

VARIANCE FEES

MGO \$50.00
COMM \$490.00
Priority – Double above

PETITION FOR VARIANCE APPLICATION

**City of Madison
Building Inspection
Division**

215 Martin Luther King Jr. Blvd.
Madison, WI 53703
(608) 266-4568

Amount Paid
\$490 MH 5-23-13

Name of Owner Representative: Gerard Rabas	Project Description Day care for Meriter employee children	Agent, architect, or engineering firm Plunkett Raysich Architects LLP
Company (if applies) Meriter Hospital		No. & Street 2310 Crossroads Dr., Suite 2000
No. & Street 202 S. Park Street	Tenant name (if any) Meriter Hospital Day Care Facility	City, State, Zip Code Madison, WI 53718
City, State, Zip Code Madison, WI 53715	Building Address 1021 S. Mound Street	Phone 608 240-9900 x353
Phone 608 417-6572		Name of Contact Person Kirk Keller
e-mail grabas@meriter.com		e-mail kkeller@prarch.com

- The rule being petitioned reads as follows: (Cite the specific rule number and language. Also, indicate the nonconforming conditions for your project.)
SPS 62.3002 Elevator Car to Accommodate ambulance Stretcher. Substitute the following wording for IBC section 3002.4. (2) The elevator car provided for the fire department emergency access shall be of such size and configuration to accommodate an ambulance stretcher 24 inches by 84 inches The building was designed for horizontal egress from the two levels of the building. The specified elevator is within approximately 3" from complying, but is under the dimension specified in SPS 62.3002.
- The rule being petitioned cannot be entirely satisfied because: 1. The building was originally permitted with the two horizontal exits. 2. Approximately five weeks ago the architect was informed of Meriter Hospital's intent to sell the adjacent land and the access at the upper level horizontal exit that was permitted as an exit path. 3. At the point the architect was informed all foundation and elevator shaft work was near completion. 4. in addition, all related construction around the elevator was complete.
- The following alternatives and supporting information are proposed as a means of providing an equivalent degree of health, safety, and welfare as addressed by the rule:
The building will be utilized as a child care facility with an I4 occupancy. all infants and younger children will only be accommodated on the first floor with direct street level access. The day care staff is under the direct oversight of DHS and as such is trained in the care of the building users. The staff to occupant ratio is approximately only seven children to one employee. It is understood that the building will not be allowed to be converted to an adult day care use without the elevator being brought into code compliance.

Note: Please attach any pictures, plans, or required position statements.

VERIFICATION BY OWNER – PETITION IS VALID ONLY IF NOTARIZED AND ACCOMPANIED BY A REVIEW FEE AND ANY REQUIRED POSITION STATEMENTS.

Note: Petitioner must be the owner of the building. Tenants, agents, contractors, attorneys, etc. may not sign the petition unless a Power of Attorney is submitted with the Petition for Variance Application.

Gerard J. Rabas, being duly sworn, I state as petitioner that I have read the foregoing petition, that I believe it to be true, and I have significant ownership rights in the subject building or project.

Signature of owner <u>Gerard J. Rabas</u>	Subscribed and sworn to before me this date: <u>5/17/13</u>
Notary public <u>Shawn K. Sloten</u>	My commission expires: <u>5/7/17</u>

NOTE: ONLY VARIANCES FOR COMMERCIAL CODES ARE REQUIRED TO BE NOTARIZED.

**Shawn K. Sloten
Notary Public
State of Wisconsin**

Owner: Meriter Hospital	Tenant Name: Meriter Hospital Day Care Facility	Contact: Kirk Keller Plunkett Raysich Architects LLP
Address: 202 S Park St, Madison, WI 53715	Building Location: 1021 S Mound Street	Address: 2310 Crossroads Dr Madison, WI 53718
Name of Owner Contact: Gerard Rabas	Building Occupancy or Use: Group I4 Child Day Care Facility	Phone: 608-240-9900 x353

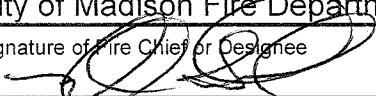
City of Madison Fire Department Position Statement

