1,2} 100MHC ¹ 150MHC | R2 IES type II asymmetric ⁷ R3 IES type III asymmetric ⁷ R4 IES type IV forward throw ⁷ R5S IES type V square | SR2 IES type II asymmetric ⁷ SR3 IES type III asymmetric ⁷ SR4SC IES type IV forward throw | | | | |

| Options | | | Finish ¹⁹ | Lamp ²¹ |
|--|---|--|---|---|
| Shipped installed in fixture | | | (blank) Dark bronze DWH White DBL Black DMB Medium bronze DNA Natural aluminum | LPI Lamp included L/LP Less lamp Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction |
| SF Single fuse (120, 277, 347V) ¹⁶ DF Double fuse (208, 240, 480V) ¹⁶ PD Power tray ¹⁷ PER NEMA twist-lock receptacle only (no photocontrol) QRS Quartz restrrike system ¹⁸ | QRSTD QRS time delay ¹⁸ WTB Terminal wiring block ¹⁷ CSA CSA Certified INTL Available MH for probe start shipping outside the U.S. REGC1 California Title 20, effective 1/1/2010 | Shipped separately¹³ HS House side shield PE1 NEMA twist-lock PE (120, 208, 240V) PE3 NEMA twist-lock PE (347V) PE4 NEMA twist-lock PE (480V) PE7 NEMA twist-lock PE (277V) SC Shorting cap for PER option VG Vandal guard ¹⁹ WG Wire guard ¹⁹ | | |

- Notes**
- Not available with SCWA.
 - Not available with 480V.
 - These wattages do not comply with California Title 20 regulations.
 - Must be ordered with SCWA.
 - These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance. 250M REGC1 is not available in 347 or 480V.
 - Reduced jacket ED28 required for SR2, SR3 and SR4SC optics.
 - House-side shield available.
 - High performance reflectors not available with QRSTD.
 - Must specify CWI for use in Canada.
 - Optional multi-tap ballast (120, 208, 240, 277V; in Canada: 120, 277, 347V).
 - Consult factory for available wattages.
 - 9" arm is required when two or more luminaires are oriented on a 90° drilling pattern.
 - May be ordered as an accessory.
 - Must specify finish when ordered as an accessory.
 - Available with SPD04 and SPD09.
 - Must specify voltage. N/A with TB.
 - Only available with SR2, SR3 and SR4SC optics.
 - Max allowable wattage lamp included.
 - Prefix with KAD when ordered as an accessory.
 - See www.lithonia.com/archcolors for additional color options.
 - Must be specified. L/LP not available with MHC.
 - Must use RPD09.

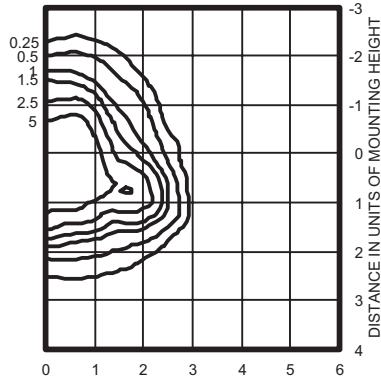
| Accessories: Tenon Mounting Slipfitter (RPxx required.) Order as separate catalog number. Must be used with pole mounting. | | | | | | |
|---|---------|----------|-----------------------|-----------------------|-----------------------|-----------------------|
| Number of fixtures | | | | | | |
| Tenon O.D. | One | Two@180° | Two@90° | Three@120° | Three@90° | Four@90° |
| 2-3/8" | T20-190 | T20-280 | T20-290 ²² | T20-320 ²² | T20-390 ²² | T20-490 ²² |
| 2-7/8" | T25-190 | T25-280 | T25-290 ²² | T25-320 | T25-390 ²² | T25-490 ²² |
| 4" | T35-190 | T35-280 | T35-290 ²² | T35-320 | T35-390 ²² | T35-490 ²² |

KAD Metal Halide, Arm-mounted Soft Square Cutoff

Coefficient of Utilization _____
Initial Footcandles _____

KAD 400M R2 Test no. 1193083101P

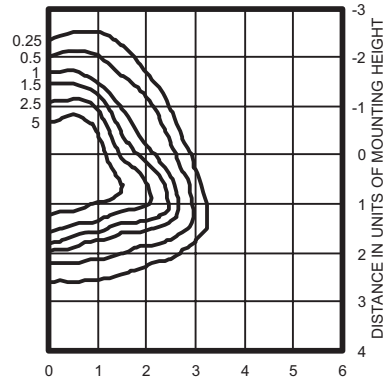
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KAD 400M R3 Test no. 1192040902P

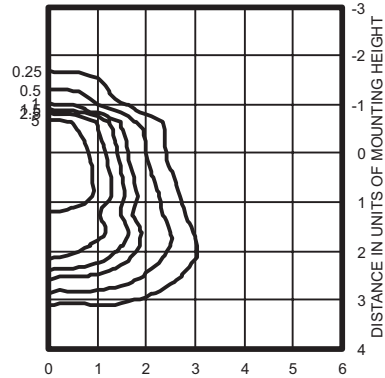
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Type II, Short, Full Cutoff

KAD 400M R4 Test no. 1191110101P

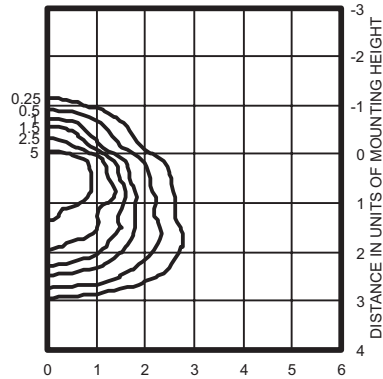
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full Cutoff

KAD 400M R4HS Test no. 1192061101P

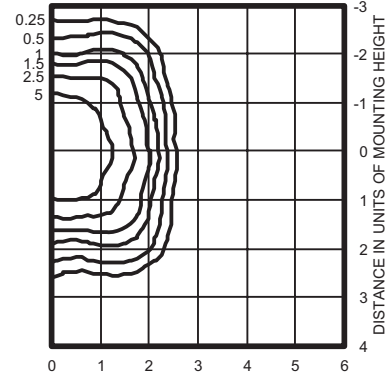
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38,000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full

KAD 400M R5S Test no. 1194040801P

ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type NC, Very Short), Full Cutoff

Notes

- 1 Photometric data for other distributions can be accessed at www.lithonia.com.
- 2 Tested to current IES and NEMA standards under stabilized laboratory conditions. Various operating factors can cause differences between laboratory data and actual field measurements. Dimensions and specifications on this sheet are based on the most current available data and are subject to change without notice.
- 3 For electrical characteristics, consult outdoor technical data specification sheets on www.lithonia.com.

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)

- 25 ft. = 0.64
- 35 ft. = 0.32
- 40 ft. = 0.25

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction Factor}$$

| | |
|----------------|-----------|
| Catalog Number | |
| Notes | OA1 & OA2 |
| Type | |

FEATURES & SPECIFICATIONS

CONSTRUCTION — Weldable-grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge), or 50,000 psi (7-gauge). Uniform wall thickness of .125" or .188". Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4, 5 and 6 inches.

Anchor base is fabricated from hot-rolled carbon steel plate conforming to ASTM A36, that meets or exceeds a minimum-yield strength of 36,000 psi. Base plate and shaft are circumferentially welded top and bottom. Base cover is finished to match pole.

A handhole having nominal dimensions of 3" x 5" for all shafts. Included is a cover with attachment screws.

Top cap provided with all drill-mount poles.

Fasteners are high-strength galvanized, zinc-plated or stainless steel.

Finish: Must specify finish.

Grounding: Provision located immediately inside handhole rim. Grounding hardware is not included (provided by others).

Anchor Bolts: Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod having a minimum yield strength of 55,000 psi.



Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL

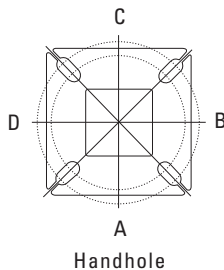
ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSS 20 5C DM19 DDB

| Series | Nominal fixture mounting height | Nominal shaft base size/wall thickness | Mounting ¹ | Options | Finish ⁷ |
|--------|----------------------------------|--|-----------------------|-------------------|---------------------|
| SSS | 10 – 39 feet (see back page.) | (See back page.) | Tenon mounting | Shipped installed | Standard colors |

HANDHOLE ORIENTATION



| Drill mounting ² | |
|--|---------------------------------|
| DM19 | 1 at 90° |
| DM28 | 2 at 180° |
| DM28PL | 2 at 180° with one side plugged |
| DM29 | 2 at 90° |
| DM39 | 3 at 90° |
| DM49 | 4 at 90° |
| AERIS™/OMERO™ Drill mounting ² | |
| DM19AS | 1 at 90° |
| DM28AS | 2 at 180° |
| DM29AS | 2 at 90° |
| DM39AS | 3 at 90° |
| DM49AS | 4 at 90° |
| AERIS™ Suspend drill mounting ^{2,3} | |
| DM19AST_ | 1 at 90° |
| DM28AST_ | 2 at 180° |
| DM29AST_ | 2 at 90° |
| DM39AST_ | 3 at 90° |
| DM49AST_ | 4 at 90° |
| OMERO™ Suspend drill mounting ^{2,3} | |
| DM19MRT_ | 1 at 90° |
| DM28MRT_ | 2 at 180° |
| DM29MRT_ | 2 at 90° |
| DM39MRT_ | 3 at 90° |
| DM49MRT_ | 4 at 90° |

| | |
|----------|---|
| L/AB | Less anchor bolts |
| VD | Vibration damper |
| TP | Tamper proof |
| H1-18Sxx | Horizontal arm bracket (1 fixture) ^{4,5} |
| FDLxx | Festoon outlet less electrical ⁴ |
| CPL12xx | 1/2" coupling ⁴ |
| CPL34xx | 3/4" coupling ⁴ |
| CPL1xx | 1" coupling ⁴ |
| NPL12xx | 1/2" threaded nipple ⁴ |
| NPL34xx | 3/4" threaded nipple ⁴ |
| NPL1xx | 1" threaded nipple ⁴ |
| EHHxx | Extra handhole ^{4,6} |

| DDB | Dark bronze |
|---|-------------------|
| DWH | White |
| DBL | Black |
| DMB | Medium bronze |
| DNA | Natural aluminum |
| GALV | Galvanized finish |
| Classic colors | |
| DSS | Sandstone |
| DGC | Charcoal gray |
| DTG | Tennis green |
| DBR | Bright red |
| DSB | Steel blue |
| Architectural colors (powder finish) ⁷ | |

NOTES:

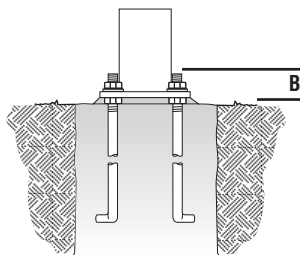
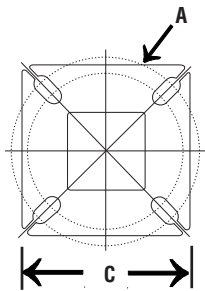
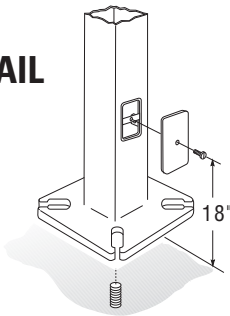
- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option.
For 1st "x": Specify the height in feet above base of pole.
Example: 5ft = 5 and 20ft = 20
For 2nd "x": Specify orientation from handhole (A,B,C,D)
Refer to the Handhole Orientation diagram above.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3). Powder finish standard.

SSS Square Straight Steel Poles

TECHNICAL INFORMATION

| Catalog Number | Nominal shaft length (feet) | Pole Shaft Size (in x ft) | Wall Thickness (inches) | Gauge | EPA (ft ²) with 1.3 gust | | | | | | Bolt Circle (inches) | Bolt Size (in. x in. x in.) | Approximate ship weight (pounds) |
|----------------|-----------------------------|---------------------------|-------------------------|-------|--------------------------------------|-------------|--------|-------------|---------|-------------|----------------------|-----------------------------|----------------------------------|
| | | | | | 80 mph | Max. weight | 90 mph | Max. weight | 100 mph | Max. weight | | | |
| SSS 10 4C | 10 | 4.0 x 10.0 | 0.125 | 11 | 30.6 | 765 | 23.8 | 595 | 18.9 | 473 | 8--9 | 3/4 x 18 x 3 | 75 |
| SSS 12 4C | 12 | 4.0 x 12.0 | 0.125 | 11 | 24.4 | 610 | 18.8 | 470 | 14.8 | 370 | 8--9 | 3/4 x 18 x 3 | 90 |
| SSS 14 4C | 14 | 4.0 x 14.0 | 0.125 | 11 | 19.9 | 498 | 15.1 | 378 | 11.7 | 293 | 8--9 | 3/4 x 18 x 3 | 100 |
| SSS 16 4C | 16 | 4.0 x 16.0 | 0.125 | 11 | 15.9 | 398 | 11.8 | 295 | 8.9 | 223 | 8--9 | 3/4 x 18 x 3 | 115 |
| SSS 18 4C | 18 | 4.0 x 18.0 | 0.125 | 11 | 12.6 | 315 | 9.2 | 230 | 6.7 | 168 | 8--9 | 3/4 x 18 x 3 | 125 |
| SSS 20 4C | 20 | 4.0 x 20.0 | 0.125 | 11 | 9.6 | 240 | 6.7 | 167 | 4.5 | 150 | 8--9 | 3/4 x 18 x 3 | 140 |
| SSS 20 4G | 20 | 4.0 x 20.0 | 0.188 | 7 | 14.0 | 350 | 11.0 | 275 | 8.0 | 200 | 8--9 | 3/4 x 30 x 3 | 198 |
| SSS 20 5C | 20 | 5.0 x 20.0 | 0.125 | 11 | 17.7 | 443 | 12.7 | 343 | 9.4 | 235 | 10--12 | 1 x 36 x 4 | 185 |
| SSS 20 5G | 20 | 5.0 x 20.0 | 0.188 | 7 | 28.1 | 703 | 21.4 | 535 | 16.2 | 405 | 10--12 | 1 x 36 x 4 | 265 |
| SSS 25 4C | 25 | 4.0 x 25.0 | 0.125 | 11 | 4.8 | 150 | 2.6 | 100 | 1.0 | 50 | 8--9 | 3/4 x 18 x 3 | 170 |
| SSS 25 4G | 25 | 4.0 x 25.0 | 0.188 | 7 | 10.8 | 270 | 7.7 | 188 | 5.4 | 135 | 8--9 | 3/4 x 30 x 3 | 245 |
| SSS 25 5C | 25 | 5.0 x 25.0 | 0.125 | 11 | 9.8 | 245 | 6.3 | 157 | 3.7 | 150 | 10--12 | 1 x 36 x 4 | 225 |
| SSS 25 5G | 25 | 5.0 x 25.0 | 0.188 | 7 | 18.5 | 463 | 13.3 | 333 | 9.5 | 238 | 10--12 | 1 x 36 x 4 | 360 |
| SSS 30 4G | 30 | 4.0 x 30.0 | 0.188 | 7 | 6.7 | 168 | 4.4 | 110 | 2.6 | 65 | 8--9 | 3/4 x 30 x 3 | 295 |
| SSS 30 5C | 30 | 5.0 x 30.0 | 0.125 | 11 | 4.7 | 150 | 2.0 | 50 | -- | -- | 10--12 | 1 x 36 x 4 | 265 |
| SSS 30 5G | 30 | 5.0 x 30.0 | 0.188 | 7 | 10.7 | 267 | 6.7 | 167 | 3.9 | 100 | 10--12 | 1 x 36 x 4 | 380 |
| SSS 30 6G | 30 | 6.0 x 30.0 | 0.188 | 7 | 19.0 | 475 | 13.2 | 330 | 9.0 | 225 | 11--13 | 1 x 36 x 4 | 520 |
| SSS 35 5G | 35 | 5.0 x 35.0 | 0.188 | 7 | 5.9 | 150 | 2.5 | 100 | -- | -- | 10--12 | 1 x 36 x 4 | 440 |
| SSS 35 6G | 35 | 6.0 x 35.0 | 0.188 | 7 | 12.4 | 310 | 7.6 | 190 | 4.2 | 105 | 11--13 | 1 x 36 x 4 | 540 |
| SSS 39 6G | 39 | 6.0 x 39.0 | 0.188 | 7 | 7.2 | 180 | 3.0 | 75 | -- | -- | 11--13 | 1 x 36 x 4 | 605 |

BASE DETAIL



| Shaft base size | Bolt circle A | Bolt projection B | Base square | Pole Data | | |
|-----------------|---------------|-------------------|-------------|----------------------|-------------------------|---------------------------------|
| | | | | Template description | Anchor bolt description | Anchor bolt and template number |
| 4"C | 8-1/2" | 2-3/4"-4" | 8" | ABTEMPLATE PJ50004 | AB18-0 | ABSSS-4C |
| 4"G | 8-1/2" | 2-3/4"-4" | 8" | ABTEMPLATE PJ50004 | AB30-0 | ABSSS-4G |
| 5" | 10"-12" | 3-3/8"-4" | 11" | ABTEMPLATE PJ50010 | AB36-0 | ABSSS-5 |
| 6" | 11"-13" | 3-3/8"-4" | 12-1/2" | ABTEMPLATE PJ50011 | AB36-0 | N/A |

IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

IMPORTANT:

- These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

FEATURES & SPECIFICATIONS

INTENDED USE— For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast door frame has a 1/8" thick tempered glass lens. Door frame is fully gasketed with one-piece solid silicone.

OPTICS — Segmented reflectors for superior uniformity and control. Reflectors are interchangeable. Three full cutoff distributions available: FT (forward throw), MD (medium throw) and WT (wide throw).

ELECTRICAL — Ballast: 50W-150W utilizes a high reactance, high power factor ballast. Metal halide 150W and below are standard with pulse-start technology. 35S utilizes a reactance high power factor ballast. 175W utilizes a constant-wattage autotransformer ballast. CSA, NOM or INTL required for probe start shipments outside of the US for 175M. Not available 175M SCWA. Ceramic metal halide lamps are recommended for use in applications where superior color rendition, lumen maintenance and longer lamp life are desired.

Quick disconnect plug easily disconnects reflector from ballast. Ballasts are 100% factory-tested.

Socket: Porcelain, medium-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 660W, 600V 4KV pulse rated.

Finish: Standard finish is textured dark bronze (DDBT) corrosion-resistant polyester powder finish. Additional architectural colors are available. Striping is also available.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with each installation.

LISTINGS — UL Listed (standard). CSA Certified (see Options). Suitable for wet locations (damp location listed in lens-up orientation). WLU option offers wet location listing in up orientation (see Options). IP65 rated. 25°C ambient. ELED: U.S. Patent No. 7,737,640.

Note: Specifications subject to change without notice.

| | |
|----------------|----------------------|
| Catalog Number | |
| Notes | |
| Type | OB1 & OB2 |



Decorative Wall-Mounted Lighting

WST

METAL HALIDE: 50W-175W
HIGH PRESSURE SODIUM: 35W-150W

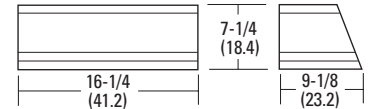
Specifications

Length: 16-1/4 (41.2)

Depth: 9-1/8 (23.2)

Overall Height: 7-1/4 (18.4)

*Weight: 30 lbs (13.6 kg)



All dimensions are inches (centimeters) unless otherwise indicated.

*Weight as configured in example below.

ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

Example: WST 100M FTTB LPI

| WST | Wattage/source | | | Distribution | Voltage | Ballast | Mounting | Options |
|------------|-----------------------------|---------------------|-----------------------------|---|-----------------------|---|--|---|
| WST | High pressure sodium | Metal halide | Ceramic metal halide | FT Forward throw | 120 | (blank) Magnetic ballast | (blank) Surface mount | Shipped installed in fixture |
| | 35S ¹ | 50M | 50MHC | MD Medium throw (coated lamp std.) | 208 ³ | CWI Constant wattage isolated | Shipped separately ⁷ | SF Single fuse (120, 277, 347V) ⁸ |
| | 50S | 70M | 70MHC | WT Wide throw | 240 ³ | Pulse Start MD REGULATORY SERVICE | BBW Surface mount back box | DF Double fuse (208, 240V) ⁸ |
| | 70S | 100M | 100MHC | | 277 | | UT5 Uptilt 5 degrees | DC12 Emergency circuit 12-volt (35W lamp included) ⁹ |
| | 100S | 150M | 150MHC | | 347 | | | 2DC12 Emergency circuit 12-volt (two 35W lamps included) ⁹ |
| | 150S | 175M ² | 150MHC | | TB⁴ | SCWA Super CSA pulse start ballast ⁶ | | DC2012 Emergency circuit 12-volt (20W lamp included) ⁹ |
| | | | | | 23050HZ ⁵ | | | 2DC2012 Emergency circuit 12-volt (two 20W lamps included) ⁹ |

| Options (continued) | | | | | | Finish ¹⁶ | Lamp ¹⁸ |
|---------------------|---|------|--|----------------------------------|----------------|--|--------------------------|
| ELED | Emergency LED secondary source battery pack with time delay (-4°F min. operating temperature) ¹⁰ | QRS | Quartz restrike system ^{11, 15} | Shipped separately ¹⁴ | (blank) | Dark bronze, textured | LPI Lamp included |
| 2ELED | Emergency LED secondary source (two modules) battery pack with time delay (-4°F min. operating temperature) ¹⁰ | WLU | Wet location door for up orientation | WG Wire guard | DSST | Sandstone, textured | L/LP Less lamp |
| DFL | Diffusing lens | CSA | CSA certified | VG Vandal guard | DNAT | Natural aluminum, textured | |
| EC | Emergency circuit ^{11, 12} | NOM | NOM certified ⁵ | | DWHG | White, textured | |
| IBS | Internal backlight shield ¹³ | INTL | International shipment for 175M | | DBLB | Black, textured | |
| PE | Photoelectric cell-button type (n/a TB) ¹⁴ | | | | CR | Corrosion-resistance | |
| | | | | | CRT | Non-stick protective coating ¹⁷ | |

Notes

- 120V.
- These wattages do not comply with California Title 20 regulations.
- Must specify CWI for use in Canada.
- Optional multi-tap ballast (120, 208, 240, 277V); (120, 277, 347V in Canada; ships as 120V/347V).
- Consult factory for available wattages.
- Available with 150M or 150MHC only.
- May be ordered as an accessory with prefix "WS". Must specify finish.
- Not available with DC options.
- Not available with ELED, SF, DF, EC or QRS.
- Maximum wattage 100M, 70S. Must specify 120V or 277V. Not available with QRS, EC or DC.
- Maximum allowable wattage lamp included.
- Not available with ELED, QRS or DCs.

- 13 Not available with medium throw (MD, MDU, MDU5) distributions.
- 14 Must be ordered with fixture; cannot be field installed.
- 15 Not available with ELED, EC or DCs.
- 16 See www.lithonia.com/archcolors for additional color options.
- 17 Black finish only.
- 18 Must be specified. L/LP not available with MHC.



Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction



| | |
|----------------|-----------------|
| Catalog Number | |
| Notes | Type OC1 |

FEATURES & SPECIFICATIONS

INTENDED USE

Provides general illumination for outdoor use in residential and light commercial applications. Ideal for driveways, walkways, and play areas creating an inviting exterior space as well as providing safety and security.

ATTRIBUTES

Bring old-world elegance outdoors with the Kingsly post top. Available in a black finish with frosted seeded glass diffuser or antique bronze with amber glass diffuser, both have a dusk-to-dawn photocell for added energy efficiency. Matching finish pole top fitter is designed to fit a 3" diameter pole. The Kingsly post top provides a wide spread even illumination for safety and security. Designed for outdoor use only. Should not be used in areas with limited ventilation or high ambient temperatures.

Includes (1) 26W compact full spiral tube 4-pin 2700K fluorescent lamp for energy efficiency, superior color rendering and long life.

Standard with residential-grade electronic ballast (120 volt, 60Hz) ensures no flickering and quiet operation. Starts instantly down to 0°F (-18°C).

Use with non-dimmable switches only.

All mounting hardware included.

LISTING

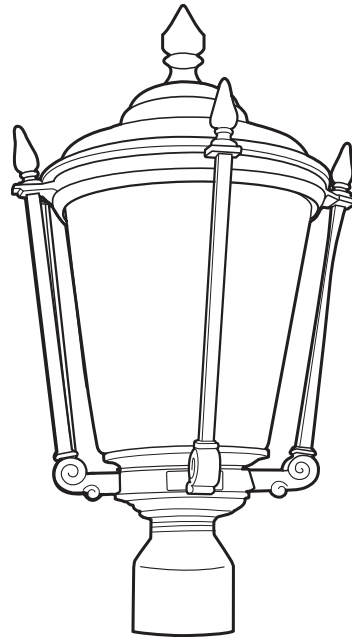
CUL listed to US and Canadian safety standards and suitable for wet locations. ENERGY STAR® qualified.

WARRANTY

Guaranteed for two years against mechanical defects in manufacture.

Outdoor Decorative Kingsly Post Top

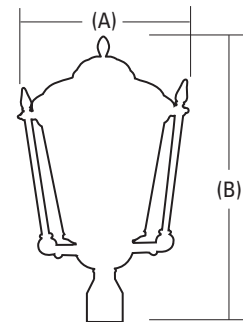
Compact Fluorescent



DIMENSIONS

| Nominal Size | Lamp Configuration | Model Number | Number of Lamps | (A) Width inches (cm) | (B) Height inches (cm) |
|--------------|--------------------|--------------|-----------------------------|-----------------------|------------------------|
| 11" | | ODPT12 | (1) 26W compact full spiral | 11-1/2" (29.2) | 20-1/2" (52.1) |

All dimensions are in inches (centimeters)



ORDERING INFORMATION

Example: **ODPT12 BL**

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories and replacement parts as separate catalog numbers.

ODPT12

| Model Number | Ballast/Voltage | Finish | Options |
|--|---|---|-------------------|
| ODPT12 (1) 26W compact full spiral 4-pin 2700K fluorescent lamp Included | (blank) 120 volt residential electronic ballast (standard) Other voltage and ballast types (Consult factory) | BL Black BZ Antique bronze | (Consult factory) |



| | |
|----------------|-----------------|
| Catalog Number | |
| Notes | Type OC2 |

FEATURES & SPECIFICATIONS

INTENDED USE

Provides general illumination for outdoor wall use in residential and light commercial applications. Ideal for entryways creating an inviting exterior space as well as providing safety and security.

ATTRIBUTES

Bring old-world elegance outdoors with the Kingsly lantern. Offered in two sizes, each is available in a black finish with frosted seeded glass diffuser or antique bronze with amber glass diffuser, all have a dusk-to-dawn photocell for added energy efficiency. The Kingsly lantern provides a wide spread even illumination for safety and security. Designed for outdoor use only. Should not be used in areas with limited ventilation or high ambient temperature.

Includes (1) compact full spiral tube 4-pin 2700K fluorescent lamp for energy efficiency, superior color rendering and long life.

Standard with residential-grade electronic ballast (120 volt, 60Hz) ensures no flickering and quiet operation. Starts instantly down to 0°F (-18°C).

Use with non-dimmable switches only.

All mounting hardware included.

LISTING

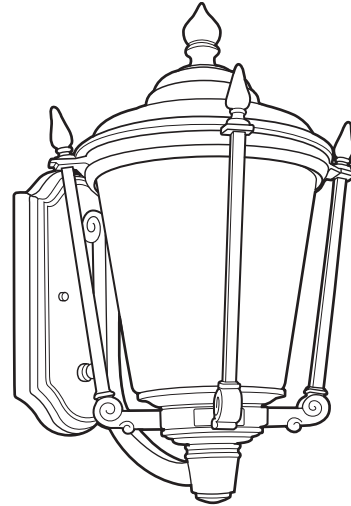
CUL listed to US and Canadian safety standards and suitable for wet locations. ENERGY STAR® qualified.

WARRANTY

Guaranteed for two years against mechanical defects in manufacture.

Outdoor Decorative Kingsly Lantern

Compact Fluorescent

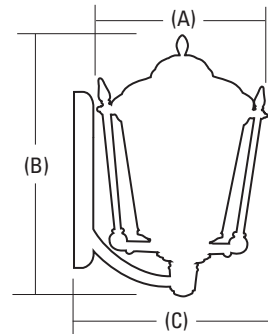


DIMENSIONS

| Nominal Size | Lamp Configuration | Model Number | Number of Lamps | (A) Width inches (cm) | (B) Height inches (cm) | (C) Extension* inches (cm) |
|--------------|--------------------|--------------|-----------------------------|-----------------------|------------------------|----------------------------|
| Small | | ODSL12 | (1) 13W compact full spiral | 7" (17.8) | 14-1/4" (36.2) | 9" (22.9) |
| Large | | ODLL12 | (1) 26W compact full spiral | 11" (27.9) | 19" (48.3) | 13" (33.0) |

* Maximum extension from wall

All dimensions are in inches (centimeters)



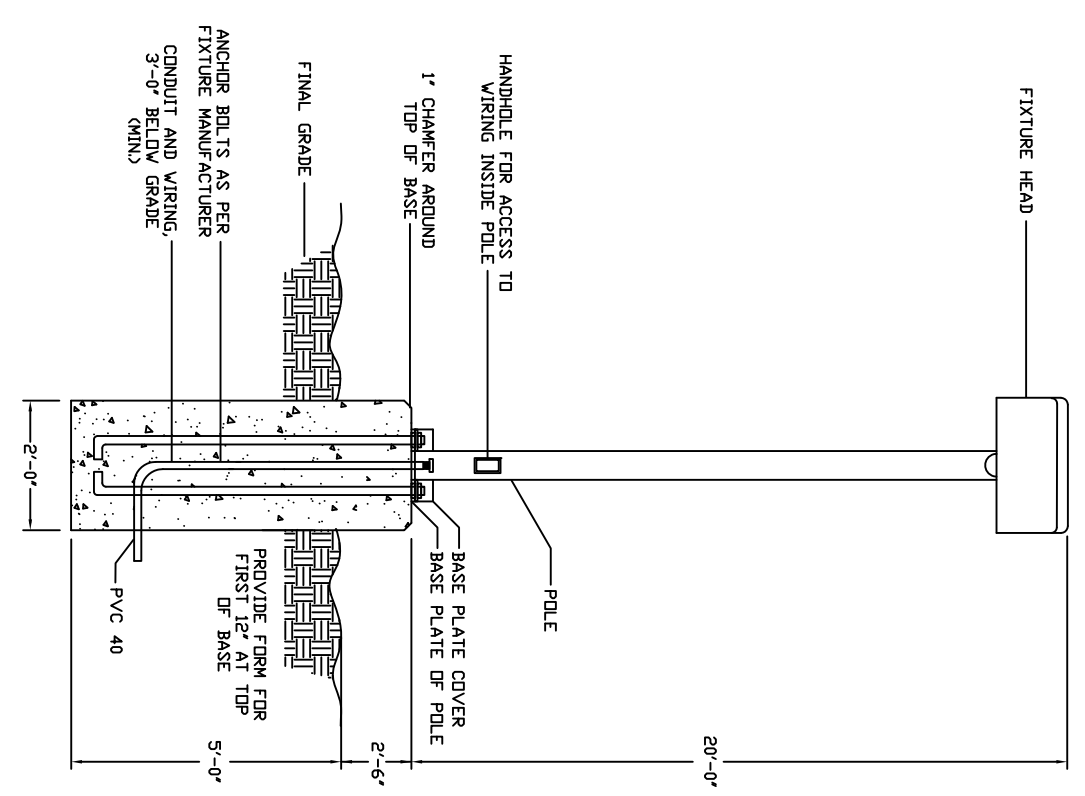
ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories and replacement parts as separate catalog numbers.

