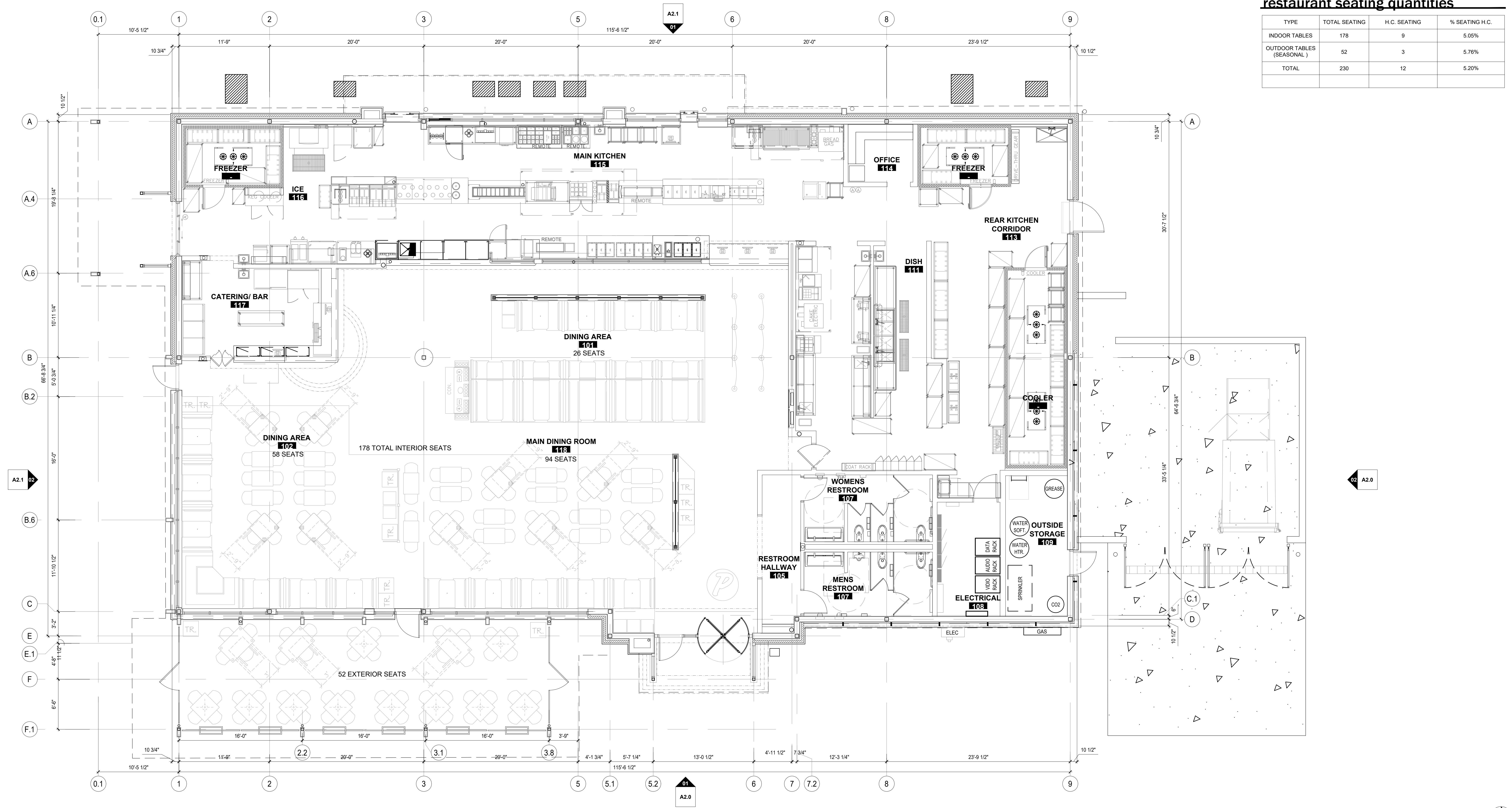


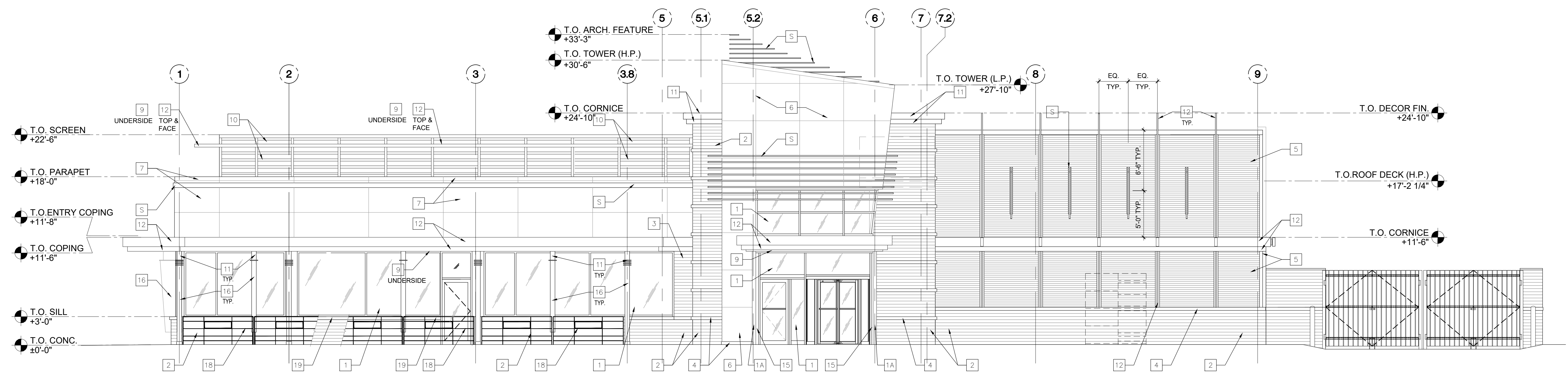
restaurant seating quantities

TYPE	TOTAL SEATING	H.C. SEATING	% SEATING H.C.
INDOOR TABLES	178	9	5.05%
OUTDOOR TABLES (SEASONAL)	52	3	5.76%
TOTAL	230	12	5.20%



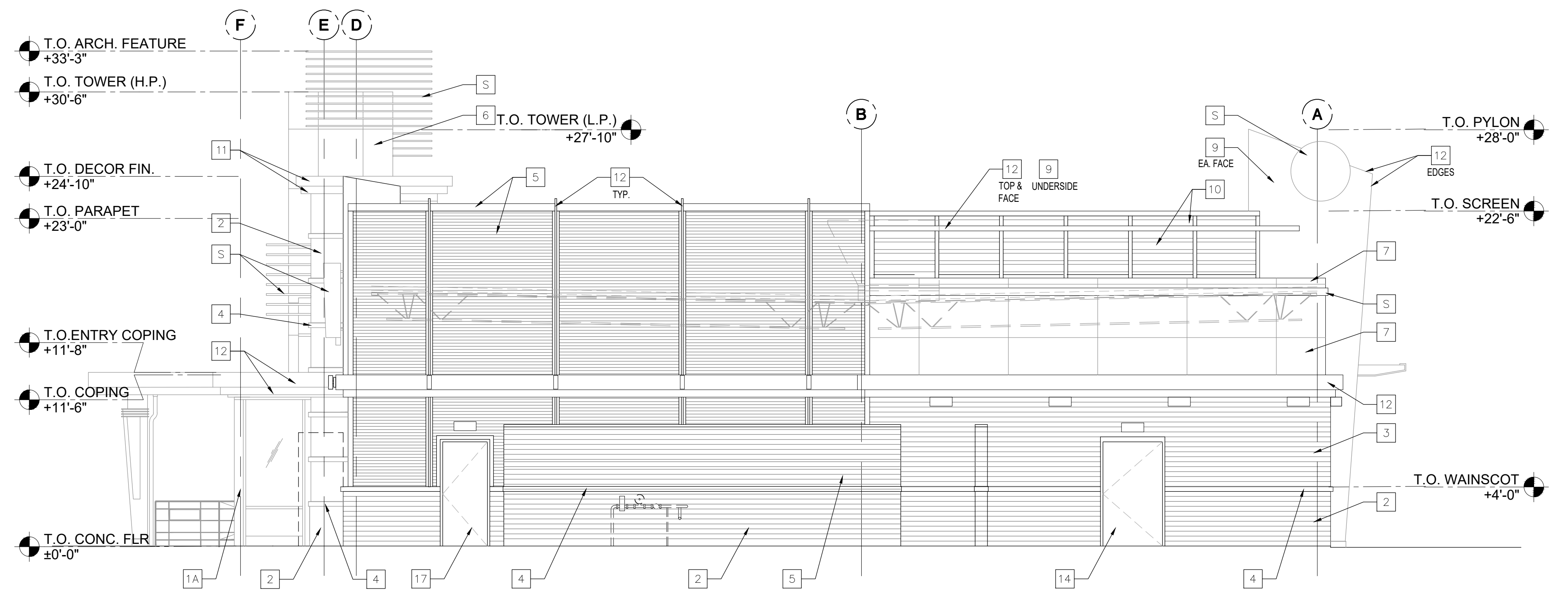
01 seating floor plan
SCALE | 3/16" = 1'-0"

B:\P\PRNS0002\02002_W_Madison_WI_Madison05\Bldg02002_Arch\02002002_Planing and Zoning\PRNS0002002_A1.1_Seating Floor Plan.dwg (plotted: 11/18/2020 8:59 PM) (w/td)