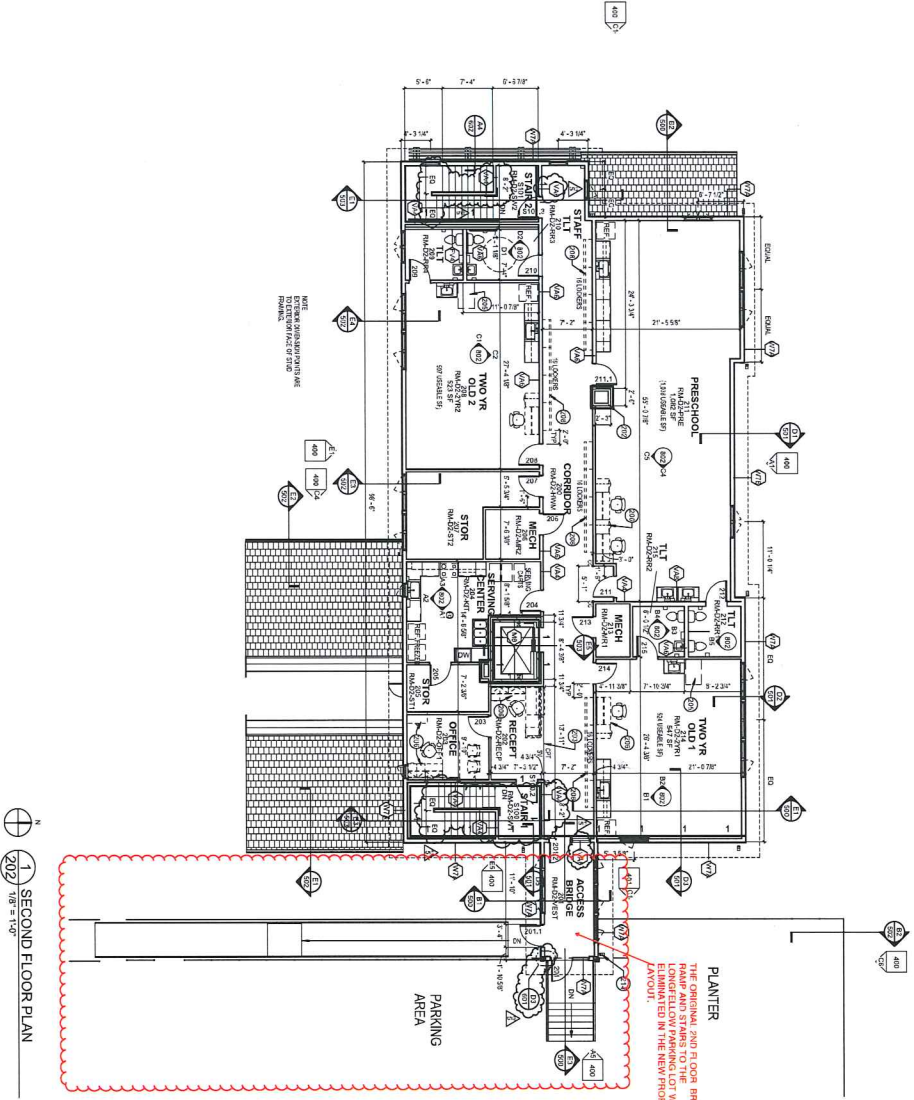
SPS 62.3002 Elevator Car to Accommodate a Stretcher

I have read the application for variance and recommend: (check appropriate box)

Approval
 Conditional Approval
 Denial
 No Comment

- The intent of the code section is to allow Emergency Medical Services to transport patients in a horizontal position to avoid further injury and render patient care effectively. The code section requires I, R-2, and ambulatory care and outpatient clinics to provide the stretcher size car based on the frequency of medical needs of these occupancies. The Child Day Care is a Group I; however, these occupants do not typically have a high demand for advanced life support and if so, their size would allow them to be completely horizontal with the head of the stretcher elevated.
- Any future changes to another type of Institutional Occupancy, Outpatient Clinic, Residential, or Ambulatory care facility will require compliance with this code section.

Name of Fire Chief or Designee (type or print) Bill Sullivan, Fire Protection Engineer	
City of Madison Fire Department	Telephone Number 608-261-9658
Signature of Fire Chief or Designee 	Date Signed 5-22-13



1 SECOND FLOOR PLAN
2012 7/8 = 1/8"

- FLOOR PLAN - SYMBOLS LEGEND**
- ① SECTION REFERENCE
 - ② EXTERIOR ELEVATION
 - ③ INTERIOR ELEVATION
 - ④ FLOOR PLAN REFERENCE
 - ⑤ ONE FOOT THE REFERENCE CONSTRUCTION
 - ⑥ TWO FOOT THE REFERENCE CONSTRUCTION
 - ⑦ DATA REFERENCE
 - ⑧ COMMON DATA REFERENCE TO DETAIL NUMBER
 - ⑨ ANNOTATION TYPE
 - ⑩ NON-COMMERCIAL TYPE
 - ⑪ COMMERCIAL TYPE
 - ⑫ SECTION CANNOT BE LOCATED
 - ⑬ SECTION CANNOT BE LOCATED
- FLOOR PLAN - GENERAL NOTES**
1. EXISTING CONDITIONS SHALL BE MAINTAINED UNLESS OTHERWISE INDICATED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 5. REFER TO SHEET FOR ROOM SCHEDULES, ROOM TYPES AND FINISHES.

GENERAL BOARD PARTITIONS - GENERAL NOTES

ALL PARTITIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

NOTE #	FLOOR PLAN NOTE
201	MECH
202	MECH
203	MECH
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206	MECH
207	MECH
208	MECH
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300	MECH

MASONRY PARTITIONS - GENERAL NOTES

ALL MASONRY PARTITIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.

REFER TO SHEET FOR ROOM SCHEDULES, ROOM TYPES AND FINISHES.

KERNOLE LEGEND - EXTERIOR WALL TYPES

1. EXTERIOR WALL TYPE 1: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

2. EXTERIOR WALL TYPE 2: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

3. EXTERIOR WALL TYPE 3: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

4. EXTERIOR WALL TYPE 4: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

5. EXTERIOR WALL TYPE 5: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

6. EXTERIOR WALL TYPE 6: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

7. EXTERIOR WALL TYPE 7: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

8. EXTERIOR WALL TYPE 8: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

9. EXTERIOR WALL TYPE 9: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.

10. EXTERIOR WALL TYPE 10: 8" CMU WITH 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD ON INSIDE FACE.