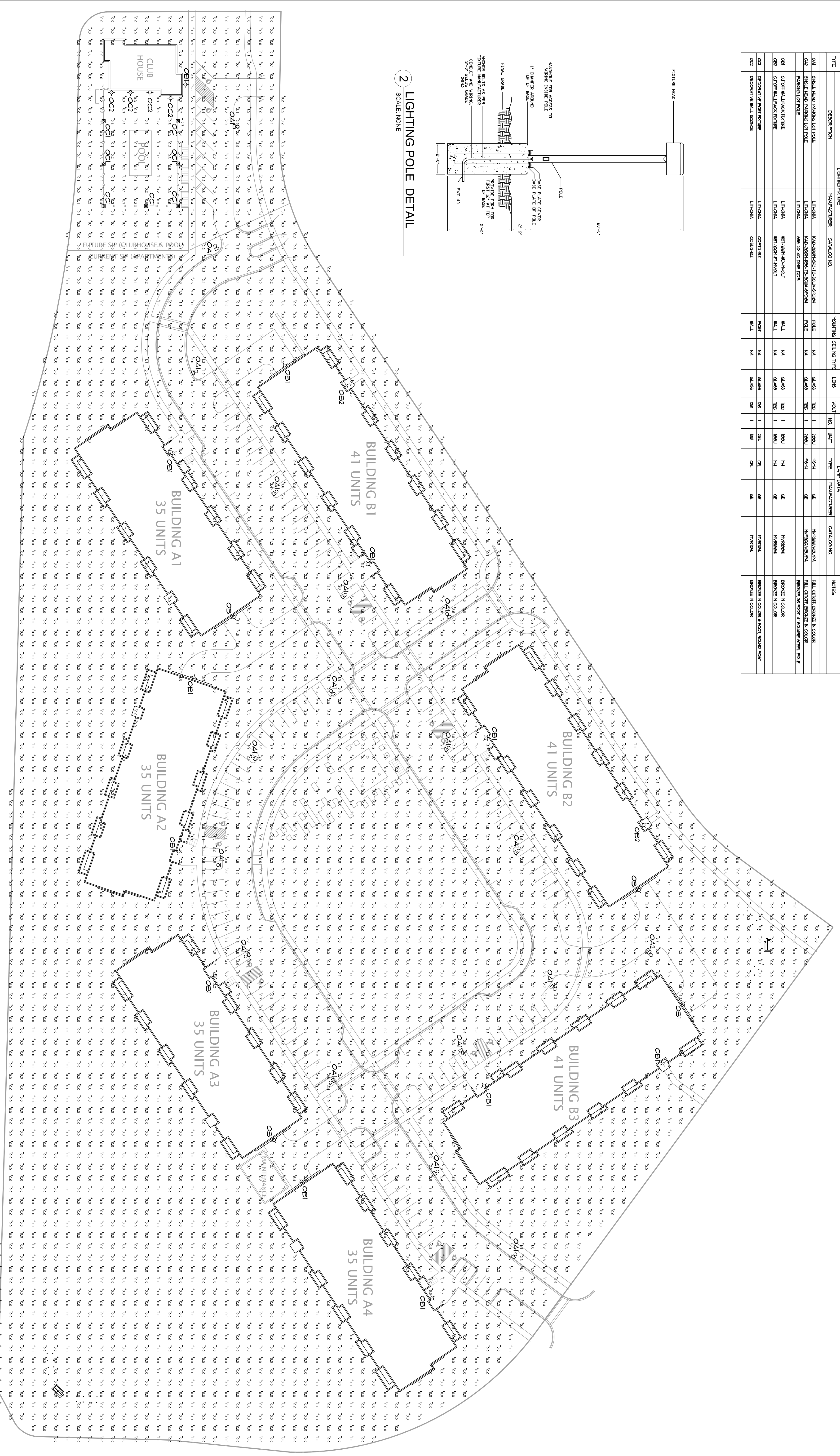
Example: **ODSL12 BL**

| Model Number | | Ballast/Voltage | | Finish | | Options |
|---------------|--|-----------------|--|-----------|----------------|-------------------|
| ODSL12 | Small - (1) 13W 2700K compact full spiral 4-pin fluorescent lamp Included | (blank) | 120 volt residential electronic ballast (standard) | BL | Black | (Consult factory) |
| ODLL12 | Large - (1) 26W 2700K compact full spiral 4-pin fluorescent lamp Included | | Other voltage and ballast types (Consult factory) | BZ | Antique bronze | |

| LIGHTING FIXTURE SCHEDULE | | | | LAMP DATA | | | | | | | | |
|---------------------------|------------------------------|--------------|---------------------------|-----------|--------------|-------|----------|-------|------|--------------|--------------|--------------------------------------|
| TYPE | DESCRIPTION | MANUFACTURER | CATALOG NO. | HOUSING | CEILING TYPE | LENS | VOL. NO. | LAMPS | TYPE | MANUFACTURER | CATALOG NO. | NOTES |
| Q41 | SHIELD HEAD PARABOL LOT POLE | LITONIA | K40-300P-800-10-SCM-10004 | POLE | NA | GLASS | TRD 1 | 300W | PHI | PHI | HYDRONIK/PHI | PHI, OTHER, BRONZE N COLOR |
| Q42 | SHIELD HEAD PARABOL LOT POLE | LITONIA | K40-300P-800-10-SCM-10004 | POLE | NA | GLASS | TRD 1 | 300W | PHI | PHI | HYDRONIK/PHI | PHI, OTHER, BRONZE N COLOR |
| Q43 | PARKING LOT POLE | LITONIA | 660-20-1C-0700-000 | POLE | NA | GLASS | TRD 1 | 200W | PHI | PHI | HYDRONIK/PHI | BRONZE, 20 FOOT, 4 SQUARE FEET, POLE |
| Q44 | CLUB WALL PLACE FIXTURE | LITONIA | 101-100P-10-100-1 | WALL | NA | GLASS | TRD 1 | 300W | PHI | PHI | HYDRONIK | BRONZE N COLOR |
| Q45 | CLUB WALL PLACE FIXTURE | LITONIA | 101-100P-10-100-1 | WALL | NA | GLASS | TRD 1 | 300W | PHI | PHI | HYDRONIK | BRONZE N COLOR |
| Q46 | DECKING POLE FIXTURE | LITONIA | 00701-02 | POLE | NA | GLASS | TRD 1 | 300W | PHI | PHI | HYDRONIK | BRONZE N COLOR & FOOT, ROUND, POLE |
| Q47 | DECKING POLE FIXTURE | LITONIA | 00701-02 | POLE | NA | GLASS | TRD 1 | 300W | PHI | PHI | HYDRONIK | BRONZE N COLOR |



2 LIGHTING POLE DETAIL
SCALE: NONE



1 SITE LIGHTING PLAN
SCALE: 1" = 40'-0"

REVISIONS

1-2-2013, SUBMITTAL
Background Date
12-28-2012



8401 Vanden Br
Milwaukee, WI 53222
PH: 414-688-8388
FAX: 414-688-8388

CLIENT INFORMATION:
FIDUCIARY REAL ESTATE DEVELOPMENT, INC
189 NORTH WATER STREET, SUITE 200
MILWAUKEE, WISCONSIN 53202

PROJECT INFORMATION:
AMERICAN PARKWAY APARTMENTS
MADISON, WISCONSIN

SCALE: AS NOTED
DATE: 1/27/2013
ES-1
1 OF 1 SHEETS

THE AMERICAN
PARKWAY
APARTMENTS
MADISON, WISCONSIN



City of Madison UDC Submittal – Final Approval

CONTENTS :

- PREVIOUS GENERAL DEVELOPMENT PLANS
- SPECIFIC IMPLEMENTATION BOUNDARIES
- PROJECT LOCATION & GENERAL DESCRIPTION
- PROPOSED SIP ZONING TEXT
- SIP DEVELOPMENT DATA
- PROJECT IMPLEMENTATION
- APPENDIX 'A' - Specific Implementation Plans
 - SIP Civil Plans
 - SIP Landscape Plans
 - SIP Architectural Plans

PROJECT TEAM:



FIDUCIARY REAL ESTATE DEVELOPMENT, INC
789 North Water Street - Suite 200
Milwaukee, Wisconsin 53202
Contact: Brett Miller
414.226.4535



JLA ARCHITECTS + PLANNERS
5325 Wall Street - Suite 2700
Madison, Wisconsin 53718
Contact: Joseph Lee
608.241.9500



JSD PROFESSIONAL SERVICES, INC.
161 Horizon Drive – Suite 101
Verona, Wisconsin 53593
Contact: Wade Wyse
608.848.5060

PREVIOUS GENERAL DEVELOPMENT PLANS

THIS DOCUMENT SHALL SERVE AS AN AMENDED PLANNED UNIT DEVELOPMENT - GENERAL DEVELOPMENT PLAN (PUD/GDP) AND PLANNED UNIT DEVELOPMENT - SPECIFIC IMPLEMENTATION PLAN (PUD/SIP) TO THE PREVIOUSLY APPROVED GENERAL DEVELOPMENT PLAN:

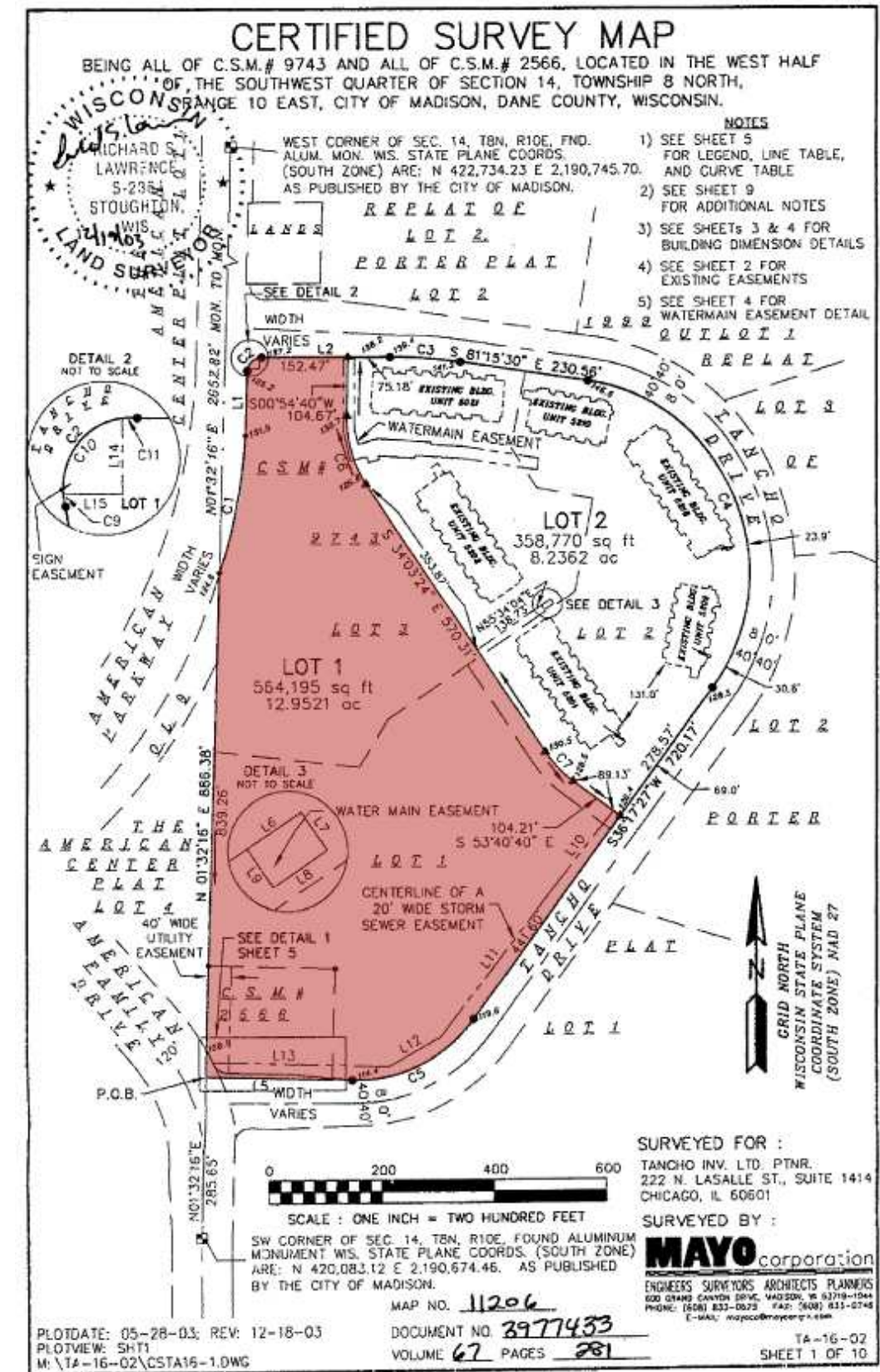
- THE AMMENDED PUD/GDP FOR: 5302 TANCHO DRIVE AND 5101 AMERICAN PARKWAY - (LOT 1 CSM 11206) APPROVED BY COMMON COUNCIL ON NOVEMBER 4, 2003 AND FINAL SIGN OFF ON FEBRUARY 23, 2006.

EXTENT OF THE GENERAL DEVELOPMENT PLAN AND SPECIFIC IMPLEMENTATION PLAN BOUNDARIES

This document shall serve as the following:

- **The General Development Plan** for the areas shown in red to the right.
- **The Specific Implementation Plan** for the area shown in red to the right.

PROJECT LOCATION & GENERAL DESCRIPTION



LOCATION

Located in the American Family campus on Madison's east side, the proposed project is the development of Lot 1 of CSM 11206 bounded by American Parkway, Tancho Drive and Chauser Drive.

EXISTING CONDITIONS

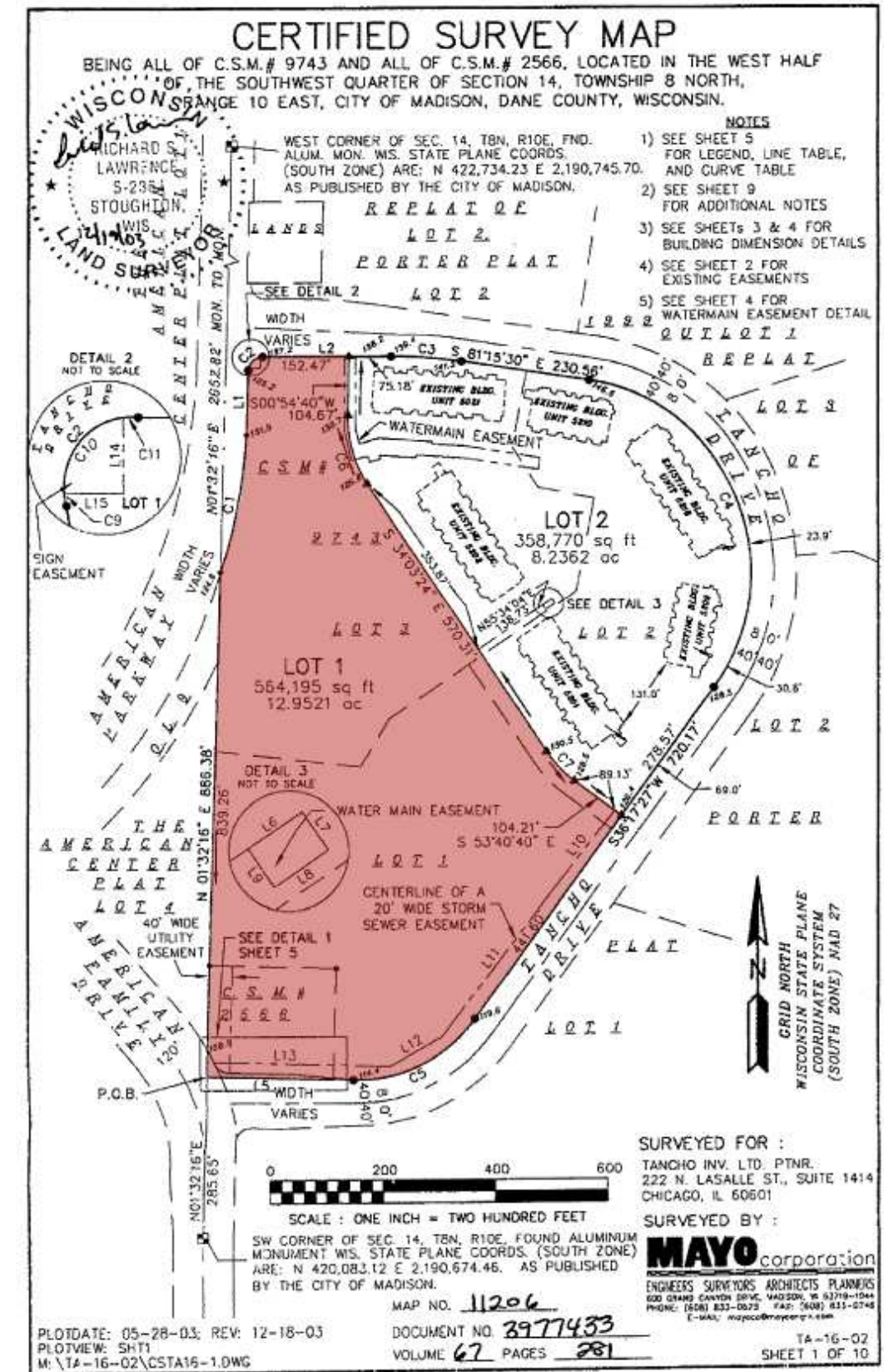
The subject property, Lot 1 of CSM 11206, is currently undeveloped. It is located adjacent to The Barrington Apartments which were developed on Lot 2 of CSM 11206 under the previous GDP that gained approval in 2003 and encompassed both Lot 1 and Lot 2 of CSM 11206.

PROJECT DESCRIPTION

The development is to be comprised of 263 market-rate apartments located in seven buildings utilizing two building types: three buildings are to be 41 units and four buildings are to be 35 units each. A mix of unit types are being provided that range from studio to three bedroom units.

The development also includes such features as

- a separate clubhouse and pool
- a large central green to provide recreational space to the immediate residents and the broader community.
- sidewalks throughout to connect all buildings and amenities in a pedestrian friendly environment
- underground parking for cars and bicycles.



PROPOSED SIP ZONING TEXT

Project: **AMERICAN PARKWAY APARTMENTS**
 Lot 1 of CSM 11206
 Madison, Wisconsin 53715

Legal Description:

The lands subject to this Planned Unit Development (PUD) shall include those described in Exhibit 'A', attached hereto.

Lot Area:

LOT 1, C.S.M. No. 11206, LOCATED IN THE WEST HALF OF THE SOUTHWEST QUARTER OR SECTION 14, TOWNSHIP 8 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

A. Statement of Purpose:

This zoning district is established to allow for the construction of 3 story multi-dwelling unit residential buildings and a 2 story club house and related amenities.

B. Permitted Uses:

The following uses are Permitted in this Planned Unit Development (PUD):

1. Medium Density multi-family residential development and accessory uses, including but not limited to swimming pool(s), patios, club house(s), recreation facilities, maintenance facilities, activity rooms and sales/marketing center.
2. The development shall consist of up to 273 dwelling units in up to nine buildings.

C. Conditional Uses:

The following uses may be allowed in this Planned Unit Development (PUD) subject to the provisions of Madison General Ordinance - Section 28.12(11):

1. Those Uses that are stated as Conditional Uses in the R5 Zoning Districts per Madison General Ordinance - Chapter 28 (Zoning).
2. Multiple Dwelling-Unit Buildings and those associated Accessory Uses shall be Permitted Uses per Section B(3) above.

D. Floor Area Ratio:

The maximum Floor Area Ratio permitted with this Planned Unit Development (PUD) is 0.75

E. Building Height:

In this Planned Unit Development (PUD), no building or structure shall exceed stories (3) nor forty-six (46) feet in height. Building Height shall be measured per Madison General Ordinance - Section 28.03(2).

F. Yard Requirements:

The buildings shall be a minimum of thirty (30) feet apart (excluding accessory structures). The buildings shall be at no point closer than (10) feet to the private drive. The buildings shall be setback from the public street a minimum of fifteen (15) feet and a minimum of twenty (20) feet shall be provided from the back of sidewalks to garage doors.

G. Usable Open Space:

Usable Open Space totaling no less than 1,100 s.f. per dwelling unit shall be provided. Balconies which are accessible only from dwelling units may be counted as Usable Open Space and may be counted for up to 100% of the required Usable Open Space. The minimum balcony size to be used in the Open Space calculations shall be 4'-0" x 8'-0".

H. Accessory Off-Street Parking & Loading:

In this Planned Unit Development (PUD), the following minimum Off-Street Parking & Loading facilities shall be provided:

1. Passenger Vehicles - No Minimum Requirement
2. Bicycles or Motorized Scooters - Shall have a combined minimum total of one (1) parking space per dwelling unit.
 - i) Bicycle spaces shall be 24"x72" (minimum)
 - ii) Motorized Scooter spaces shall be 30"x72" (minimum)
3. Off-Street Loading - No Minimum Requirement

I. Signage:

In this Planned Unit Development (PUD), signage shall be allowed as per Chapter 31 of the Madison General Ordinances - as compared to the R5 District, or signage shall be provided as shown on the recorded plans.

J. Lighting:

In this Planned Unit Development (PUD), lighting shall be provided as shown on the recorded plans.

K. Landscaping:

In this Planned Unit Development (PUD), landscaping shall be provided as shown on the recorded plans.

L. Alterations & Revisions:

No alteration or revision to this Planned Unit Development (PUD) shall be permitted unless approved by the City of Madison Plan Commission. However, the Zoning Administrator may issue permits for minor alterations and/or additions which are approved by both the Director of Planning & Development and the Alderperson of the District. These minor alterations and/or additions shall be compatible with the concept approved by the City of Madison Common Council.

DEVELOPMENT DATA

Specific Implementation Site Plan Data

At the time of this Specific Implementation Plan, of Lot 1 of CSM 11206 is as follows. The exact data (right) is subject to change slightly as the project's design is further developed. However, the final data shall meet all Specific Implementation Plan Zoning Standards (above).

Note: Open space is provided at 1,156 sf per unit excluding balconies.

| ZONING REQUIREMENT | SIP DESIGN VALUE | CALCULATIONS |
|--------------------|------------------|-------------------------------------|
| SITE DENSITY | 20.31 Units/Acre | 263 Units / 12.952 AC. = 20.31 |
| BUILDING COVERAGE | 18.5% of Parcel | 104,550 S.F. / 564,189 S.F. = 18.5% |
| FLOOR AREA RATIO | 55.0% of Parcel | 310,400 S.F. / 564,189 S.F. = 55.0% |
| IMPERVIOUS SURFACE | 27.5% of Parcel | 155,422 S.F. / 564,189 S.F. = 27.5% |
| OPEN SPACE | 53.9% of Parcel | 304,217 S.F. / 564,189 S.F. = 53.9% |

SPECIFIC IMPLEMENTATION PLAN DATA (Project Completion)

| BUILDING | | | | | PARKING | | | |
|---------------|---------------------------------|---------------------|---------------------|------------|------------|------------|------------|----------------------|
| NAME | USE | FOOTPRINT | FLOOR AREA | UNITS | COVERED | SURFACE | TOTAL | RATIO |
| A1 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 PER UNIT |
| A2 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 PER UNIT |
| A3 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 PER UNIT |
| A4 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 PER UNIT |
| B2 | Multi-Family Residential | 15,900 S.F. | 47,700 S.F. | 41 | 43 | 19 | 62 | 1.51 PER UNIT |
| B3 | Multi-Family Residential | 15,900 S.F. | 47,700 S.F. | 41 | 43 | 19 | 62 | 1.51 PER UNIT |
| B4 | Multi-Family Residential | 15,900 S.F. | 47,700 S.F. | 41 | 43 | 20 | 63 | 1.54 PER UNIT |
| C1 | Clubhouse - M.F. Accessory Uses | 3,250 S.F. | 6,500 S.F. | 0 | 0 | 8 | 8 | N/A |
| TOTALS | | 104,550 S.F. | 310,400 S.F. | 263 | 269 | 134 | 403 | 1.53 PER UNIT |

Building Plan Data

At the time of this Specific Implementation Plan, of Lot 1 of CSM 11206 is as follows. The exact building data (below) is subject to change as the project's design is further developed. However, total unit count & density for the entire development shall be regulated by the approved Amended PUD/GDP & PUD/SIP.

| BUILDING DATA - RESIDENTIAL BUILDING TYPE 'A' | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|-----------------|--------------|----------------|--------------|---------------|--------------|----------------|----------|-------------------|------------|----------------|----------|-----------------|--------------|-----------------|----------|-------------------|--------------|----------------|--------------|---------------------|--------------|---------------|----------|------------------|----------|-----------------|----------|----------------|--------------|-----------------|----------|-------------|---------------|---------------------|-----------------|--------------|--------|-------|
| | Unit A - Studio | | Unit B1 - 1 BR | | Unit B2 - 1BR | | Unit B3 - 1 BR | | Unit B4 - 1 BR | | Unit B5 - 1 BR | | Unit C1 - 1BR+D | | Unit C2 - 1BR+D | | Unit D1 - 2 BR | | Unit D2 - 2 BR | | Unit D3 - 2 BR | | Unit D4 - 2BR | | Unit E1 - 2 BR+D | | Unit E2 - 2BR+D | | Unit F1 - 3 BR | | Unit F2 - 2BR+D | | Total Units | | Common Space | Building Totals | | | |
| | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Area | Efficiency | | | | | |
| Floor 3 | 1 | 573 | 2 | 1,518 | 2 | 1,610 | - | - | - | - | - | - | 1 | 851 | - | - | 2 | 2,312 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | - | - | 1 | 1,390 | - | - | 12 | 11,883 | 1,472 | 13,355 | 89.0% |
| Floor 2 | 1 | 573 | 2 | 1,518 | 2 | 1,610 | - | - | - | - | - | - | 1 | 851 | - | - | 2 | 2,312 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | - | - | 1 | 1,390 | - | - | 12 | 11,883 | 1,472 | 13,355 | 89.0% |
| Floor 1 | - | - | 2 | 1,518 | 2 | 1,610 | - | - | - | 1 | 751 | - | - | - | - | - | 2 | 2,312 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | - | - | 1 | 1,390 | - | - | 11 | 11,210 | 2,145 | 13,355 | 83.9% |
| Totals | 2 | 1,146 | 6 | 4,554 | 6 | 4,830 | - | - | 1 | 751 | - | - | 2 | 1,702 | - | - | 6 | 6,936 | 6 | 7,302 | 3 | 3,585 | - | - | - | - | - | - | 3 | 4,170 | - | - | 35 | 34,976 | 5,089 | 40,065 | 87.3% | | |
| Unit Breakdown | 5.7% | | 17.1% | | 17.1% | | 0.0% | | 2.9% | | 0.0% | | 5.7% | | 0.0% | | 17.1% | | 17.1% | | 8.6% | | 0.0% | | 0.0% | | 0.0% | | 8.6% | | 0.0% | | 100% | | 1,145 s.f. per unit | | | | |
| | Studios: 5.7% | | | | | | | | 1 Bedrooms: 37.1% | | | | 1BR+D: 5.7% | | | | 2 Bedrooms: 42.9% | | | | 2 Bedroom+Den: 0.0% | | | | 3 Bedroom: 8.6% | | | | 100% | | | | | | | | | | |

| BUILDING DATA - RESIDENTIAL BUILDING TYPE 'B' | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|-----------------|--------------|----------------|--------------|---------------|--------------|----------------|----------|-------------------|------------|----------------|----------|-----------------|--------------|-----------------|----------|-------------------|---------------|----------------|--------------|---------------------|--------------|---------------|----------|------------------|----------|-----------------|----------|----------------|--------------|-----------------|----------|-------------|---------------|---------------------|-----------------|--------------|--------|-------|
| | Unit A - Studio | | Unit B1 - 1 BR | | Unit B2 - 1BR | | Unit B3 - 1 BR | | Unit B4 - 1 BR | | Unit B5 - 1 BR | | Unit C1 - 1BR+D | | Unit C2 - 1BR+D | | Unit D1 - 2 BR | | Unit D2 - 2 BR | | Unit D3 - 2 BR | | Unit D4 - 2BR | | Unit E1 - 2 BR+D | | Unit E2 - 2BR+D | | Unit F1 - 3 BR | | Unit F2 - 2BR+D | | Total Units | | Common Space | Building Totals | | | |
| | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Area | Efficiency | | | | | |
| Floor 3 | 1 | 573 | 2 | 1,518 | 2 | 1,610 | - | - | - | - | - | - | 1 | 851 | - | - | 4 | 4,624 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | - | - | 1 | 1,390 | - | - | 14 | 14,195 | 1,680 | 15,875 | 89.4% |
| Floor 2 | 1 | 573 | 2 | 1,518 | 2 | 1,610 | - | - | - | - | - | - | 1 | 851 | - | - | 4 | 4,624 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | - | - | 1 | 1,390 | - | - | 14 | 14,195 | 1,680 | 15,875 | 89.4% |
| Floor 1 | - | - | 2 | 1,518 | 2 | 1,610 | - | - | - | 1 | 751 | - | - | - | - | - | 4 | 4,624 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | - | 1 | 1,390 | - | - | 13 | 13,522 | 2,353 | 15,875 | 85.2% | |
| Totals | 2 | 1,146 | 6 | 4,554 | 6 | 4,830 | - | - | 1 | 751 | - | - | 2 | 1,702 | - | - | 12 | 13,872 | 6 | 7,302 | 3 | 3,585 | - | - | - | - | - | - | 3 | 4,170 | - | - | 41 | 41,912 | 5,713 | 47,625 | 88.0% | | |
| Unit Breakdown | 4.9% | | 14.6% | | 14.6% | | 0.0% | | 2.4% | | 0.0% | | 4.9% | | 0.0% | | 29.3% | | 14.6% | | 7.3% | | 0.0% | | 0.0% | | 0.0% | | 7.3% | | 0.0% | | 100% | | 1,162 s.f. per unit | | | | |
| | Studios: 4.9% | | | | | | | | 1 Bedrooms: 31.7% | | | | 1BR+D: 4.9% | | | | 2 Bedrooms: 51.2% | | | | 2 Bedroom+Den: 0.0% | | | | 3 Bedroom: 7.3% | | | | 100% | | | | | | | | | | |

NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change. The Total Unit Count & Density for Entire Development shall be regulated by the Approved PUD/GDP Package and subsequently Approved PUD/SIP Packages.