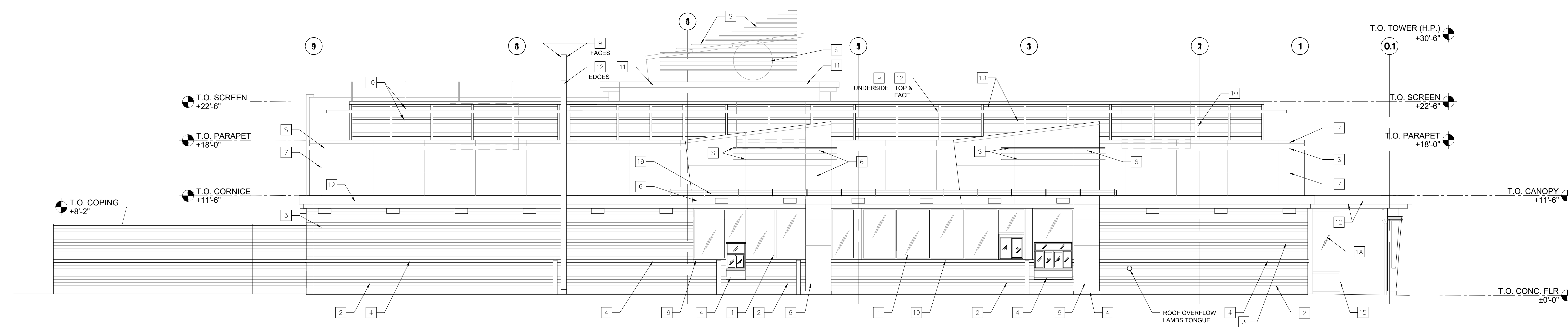


01 east elevation (front)
SCALE | 3/32" = 1'-0"

MATERIAL SCHEDULE		
KEY NOTE	MATERIAL	MATERIAL SPECIFICATION
1	ALUMINUM STOREFRONT	2"W x 4-1/2"D THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1" INSULATED GLASS CENTER SET, OLD CASTLE SERIES 3000XT OUTSIDE GLAZED OR EQUAL. COLORS: GLASS, "SOLAR GRAY" SOLARBAN 60 (TEMPERED AS REQUIRED), ALUM. CLEAR ANOD.
1A	ALUMINUM STOREFRONT	2"W x 4-1/2"D NON-THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1/4" CENTER SET, OLD CASTLE SERIES FG-1000 OUTSIDE GLAZED OR EQUAL. COLORS: GLASS, CLEAR (TEMPERED AS REQUIRED), ALUM. CLEAR ANOD.
2	FACE BRICK	UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: EBONITE SMOOTH
3	FACE BRICK	UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: RED/BROWN RANGE
4	PRECAST STONE TRIM	SMOOTH FACE CAST STONE TRIM PIECES SIZE AND SHAPE VARY RENAISSANCE STONE COLOR: ALABASTER
5	CORRUGATED WALL PANEL	PRE-FINISHED 7/8" DEEP CORRUGATED WALL PANELS, 24GA. STEEL WITH TRIM PAC-CLAD PETERSEN COLOR: COLONIAL RED
6	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: BONE WHITE
7	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: SILVERSMITH
8	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: RUBY RED
9	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: CARDINAL RED
10	RIBBED METAL PANEL	PRECISION SERIES WALL PANEL HIGHLIGHT C2, (CLIP) 24GA. STEEL PAC-CLAD PETERSEN COLOR: CHARCOAL
11	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: BONE WHITE
12	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: SILVERSMITH
13	SOFFIT PANELS	PRE-FINISHED SOFFIT PANELS PAC-850 HALF VENT, .032 ALUM. WITH TRIM PAC-CLAD PETERSEN OR EQUAL COLOR: CARDINAL RED
14	STAINLESS STEEL	BRUSHED, REFER TO DOOR SCHEDULE SHEET A8.0
15	MISC. BRAKE METAL	CLEAR ANOD. ALUM. TO MATCH STOREFRONT
16	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: CHARCOAL
17	PAINT	PAINT DOOR AND TRIM TO MATCH ADJACENT SURFACES
18	METAL FENCE	ORNAMENTAL IRON FENCE OR EQUAL, SEE DETAIL DRAWING A1.3, POWDER COAT COLOR: TBD
19	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: SILVERSMITH
S	ORNAMENTAL FEATURE	REFER TO A5 SERIES DRAWINGS & SIGN PACKAGE



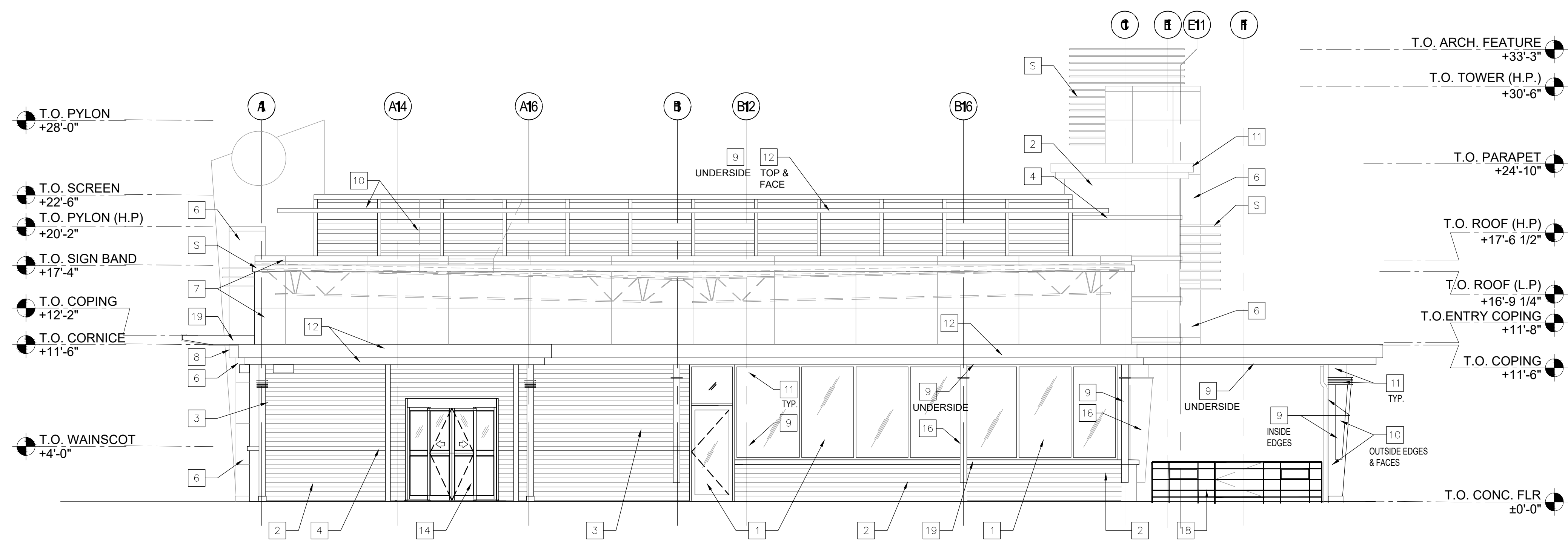
02 north elevation (side)
SCALE | 3/32" = 1'-0"



01 west elevation (rear)
SCALE | 3/32" = 1'-0"