PROJECT IMPLEMENTATION

As of the date of this submission, it is anticipated that the project will be developed according to the following schedule

Phase 1

Shall include storm water management; construction of buildings 'A1', 'B1', 'B2 and the club house.

Construction Start: 5/1/13
Occupancy: 2/1/14

Phase 2

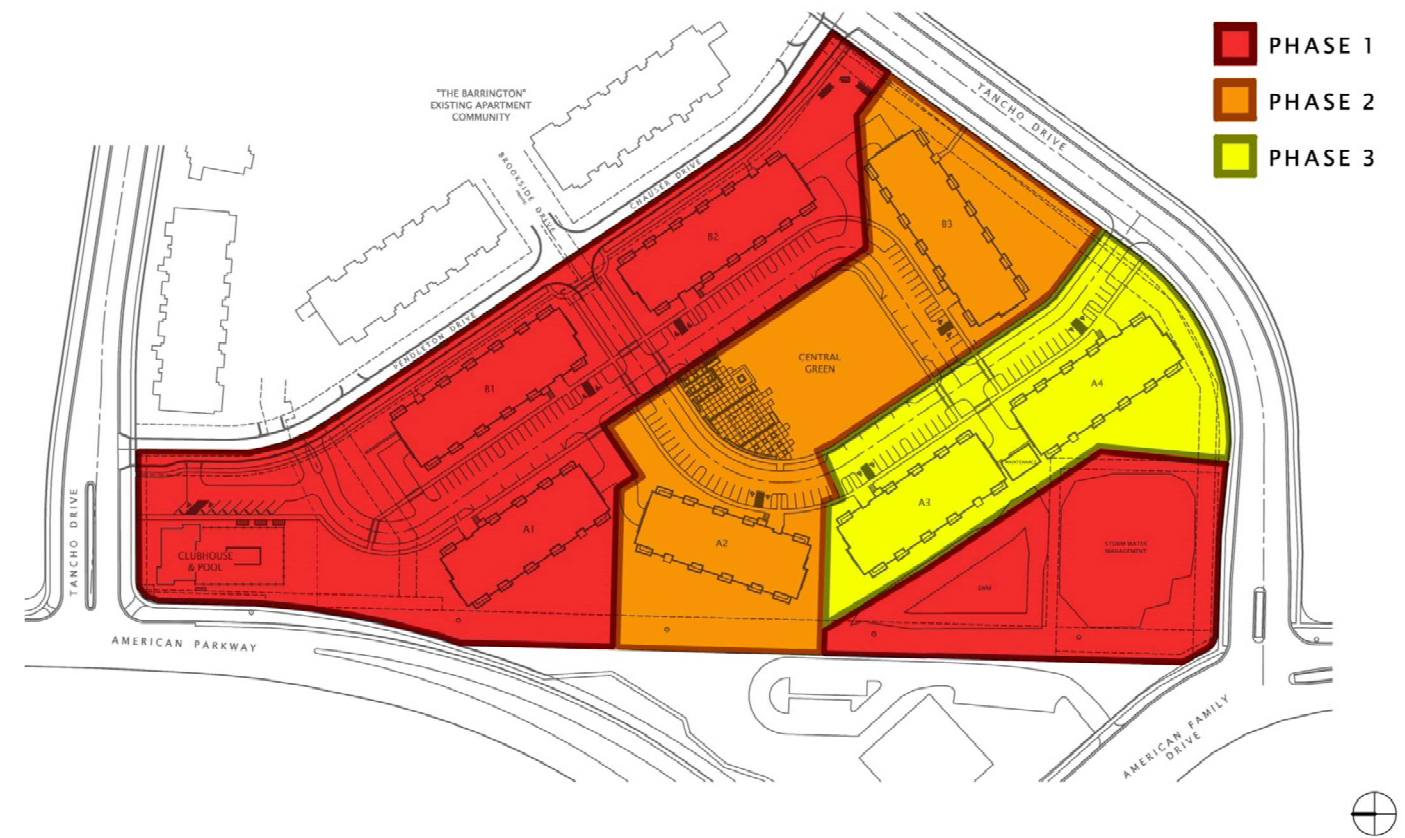
Construction of buildings 'A2', 'B3' and the central green.

Construction Start: 4/1/14
Occupancy: 2/1/15

Phase 3

Construction of buildings 'A3', 'A4'.

Construction Start: 4/1/15
Occupancy: 2/1/16



APPENDIX 'A'
SUBMITTAL PLANS

| SPECIFIC IMPLEMENTATION PLAN DATA (Project Completion) | | | | | | | | | |
|--|---------------------------------|---------------------|---------------------|------------|------------|------------|------------|-------------|-----------------|
| NAME | USE | BUILDING | | PARKING | | RATIO | | TOTAL | |
| | | FOOTPRINT | FLOOR AREA | COVERED | SURFACE | PER UNIT | PER UNIT | PER UNIT | PER UNIT |
| A1 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 | PER UNIT |
| A2 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 | PER UNIT |
| A3 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 | PER UNIT |
| A4 | Multi-Family Residential | 13,400 S.F. | 40,200 S.F. | 35 | 35 | 17 | 52 | 1.49 | PER UNIT |
| B2 | Multi-Family Residential | 15,900 S.F. | 47,700 S.F. | 41 | 43 | 19 | 62 | 1.51 | PER UNIT |
| B3 | Multi-Family Residential | 15,900 S.F. | 47,700 S.F. | 41 | 43 | 19 | 62 | 1.51 | PER UNIT |
| B4 | Multi-Family Residential | 15,900 S.F. | 47,700 S.F. | 41 | 43 | 20 | 63 | 1.54 | PER UNIT |
| C1 | Clubhouse - M.F. Accessory Uses | 3,250 S.F. | 6,500 S.F. | 0 | 0 | 8 | 8 | N/A | |
| TOTALS | | 104,550 S.F. | 310,400 S.F. | 263 | 269 | 134 | 403 | 1.53 | PER UNIT |

| ZONING REQUIREMENT | SIP DESIGN VALUE | CALCULATIONS |
|--------------------|------------------|-------------------------------------|
| SITE DENSITY | 20.31 Units/Acre | 263 Units / 12.952 AC. = 20.31 |
| BUILDING COVERAGE | 18.5% of Parcel | 104,550 S.F. / 564,189 S.F. = 18.5% |
| FLOOR AREA RATIO | 55.0% of Parcel | 310,400 S.F. / 564,189 S.F. = 55.0% |
| IMPERVIOUS SURFACE | 27.5% of Parcel | 155,422 S.F. / 564,189 S.F. = 27.5% |
| OPEN SPACE | 53.9% of Parcel | 304,217 S.F. / 564,189 S.F. = 53.9% |

MASTERPLAN NOTES

PARKING NOTES:
 1) VEHICULAR COVERED PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL OF EACH RESIDENTIAL BUILDING BY INDIVIDUAL STORAGE LOCKERS OR WALL/CEILING HOOKS ABOVE AUTOMOBILE SPACES.

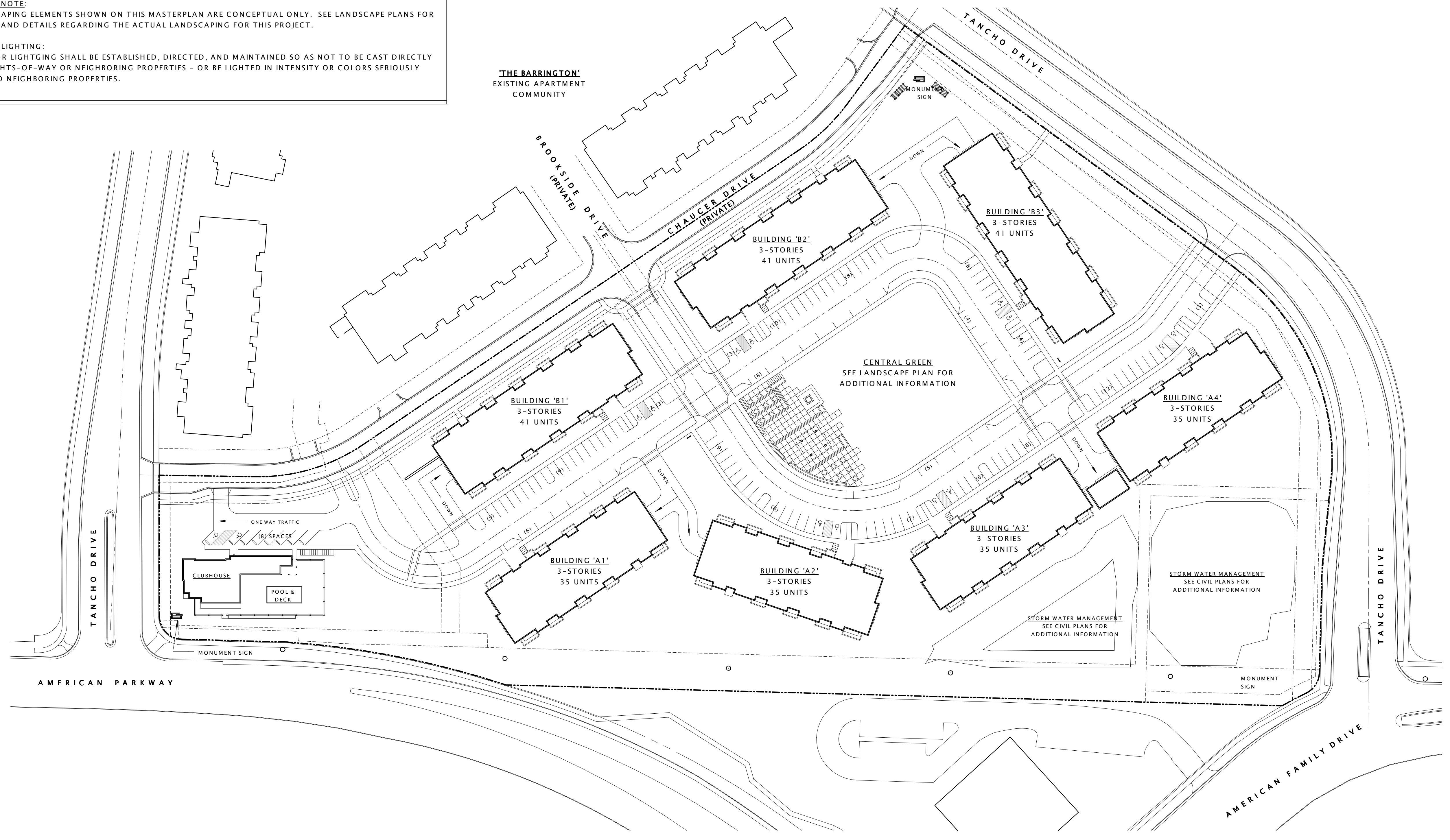
LANDSCAPING NOTE:
 1) ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

EXTERIOR SITE LIGHTING:
 1) ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES - OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES.

| Floor 3 | Unit A - Studio | | Unit B1 - 1 BR | | Unit B2 - 1BR | | Unit B3 - 1 BR | | Unit B4 - 1 BR | | Unit B5 - 1 BR | | Unit C1 - 1BR+D | | Unit C2 - 1BR+D | | Unit D1 - 2 BR | | Unit D2 - 2 BR | | Unit D3 - 2 BR | | Unit D4 - 2BR | | Unit E1 - 2 BR+D | | Unit E2 - 2BR+D | | Unit F1 - 3 BR | | Unit F2 - 2BR+D | | Total Units | | Common Space | Building Totals | |
|-----------------------|-----------------|--------------|----------------|--------------|---------------|--------------|----------------|----------|-------------------|----------|----------------|----------|-----------------|--------------|-----------------|----------|-------------------|--------------|----------------|--------------|---------------------|--------------|---------------|----------|------------------|----------|-----------------|----------|----------------|----------|-----------------|-----------|---------------|--------------|---------------------|-----------------|-------|
| | 573 S.F. | | 759 S.F. | | 805 S.F. | | 0 S.F. | | 751 S.F. | | 0 S.F. | | 851 S.F. | | 0 S.F. | | 1156 S.F. | | 1217 S.F. | | 1195 S.F. | | 0 S.F. | | 0 S.F. | | 1390 S.F. | | 0 S.F. | | 999 A.S.F. | | Area | Efficiency | | | |
| | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | | | | | |
| 1 | 573 | 2 | 1,538 | 2 | 1,610 | - | - | - | - | - | - | - | 1 | 851 | - | - | 2 | 2,312 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | 1 | 1,390 | - | - | 12 | 11,883 | 1,472 | 13,355 | 89.0% |
| 2 | 573 | 2 | 1,538 | 2 | 1,610 | - | - | - | - | - | - | - | 1 | 851 | - | - | 2 | 2,312 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | 1 | 1,390 | - | - | 12 | 11,883 | 1,472 | 13,355 | 89.0% |
| 3 | 573 | 2 | 1,538 | 2 | 1,610 | - | - | - | - | - | - | - | 1 | 851 | - | - | 2 | 2,312 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | 1 | 1,390 | - | - | 11 | 11,210 | 2,145 | 13,355 | 83.9% |
| Totals | 2 | 1,146 | 6 | 4,554 | 6 | 4,830 | - | - | - | - | - | - | 2 | 1,702 | - | - | 6 | 6,936 | 6 | 7,302 | 3 | 3,585 | - | - | - | - | - | 3 | 4,170 | - | - | 35 | 34,976 | 5,089 | 40,065 | 87.3% | |
| Unit Breakdown | 5.7% | | 17.1% | | 17.1% | | 0.0% | | 2.9% | | 0.0% | | 5.7% | | 0.0% | | 17.1% | | 17.1% | | 8.6% | | 0.0% | | 0.0% | | 8.6% | | 0.0% | | 100% | | | | 1,145 s.f. per unit | | |
| | Studios: 5.7% | | | | | | | | 1 Bedrooms: 37.1% | | | | 1BR+D: 5.7% | | | | 2 Bedrooms: 42.9% | | | | 2 Bedroom+Den: 0.0% | | | | 3 Bedroom: 8.6% | | 100% | | | | | | | | | | |

| Floor 3 | Unit A - Studio | | Unit B1 - 1 BR | | Unit B2 - 1BR | | Unit B3 - 1 BR | | Unit B4 - 1 BR | | Unit B5 - 1 BR | | Unit C1 - 1BR+D | | Unit C2 - 1BR+D | | Unit D1 - 2 BR | | Unit D2 - 2 BR | | Unit D3 - 2 BR | | Unit D4 - 2BR | | Unit E1 - 2 BR+D | | Unit E2 - 2BR+D | | Unit F1 - 3 BR | | Unit F2 - 2BR+D | | Total Units | | Common Space | Building Totals | |
|-----------------------|-----------------|--------------|----------------|--------------|---------------|--------------|----------------|----------|-------------------|----------|----------------|----------|-----------------|--------------|-----------------|----------|-------------------|---------------|----------------|--------------|---------------------|--------------|---------------|----------|------------------|----------|-----------------|----------|----------------|----------|-----------------|-----------|---------------|--------------|---------------------|-----------------|-------|
| | 573 S.F. | | 759 S.F. | | 805 S.F. | | 0 S.F. | | 751 S.F. | | 0 S.F. | | 851 S.F. | | 0 S.F. | | 1156 S.F. | | 1217 S.F. | | 1195 S.F. | | 0 S.F. | | 0 S.F. | | 1390 S.F. | | 0 S.F. | | 1022 A.S.F. | | Area | Efficiency | | | |
| | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | Qty. | Area | | | | | |
| 1 | 573 | 2 | 1,538 | 2 | 1,610 | - | - | - | - | - | - | - | 1 | 851 | - | - | 4 | 4,624 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | 1 | 1,390 | - | - | 14 | 14,195 | 1,680 | 15,875 | 89.4% |
| 2 | 573 | 2 | 1,538 | 2 | 1,610 | - | - | - | - | - | - | - | 1 | 851 | - | - | 4 | 4,624 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | 1 | 1,390 | - | - | 14 | 14,195 | 1,680 | 15,875 | 89.4% |
| 3 | 573 | 2 | 1,538 | 2 | 1,610 | - | - | - | - | - | - | - | 1 | 851 | - | - | 4 | 4,624 | 2 | 2,434 | 1 | 1,195 | - | - | - | - | - | - | 1 | 1,390 | - | - | 13 | 13,522 | 2,353 | 15,875 | 85.2% |
| Totals | 2 | 1,146 | 6 | 4,554 | 6 | 4,830 | - | - | - | - | - | - | 2 | 1,702 | - | - | 12 | 13,872 | 6 | 7,302 | 3 | 3,585 | - | - | - | - | - | 3 | 4,170 | - | - | 41 | 41,912 | 5,713 | 47,625 | 88.0% | |
| Unit Breakdown | 4.9% | | 14.6% | | 14.6% | | 0.0% | | 2.4% | | 0.0% | | 4.9% | | 0.0% | | 29.3% | | 14.6% | | 7.3% | | 0.0% | | 0.0% | | 7.3% | | 0.0% | | 100% | | | | 1,162 s.f. per unit | | |
| | Studios: 4.9% | | | | | | | | 1 Bedrooms: 31.7% | | | | 1BR+D: 4.9% | | | | 2 Bedrooms: 51.2% | | | | 2 Bedroom+Den: 0.0% | | | | 3 Bedroom: 7.3% | | 100% | | | | | | | | | | |

NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change. The Total Unit Count & Density for Entire Development shall be regulated by the Approved PUD/GDP Package and subsequently Approved PUD/SIP Packages.



JOSEPH LEE + ASSOCIATES
 3325 wall street - suite 2700
 madison, wisconsin 53718
 608.241.9500



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

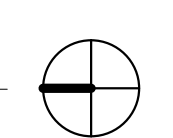
AMERICAN PARKWAY APARTMENTS

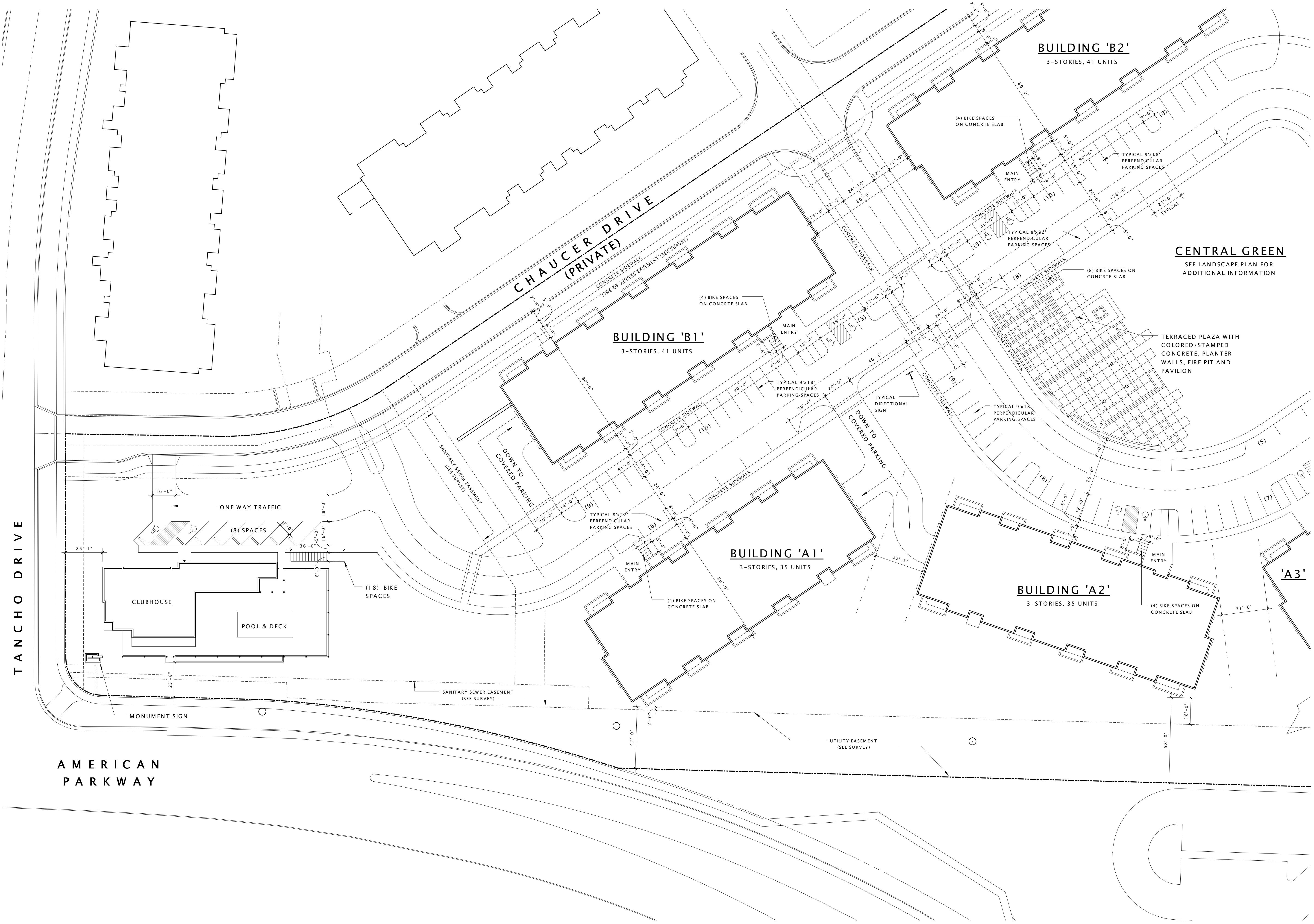
PROGRESS DOCUMENTS
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

| DATE OF ISSUANCE | | |
|-------------------|-------------|------|
| January 18, 2013 | | |
| Revision Schedule | | |
| Mark | Description | Date |

SHEET TITLE
DEVELOPMENT MASTERPLAN

SHEET NUMBER
ASP-100





CENTRAL GREEN
 SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

AMERICAN PARKWAY APARTMENTS

PROGRESS DOCUMENTS

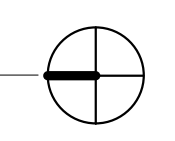
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE January 18, 2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER
ASP-101



PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE January 2, 2013

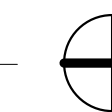
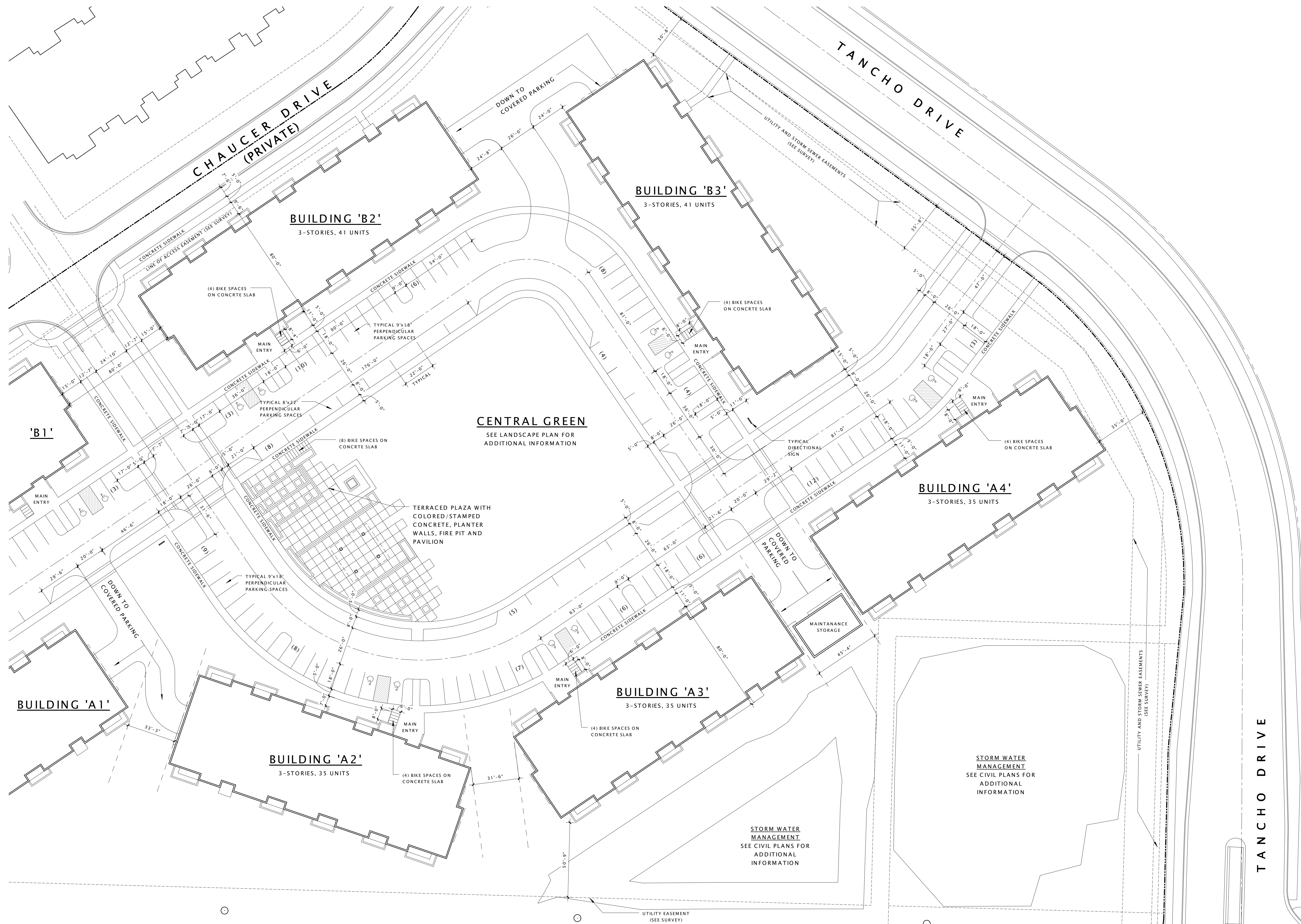
| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

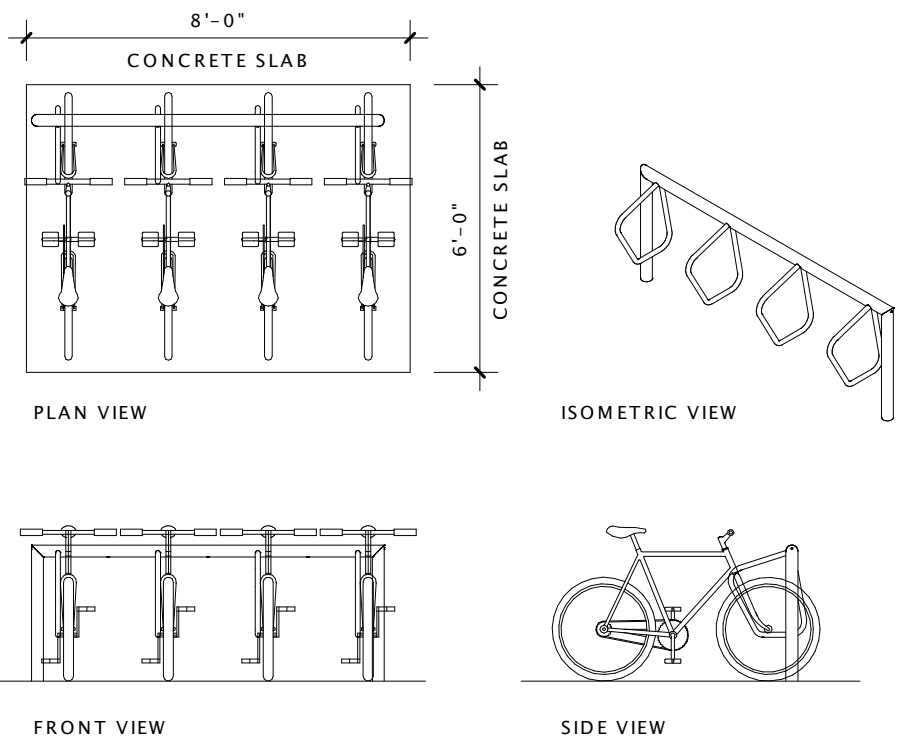
ARCHITECTURAL SITE PLAN

SHEET NUMBER

ASP-102



EXTERIOR BIKE RACKS
 EXTERIOR BIKE RACKS SHALL BE 'DERO CAMPUS - S4' OR EQUAL WITH IN-GROUND MOUNT (SHOWN IN PHOTO) & STAINLESS STEEL FINISH. ONE 'S4' RACK SHALL BE LOCATED AT THE ENTRY OF EACH RESIDENTIAL BUILDING AS NOTED ON THE PLANS.

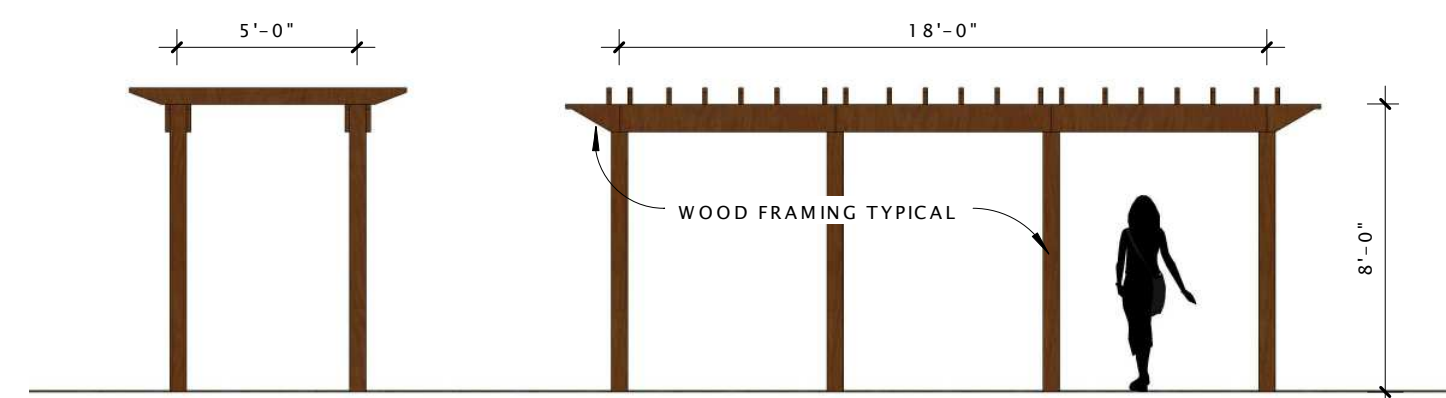


5 TYPICAL EXTERIOR BIKE RACK
 1/4" = 1'-0"

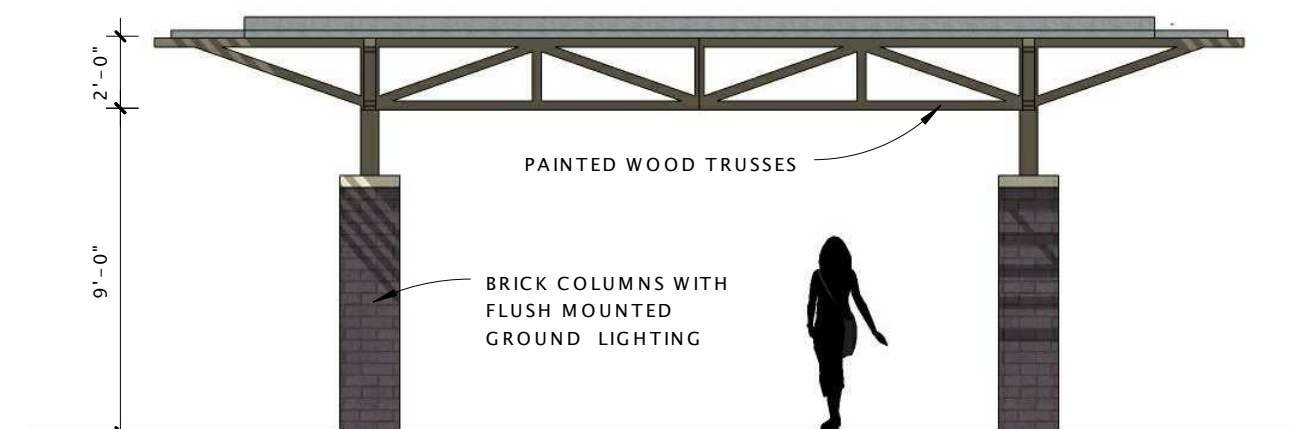
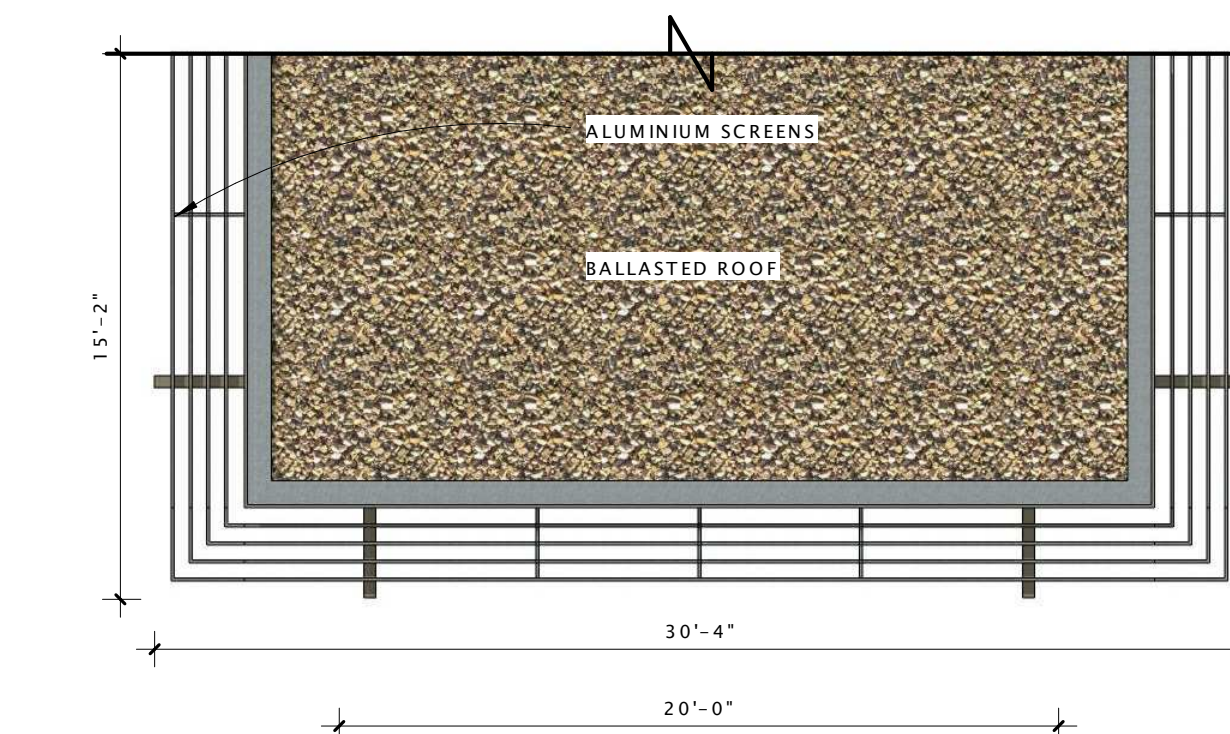


6 MONUMENT SIGNS
 1/2" = 1'-0"

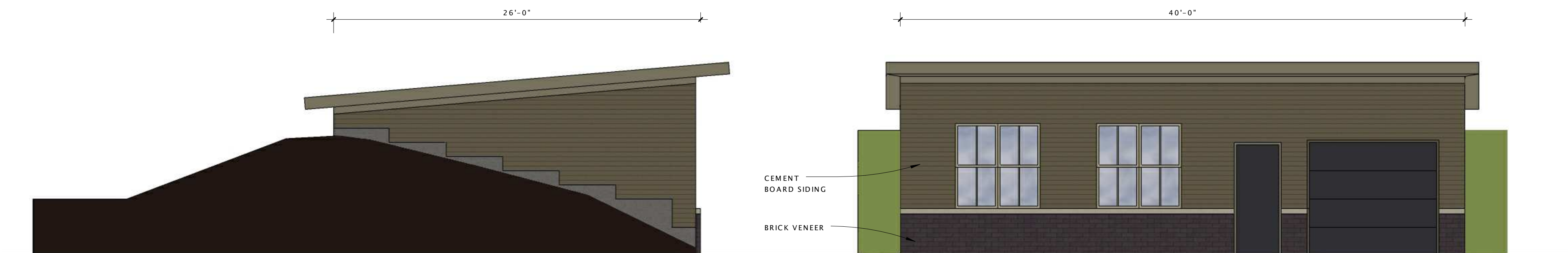
1 DIRECTIONAL SIGNS
 1/2" = 1'-0"



3 TRELLIS DETAIL
 3/16" = 1'-0"



2 PAVILION
 3/16" = 1'-0"



16 MAINTENANCE BUILDING
 3/16" = 1'-0"

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE January 2, 2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

SITE DETAILS

SHEET NUMBER

ASP-103

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON

www.jsdinc.com

SERVICES PROVIDED TO:

**FIDUCIARY
 REAL ESTATE
 DEVELOPMENT, INC.**

789 N. WATER ST. STE. 200
 MILWAUKEE, WI 53202

PROJECT:

**AMERICAN PARKWAY
 APARTMENTS**

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

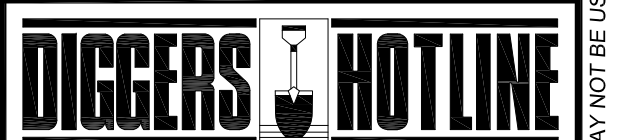
JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: DOS 10-15-12
 DRAWN: DOS 10-15-12
 APPROVED: WPW

| PLAN MODIFICATIONS: | DATE: |
|---------------------|----------|
| CITY OF MADISON | 11-27-12 |
| CITY OF MADISON | 01-02-13 |
| CITY OF MADISON | 02-27-13 |



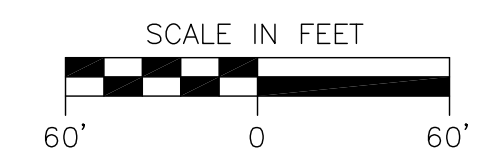
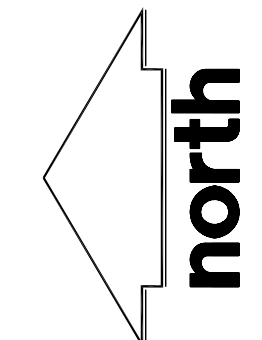
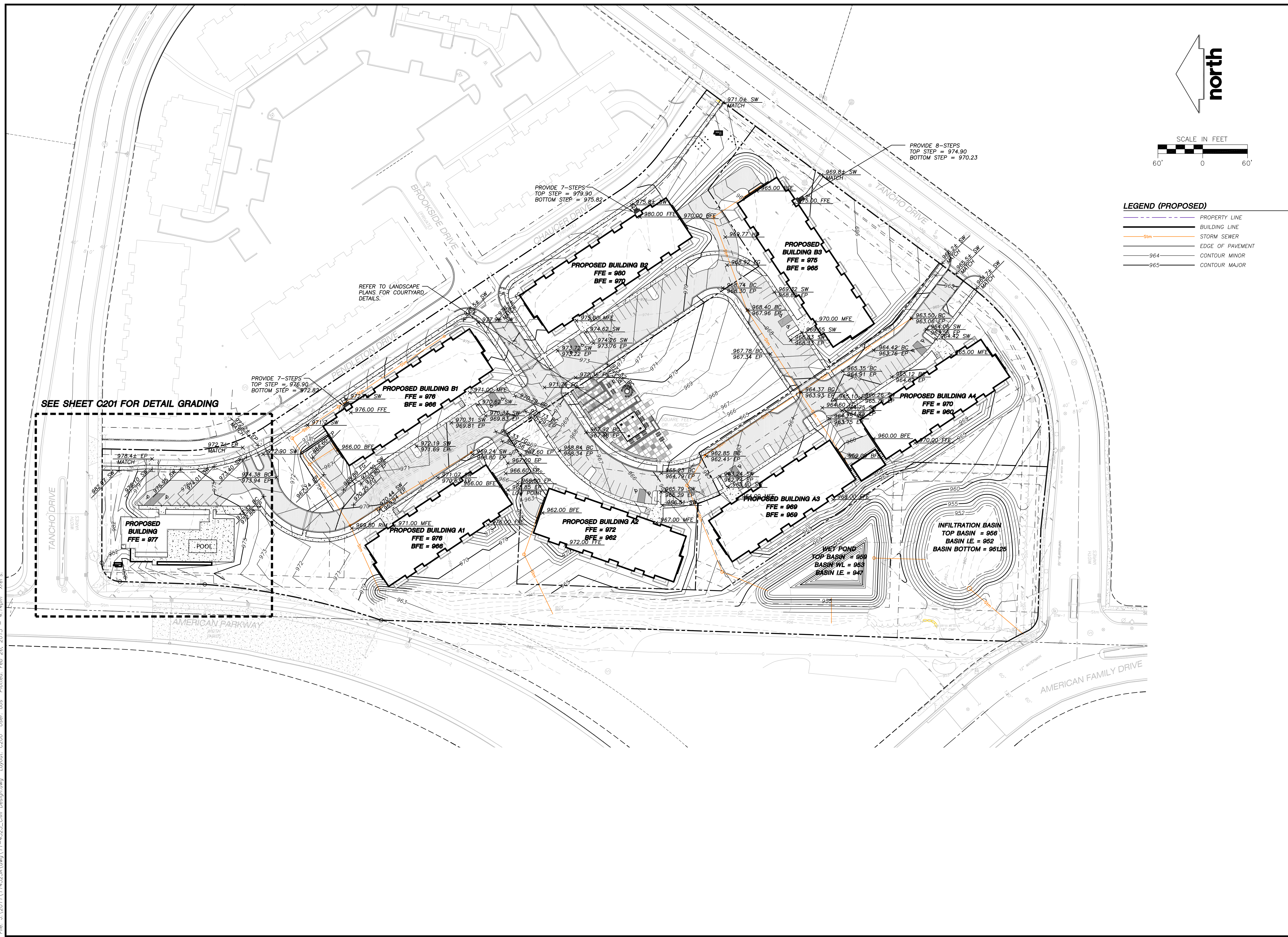
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:

GRADING PLAN

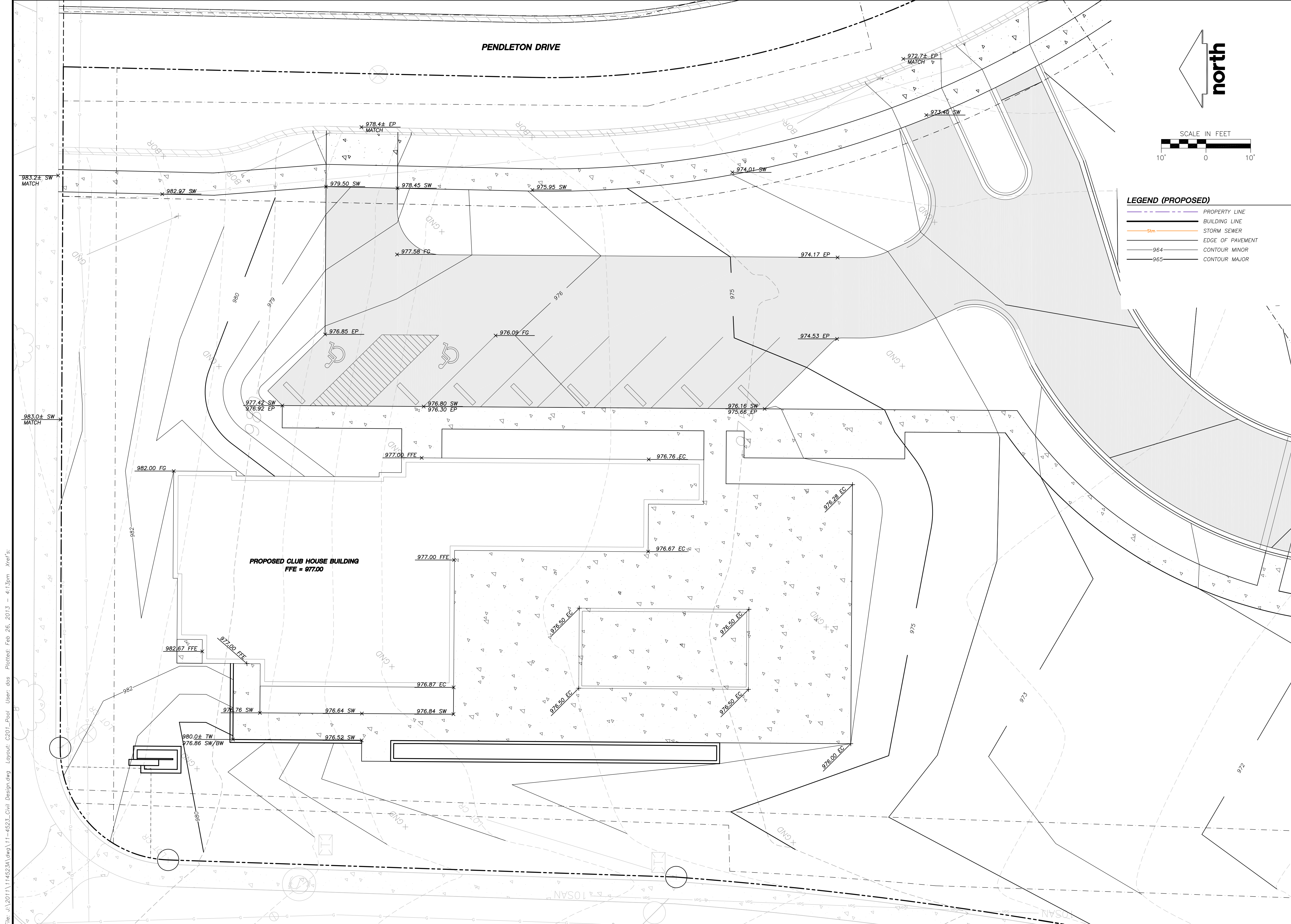
SHEET NUMBER:

C200



LEGEND (PROPOSED)

- PROPERTY LINE
- BUILDING LINE
- STORM SEWER
- EDGE OF PAVEMENT
- 964 CONTOUR MINOR
- 965 CONTOUR MAJOR



JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:
FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 N. WATER ST. STE. 200
 MILWAUKEE, WI 53202

PROJECT:
AMERICAN PARKWAY APARTMENTS

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | | |
|-----------|-----|----------|
| DESIGN: | DOS | 10-15-12 |
| DRAWN: | DOS | 10-15-12 |
| APPROVED: | WPW | - |

| PLAN MODIFICATIONS: | DATE: |
|---------------------|----------|
| CITY OF MADISON | 02-27-13 |
| | |
| | |
| | |
| | |

DIGGERS HOTLINE

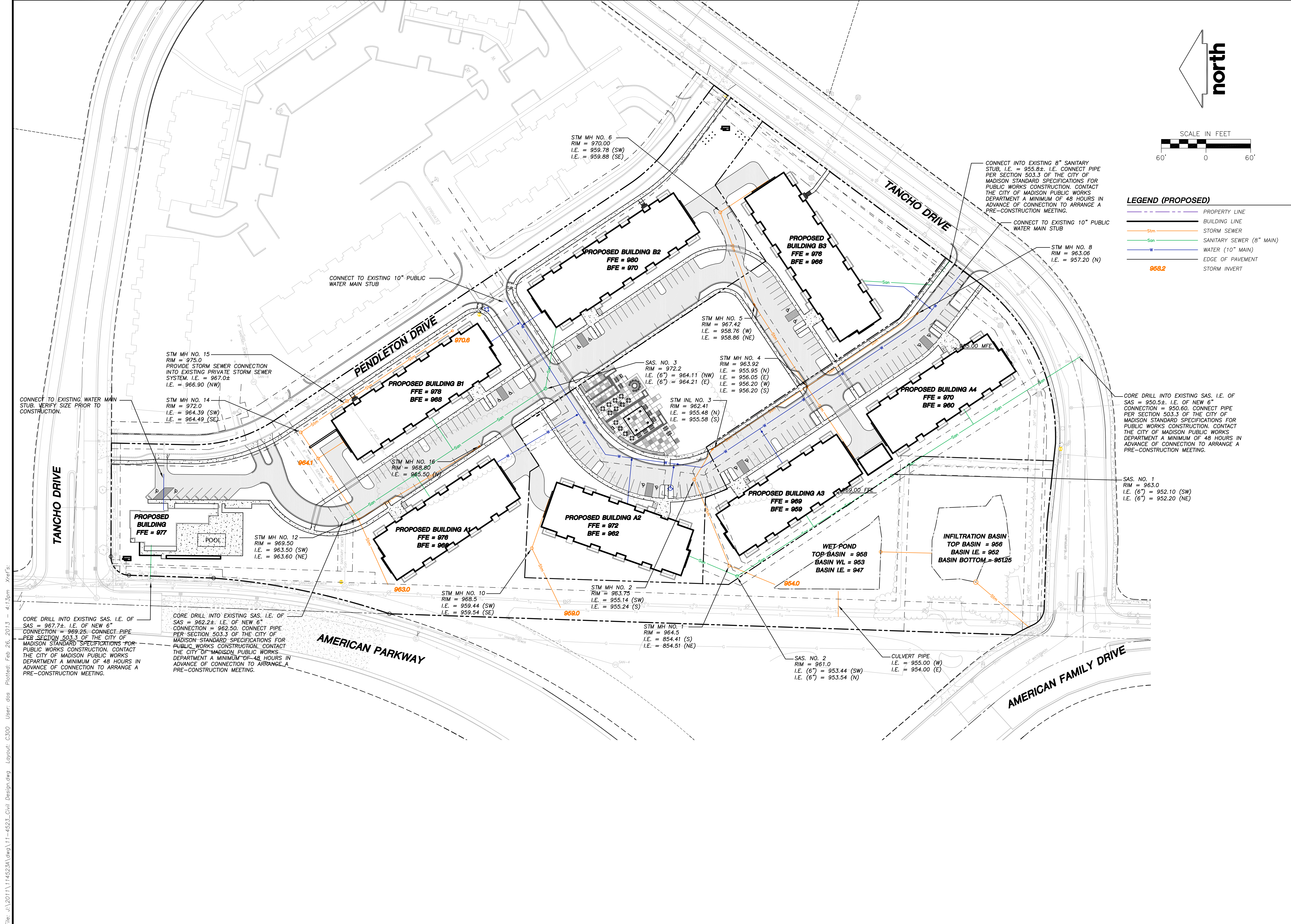
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
DETAIL GRADING PLAN - POOL AREA

SHEET NUMBER:
C201

File: J:\2011\114523A\dwg\11-4523_Civil Design.dwg Layout: C201_Pool_User: dos Plotted: Feb 26, 2013 - 4:13pm Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:
FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 N. WATER ST. STE. 200
 MILWAUKEE, WI 53202

PROJECT:
AMERICAN PARKWAY APARTMENTS

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | | |
|---------------------|-----|----------|
| DESIGN: | DOS | 10-15-12 |
| DRAWN: | DOS | 10-15-12 |
| APPROVED: | WPW | - |
| PLAN MODIFICATIONS: | | DATE: |
| CITY OF MADISON | | 11-27-12 |
| CITY OF MADISON | | 01-02-13 |
| CITY OF MADISON | | 02-27-13 |

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C300

File: J:\2011\114523A\dwg\11-4523_Civil Design.dwg Layout: C300 User: dos Plotted: Feb 26, 2013 4:13pm Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

OUTLOT 1
1999 REFLAT OF
PORTER PLAT

LOT 2
1999 REFLAT OF
PORTER PLAT

LOT 3
1999 REFLAT OF
PORTER PLAT

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON

www.jsdinc.com

SERVICES PROVIDED TO:
FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 N. WATER ST. STE. 200
MILWAUKEE, WI 53202

PROJECT:
AMERICAN PARKWAY APARTMENTS

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JLF 10-31-12
DRAWN: JLF 10-31-12
APPROVED:

PLAN MODIFICATIONS: DATE:
CITY OF MADISON 11-28-12
CITY OF MADISON 01-02-13
CITY OF MADISON 02-27-13

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
GENERAL DEVELOPMENT LANDSCAPE PLAN

SHEET NUMBER:
L100

LEGEND (PROPOSED)

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- BUILDING LINE
- EDGE OF CONCRETE
- EASEMENT LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- POLYETHYLENE EDGING
- "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET C100

LANDSCAPE NOTES

- REFER TO SHEET L600 FOR DETAILS, ADDITIONAL NOTES AND SPECIFICATIONS.
- REFER TO THE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- REFER TO CIVIL PLANS FOR PROPOSED EROSION CONTROL, GRADING, AND UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

LANDSCAPE PLANT LIST

| SYM | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | POINTS | TOTAL POINTS |
|--------------------------------|------|--|---|-----------------|-----------|--------|--------------------|
| LARGE CANOPY TREES | | | | | | | |
| AF | 14 | Autumn Blaze Maple | ACER x Freemanii 'J.R. Roush' | 3" Cal. | B&B | 36 | 70 |
| GB | 12 | Autumn Gold Ginkgo (Male Cultivar Only) | GINKGO biloba 'Autumn Gold' | 3" Cal. | B&B | 36 | 0 |
| GT | 9 | Skyline Honeylocust | GLEDITSIA triacanthos Skyline | 3" Cal. | B&B | 36 | 0 |
| QI | 3 | Chinquapin Oak | QUERCUS muhlenbergii | 2" Cal. | B&B | 36 | 0 |
| TC | 6 | Green Tree Lilac/Linden | TILIA cordata 'Green Tree' | 2" Cal. | B&B | 36 | 0 |
| UN | 4 | New Horizon Elm | ULMUS x NewHorizon | 2" Cal. | B&B | 36 | 0 |
| MEDIUM CANOPY TREES | | | | | | | |
| PT | 9 | Queking Aspen | POPULUS tremuloides | 2" Cal. | B&B | 18 | 135 |
| ORNAMENTAL TREES | | | | | | | |
| AG | 7 | Autumn Brilliance Serviceberry (Tree Form) | AMELANCHIER x grandiflora 'Autumn Brilliance' | 1 1/2" Cal. | B&B | 18 | 10.5 |
| PC | 9 | Cleveland Select Pear | PIRUS clevelandii 'Cleveland Select' | 2" Cal. | B&B | 18 | 90 |
| TALL EVERGREEN TREES | | | | | | | |
| PS | 25 | Blue Hills Spruce | PICEA glauca var. densata | 4 Min. Ht. | B&B | 16 | 300 |
| PP | 30 | Colorado Blue Spruce | PICEA pungens 'Blue Spruce' | 4 Min. Ht. | B&B | 16 | 540 |
| MEDIUM EVERGREEN SHRUBS | | | | | | | |
| JU | 14 | Moulin de la Vierge Juniper | JUNIPERUS chinensis 'Moulin de la Vierge' | 3'-4' Ht. | B&B | 3 | 42 |
| JC | 9 | Green Mound Juniper | JUNIPERUS chinensis 'Green Mound' | 30" Min. Ht. | # 3 Cont. | 3 | 27 |
| TC | 9 | Dwarf Japanese Yew (Evergreen) | TAXUS cuspidata 'Nana' | 16-18" Min. Ht. | # 3 Cont. | 3 | 27 |
| TB | 6 | Berkman's Golden Arborvitae | THUJA occidentalis 'Berkman's Golden' | 2 Min. Ht. | # 3 Cont. | 3 | 18 |
| LARGE DECIDUOUS SHRUBS | | | | | | | |
| BS | 16 | Green Mountain Boxwood | BUXUS 'Green Mountain' | 24" Min. Ht. | # 3 Cont. | 2 | 10 |
| CS | 16 | Redstart Dogwood | CORNUS sericea | 24-30" Min. Ht. | B&B | 2 | 30 |
| VT | 30 | Spring Red Compact Crabapple/Sp. Vib. | VIBURNUM sp. 'Spring Red' | 24-30" Min. Ht. | B&B | 2 | 60 |
| MEDIUM DECIDUOUS SHRUBS | | | | | | | |
| BT | 45 | Rose Glow Barberry | Berberis thunbergii 'Rose Glow' | 18" Min. Ht. | # 3 Cont. | 2 | 54 |
| RA | 10 | Green Mound Alpine Currant | RIBES alpinum 'Green Mound' | 10" Min. Ht. | # 3 Cont. | 2 | 36 |
| HL | 3 | Endless Summer Hydrangea | HYDRANGEA macrophylla 'Endless Summer' | 16-18" Min. Ht. | # 2 Cont. | 2 | 6 |
| PERENNIALS | | | | | | | |
| RS | 63 | Russian Sage | PEROVSKIA atriplicata | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| LS | 10 | Gayle's Blue Star | LIATRIS spicata 'Kobold' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| RF | 50 | Black Eye Susan | RUDEBECKIA fulgida 'Goldstrum' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| RS | 10 | Black Eye Susan Little Star | RUDEBECKIA fulgida var. 'Little Star' | 4-12" Ht. | # 1 Cont. | 0 | 0 |
| ORNAMENTAL GRASSES | | | | | | | |
| CA | 27 | Karl Foerster Feather Reed Grass | CALAMAGRISTIS x acutiflora 'Karl Foerster' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| PV | 14 | Healy Metal Switch Grass | PANICUM virgatum 'Healy Metal' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| RF | 71 | Shenandoah Red Switch Grass | PANICUM virgatum 'Shenandoah' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| PH | 14 | Dwarf Fountain Grass | PERNISCETUS gracillimus 'Hammann' | 4-6" Ht. | # 1 Cont. | 0 | 0 |
| BS | 24 | The Blue's Little Bluestem | SCHIZACHYRIUM scoparium 'The Blue's' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| | | | | | | | TOTAL: 1687 |