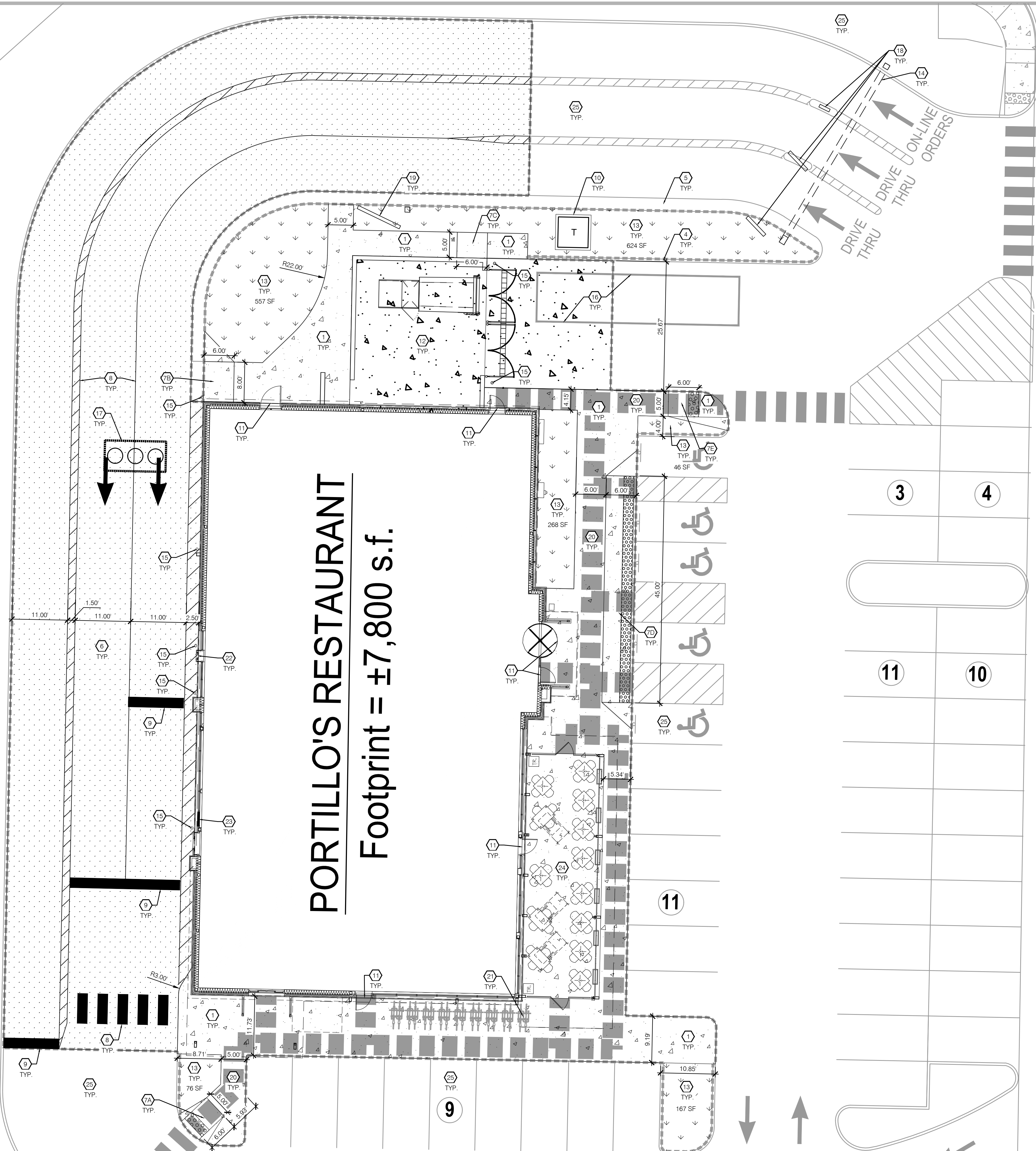
MATERIAL SCHEDULE

KEY NOTE	MATERIAL	MATERIAL SPECIFICATION
1	ALUMINUM STOREFRONT	2"W x 4-1/2"D THERMALLY BROKEN PRE-FIN. ALUM. STOREFRONT W/ 1" INSULATED GLASS CENTER SET, OLD CASTLE SERIES 3000XT OUTSIDE GLAZED OR EQUAL COLORS: GLASS, "SOLAR GRAY" SOLARBAN 80 (TEMPERED AS REQUIRED.), ALUM. CLEAR ANOD.
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2	FACE BRICK	UTILITY SIZE FACE BRICK RUNNING BOND SIOUX CITY BRICK COLOR: EBONITE SMOOTH
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5	CORRUGATED WALL PANEL	PRE-FINISHED 7/8" DEEP CORRUGATED WALL PANELS, 24GA. STEEL WITH TRIM PAC-CLAD PETERSEN COLOR: COLONIAL RED
6	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: BONE WHITE
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8	COMPOSITE WALL PANEL	PRE-FINISHED QUICKPANEL WALL PANEL SYSTEM WITH MATCHING TRIM COLOR: RUBY RED
9	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: CARDINAL RED
10	RIBBED METAL PANEL	PRECISION SERIES WALL PANEL HIGHLINE C2, (CLIP) 24GA. STEEL PAC-CLAD PETERSEN COLOR: CHARCOAL
11	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: BONE WHITE
12	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: SILVERSMITH
13	SOFFIT PANELS	PRE-FINISHED SOFFIT PANELS PAC-850 HALF VENT, .032 ALUM. WITH TRIM PAC-CLAD PETERSEN OR EQUAL COLOR: CARDINAL RED
14	STAINLESS STEEL	BRUSHED. REFER TO DOOR SCHEDULE SHEET A8.0
15	MISC. BRAKE METAL	CLEAR ANOD. ALUM. TO MATCH STOREFRONT
16	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: CHARCOAL
17	PAINT	PAINT DOOR AND TRIM TO MATCH ADJACENT SURFACES
18	METAL FENCE	ORNAMENTAL IRON FENCE OR EQUAL. SEE DETAIL DRAWING A1.3, POWDER COAT COLOR: TBD
19	MISC. BRAKE METAL	PAC-CLAD PETERSEN COLOR: SILVERSMITH
5	ORNAMENTAL FEATURE	REFER TO A5 SERIES DRAWINGS & SIGN PACKAGE



02 south elevation (side)
SCALE | 3/32" = 1'-0"

P:\PR\PR\PR\NS002_M_Madison_WI_Madison03_Bulldoz_Civil03_Construction\NS002000_05_C1.01.dwg, plotted 11/16/2020 10:51 AM (madd44)



PORTILLO'S RESTAURANT
 Footprint = ±7,800 s.f.

keyed notes

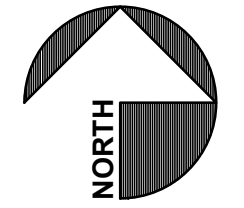
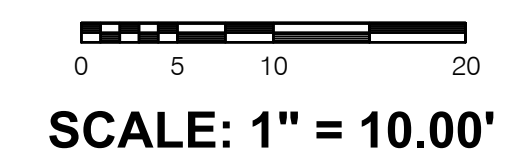
- ① CONCRETE SIDEWALK.
- ② NOT USED.
- ③ NOT USED.
- ④ CONCRETE CURB BY LANDLORD. SEE LANDLORD'S CIVIL PLANS BY RA SMITH.
- ⑤ RAISED CURBLESS SIDEWALK BY LANDLORD. SEE LANDLORD'S CIVIL PLANS BY RA SMITH.
- ⑥ CONCRETE PAVING.
- ⑦A CURB RAMP A.
- ⑦B CURB RAMP B.
- ⑦C CURB RAMP C.
- ⑦D CURB RAMP D.
- ⑦E CURB RAMP E.
- ⑧ ALKYL-READY MIX PAVEMENT STRIPING PER STATE DOT SPECIFICATIONS.
- ⑨ STOP BAR PER LOCAL JURISDICTION AND STATE DOT OR JURISDICTION STANDARD DRAWING.
- ⑩ CONCRETE TRANSFORMER PAD PER LOCAL UTILITY COMPANY SPECIFICATIONS. SEE UTILITY PLAN.
- ⑪ CONTRACTOR TO PROVIDE EXPANSION JOINT AT DOORS AND ALL LOCATIONS WHERE CONCRETE IS SHOWN ADJACENT TO THE BUILDING. SEE ARCHITECTURAL PLANS FOR JOINT DETAIL.
- ⑫ TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- ⑬ LANDSCAPE AREA. SEE LANDSCAPE PLAN.
- ⑭ GATEWAY SIGNAGE FEATURE. SEE ARCHITECTURAL PLANS.
- ⑮ BOLLARD (7 TOTAL).
- ⑯ LOADING AREA (40' LENGTH).
- ⑰ GREASE INTERCEPTOR.
- ⑱ PRE-SALES BOARD. SEE ARCHITECTURAL PLANS.
- ⑲ MENU BOARD. SEE ARCHITECTURAL PLANS.
- ⑳ ACCESSIBLE ROUTE FROM BUILDING TO ACCESSIBLE PARKING STALLS. CROSS SLOPE IS NOT TO EXCEED 2.00%. SEE GRADING PLAN FOR SPOT GRADE ELEVATIONS.
- ㉑ BICYCLE RACK (9 TOTAL).
- ㉒ PAY WINDOW. SEE ARCHITECTURAL PLANS.
- ㉓ PICK-UP WINDOW. SEE ARCHITECTURAL PLANS.
- ㉔ OUTDOOR SEATING AREA. SEE ARCHITECTURAL PLANS.
- ㉕ SITE IMPROVEMENTS BY LANDLORD. SEE LANDLORD'S CIVIL PLANS BY RA SMITH.

legend

HEAVY DUTY CONCRETE PAVING.	
NATURAL GRAY CONCRETE	
LANDSCAPE, REFER TO LANDSCAPE PLAN. SEE SHEET L1.01.	
ADA ACCESSIBLE ROUTE: (SEE KEYED NOTE #20)	
LIMITS OF DISTURBANCE	



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architect + engineer



7007 DISCOVERY BLVD
 DUBLIN, OH 43017
 614.634.7000 T

 WDPARTNERS.COM

project no. | PRN0002

owner



Portillo's Hot Dogs, LLC
 2001 Spring Road, Ste 400
 Oak Brook, IL 60523

project info

WEST TOWNE MALL
 522 S. GAMMON ROAD
 MADISON, WI 53719

prototype:
 DINER 2

issue dates

submission:	date
PERMIT	11/17/2020
BID	-
CONSTRUCTION	-

revisions:

#	description	date

designed by: BF
 checked by: CV

seal

sheet info

SITE IMPROVEMENT
 PLAN

C1.01

electrical
mechanical
plumbing
equipment
architectural
structural
landscape
civil



EAST ELEVATION - Main Entrance (Patio Location May Vary)

Scale: N.T.S.



SOUTH ELEVATION

Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019

File: P:\PRTNS\0002_PRTNS0002_W_Madison_WI_Madison05\05_Bu\05_Arch_Eng\05_Colors\05_Paving and Zoning\05_Colors_Colors_Elevation.dwg, plotdate: 11/19/2020 7:39:44 AM (4/19)



WEST ELEVATION - Drive-Thru Service

Scale: N.T.S.



NORTH ELEVATION- Rear- Back of House

Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019



ENTRY AND PATIO - Street View (Patio Location May Vary)

Scale: N.T.S.

Scheme #1B RED - APRIL 2nd, 2019

File: P:\PRTNS0002\W_Madison_WI_Madison05\Building\Arch\Engineering\Portillo's\Portillo's_Color_Perspective.dwg, plotdate: 11/18/2020 7:42 PM (4/8)



project info

WEST TOWNE MALL
522 S. GAMMON ROAD
MADISON, WI 53719

prototype:
DINER 2

issue dates

submission:	date
P&Z SUBMISSION	11/18/2020

revisions:	description	date
1		

designed by:	NM
checked by:	djm

seal

sheet info

PROPOSED COLOR
PERSPECTIVE

4



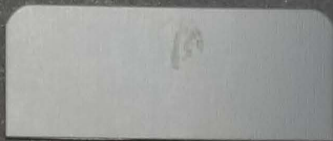
DINER CONCEPT AERIAL VIEW - Drive-Thru & B.O.H.

Scale: N.T.S.

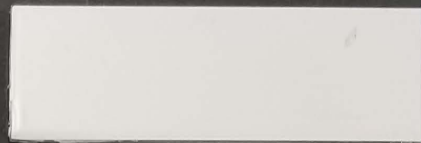
Scheme #1B RED - APRIL 2nd, 2019



Sioux City Brick: Cabernet Burgundy



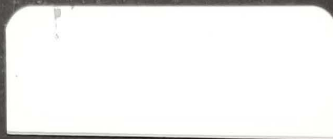
Charcoal



Bone White



Arriscraft White Rocked Georgia Sill



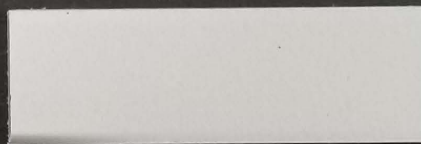
Clear Anodized Aluminum



Brite Red



Colonial Red



Silversmith



Sioux City Brick: Ebonite Smooth



SOUTH ELEVATION - Entrance and Outdoor Patio



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 522 Gammon Road

Name of Project West Towne - Portillo's

Owner / Contact Todd Mosher

Contact Phone (847) 682-9241 Contact Email todd.mosher@rasmith.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 80,557 SF

Total landscape points required 1,345

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	4	140	28	980
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3			153	459
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4			49	196
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2			317	634
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals				140		2269

Total Number of Points Provided 2409

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

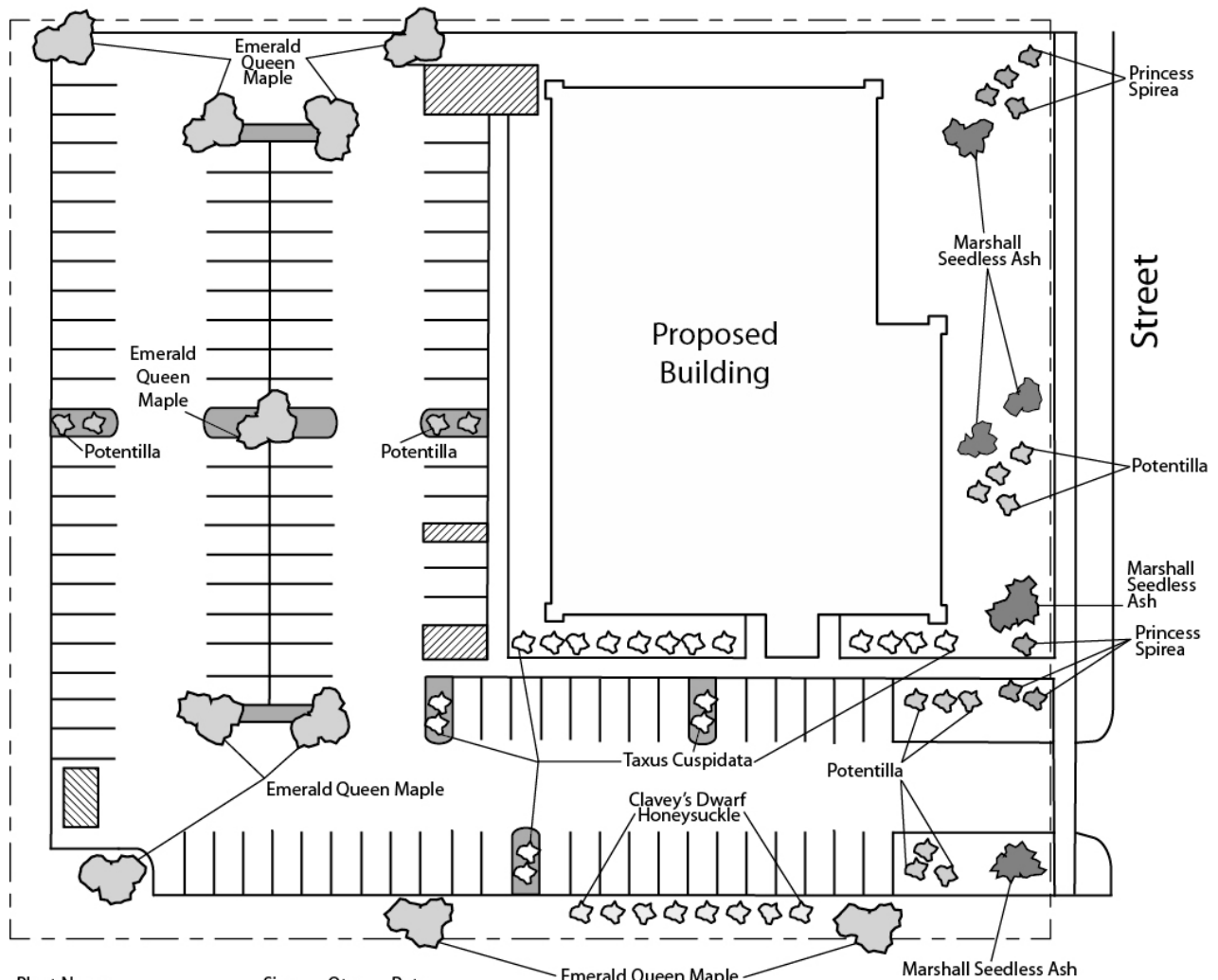
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
			TOTAL 585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 3. Storage areas including trash and loading.
 4. Lighting (landscape, pedestrian or parking area).
 5. Irrigation.
 6. Hard surface materials.
 7. Labeling of mulching, edging and curbing.
 8. Areas of seeding or sodding.
 9. Areas to remain undisturbed and limits of land disturbance.
 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 11. Existing trees eight (8) inches or more in diameter.
 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.

SITE, GRADING, EROSION CONTROL, PAVING, UTILITY AND LANDSCAPE PLANS

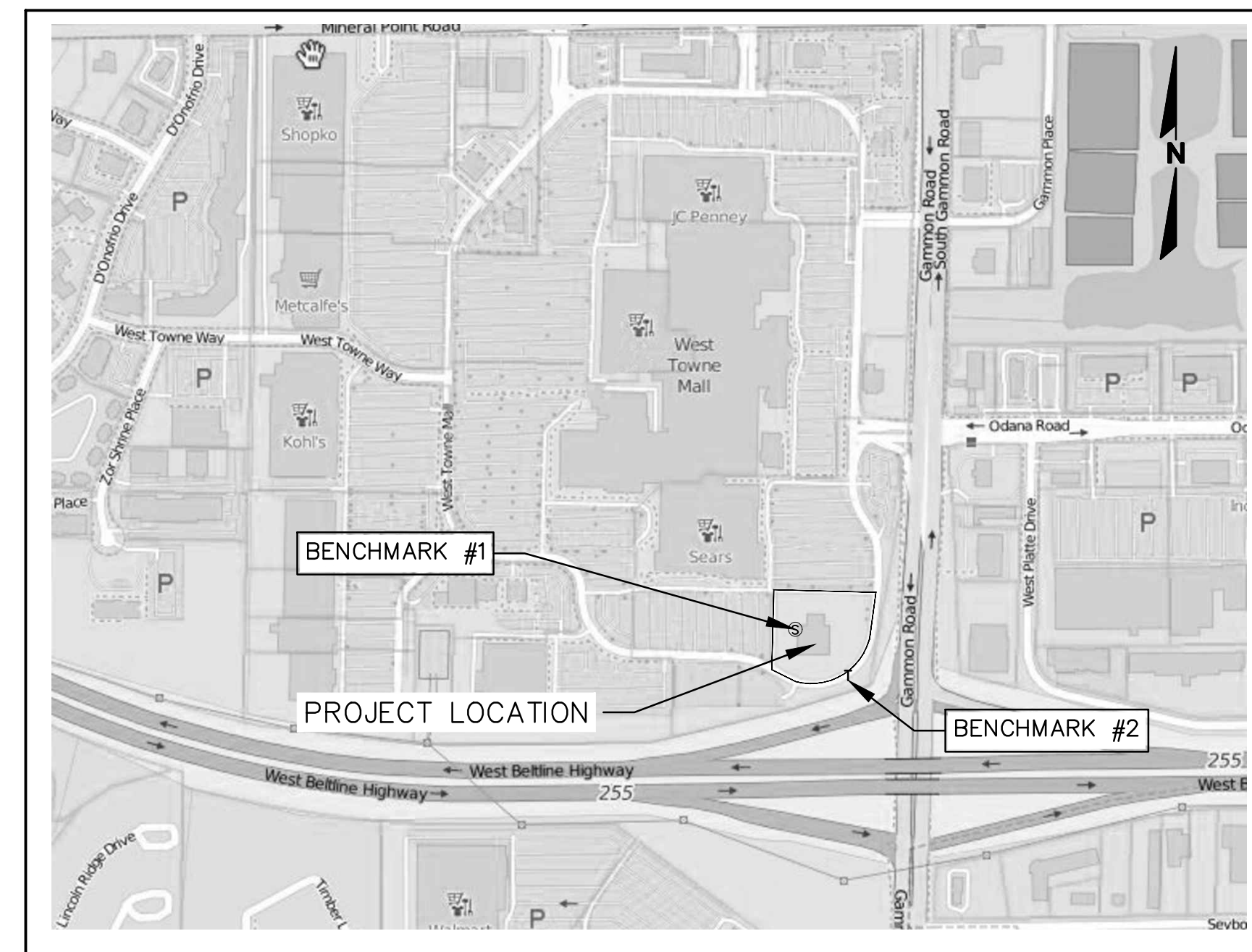
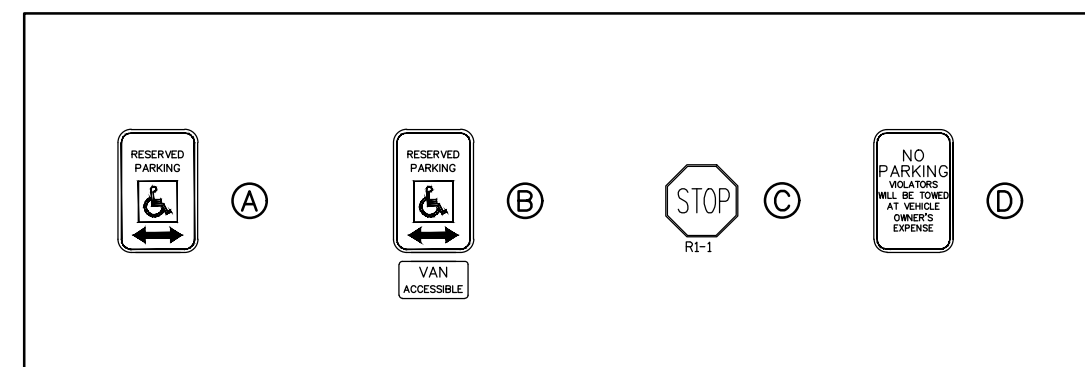
FOR PORTILLO'S AT WEST TOWNE MALL