*PLEASE NOTE QUANTITIES ON SHEET DO NOT INCLUDE UNIT A OR UNIT B TYPICAL LANDSCAPE PLAN OR UNIT TOTALS

LANDSCAPE WORKSHEET
Parking Lots, Storage Areas and Loading Areas
(Section 28.04 Madison General Ordinance)

Project Location/Address: AMERICAN PARKWAY & TANCHO DRIVE
Name of Project: AMERICAN PARKWAY APARTMENTS
Owner/Contractor: FIDUCIARY REAL ESTATE DEVELOPMENT, INC.
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)

Number of Parking Stalls: 122+8
Number of Parking Stalls Include Clubhouse: 0
Total Square Footage of the Storage Area: 0
Divided by Three Hundred (300) Square Feet: 0
TOTAL: 10

Number of Canopy Shade Trees Required (Z - 2 1/2" Caliper)
(See Schedule on reverse side)
Number of Additional Canopy Shade Trees Required - 34-41 Underground Parking Stalls Per Unit (7 Units x 3 Trees per Unit = 21 Additional Canopy Shade Trees Required): 21
TOTAL: 21

II. Number of Landscape Points Required
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.)

The number of points required for loading areas is (75) points for each loading berth.
(See Schedule on reverse side)
TOTAL: 576

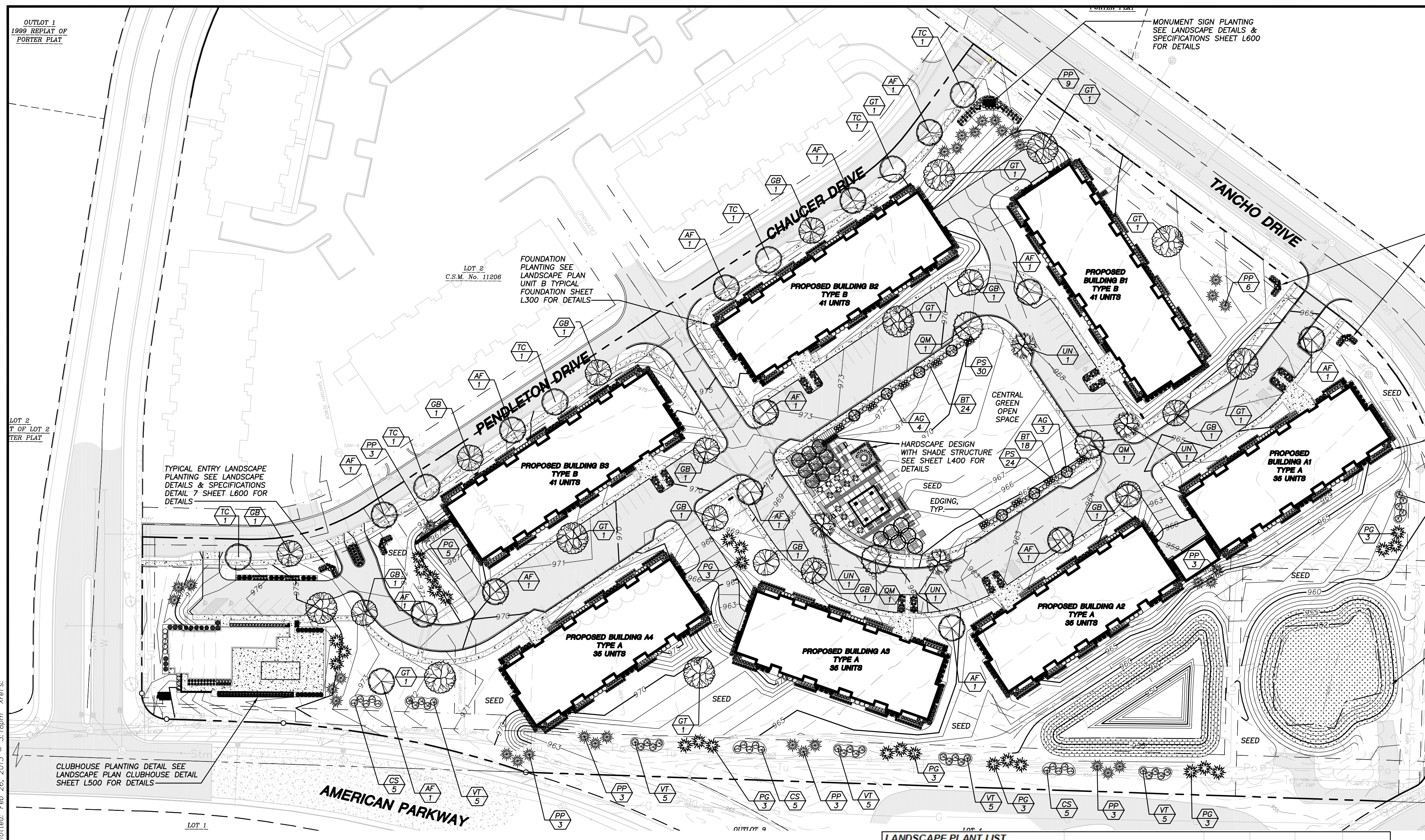
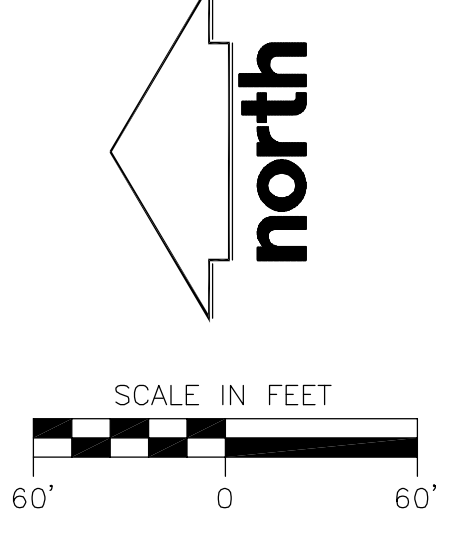
Number of Points Required (See Schedule on reverse side): 576

Tabulation of Points and Credits
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

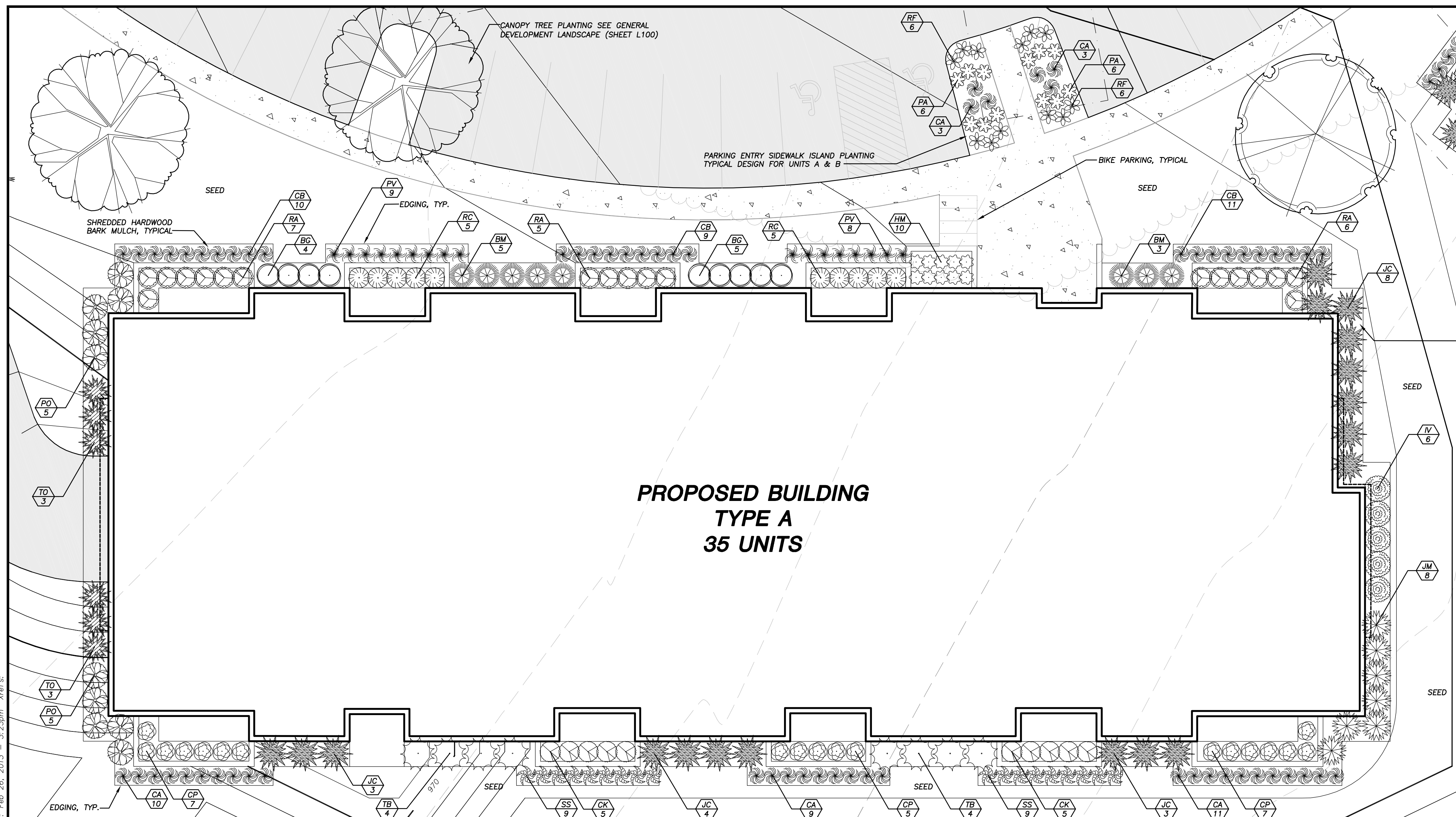
| ELEMENT | POINT VALUE | QUANTITY | POINTS | POINTS | CREDITS |
|---|-------------|----------|-------------|-----------|--------------------|
| | | | ACHIEVED | REMAINING | |
| Canopy Tree: 2" - 2 1/2" | 35 | 48 | 0 | 24 | 70 |
| Deciduous Shrub | 2 | 113 | 226 | | |
| Evergreen Shrub | 3 | 37 | 111 | | |
| Decorative Wall or Fence (per 10 L.F.) | 5 | | | | |
| Earth Berm (per 10 L.F.) | 5 | | | | |
| Avg. Height 30" | | | | | |
| Avg. Height 15" | 2 | | | | |
| Evergreen Trees 3' height minimum | 15 | 62 | 930 | | |
| Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e. Crab, Hawthorn) | 15 | 22 | 330 | | |
| Sub Totals: | | | 1597 | + | 70 |
| | | | | | TOTAL: 1667 |

*Trees required in Part I above, are not to be included in the point count.
* 48 total trees - 46 trees required (31 parking stall trees + 15 terrace/street trees [not included in point count]) = 2 total trees eligible for credits

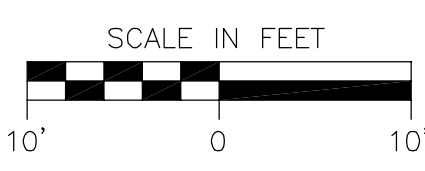
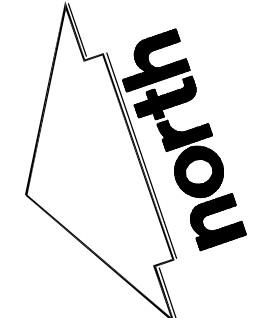
Approved by: _____ Date: _____



File: J:\2011\14523A\dwg\17-4523_Landscape.dwg User: jfrdm Plot: Feb 26, 2013 3:23pm Xref's: Layout: Landscape Plan Unit A Detail 22x34



**PROPOSED BUILDING
TYPE A
35 UNITS**



LEGEND (PROPOSED)

| | |
|-------------|----------------------------|
| --- | PROPERTY LINE |
| --- 916 --- | PROPOSED 1 FOOT CONTOUR |
| --- 915 --- | PROPOSED 5 FOOT CONTOUR |
| --- | BUILDING LINE |
| --- | EDGE OF CONCRETE |
| --- | EASEMENT LINE |
| --- | PROPOSED CONCRETE PAVEMENT |
| --- | PROPOSED ASPHALT PAVEMENT |
| --- | POLYETHYLENE EDGING |

| | |
|--|-------------------------|
| | MEDIUM EVERGREEN SHRUBS |
| | LARGE DECIDUOUS SHRUBS |
| | MEDIUM DECIDUOUS SHRUBS |
| | PERENNIALS |
| | ORNAMENTAL GRASSES |

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET C100

- LANDSCAPE NOTES**
- REFER TO SHEET L600 FOR DETAILS, ADDITIONAL NOTES AND SPECIFICATIONS.
 - REFER TO THE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - REFER TO CIVIL PLANS FOR PROPOSED EROSION CONTROL, GRADING, AND UTILITIES.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

| SYM | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | POINTS | TOTAL POINTS |
|--------------------------------|------|-----------------------------------|--|-------------|-----------|---------------|--------------|
| MEDIUM EVERGREEN SHRUBS | | | | | | | |
| JC | 18 | Sea Green Juniper | <i>JUNIPERUS chinensis</i> 'Sea Green' | 30" Mn Ht. | # 3 Cont. | 3 | 54 |
| JM | 7 | Mountbatten Juniper | <i>JUNIPERUS chinensis</i> 'Mountbatten' | 4' Mn Ht. | # 3 Cont. | 3 | 21 |
| TO | 6 | Holmstrup Arborvitae | <i>THUJA occidentalis</i> 'Holmstrup' | 2' Mn Ht. | # 3 Cont. | 3 | 18 |
| TB | 8 | Berkman's Golden Arborvitae | <i>THUJA occidentalis</i> 'Berkman's Golden' | 2' Mn Ht. | # 3 Cont. | 3 | 24 |
| LARGE DECIDUOUS SHRUBS | | | | | | | |
| BM | 8 | Green Mountain Boxwood | <i>BUXUS</i> 'Green Mountain' | 24" Mn. Ht. | # 3 Cont. | 2 | 16 |
| PO | 10 | Dwarf Ninebark | <i>PHYSOCARPUS opulifolius</i> 'Nanus' | 24" Mn. Ht. | # 3 Cont. | 2 | 20 |
| MEDIUM DECIDUOUS SHRUBS | | | | | | | |
| CP | 22 | Crymson Pygmy Barberry | <i>BERBERIS thunbergii</i> 'Crimson Pygmy' | 18" Mn. Ht. | # 2 Cont. | 2 | 44 |
| BG | 9 | Wintergreen Boxwood | <i>BUXUS</i> 'Wintergreen' | 18" Mn. Ht. | # 3 Cont. | 2 | 18 |
| RC | 10 | Ruby Spice Clethra | <i>CLETHRA alnifolia</i> 'Ruby Spice' | 18" Mn. Ht. | # 3 Cont. | 2 | 20 |
| CK | 10 | Kelsey's Compact Dogwood | <i>CORNUS sericea</i> 'Kelsey' | 18" Mn. Ht. | # 3 Cont. | 2 | 20 |
| IV | 6 | Little Henry Sweetspire | <i>ITEA virginica</i> 'Little Henry' | 18" Mn. Ht. | # 3 Cont. | 2 | 12 |
| RA | 19 | Green Mound Alpine Currant | <i>RIBIES alpinum</i> 'Green Mound' | 18" Mn. Ht. | # 3 Cont. | 2 | 38 |
| PERENNIALS | | | | | | | |
| HM | 10 | Lime Marmalade Palace Purple | <i>HEUCHERA micrantha</i> 'Lime Marmalade' | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| PA | 12 | Russian Sage Little Spire | <i>PEROVSKIA atriplicifolia</i> 'Little Spire' | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| RF | 12 | Black Eyed Susan | <i>RUDBECKIA fulgida</i> 'Goldstrum' | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| ORNAMENTAL GRASSES | | | | | | | |
| CB | 30 | Korean Feather Reed Grass | <i>CALAMAGROSTIS brachytricha</i> | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| CA | 36 | Karl Foerester Feather Reed Grass | <i>CALAMAGROSTIS x acutiflora</i> 'Karl Foerester' | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| PV | 17 | Heavy Metal Switch Grass | <i>PANICUM virgatum</i> 'Heavy Metal' | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| SS | 18 | The Blues Little Bluestem | <i>SCHIZACHYRIUM scoparium</i> 'The Blues' | 10- 12" Ht. | # 1 Cont. | 0 | 0 |
| | | | | | | TOTAL: | 305 |

LANDSCAPE WORKSHEET
Parking Lots, Storage Areas and Loading Areas
(Section 28.34 Madison General Ordinance)

Project Location/Address: AMERICAN PARKWAY & TANCHE DRIVE
Name of Project: AMERICAN PARKWAY APARTMENTS
Owner/Contractor: FIDUCIARY REAL ESTATE DEVELOPMENT, INC.
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)

Number of Parking Stalls: **TOTAL: 34**

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points.)

Total Square Footage of the Storage Area:
Divided by Three Hundred (300) Square Feet: **TOTAL: 0**

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper)
(See Schedule on reverse side) **TOTAL: 3**

II. Number of Landscape Points Required
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.6 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

Number of Points Required (See Schedule on reverse side) **TOTAL: 164**

Tabulation of Points and Credits
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

| ELEMENT | POINT VALUE | QUANTITY | POINTS ACHIEVED | CREDITS | QUANTITY | POINTS |
|--|-------------|----------|-----------------|---------|----------|--------------|
| Canopy Tree: 2" - 2 1/2" | 35 | 3** | 0 | | | |
| Deciduous Shrub | 2 | 39 | 117 | | | |
| Evergreen Shrub | 3 | 94 | 168 | | | |
| Decorative Wall or Fence (per 10 L.F.) | 5 | | | | | |
| Earth Berm (per 10 L.F.) | 5 | | | | | |
| Avg. Height 10" | 2 | | | | | |
| Avg. Height 15" | 2 | | | | | |
| Evergreen Trees | 15 | | | | | |
| Canopy Tree or Small Tree (1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)) | 15 | | | | | |
| Sub Totals | | | | | | 305 |
| | | | | | | TOTAL |
| | | | | | | 305 |

*Trees required in Part I above, are not to be included in the point count.
** 3 total shade canopy trees included for each unit, see sheet L100

Approved by: _____ Date: _____

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 N. WATER ST. STE. 200
MILWAUKEE, WI 53202

PROJECT:

AMERICAN PARKWAY APARTMENTS

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | | |
|-----------|-----|----------|
| DESIGN: | JLF | 10-31-12 |
| DRAWN: | JLF | 10-31-12 |
| APPROVED: | | |

| | |
|---------------------|----------|
| PLAN MODIFICATIONS: | DATE: |
| CITY OF MADISON | 11-28-12 |
| CITY OF MADISON | 01-02-13 |
| CITY OF MADISON | 02-27-13 |

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
**LANDSCAPE PLAN
UNIT A TYPICAL
FOUNDATION**

SHEET NUMBER:
L200

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON

www.jsdinc.com

SERVICES PROVIDED TO:

**FIDUCIARY
 REAL ESTATE
 DEVELOPMENT, INC.**

789 N. WATER ST. STE. 200
 MILWAUKEE, WI 53202

PROJECT:

**AMERICAN PARKWAY
 APARTMENTS**

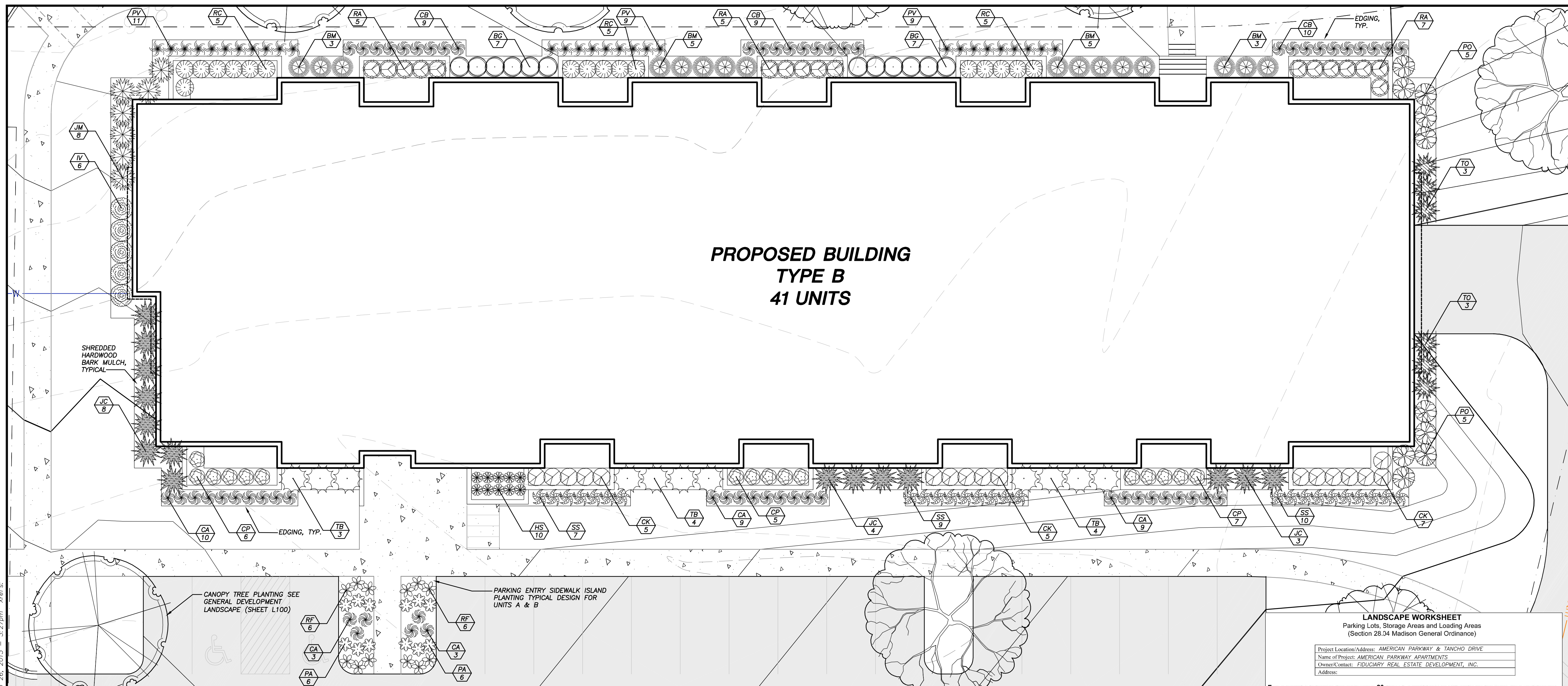
PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | | |
|----------------------------|--------------|----------|
| DESIGN: | JLF | 10-31-12 |
| DRAWN: | JLF | 10-31-12 |
| APPROVED: | | |
| PLAN MODIFICATIONS: | DATE: | |
| CITY OF MADISON | 11-28-12 | |
| CITY OF MADISON | 01-02-13 | |
| CITY OF MADISON | 02-27-13 | |



**PROPOSED BUILDING
 TYPE B
 41 UNITS**

LANDSCAPE WORKSHEET
 Parking Lots, Storage Areas and Loading Areas
 (Section 28.34 Madison General Ordinance)

Project Location/Address: AMERICAN PARKWAY & TANCHO DRIVE
 Name of Project: AMERICAN PARKWAY APARTMENTS
 Owner/Contact: FIDUCIARY REAL ESTATE DEVELOPMENT, INC.
 Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
 The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts areas to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points.)

Number of Parking Stalls:

Total Square Footage of the Storage Area:
 Divided by Three Hundred (300) Square Feet:

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper):
 (See Schedule on reverse side)

II. Number of Landscape Points Required
 The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.6 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.)

The number of points required for loading areas is (75) points for each loading berth. (See Schedule on reverse side)

Number of Points Required (See Schedule on reverse side):

Tabulation of Points and Credits
 Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

| ELEMENT | POINT VALUE | QUANTITY | POINTS ACHIEVED | CREDITS QUANTITY | POINTS |
|--|-------------|----------|-----------------|------------------|--------------------|
| Canopy Tree: 2" - 2 1/2" | 35 | 3** | 0 | | |
| Deciduous Shrub | 2 | 39 | 117 | | |
| Evergreen Shrub | 3 | 114 | 228 | | |
| Decorative Wall or Fence (per 10 L.F.) | 5 | | | | |
| Earth Berm (per 10 L.F.) | 5 | | | | |
| Avg. Height 30" | 2 | | | | |
| Avg. Height 15" | 2 | | | | |
| Evergreen Trees | 15 | | | | |
| Canopy Tree or Small Tree (1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)) | 15 | | | | |
| Sub Totals | | | 345 | + | |
| | | | | | TOTAL = 345 |

Total No. of Points Provided (Equal to or greater than points required)

**3 total shade canopy trees included for each unit, see sheet L100

*Trees required in Part I above, are not to be included in the point count.

Approved by: _____ Date: _____

LANDSCAPE PLANT LIST

| SYM | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | POINTS | TOTAL POINTS |
|--------------------------------|------|----------------------------------|---|--------------|-----------|--------|--------------|
| MEDIUM EVERGREEN SHRUBS | | | | | | | |
| JC | 15 | Sea Green Juniper | <i>JUNIPERUS chinensis 'Sea Green'</i> | 30" Mn Ht. | # 3 Cont. | 3 | 45 |
| JM | 7 | Mountain Juniper | <i>JUNIPERUS chinensis 'Mountbatten'</i> | 4' Mn Ht. | # 3 Cont. | 3 | 21 |
| TO | 6 | Holmstrup Arborvitae | <i>THUJA occidentalis 'Holmstrup'</i> | 2' Mn Ht. | # 3 Cont. | 3 | 18 |
| TB | 11 | Berkman's Golden Arborvitae | <i>THUJA occidentalis 'Berkman's Golden'</i> | 2' Mn Ht. | # 3 Cont. | 3 | 33 |
| LARGE DECIDUOUS SHRUBS | | | | | | | |
| BM | 16 | Green Mountain Boxwood | <i>BUXUS 'Green Mountain'</i> | 24" Mn. Ht. | # 3 Cont. | 2 | 32 |
| PO | 10 | Dwarf Ninebark | <i>PHYSOCARPUS opulifolius 'Nanus'</i> | 24" Mn. Ht. | # 3 Cont. | 2 | 20 |
| MEDIUM DECIDUOUS SHRUBS | | | | | | | |
| CP | 19 | Crimson Pygmy Barbary | <i>BERBERIS thunbergii 'Crimson Pygmy'</i> | 18" Mn. Ht. | # 2 Cont. | 2 | 38 |
| BG | 12 | Wintergreen Boxwood | <i>BUXUS 'Wintergreen'</i> | 18" Mn. Ht. | # 3 Cont. | 2 | 24 |
| RC | 17 | Ruby Spice Clethra | <i>CLETHRA alnifolia 'Ruby Spice'</i> | 18" Mn. Ht. | # 3 Cont. | 2 | 34 |
| CK | 17 | Kelsey's Compact Dogwood | <i>CORNUS sericea 'Kelsey'</i> | 18" Mn. Ht. | # 3 Cont. | 2 | 34 |
| IV | 6 | Little Henry Sweetspire | <i>ITEA virginica 'Little Henry'</i> | 18" Mn. Ht. | # 3 Cont. | 2 | 12 |
| RA | 17 | Russian Mound Alpine Currant | <i>RIBES alpinum 'Green Mound'</i> | 18" Mn. Ht. | # 3 Cont. | 2 | 34 |
| PERENNIALS | | | | | | | |
| PA | 12 | Russian Sage Little Spire | <i>PEROVSKIA atriplicifolia 'Little Spire'</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| RF | 12 | Black Eyed Susan | <i>RUDBECKIA fulgida 'Goldstrum'</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| ORNAMENTAL GRASSES | | | | | | | |
| CB | 28 | Korean Feather Reed Grass | <i>CALAMAGROSTIS brachytricha</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| CA | 28 | Karl Foerster Feather Reed Grass | <i>CALAMAGROSTIS x acutiflora 'Karl Foerster'</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| HS | 10 | Blue Oat Grass | <i>HELICOTRICHON sempervirens</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| PV | 29 | Heavy Metal Switch Grass | <i>PANICUM virgatum 'Heavy Metal'</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| SS | 26 | The Blues Little Bluestem | <i>SCHIZACHYRIUM scoparium 'The Blues'</i> | 10 - 12" Ht. | # 1 Cont. | 0 | 0 |
| | | | TOTAL: | | | | 345 |

- GENERAL NOTES**
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 5. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET C100

- LANDSCAPE NOTES**
1. REFER TO SHEET L600 FOR DETAILS, ADDITIONAL NOTES AND SPECIFICATIONS.
 2. REFER TO THE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS NOTES AND LEGEND.
 3. REFER TO CIVIL PLANS FOR PROPOSED EROSION CONTROL, GRADING, AND UTILITIES.
 4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

LEGEND (PROPOSED)

| | |
|--|----------------------------|
| | PROPERTY LINE |
| | PROPOSED 1 FOOT CONTOUR |
| | PROPOSED 5 FOOT CONTOUR |
| | BUILDING LINE |
| | EDGE OF CONCRETE |
| | EASEMENT LINE |
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED ASPHALT PAVEMENT |
| | POLYETHYLENE EDGING |
| | MEDIUM EVERGREEN SHRUBS |
| | LARGE DECIDUOUS SHRUBS |
| | MEDIUM DECIDUOUS SHRUBS |
| | PERENNIALS |
| | ORNAMENTAL GRASSES |

File: J:\2011\14523A\dwg\17-4523_Landscape.dwg Layout: Landscape Plan Unit B Detail 22x34 User: jfrdm Plotter: Feb 26, 2013 3:27pm Xref:s

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



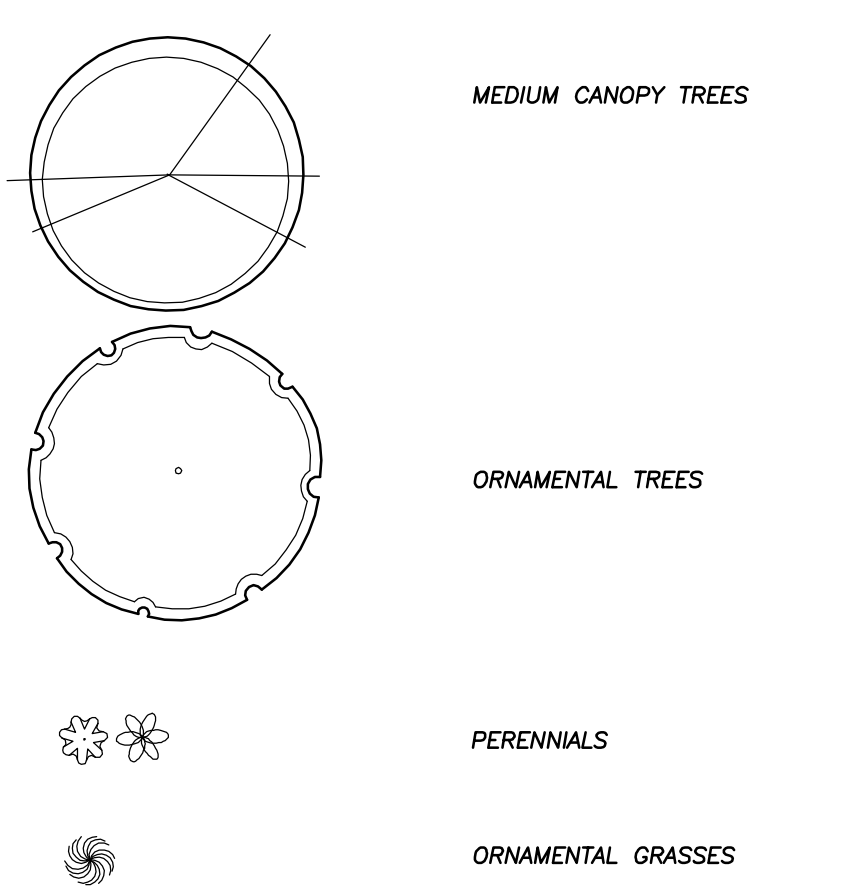
Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

SHEET TITLE:
**LANDSCAPE PLAN
 UNIT B TYPICAL
 FOUNDATION**

SHEET NUMBER:
L300



- LEGEND (PROPOSED)**
- PROPERTY LINE
 - 916 PROPOSED 1 FOOT CONTOUR
 - 915 PROPOSED 5 FOOT CONTOUR
 - BUILDING LINE
 - EDGE OF CONCRETE
 - EASEMENT LINE
 - ▨ PROPOSED CONCRETE PAVEMENT
 - ▩ PROPOSED ASPHALT PAVEMENT
 - ▧ POLYETHYLENE EDGING
 - ▤ 'DIVERSE PRAIRIE FOR MEDIUM SOILS' SEED MIX



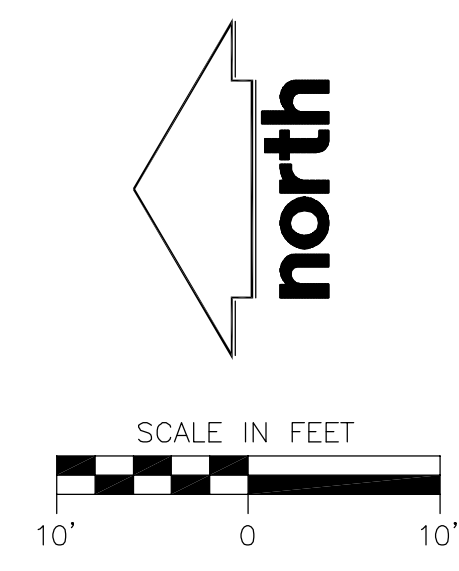
- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET C100

- LANDSCAPE NOTES**
- REFER TO SHEET L600 FOR DETAILS, ADDITIONAL NOTES AND SPECIFICATIONS.
 - REFER TO THE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - REFER TO CIVIL PLANS FOR PROPOSED EROSION CONTROL, GRADING, AND UTILITIES.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

LANDSCAPE PLANT LIST**

| SYM | QTY. | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | POINTS | TOTAL POINTS |
|----------------------------|------|----------------------------------|--|-------------|-----------|--------|--------------|
| MEDIUM CANOPY TREES | | | | | | | |
| PT | 9 | Quaking Aspen | POPULUS tremuloides | 2" Cal. | B&B | 0 | 0 |
| ORNAMENTAL TREES | | | | | | | |
| PC | 6 | Cleveland Select Pear | PYRUS Calleryana 'Cleveland Select' | 2 1/2" Cal. | B&B | 15 | 135 |
| PERENNIALS | | | | | | | |
| FR | 6 | Russian Sage | PEROVSKIA atriplicifolia | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| RF | 14 | Black Eyed Susan | RUDBECKIA fulgida 'Goldsturm' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| ORNAMENTAL GRASSES | | | | | | | |
| CA | 25 | Karl Foerster Feather Reed Grass | CALAMAGROSTIS x aoutiflora 'Karl Foerster' | 10-12" Ht. | # 1 Cont. | 0 | 0 |

**PLEASE NOTE QUANTITIES ON SHEET ARE INCLUDED WITHIN GENERAL LANDSCAPE PLAN LANDSCAPE PLANT LIST



JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON
 www.jsdinc.com

SERVICES PROVIDED TO:

**FIDUCIARY
 REAL ESTATE
 DEVELOPMENT, INC.**

789 N. WATER ST. STE. 200
 MILWAUKEE, WI 53202

PROJECT:
**AMERICAN PARKWAY
 APARTMENTS**

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: JLF 10-31-12
 DRAWN: JLF 10-31-12
 APPROVED: _____

PLAN MODIFICATIONS:

| NO. | DATE |
|-----------------|----------|
| CITY OF MADISON | 11-28-12 |
| CITY OF MADISON | 01-02-13 |
| CITY OF MADISON | 02-27-13 |

DIGGERS HOTLINE

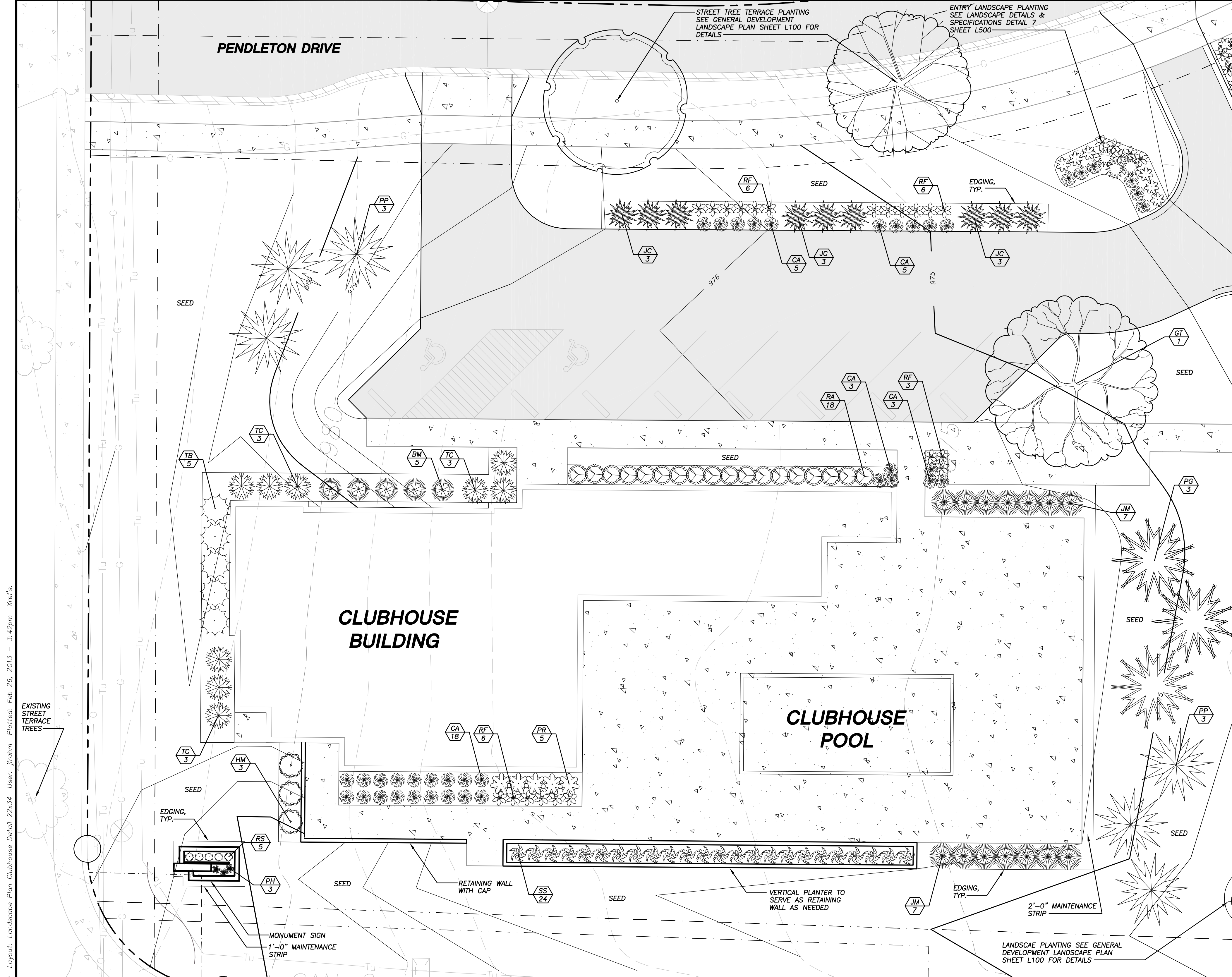
Toll Free (800) 242-8511
 Milwaukee Area (414) 258-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

SHEET TITLE:
**LANDSCAPE
 PLAN
 CENTRAL GREEN
 DETAIL**

SHEET NUMBER:
L400

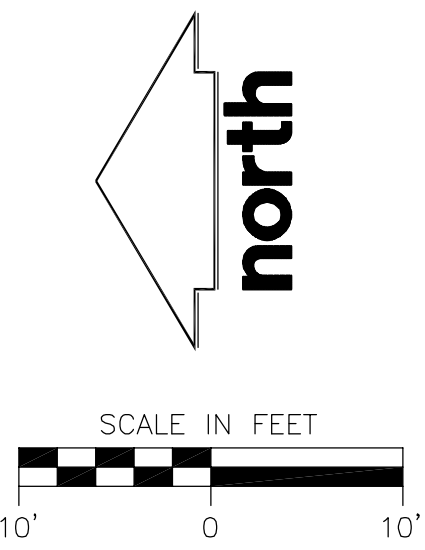
File: J:\2011\14523A.dwg User: jfratm Plotted: Feb 26, 2013 - 3:39pm Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



LEGEND (PROPOSED)

- — — — — PROPERTY LINE
- 916 — — — PROPOSED 1 FOOT CONTOUR
- 915 — — — PROPOSED 5 FOOT CONTOUR
- — — — — BUILDING LINE
- — — — — EDGE OF CONCRETE
- — — — — EASEMENT LINE
- — — — — PROPOSED CONCRETE PAVEMENT
- — — — — PROPOSED ASPHALT PAVEMENT
- — — — — POLYETHYLENE EDGING



- LARGE CANOPY TREES
- TALL EVERGREEN TREES
- MEDIUM EVERGREEN SHRUBS
- LARGE DECIDUOUS SHRUBS
- MEDIUM DECIDUOUS SHRUBS
- PERENNIALS/ORNAMENTAL GRASSES

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS. EXISTING CONDITIONS SURVEY PERFORMED BY JSD.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. ALL OTHER SITE PLAN NOTES PLEASE SEE SHEET C100

LANDSCAPE NOTES

1. REFER TO SHEET L600 FOR DETAILS, ADDITIONAL NOTES AND SPECIFICATIONS.
2. REFER TO THE EXISTING CONDITIONS PLAN FOR EXISTING CONDITIONS NOTES AND LEGEND.
3. REFER TO CIVIL PLANS FOR PROPOSED EROSION CONTROL, GRADING, AND UTILITIES.
4. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR

LANDSCAPE WORKSHEET
Parking Lots, Storage Areas and Loading Areas
(Section 28.04 Madison General Ordinance)

Project Location/Address: AMERICAN PARKWAY & TANCHO DRIVE
Name of Project: AMERICAN PARKWAY APARTMENTS
Owner/Contractor: FIDUCIARY REAL ESTATE DEVELOPMENT, INC.
Address:

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls.)

Number of Parking Stalls: = 8

Total Square Footage of the Storage Area
Divided by Three Hundred (300) Square Feet: = 0

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper)
(See Schedule on reverse side) = 1

II. Number of Landscape Points Required
The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus, 49.5 points would be rounded down to 49.0 points required.

Number of Points Required (See Schedule on reverse side) = 39.6

Number of Points Required for Loading Areas is (75) points for each loading berth.
(See Schedule on reverse side) = 0

Number of Points Required (See Schedule on reverse side) = 40

Tabulation of Points and Credits
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

| ELEMENT | POINT VALUE | QUANTITY | POINTS ACHIEVED | QUANTITY | POINTS |
|--|-------------|------------|-----------------|----------|------------|
| Canopy Tree: 2" - 2 1/2" | 35 | 1 | 0 | | |
| Deciduous Shrub | 2 | 26 | 52 | | |
| Evergreen Shrub | 3 | 37 | 111 | | |
| Decorative Wall or Fence (per 10 L.F.) | 5 | | | | |
| Earth Berm (per 10 L.F.) | 5 | | | | |
| Avg. Height 30" | | | | | |
| Avg. Height 15" | 2 | | | | |
| Evergreen Trees (3' height minimum) | 15 | 9 | 135 | | |
| Canopy Tree or Small Tree (1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)) | 15 | | | | |
| Sub Totals | | 298 | + | 0 | = |
| | | | | | 298 |

*Trees required in Part I above, are not to be included in the point count.

Total No. of Points Provided (Equal to or greater than points required)

Approved by: _____ Date: _____

LANDSCAPE PLANT LIST**

| SYM | QTY | COMMON NAME | BOTANICAL NAME | SIZE | ROOT | POINTS | TOTAL POINTS |
|--------------------------------|-----|---------------------------------|---------------------------------------|-----------------|-----------|--------|--------------|
| LARGE CANOPY TREES | | | | | | | |
| GT | 1 | Skyline Honeylocust | GLEDITSIA triacanthos 'Skyline' | 3" Cal. | B & B | 35 | 0 |
| TALL EVERGREEN TREES | | | | | | | |
| PG | 3 | Black Hills Spruce | PICEA glauca var. densata | 4' Min Ht. | B & B | 15 | 45 |
| PP | 6 | Colorado Blue Spruce | PICEA pungens 'Glaucosa' | 4' Min Ht. | B & B | 15 | 90 |
| MEDIUM EVERGREEN SHRUBS | | | | | | | |
| JM | 14 | Mountain Juniper | JUNIPERUS chinensis 'Mountain' | 3-4' Ht. | B & B | 3 | 42 |
| JC | 9 | Sea Green Juniper | JUNIPERUS chinensis 'Sea Green' | 30" Min Ht. | # 3 Cont. | 3 | 27 |
| TC | 9 | Dwarf Japanese Yew (Brevifolia) | TAXUS cuspidata 'Nana' | 15-18" Min. Ht. | # 3 Cont. | 3 | 27 |
| TB | 5 | Berkman's Golden Arborvitae | THUJA occidentalis 'Berkman's Golden' | 2' Min Ht. | # 3 Cont. | 3 | 15 |

| LARGE DECIDUOUS SHRUBS | | | | | | | |
|--------------------------------|----|----------------------------------|---|-----------------|-----------|---------------|------------|
| BM | 5 | Green Mountain Boxwood | BUXUS 'Green Mountain' | 24" Min. Ht. | # 3 Cont. | 2 | 10 |
| MEDIUM DECIDUOUS SHRUBS | | | | | | | |
| RA | 18 | Green Mound Alpine Currant | RIBES alpinum 'Green Mound' | 18" Min. Ht. | # 3 Cont. | 2 | 36 |
| HM | 3 | Endless Summer Hydrangea | HYDRANGEA macrophylla 'Endless Summer' | 15-18" Min. Ht. | # 2 Cont. | 2 | 6 |
| PERENNIALS | | | | | | | |
| PR | 5 | Russian Sage | PEROVSKIA atriplicifolia | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| RF | 21 | Black Eyed Susan | RUDBECKIA fulgida 'Goldstrum' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| RS | 5 | Black Eyed Susan Little Star | RUDBECKIA fulgida var. sullivanti 'Little Goldstar' | 4 1/2" Ht. | # 1 Cont. | 0 | 0 |
| ORNAMENTAL GRASSES | | | | | | | |
| CA | 34 | Karl Foerster Feather Reed Grass | CALAMAGROSTIS x acutiflora 'Karl Foerster' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| SS | 24 | The Blues Little Bluestem | SCHIZACHYRIUM scoparium 'The Blues' | 10-12" Ht. | # 1 Cont. | 0 | 0 |
| PH | 3 | Dwarf Fountain Grass | PENNISETUM alopecuroides 'Harmeln' | 4 1/2" Ht. | # 1 Cont. | 0 | 0 |
| | | | | | | TOTAL: | 298 |

**PLEASE NOTE QUANTITIES ON SHEET ARE INCLUDED WITHIN GENERAL LANDSCAPE PLAN LANDSCAPE PLANT LIST AND LANDSCAPE WORKSHEET TOTALS

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON
www.jsdinc.com

SERVICES PROVIDED TO:

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 N. WATER ST. STE. 200
MILWAUKEE, WI 53202

PROJECT:

AMERICAN PARKWAY APARTMENTS

PROJECT LOCATION:

CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | | |
|---------------------|-----|----------|
| DESIGN: | JLF | 02-25-13 |
| DRAWN: | JLF | 02-25-13 |
| APPROVED: | | |
| PLAN MODIFICATIONS: | | DATE: |
| CITY OF MADISON | | 02-27-13 |
| CITY OF MADISON | | |