CITY OF MADISON, WISCONSIN

LEGEND

PROPOSED	EXISTING	
()	()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
○	○	1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
○	○	1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
○	○	BOLLARD
○	○	SOIL BORING/MONITORING WELL
○	○	FLAGPOLE
○	○	MALBOX
○	○	SIGN
○	○	BILLBOARD
○	○	CONTROL BOX
○	○	TRAFFIC SIGNAL
○	○	RAILROAD CROSSING SIGNAL
○	○	CABLE PEDESTAL
○	○	POWER POLE
○	○	GUY POLE
○	○	GUY WIRE
○	○	LIGHT POLE
○	○	SPOT/PEDESTAL/PAVER ACCENT LIGHT
○	○	HANDICAPPED PARKING
○	○	ELECTRIC MANHOLE
○	○	ELECTRIC PEDESTAL
○	○	TELEPHONE MANHOLE
○	○	TELEPHONE PEDESTAL
○	○	MARKED FIBER OPTIC
○	○	GAS VALVE
○	○	GAS METER
○	○	GAS WARNING SIGN
○	○	STORM MANHOLE
○	○	ROUND INLET OR CATCH BASIN
○	○	SQUARE INLET OR SLOT DRAIN
○	○	STORM SEWER END SECTION
○	○	SANITARY MANHOLE
○	○	CLEANOUT OR VENT
○	○	SANITARY INTERCEPTOR MANHOLE
○	○	MISCELLANEOUS MANHOLE
○	○	WATER VALVE
○	○	HYDRANT
○	○	WATER SERVICE CURB STOP
○	○	WATER MANHOLE
○	○	WELL
○	○	WATER SURFACE
○	○	WETLANDS FLAG
○	○	MARSH
○	○	CONIFEROUS TREE
○	○	DECIDUOUS TREE
○	○	SHRUB
○	○	EDGE OF TREES
○	○	GRAVITY SANITARY SEWER
○	○	SANITARY FORCE MAIN
○	○	STORM SEWER
○	○	WATERMAIN
○	○	GAS MAIN
○	○	ELECTRIC SERVICE
○	○	OVERHEAD WIRES
○	○	BUREAU ELEC. SERV.
○	○	TELEPHONE SERVICE
○	○	MARKED CABLE TV LINE
○	○	MARKED FIBER OPTIC
○	○	GRAVITY LEACHATE SYSTEM
○	○	LEACHATE FORCE MAIN
○	○	EXISTING UTILITY TO BE ABANDONED IN PLACE
○	○	EXISTING MANHOLE/INLET TO BE ABANDONED IN PLACE OR EXISTING LIGHT POLE AND BASE TO BE REMOVED.
○	○	PROPOSED 1-FOOT GRADE CONTOUR
○	○	PROPOSED 5-FOOT GRADE CONTOUR
○	○	SPOT/CURB FLOW LINE ELEVATION
○	○	TOP OF CURB SPOT ELEVATION
○	○	TEMPORARY INLET PROTECTION
○	○	PROPOSED CONSTRUCTION ENTRANCE
○	○	CONCRETE SIDEWALK PAVEMENT
○	○	STANDARD DUTY ASPHALT PAVEMENT
○	○	HEAVY DUTY ASPHALT PAVEMENT
○	○	HEAVY DUTY CONCRETE PAVEMENT
○	○	PROPOSED LANDSCAPE AREA

SIGN LEGEND



VICINITY MAP
SCALE: NOT TO SCALE

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- VERTICAL DATUM IS NAVD1927.
- TOPOGRAPHIC AND EXISTING CONDITIONS SHOWN HERON CREATED FROM SURVEY DATA TAKEN ON SEPTEMBER 17, 2020.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION

BENCHMARKS

BENCHMARK #1
CUT T ON SANITARY RIM
NORTHWEST CORNER OF EX BLDG
ELEV: 210.84

BENCHMARK #2
CHISELED T IN CURB
ELEV: 210.70

PROJECT DIRECTORY

OWNER/DEVELOPER:

SERTAGE GROWTH PROPERTIES
ANDREW GLASSMAN
DEVELOPMENT ASSOCIATE
500 FIFTH AVENUE, SUITE 1530
NEW YORK, NY 10110
PH: (646)-876-7380
EMAIL: AGLASSMAN@SERTAGE.COM

STORM SEWER UTILITY:
CITY OF MADISON
ROBERT PHILLIPS, P.E.
CITY ENGINEER
CITY-COUNTY BUILDING
210 MARTIN LUTHER KING, JR. BLVD.
MADISON, WI 53703
PH: (608) 266-4751
EMAIL: RPHILLIPS@CITYOFMADISON.COM

ELECTRIC UTILITY:
ALLIANT ENERGY
DENISE GEVLEINER
PH: (608) 845-1129
(608) 575-7833

SANITARY SEWER UTILITY:
CITY OF MADISON
ROBERT PHILLIPS, P.E.
CITY ENGINEER
CITY-COUNTY BUILDING
210 MARTIN LUTHER KING, JR. BLVD.
MADISON, WI 53703
PH: (608) 266-4751
EMAIL: RPHILLIPS@CITYOFMADISON.COM

MADISON FIRE DEPARTMENT:
BILL SULLIVAN
FIRE PROTECTION ENGINEER
CITY OF MADISON FIRE DEPARTMENT
314 WEST DAYTON STREET
MADISON, WI 53703
PH: (608) 281-9658
EMAIL: WSULLIVAN@CITYOFMADISON.COM

WATER UTILITY:
MADISON WATER UTILITY
ADAM WIEDERHOEFT
119 EAST OLIN AVE.
MADISON, WI 53713
PH: (608) 266-9121
EMAIL: AWIEDERHOEFT@MADISONWATER.ORG

GAS UTILITY:
MADISON GAS & ELECTRIC COMPANY
STEVEN BEVERS DORF, P.E.
133 S BLAIR ST
MADISON, WI 53788
PH: (608) 252-1552 OFFICE
(608) 444-9620 MOBILE

A division of a part of the Southeast 1/4 of the Northeast 1/4 of Section 26, Township 7 North, Range 8 East, in the City of Madison, Dane County, Wisconsin.

COMMENCING at the Southeast corner of the Northeast 1/4 of said Section 26; thence North 01° 18' 41" East along the East line of said 1/4 Section a distance of 265.09 feet to a point; thence North 88° 41' 19" West 319.23 feet to the point of beginning of lands to be described; thence Northwesterly 163.96 feet along an arc of a curve whose center lies the North, whose radius is 179.65 feet and whose chord bears North 87° 40' 53" West 158.33 feet to a point; thence North 61° 32' 05" West 72.39 feet to a point; thence Northwesterly 15.16 feet along an arc of a curve whose center lies the East, whose radius is 10.00 feet and whose chord bears North 18° 06' 28" West 13.75 feet to a point; thence North 25° 19' 10" East 30.59 feet to a point; thence North 01° 18' 41" East 187.04 feet to a point; thence Northeasterly 23.56 feet along an arc of a curve whose center lies the Southeast, whose radius is 15.00 feet and whose chord bears North 46° 18' 41" East 21.21 feet to a point; thence South 88° 41' 19" East 184.65 feet to a point; thence Southeasterly 23.88 feet along an arc of a curve whose center lies the Southwest, whose radius is 15.20 feet and whose chord bears South 43° 41' 19" East 21.50 feet to a point; thence South 01° 18' 41" West 263.57 feet to the point of beginning.

Containing 60,908 Square Feet or 1.3982 Acres.

Prepared for: Sertage SRC Finance LLC
Fieldwork completed on September 17, 2020

Survey No. 166794,

PLAN

INDEX

SHEET NO.	DESCRIPTION
C000	COVER SHEET
C001	EXISTING CONDITIONS
C100	DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING & EROSION CONTROL PLAN
C400	UTILITY PLAN
C500	EROSION CONTROL DETAILS
C501	UTILITY DETAILS
C502	STORMWATER DETAILS
C503	SIGNAGE AND STRIPING DETAILS
C504	PAVING DETAILS
C600	SPECIFICATIONS

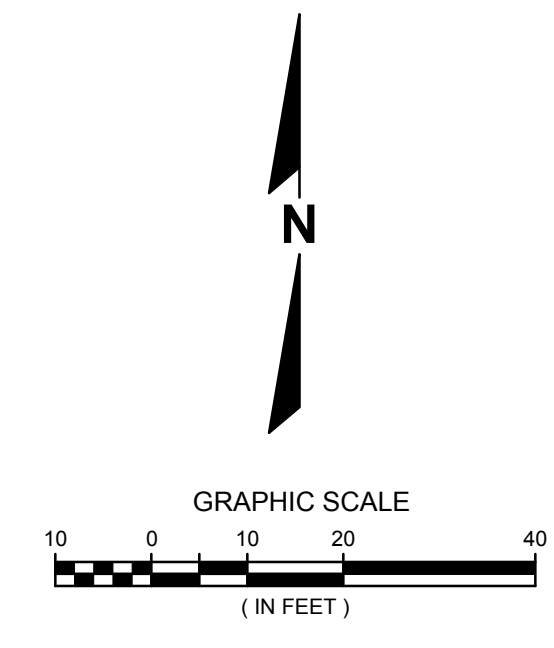
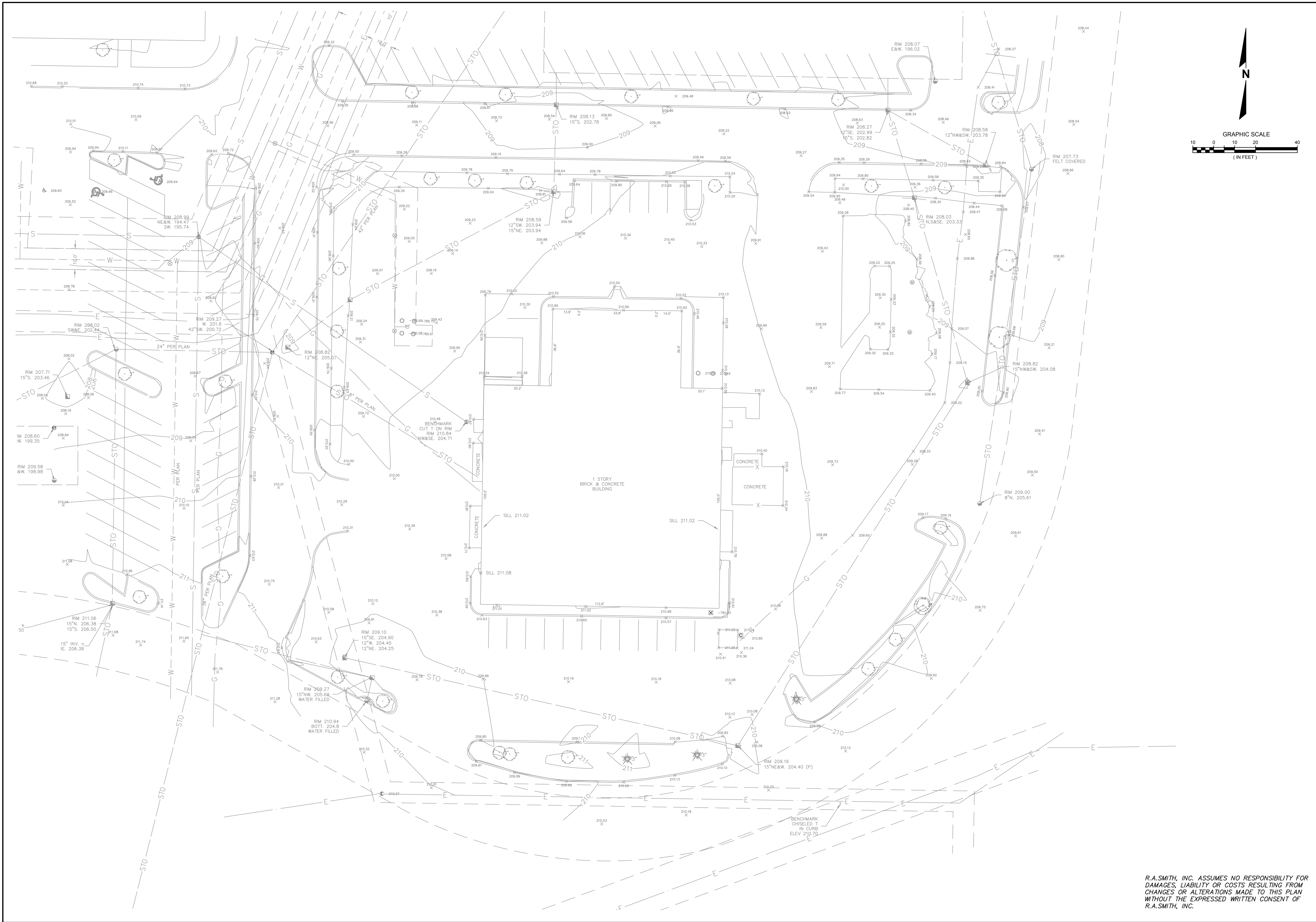
PLAN DATE: NOVEMBER 18, 2020

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
raSmith.com
CREATIVITY BEYOND ENGINEERING

PORTILLO'S AT WEST TOWNE MALL
522 S GAMMON ROAD
CITY OF MADISON
DANE COUNTY, WISCONSIN

DATE: 11/18/2020
PROJ. NO: 3200225
C000



DATE	DESCRIPTION

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com

raSmith
 CREATIVITY BEYOND ENGINEERING

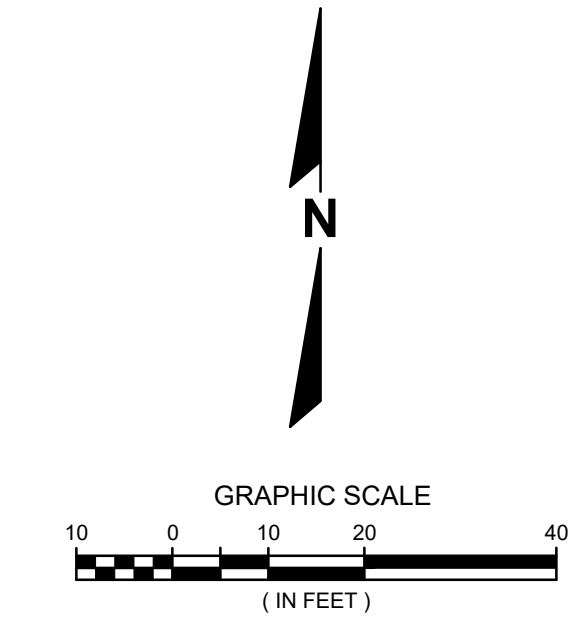
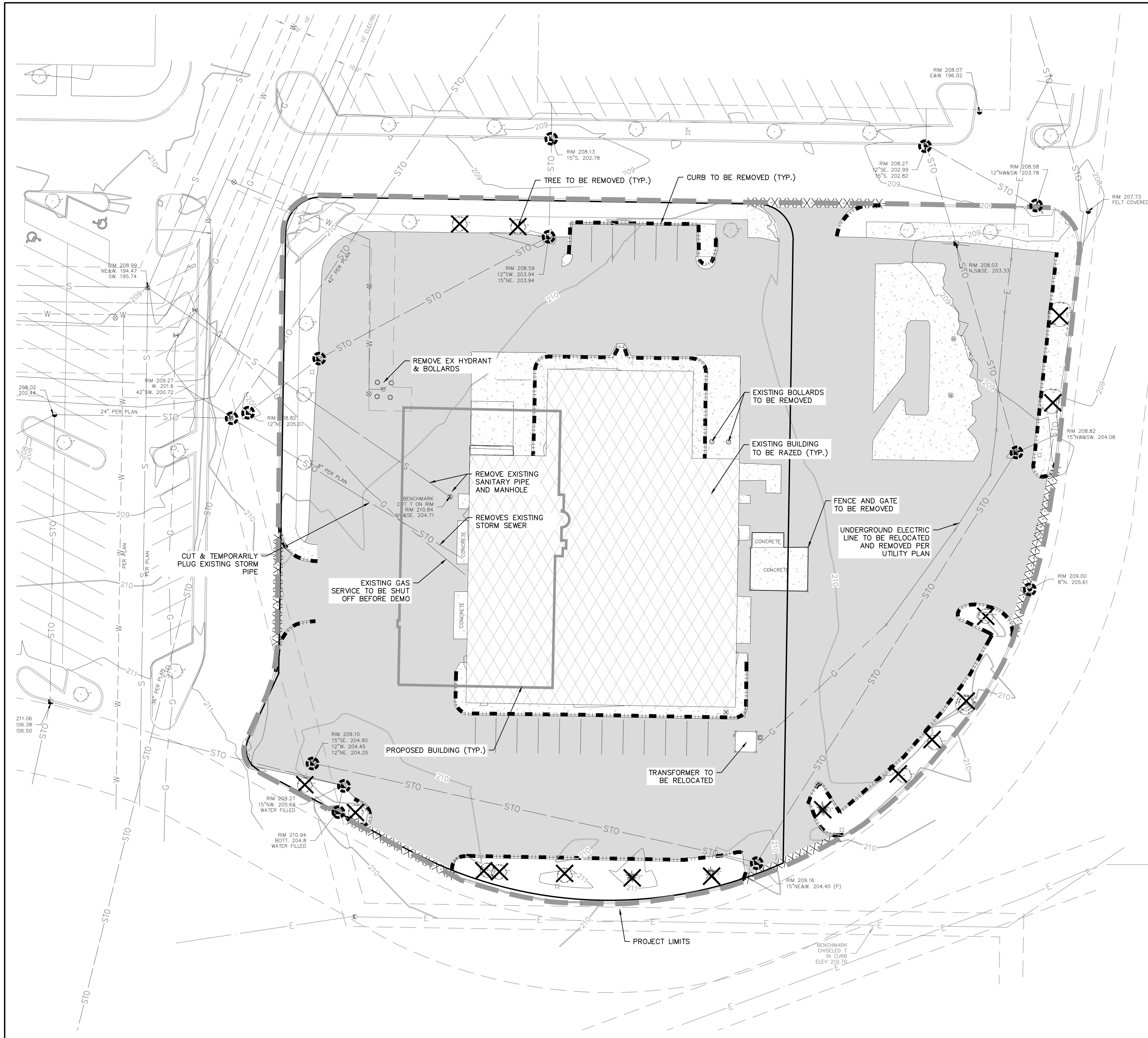
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
 Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WEST TOWNE MALL REDEVELOPMENT
 CITY OF MADISON, WI
 EXISTING CONDITIONS**

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DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCOUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
SHEET NUMBER
C001

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

N:\3200225\Draw\Sheets\3200225-XC01.dwg, EXISTING CONDITIONS, 11/18/2020 8:45:15 AM, 6y



KEY MAP
NTS

- LEGEND**
- PROPERTY LINE
 - PROJECT LIMITS
 - PROPOSED BUILDING FOOTPRINT
 - PROPOSED INLET PROTECTION
 - EXISTING CONCRETE PAVEMENT TO BE REMOVED
 - EXISTING ASPHALT TO BE MILLED AND OVERLAYED
 - EXISTING BUILDING TO BE DEMOLISHED (SEE ARCHITECTURAL PLANS)
 - EXISTING ASPHALT TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - EXISTING UTILITY TO BE REMOVED
 - EXISTING CURB AND GUTTER TO BE REMOVED. SAWCUT TO ASSURE CLEAN FIT
 - SAWCUT LINE PAVEMENT
 - EXISTING WALL TO BE REMOVED

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED SEPTEMBER 17, 2020.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

RASMITH ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF RASMITH.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE, THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, WDNR PERMIT CONDITIONS, AND THESE DOCUMENTS; THE MOST STRINGENT TO APPLY.