DIGGERS HOTLINE

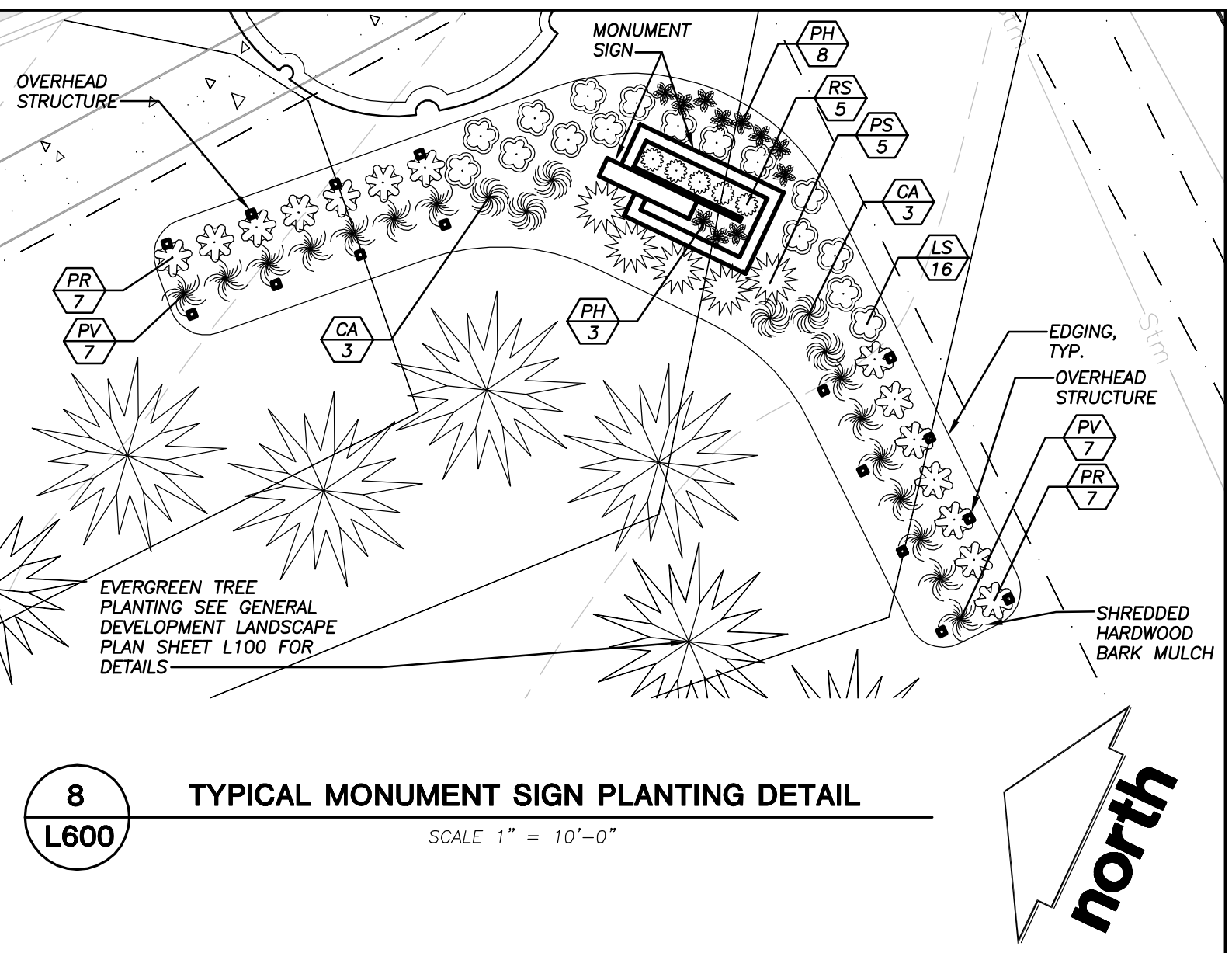
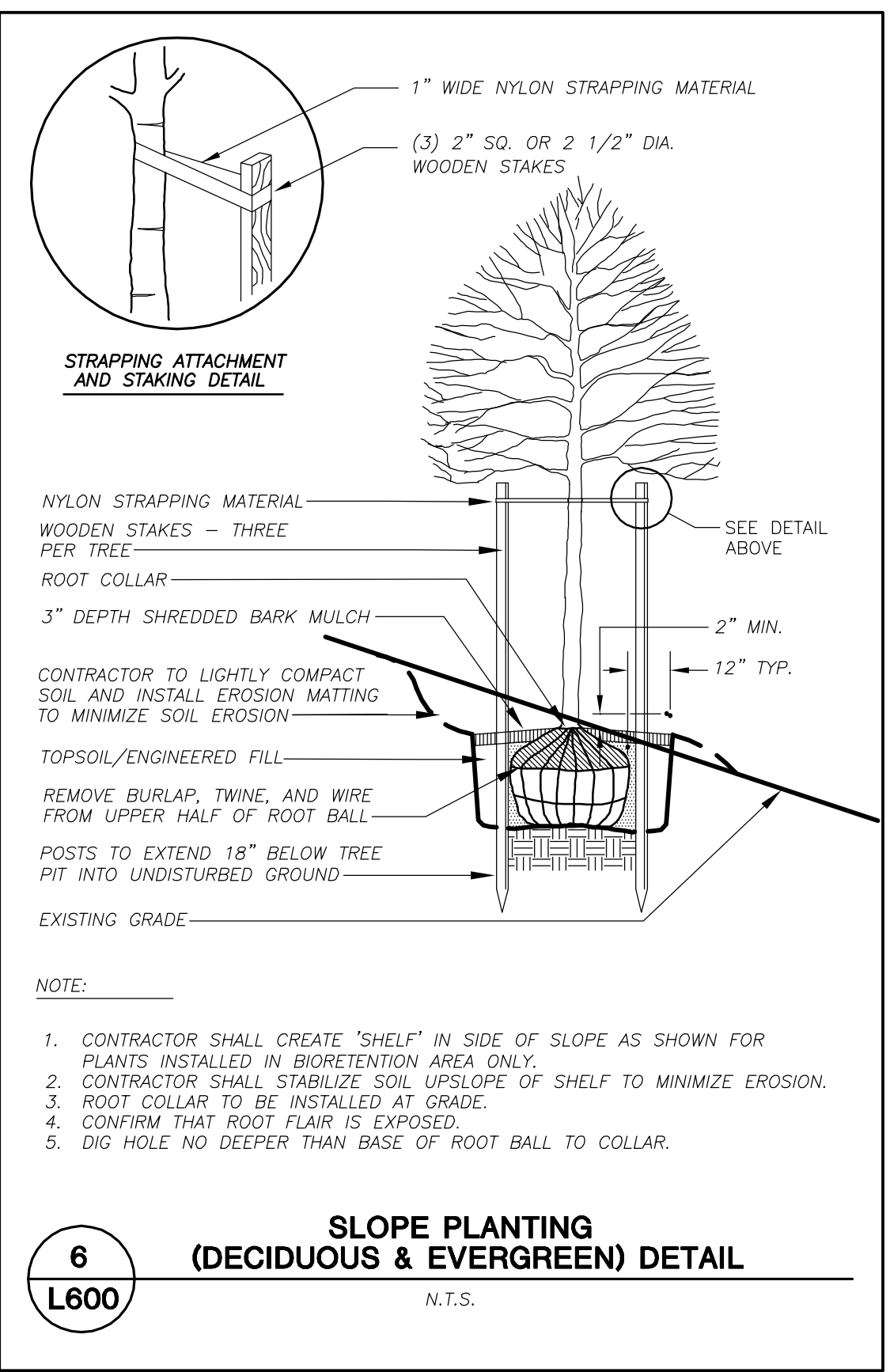
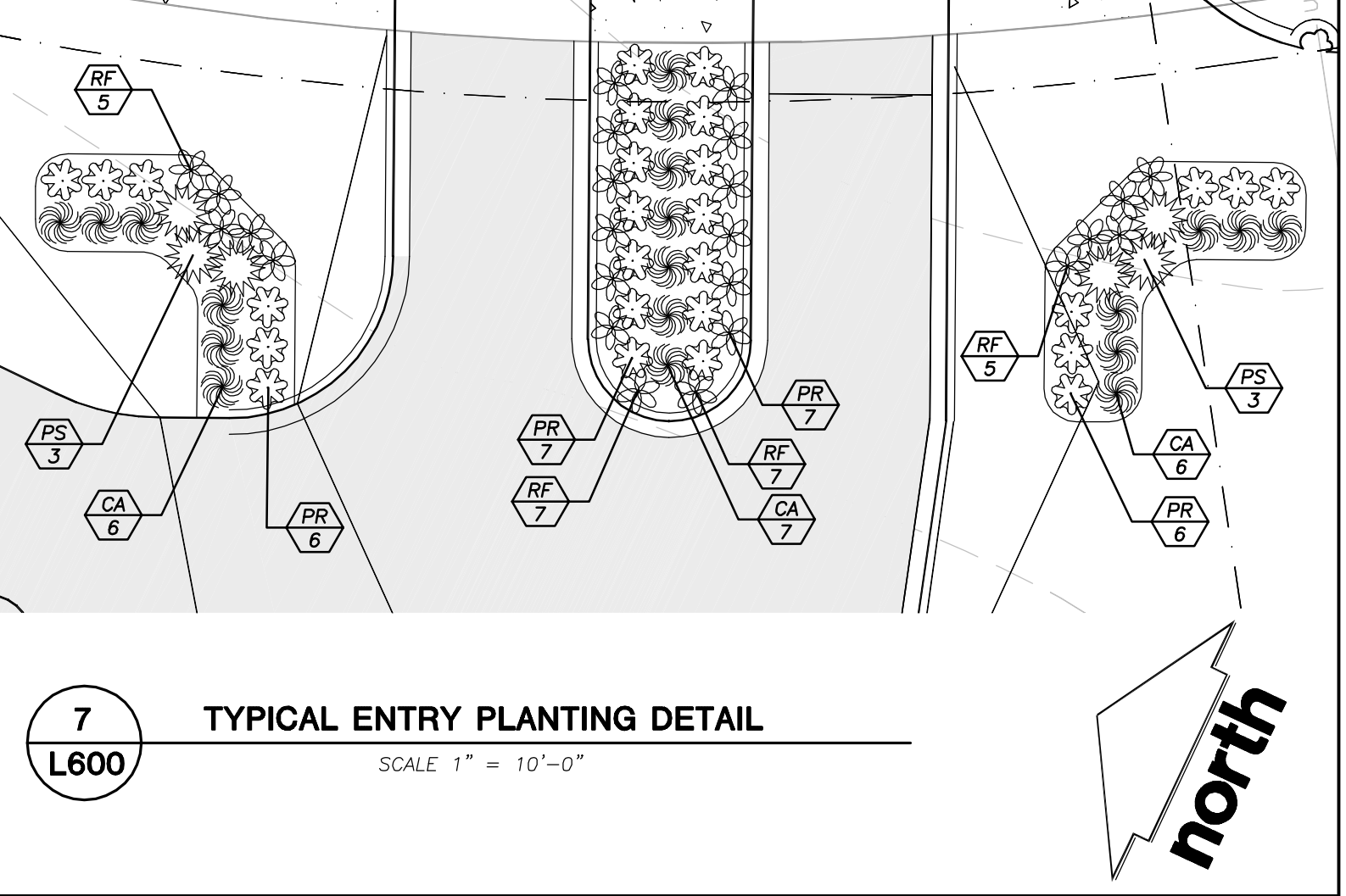
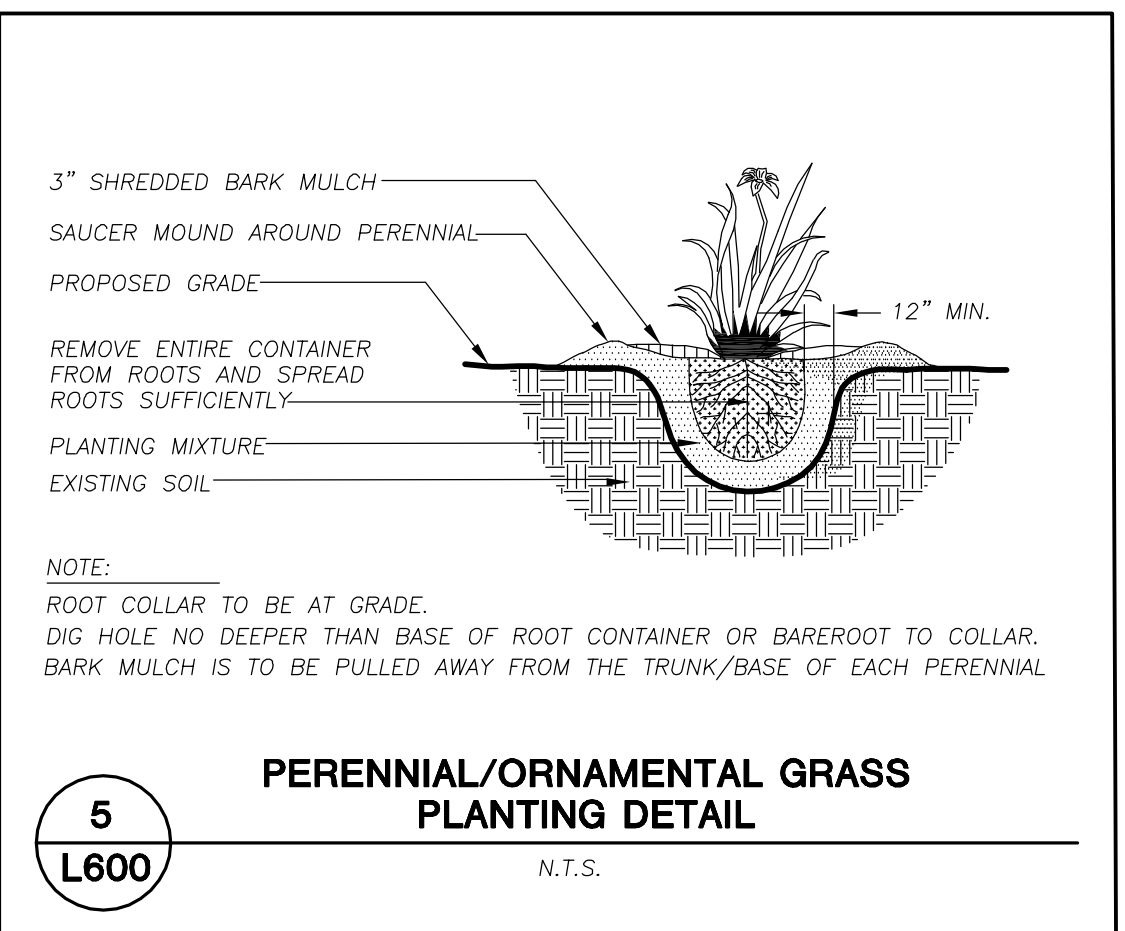
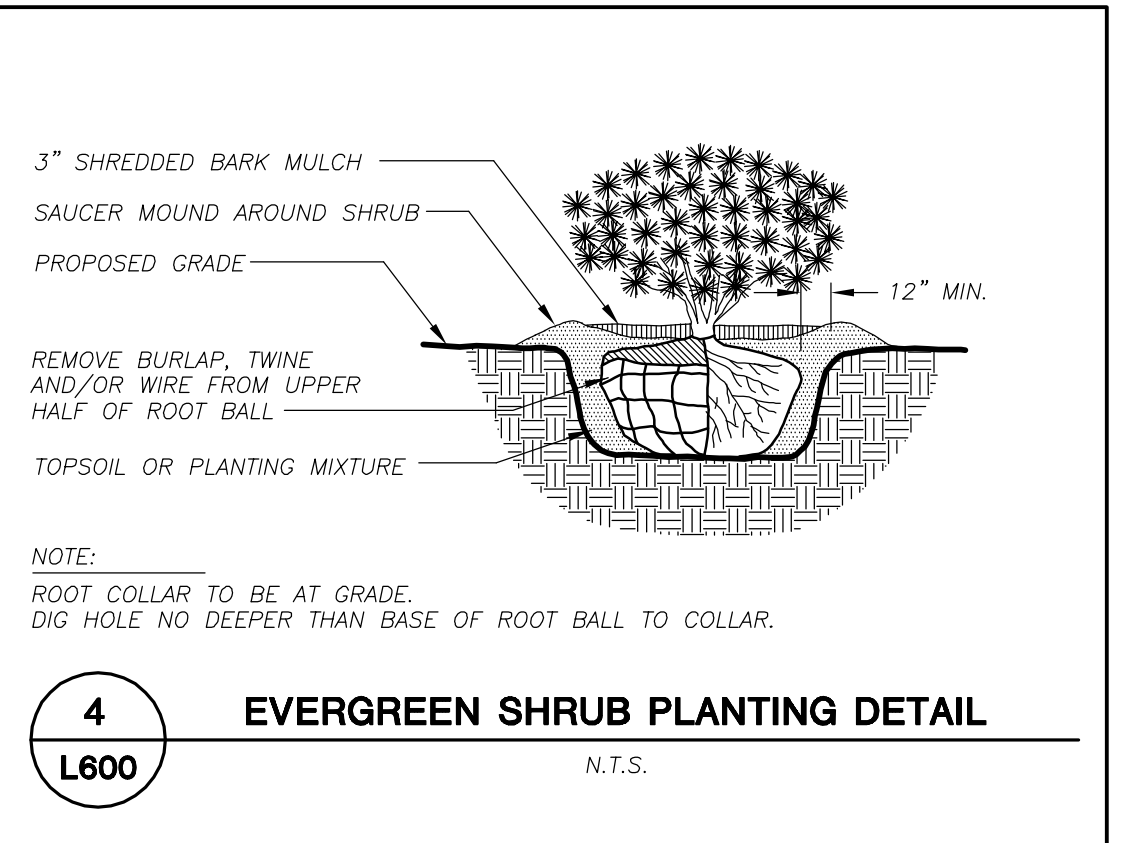
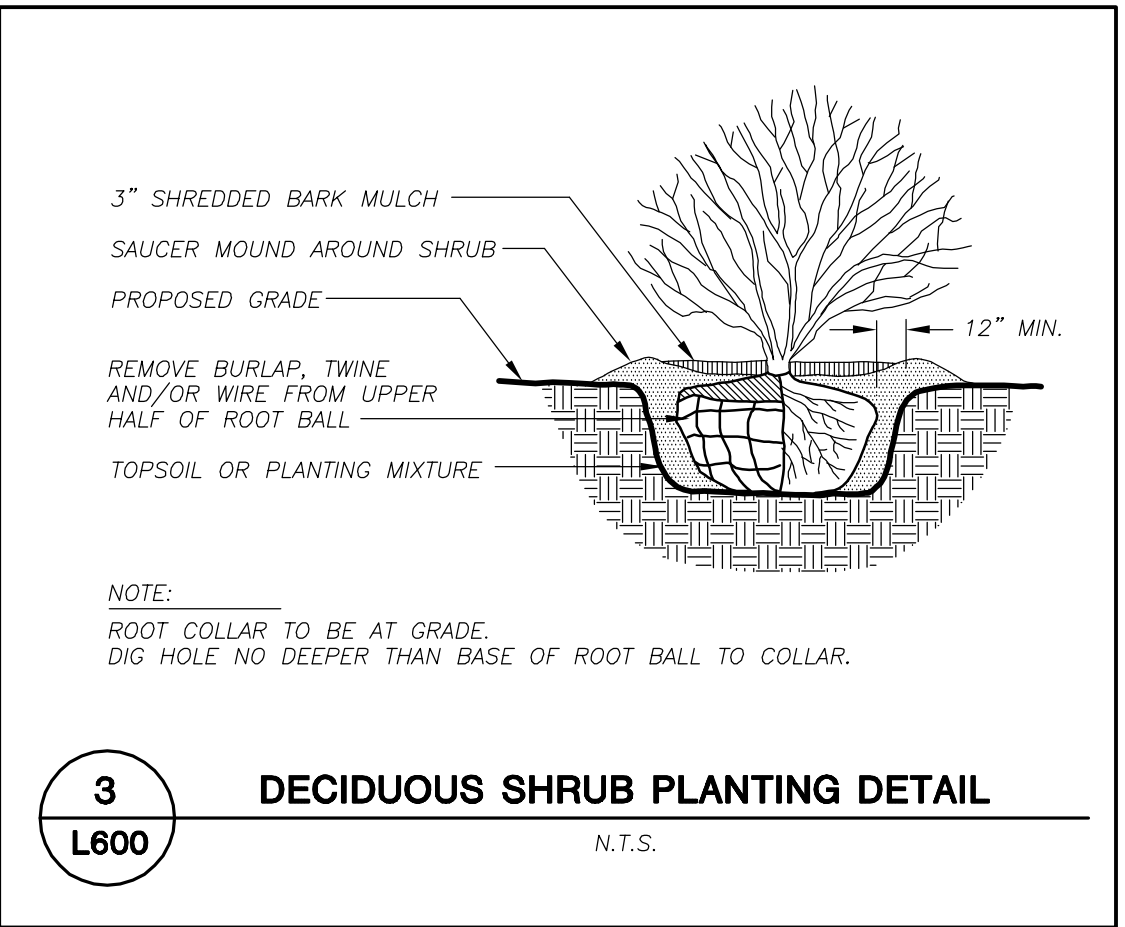
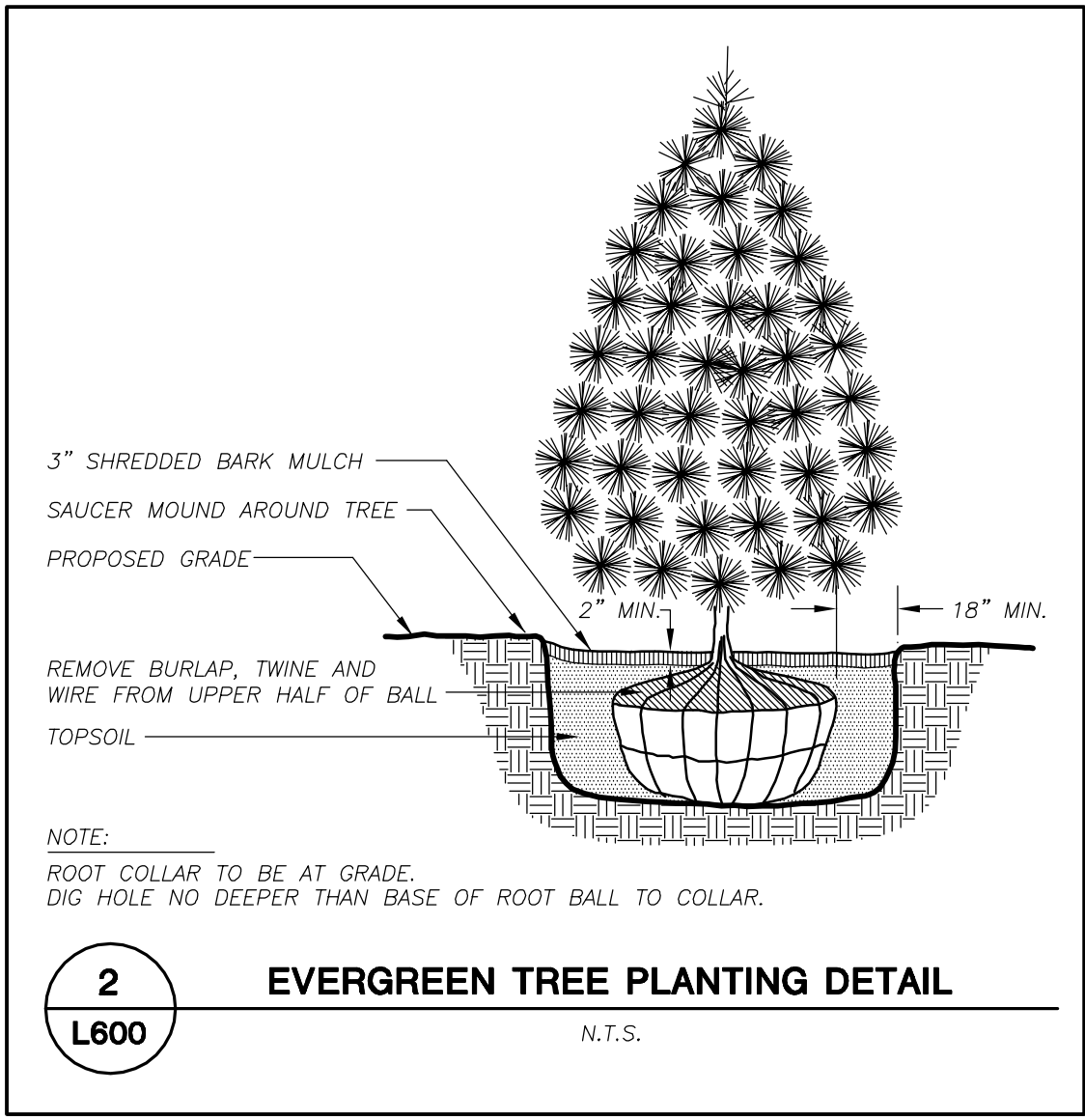
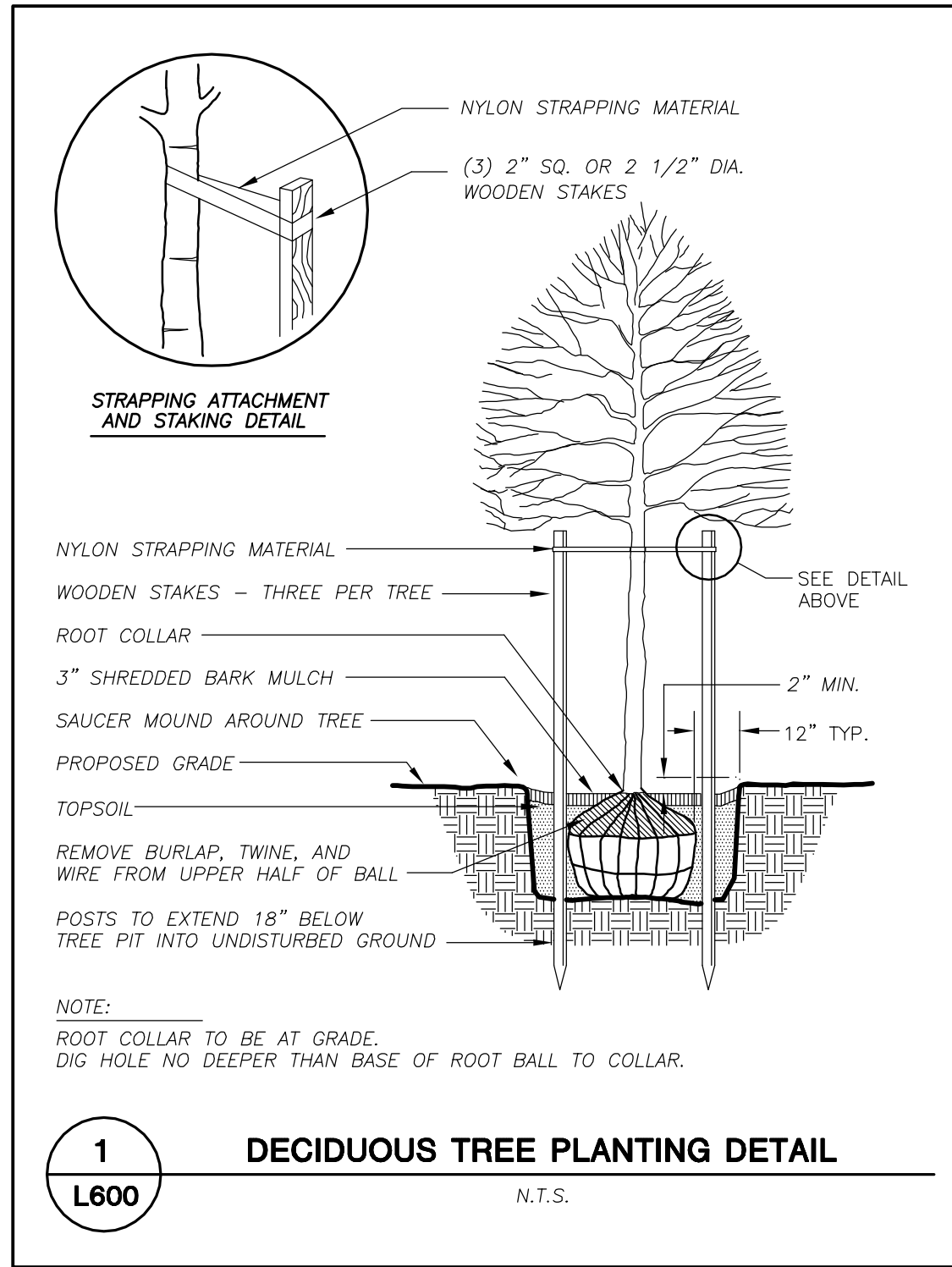
Toll Free (800) 242-8511
Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:

LANDSCAPE PLAN CLUBHOUSE DETAIL

SHEET NUMBER:

L500



LANDSCAPE NOTES & SPECIFICATIONS

- GENERAL:** ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LISTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDS, EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE, OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY. HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL:** PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. SEEDED AREAS = 7"
 2. PARKING ISLANDS = 20"
 3. TREE RINGS AND PITS = SEE DETAILS
 PLANTING SOIL TO BE A MINIMUM 6" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - EDGING:** EDGING SHALL BE 5" DEEP, BLACK, POLYETHYLENE EDGING EXCEPT FOR TREE RINGS. ALL DECIDUOUS, ORNAMENTAL TREES NOT WITHIN EDGED LANDSCAPE BEDS SHALL BE INSTALLED WITH A 5" DIAMETER TREE RING WITH SHOVEL CUT EDGING 5" IN DEPTH.
- SEEDING:** ALL DISTURBED AREAS SHALL BE SEEDED AS SPECIFIED IN THESE NOTES.
- MATERIALS - SEED:** ALL LAWN SEED SHALL BE EARTH CARPET'S 'BOULEVARD' OR OWNER APPROVED EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - SEED:** BIORETENTION AREA DESIGNATED TO RECEIVE PRAIRIE SEED MIX IS TO BE SEEDED WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX (ITEM NO. 50012) AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679. INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT.
- MATERIALS - FERTILIZER AND MULCH:** TREE RINGS AND BIORETENTION AREA SHALL RECEIVE 3" DEPTH, FINELY SHREDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) OVER ENTIRE BED, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - FERTILIZER AND MULCH:** PARKING ISLAND AREAS ONLY SHALL RECEIVE 1 1/2" DEPTH DECORATIVE WASHED STONE SPREAD TO A DEPTH OF THREE INCHES. OWNER SHALL APPROVE COLOR, TEXTURE AND SIZE EXAMPLE PRIOR TO INSTALLATION. AN APPROVED PROFESSIONAL GRADE WOVEN FABRIC WEED BARRIER SHALL BE INSTALLED PRIOR TO MULCH INSTALLATION. NO PLASTIC (IMPERVIOUS BARRIERS ACCEPTED) EX. BLACK VISQUEEN. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - FERTILIZER AND MULCH:** ALL PLANTING BED AREAS SHALL RECEIVE 1 1/2" DEPTH DECORATIVE WASHED STONE SPREAD TO A DEPTH OF THREE INCHES. OWNER SHALL APPROVE COLOR, TEXTURE AND SIZE EXAMPLE PRIOR TO INSTALLATION. AN APPROVED PROFESSIONAL GRADE WOVEN FABRIC WEED BARRIER SHALL BE INSTALLED PRIOR TO MULCH INSTALLATION. NO PLASTIC (IMPERVIOUS BARRIERS ACCEPTED) EX. BLACK VISQUEEN. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP:** DISPOSE OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND BARRIERS AS NECESSARY FOLLOWING THE ONE (1) YEAR PLANT GUARANTEE PERIOD.

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON
 www.jsdinc.com

SERVICES PROVIDED TO:

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

789 N. WATER ST. STE. 200
 MILWAUKEE, WI 53202

PROJECT:

AMERICAN PARKWAY APARTMENTS

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 11-4523

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

| | | |
|---------------------|-----|----------|
| DESIGN: | JLF | 10-31-12 |
| DRAWN: | JLF | 10-31-12 |
| APPROVED: | | |
| PLAN MODIFICATIONS: | | DATE: |
| CITY OF MADISON | | 11-28-12 |
| CITY OF MADISON | | 01-02-13 |
| CITY OF MADISON | | 02-27-13 |

DIGGERS HOTLINE

Toll Free (800) 242-8511
 Milwaukee Area (414) 258-1181
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

SHEET TITLE:

LANDSCAPE DETAILS & SPECIFICATIONS

SHEET NUMBER:
L600

File: J:\2011\14523A\dwg\11-4523_Landscape.dwg User: jfranm Plotted: Feb 26, 2013 3:44pm Xref's

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



8491 Murphy Dr.
 Middleton, WI 53562
 PH: 608-836-7072
 FAX: 608-836-7109

CLIENT INFORMATION:
 FIDUCIARY REAL ESTATE DEVELOPMENT, INC.
 189 NORTH WATER STREET, SUITE 200
 MILWAUKEE, WISCONSIN 53202

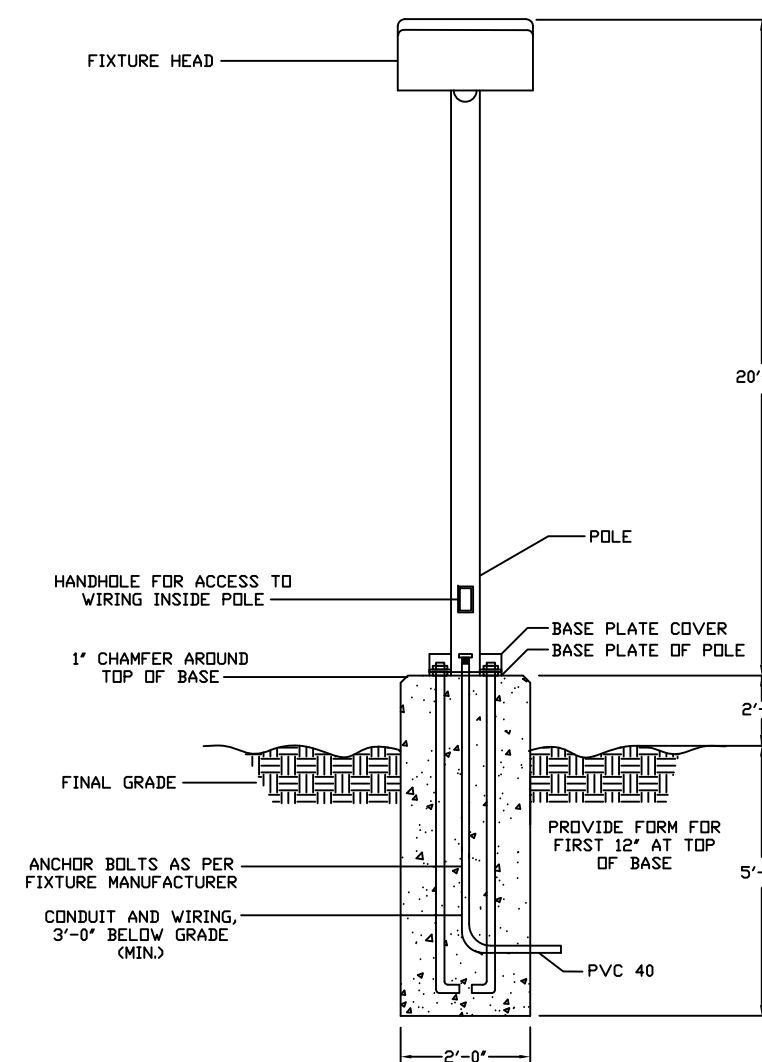
PROJECT INFORMATION:
 AMERICAN PARKWAY APARTMENTS
 MADISON, WISCONSIN

SCALE: AS NOTED

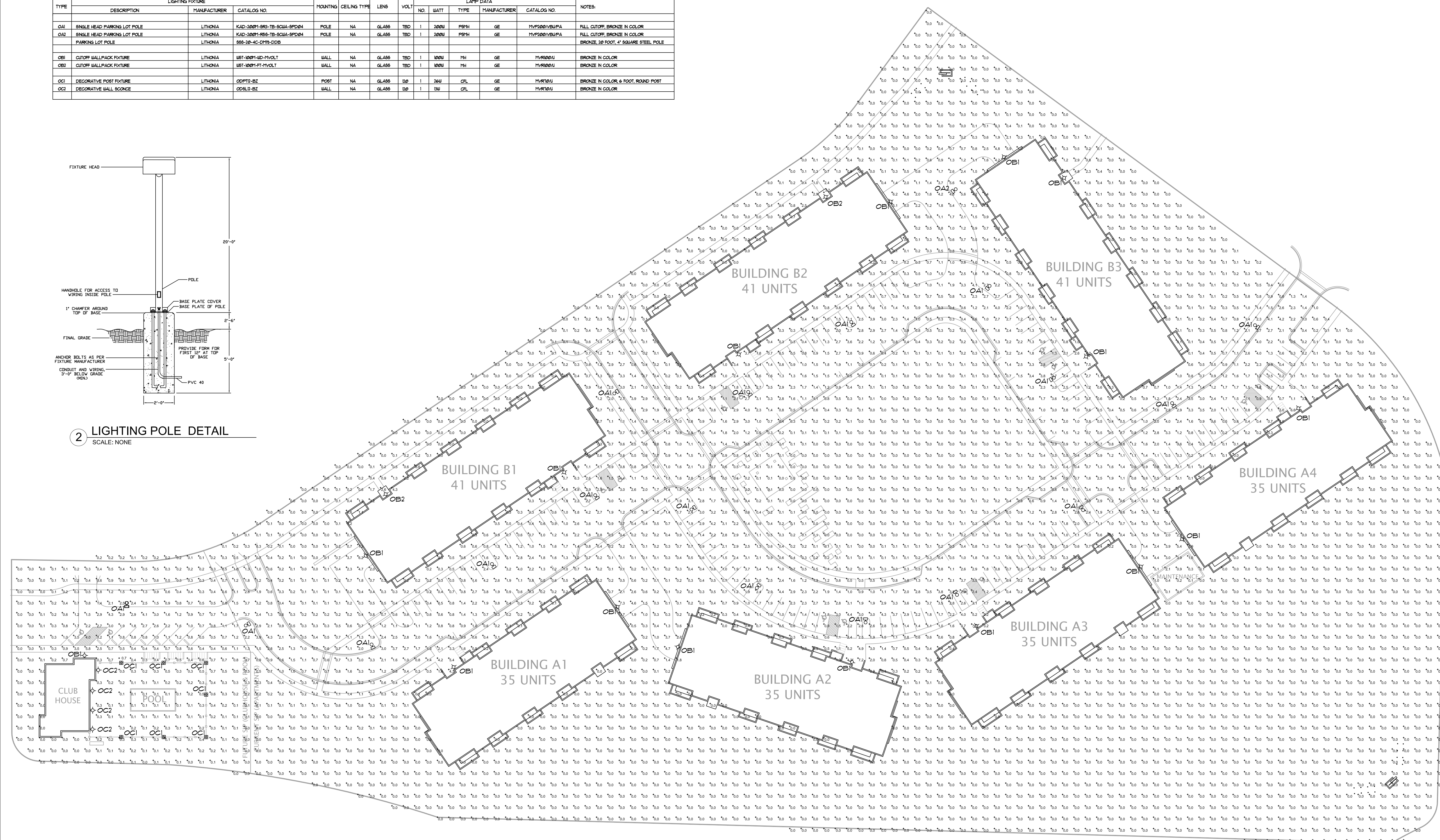
DATE: 1/2/2013

ES-1
 1 OF 1 SHEETS

| LIGHTING FIXTURE SCHEDULE | | | | | | | | | | | | | |
|---------------------------|------------------------------|--------------|----------------------------|----------|--------------|-------|------|-----|------|------|--------------|--------------|-------------------------------------|
| TYPE | LIGHTING FIXTURE | | | | LAMP DATA | | | | | | | | NOTES |
| | DESCRIPTION | MANUFACTURER | CATALOG NO. | MOUNTING | CEILING TYPE | LENS | VOLT | NO. | WATT | TYPE | MANUFACTURER | CATALOG NO. | |
| OAI | SINGLE HEAD PARKING LOT POLE | LITHONIA | KAD-2001-893-TB-SC14-SPD04 | POLE | NA | GLASS | TBD | 1 | 200W | FRSH | GE | HYPS00V5BUFA | FULL CUTOFF BRONZE IN COLOR |
| OAZ | SINGLE HEAD PARKING LOT POLE | LITHONIA | KAD-2001-896-TB-SC14-SPD04 | POLE | NA | GLASS | TBD | 1 | 200W | FRSH | GE | HYPS00V5BUFA | FULL CUTOFF BRONZE IN COLOR |
| OBI | CUTOFF WALLPACK FIXTURE | LITHONIA | U51-1001-14D-1VOLT | WALL | NA | GLASS | TBD | 1 | 100W | MH | GE | HYR00DU | BRONZE IN COLOR |
| OBJ | CUTOFF WALLPACK FIXTURE | LITHONIA | U51-1001-14T-1VOLT | WALL | NA | GLASS | TBD | 1 | 100W | MH | GE | HYR00DU | BRONZE IN COLOR |
| OCI | DECORATIVE POST FIXTURE | LITHONIA | ODPTD-BZ | POST | NA | GLASS | DIP | 1 | 24W | CFL | GE | HYR10BU | BRONZE IN COLOR, 6 FOOT, ROUND POST |
| OCJ | DECORATIVE WALL SCONCE | LITHONIA | ODSLD-BZ | WALL | NA | GLASS | DIP | 1 | 24W | CFL | GE | HYR10BU | BRONZE IN COLOR |

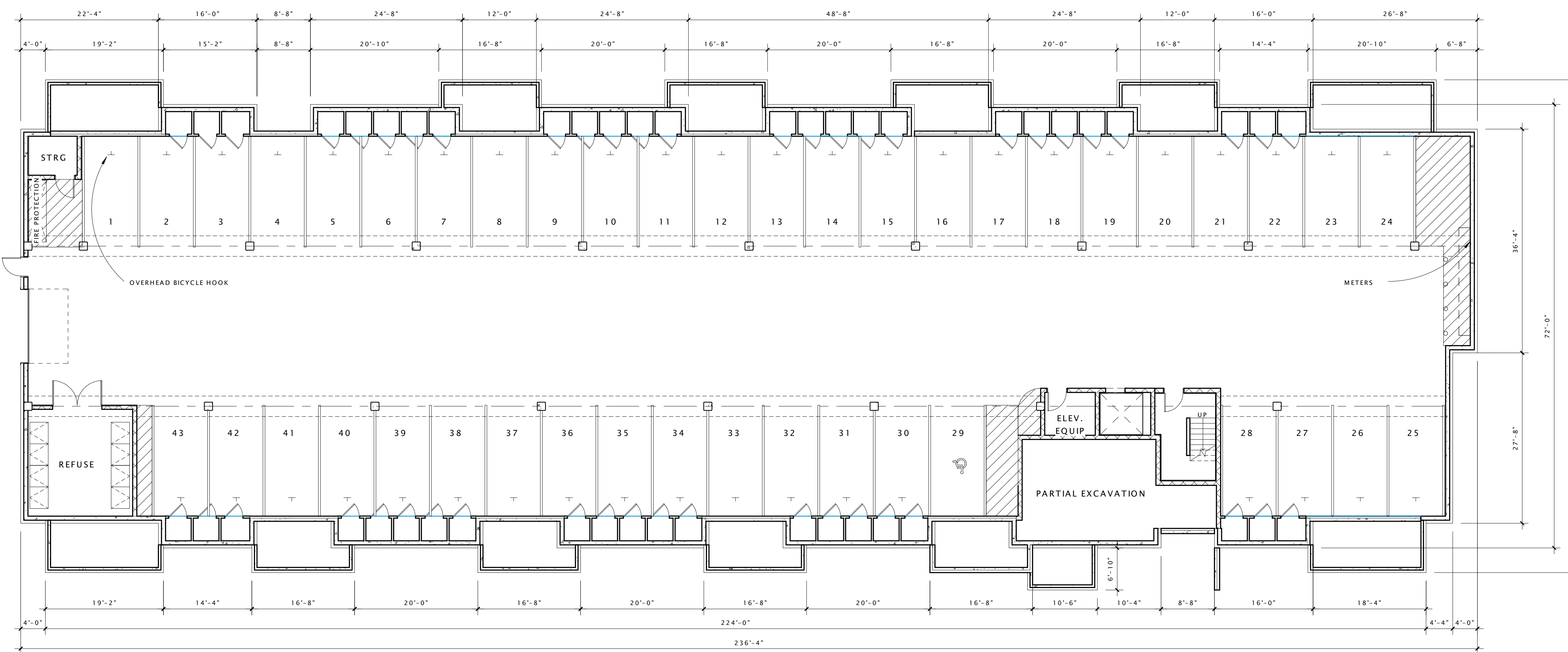
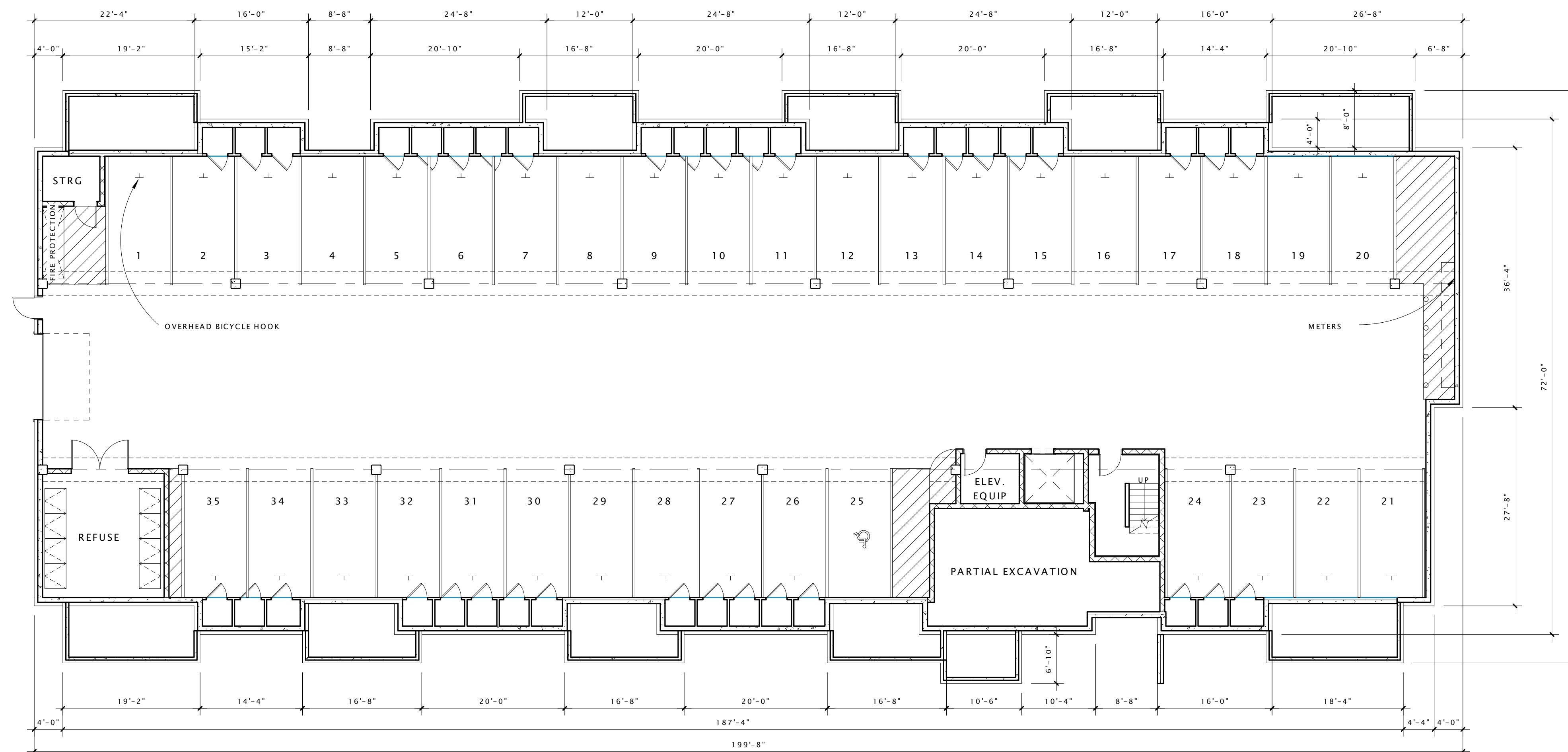


2 LIGHTING POLE DETAIL
 SCALE: NONE



1 SITE LIGHTING PLAN
 SCALE: 1" = 40'-0"





AMERICAN PARKWAY
APARTMENTS

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 11/14/2012

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

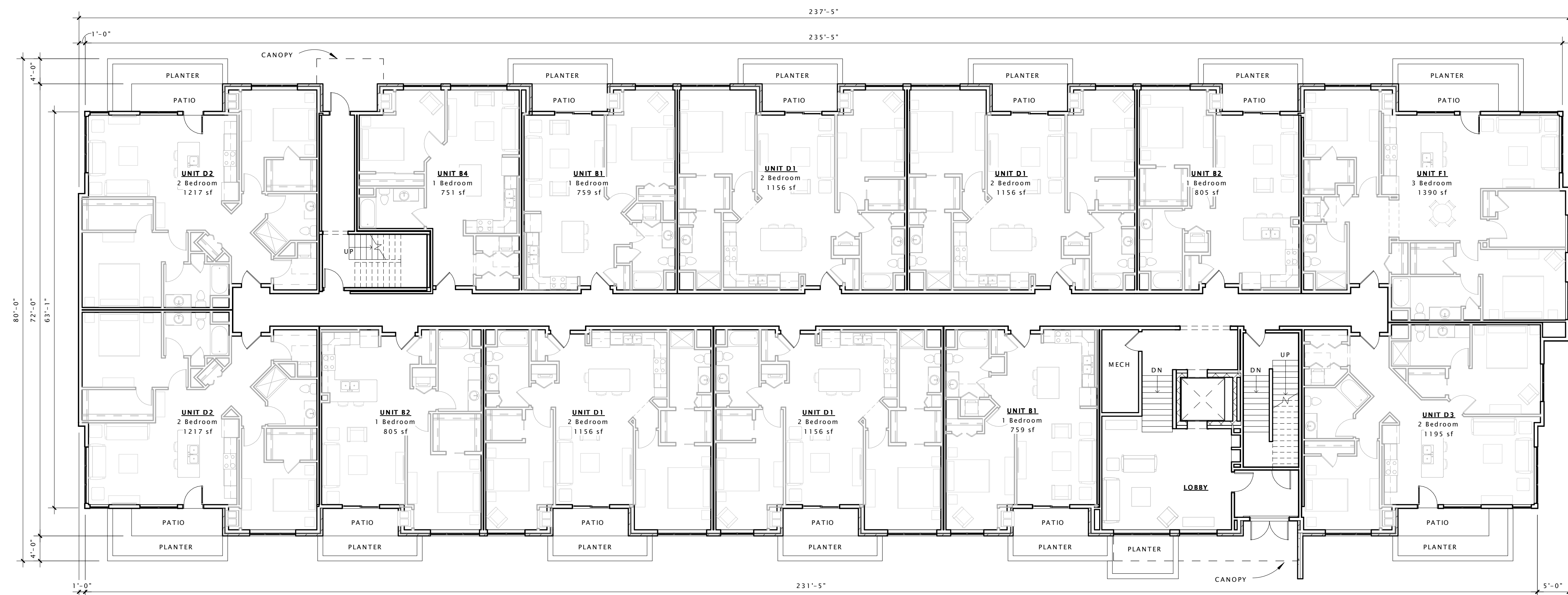
LOWER LEVEL PLAN

SHEET NUMBER

A100



**BUILDING TYPE A
(35 UNITS)**



**BUILDING TYPE B
(41 UNITS)**

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 11/14/2012

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101



BUILDING TYPE A
(35 UNITS)



BUILDING TYPE B
(41 UNITS)

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 11/14/2012

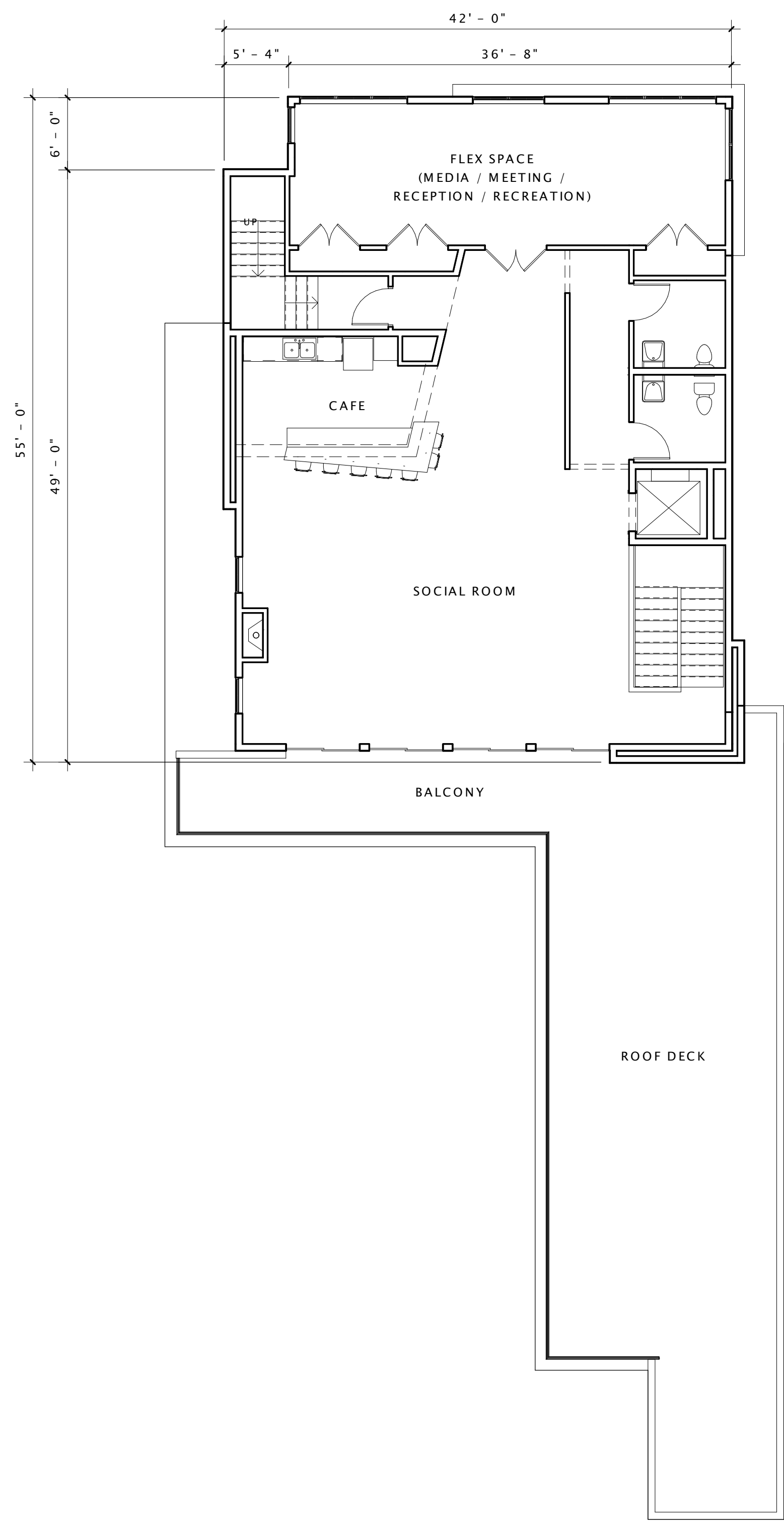
| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

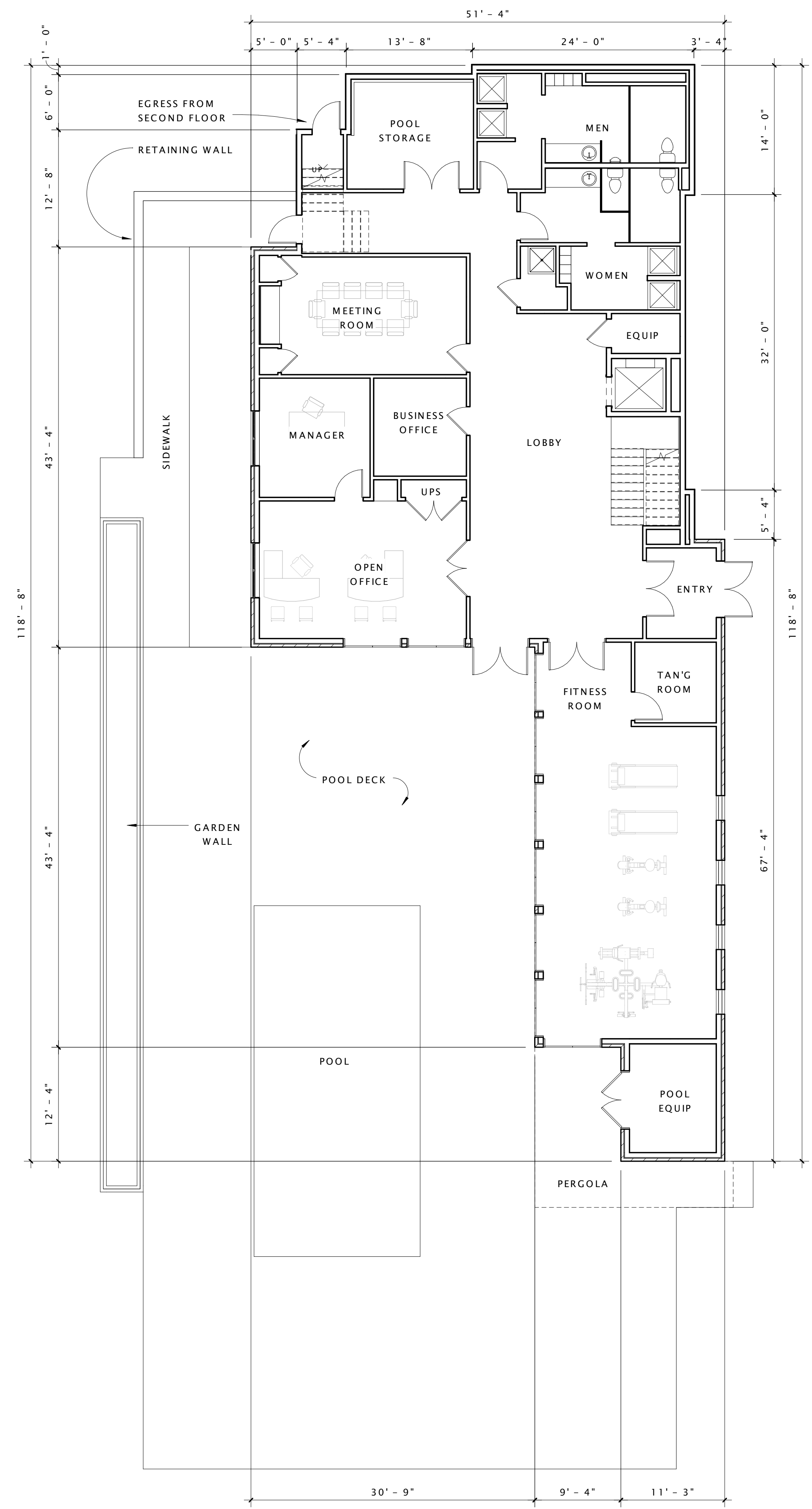
SECOND AND THIRD
FLOOR PLANS

SHEET NUMBER

A102



1 Second Floor Plan
1/8" = 1'-0"



16 First Floor Plan
1/8" = 1'-0"

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE February 27, 2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

CLUB HOUSE

SHEET NUMBER

A103

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 01/02/2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

BUILDING A - EXTERIOR ELEVATIONS

SHEET NUMBER

A200

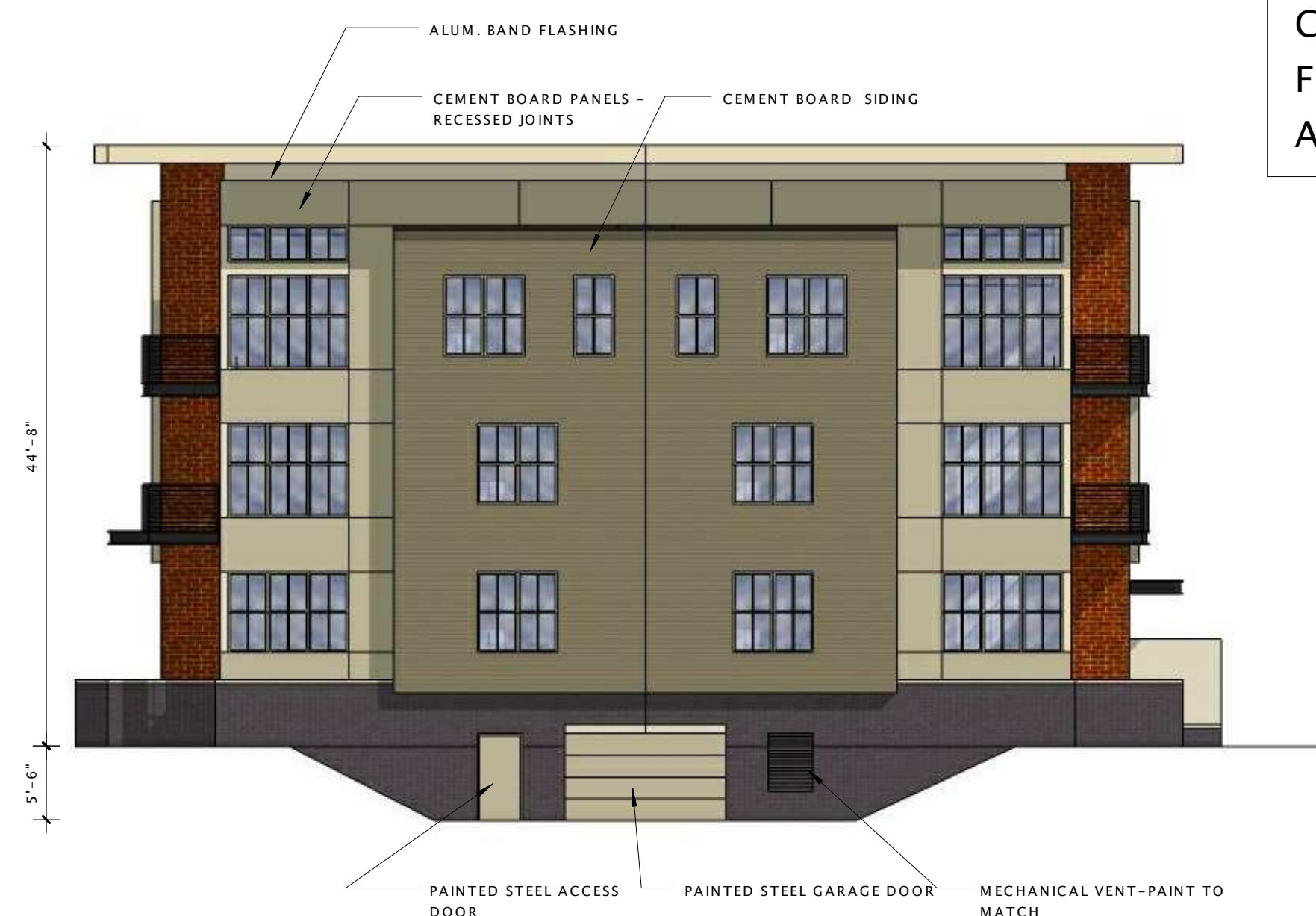


① Building A - Front Elevation
3/32" = 1'-0"



② Building A - Back Elevation
3/32" = 1'-0"

**Color Scheme 1
For Buildings:
A1, A3, B1, B2**



④ End Elevation - Garage
3/32" = 1'-0"



③ Typical End Elevation
3/32" = 1'-0"

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 01/02/2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

BUILDING B - EXTERIOR ELEVATIONS

SHEET NUMBER

A201



② Building B - Front Elevation
3/32" = 1'-0"



① Building B - Back Elevation
3/32" = 1'-0"

**Color Scheme 2
For Buildings:
A2, A4, B3**



④ - End Elevation - Garage
3/32" = 1'-0"



③ - End Elevation
3/32" = 1'-0"

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 01/02/2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

BUILDING A - EXTERIOR ELEVATIONS

SHEET NUMBER

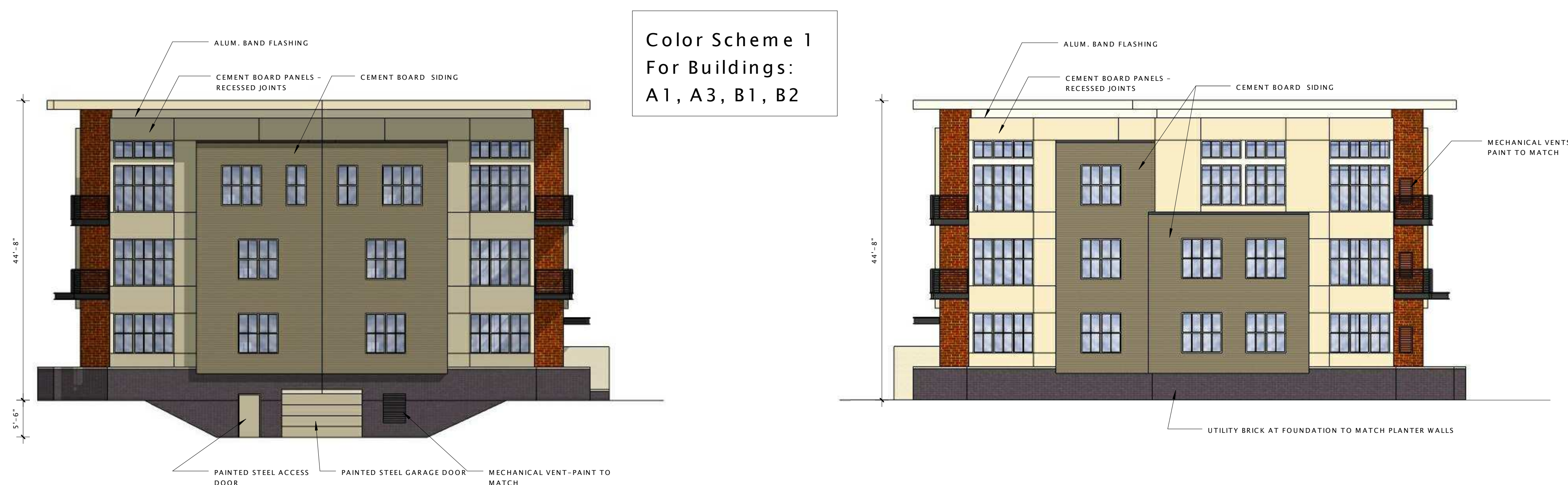
A200



① Building A - Front Elevation
3/32" = 1'-0"



② Building A - Back Elevation
3/32" = 1'-0"



④ End Elevation - Garage
3/32" = 1'-0"

Color Scheme 1
For Buildings:
A1, A3, B1, B2

③ Typical End Elevation
3/32" = 1'-0"

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 01/02/2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

BUILDING B - EXTERIOR ELEVATIONS

SHEET NUMBER

A201



② Building B - Front Elevation
3/32" = 1'-0"



① Building B - Back Elevation
3/32" = 1'-0"

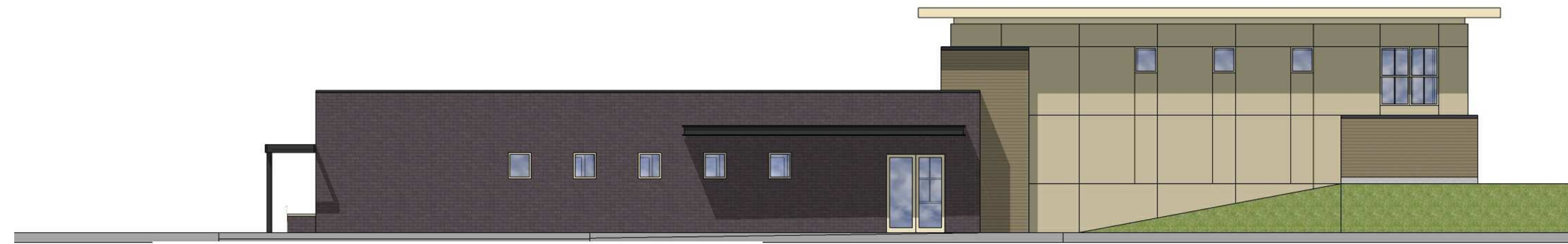
Color Scheme 2
For Buildings:
A2, A4, B3



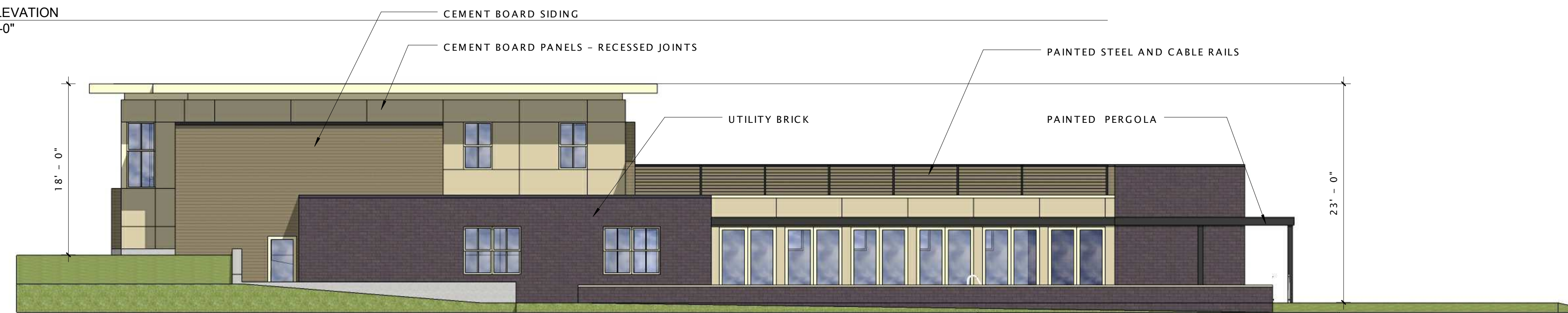
④ - End Elevation - Garage
3/32" = 1'-0"



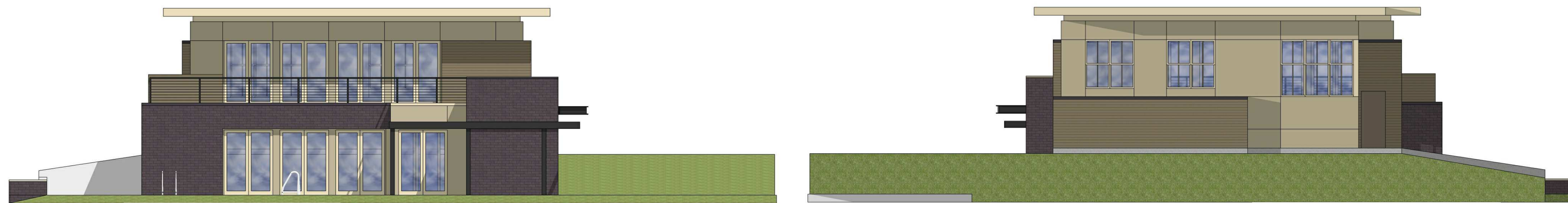
③ - End Elevation
3/32" = 1'-0"



② EAST ELEVATION
1/8" = 1'-0"



④ WEST ELEVATION
1/8" = 1'-0"



③ SOUTH ELEVATION
1/8" = 1'-0"

① NORTH ELEVATION
1/8" = 1'-0"

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE February 27, 2013

| Revision Schedule | | |
|-------------------|-------------|------|
| Mark | Description | Date |
| | | |

SHEET TITLE

CLUB HOUSE
EXTERIOR ELEVATIONS

SHEET NUMBER

A202