CONTRACTOR SHALL REMOVE, PLUG AND ABANDON EXISTING UTILITIES PER CITY OF MADISON ORDINANCES.



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

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DATE	DESCRIPTION

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

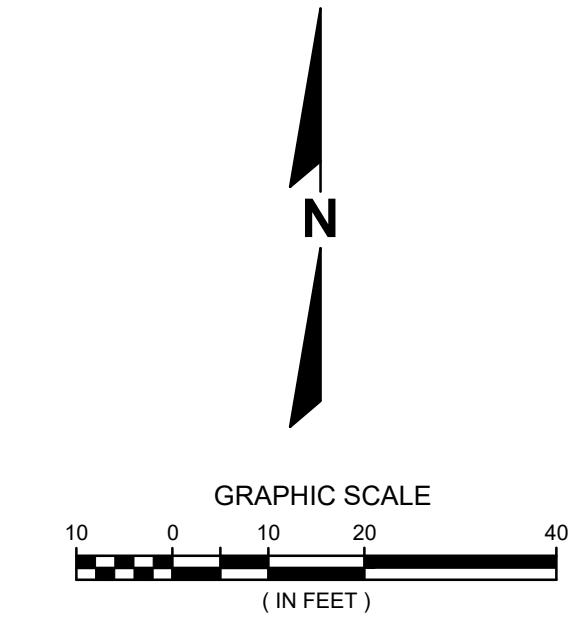
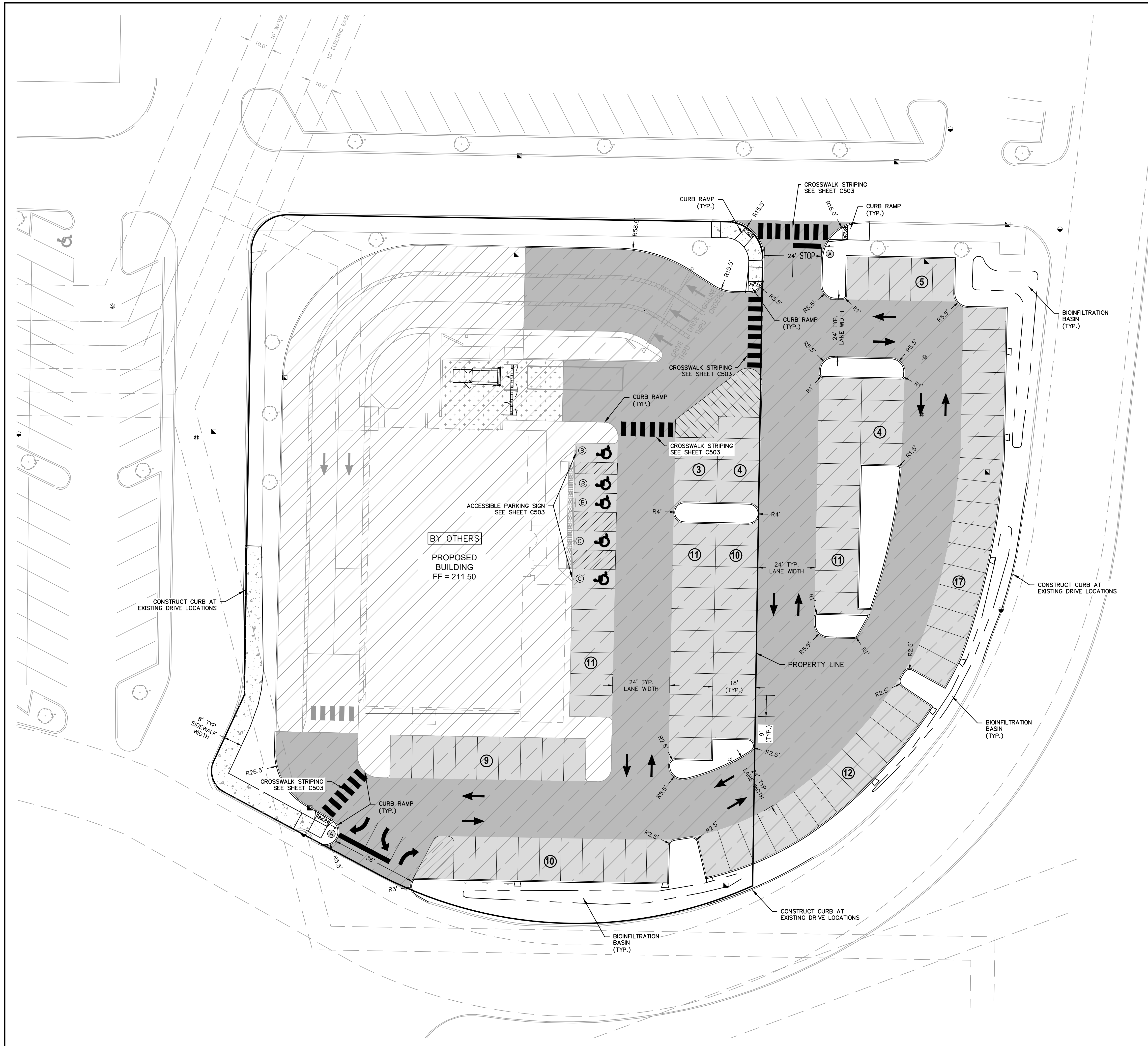
raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI
DEMOLITION PLAN**

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DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCOUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
SHEET NUMBER
C100

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KEY MAP
NTS

- LEGEND**
- SIGN
 - PROPOSED 18" CONCRETE HIGH SIDE CURB & GUTTER
 - HEAVY-DUTY CONCRETE PAVEMENT
 - LIGHT-DUTY CONCRETE PAVEMENT
 - BUILDING PAD AND DRIVE THROUGH BY OTHERS
 - STANDARD-DUTY ASPHALT PAVEMENT OVERLAY
 - HEAVY-DUTY ASPHALT PAVEMENT
 - STANDARD-DUTY ASPHALT PAVEMENT
 - PROPOSED PAVEMENT MARKING (PARKING LOT)
 - PAVEMENT MARKING - ISLANDS, CROSSWALKS, ETC. (PARKING LOT)
 - BUILDING OUTLINE
 - PROJECT LIMITS

- SIGN LEGEND**
- STOP SIGN
 - ADA
 - ADA VAN

GENERAL NOTES:

EXISTING TOPOGRAPHY OBTAINED BY RASMITH, INC. DATED SEPTEMBER 17, 2020.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL STANDARDS AND WISCONSIN DNR TECHNICAL STANDARDS.

ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.

ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SYSL IS A SINGLE YELLOW SOLID LINE 4" IN WIDTH.

SWSL IS A SINGLE WHITE SOLID LINE 4" IN WIDTH.

SITE CALCULATIONS			
	AC	SF	% OF PROJECT AREA
TOTAL PROJECT AREA:	2.03	88,323	-
EXISTING IMPERVIOUS AREA:	1.86	81,029	91.74%
PROPOSED IMPERVIOUS AREA:	1.72	74,972	84.88%
PROPOSED SITE GREENSPACE:	0.31	13,351	15.12%
EXISTING BUILDING AREA:	0.52	14,260	16.15%
PROPOSED BUILDING AREA:	0.18	7,763	8.79%

SITE DATA	
APPROVED PARKING (2017 SITE PLAN - 26,200 SF)	119 (115 & 4 ADA)
PROPOSED PARKING (PORTILLO'S - 7,763 SF)	61 (56 & 5 ADA)
PROPOSED PARKING (SERITAGE)	46
PROPOSED BIKE PARKING	18



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DATE	DESCRIPTION

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

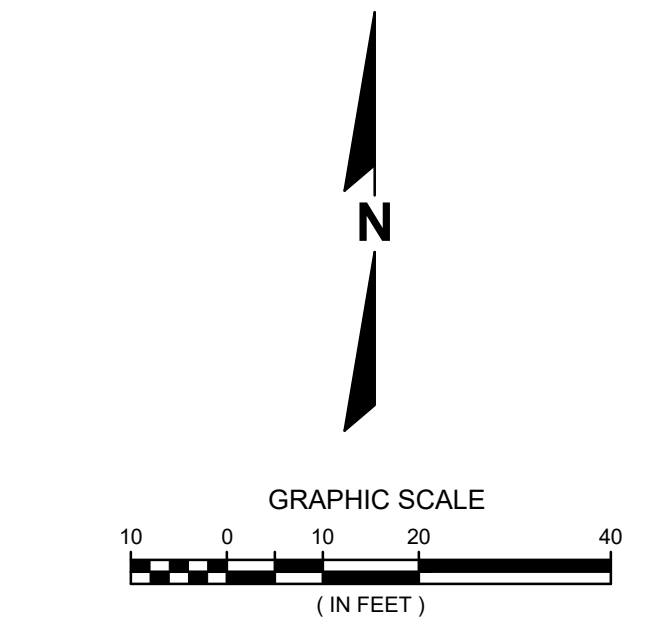
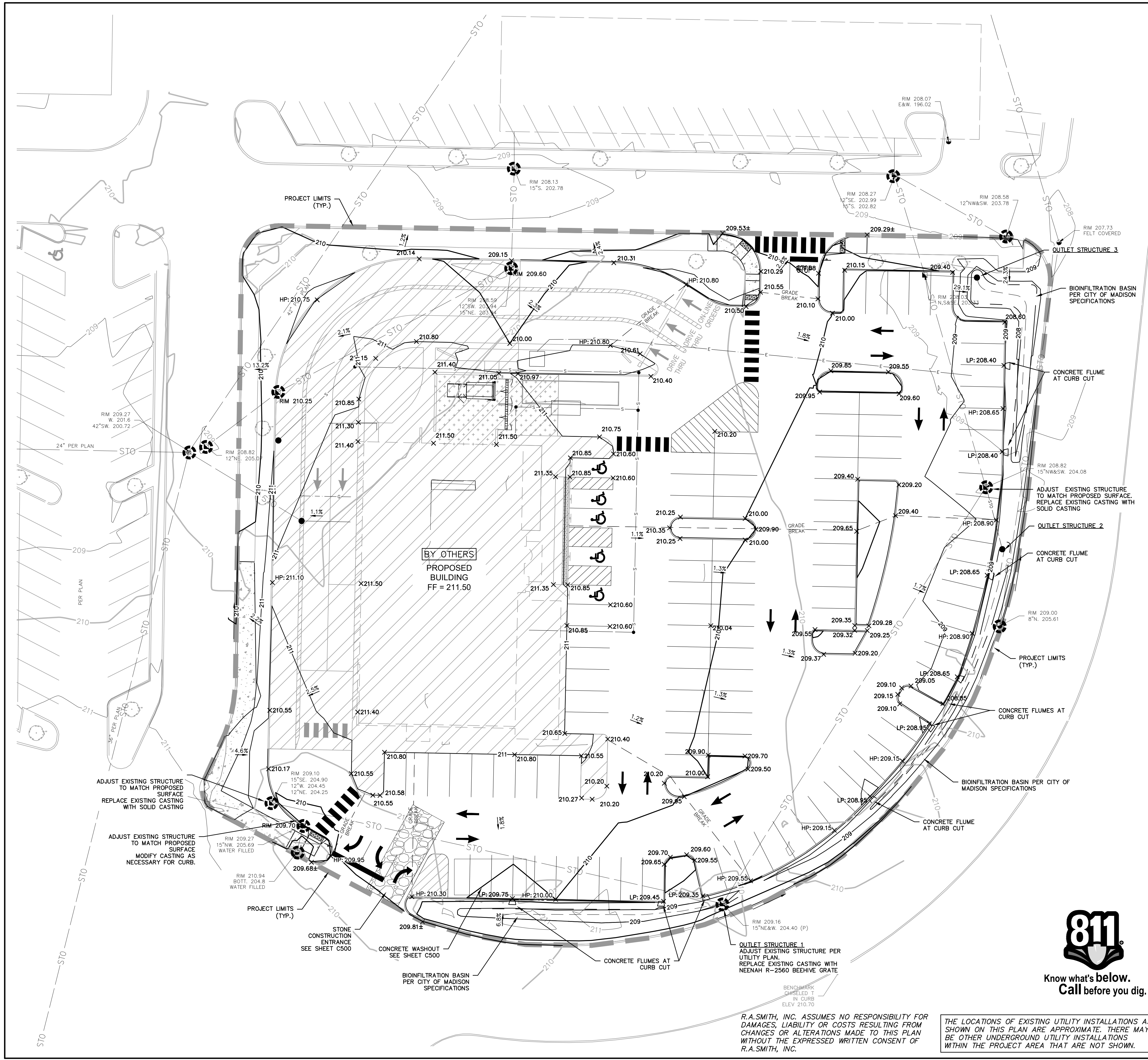
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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Menomonee Falls, WI | Wauwatosa, WI | Waukesha, WI | Janesville, WI | Inone, CA

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

SITE PLAN

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DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCOUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
SHEET NUMBER
C200



KEY MAP NTS

LEGEND

- Legend items including existing/proposed contours, spot grades, curbs, elevations, storm sewers, and structures.

GENERAL NOTES

- General notes detailing utility verification, erosion control requirements, and construction standards.

EROSION CONTROL NOTES

- Erosion control notes regarding inspection frequency, sediment removal, and stabilization methods.

SEQUENCE OF CONSTRUCTION

- Sequence of construction steps from site preparation to final erosion control measures.



Know what's below. Call before you dig.

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

Table with columns for Description, Date, and Sheet Number. Includes project title 'WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI GRADING & EROSION CONTROL PLAN' and sheet number 'C300'.

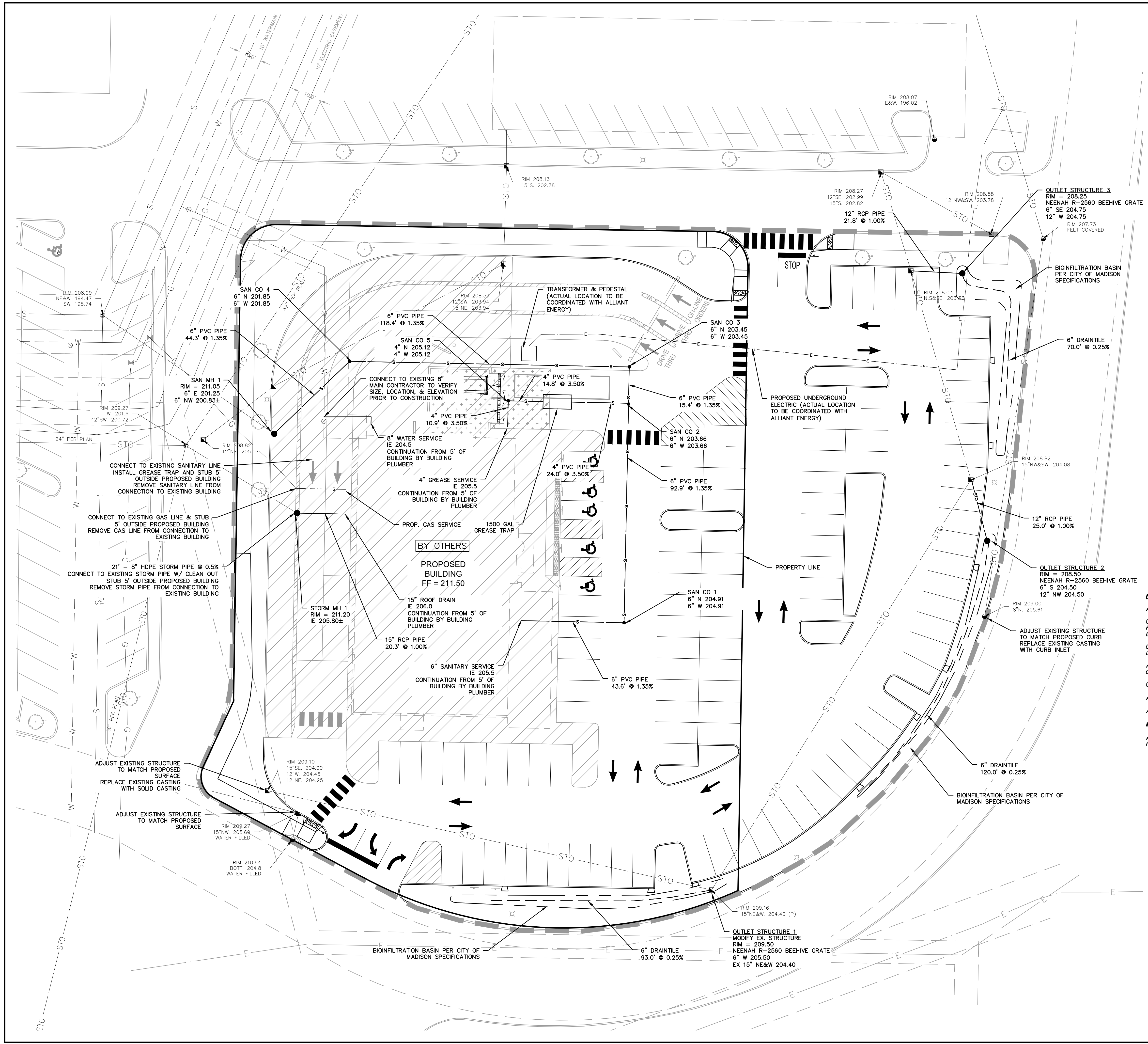
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com



WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI GRADING & EROSION CONTROL PLAN

COPYRIGHT 2020 R.A. Smith, Inc. DATE: 11/18/2020 SCALE: 1" = 20' PROJECT MANAGER: MATT P. KOCOUREK, PE DESIGNED BY: JLM CHECKED BY: RJY SHEET NUMBER C300

NA: 3/20/2025 10:43:25 (Sheets) 3200225-CP-EC01.dwg, GRADING & E.C. PLAN, 11/18/2020 8:15:57 AM, .rjt



KEY MAP
NTS

LEGEND

- EXISTING SANITARY MANHOLE
- EXISTING STORM STRUCTURES
- EXISTING POWER POLES
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE
- PROPOSED STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN
- PROPOSED UNDERDRAIN (SEE DETAILS, C502)
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED GAS LINE
- BUILDING PAD AND DRIVE THROUGH BY OTHERS

NOTES

- ALL PIPE LENGTHS ARE TO CENTER OF EXISTING OR PROPOSED STRUCTURE.
- CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED POINTS OF CONNECTION TO EXISTING PIPE, STRUCTURES OR KNOWN CROSSINGS PRIOR TO PROPOSED UTILITY CONSTRUCTION. CONTACT ENGINEER FOR POSSIBLE REDESIGN IF EXISTING PIPE SIZES OR INVERTS VARY FROM THIS PLAN.
- CONTRACTOR SHALL FIELD ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE WITHIN THE PROJECT LIMITS. SEE GRADING PLAN FOR PROPOSED RIM GRADES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- CONTRACTOR TO FIELD LOCATE ALL EXISTING LATERAL LOCATIONS & ELEVATIONS PRIOR TO UTILITY CONSTRUCTION.
- ALL WATER SERVICES SHALL HAVE MINIMUM 6.0' OF COVER.
- ALL STORM STRUCTURES ARE 48" DIAMETER UNLESS OTHERWISE NOTED.
- MEP TO PROVIDE CONTINUATION OF UTILITIES FROM 5' OF BUILDING.
- ALL CATCH BASINS (CB) SHALL BE INSTALLED WITH FLOGRAD PLUS INSERT FILTERS TO MEET THE CITY OF MADISON REQUIREMENTS FOR OIL AND GREASE CONTROL.



**Know what's below.
Call before you dig.**

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DATE	DESCRIPTION

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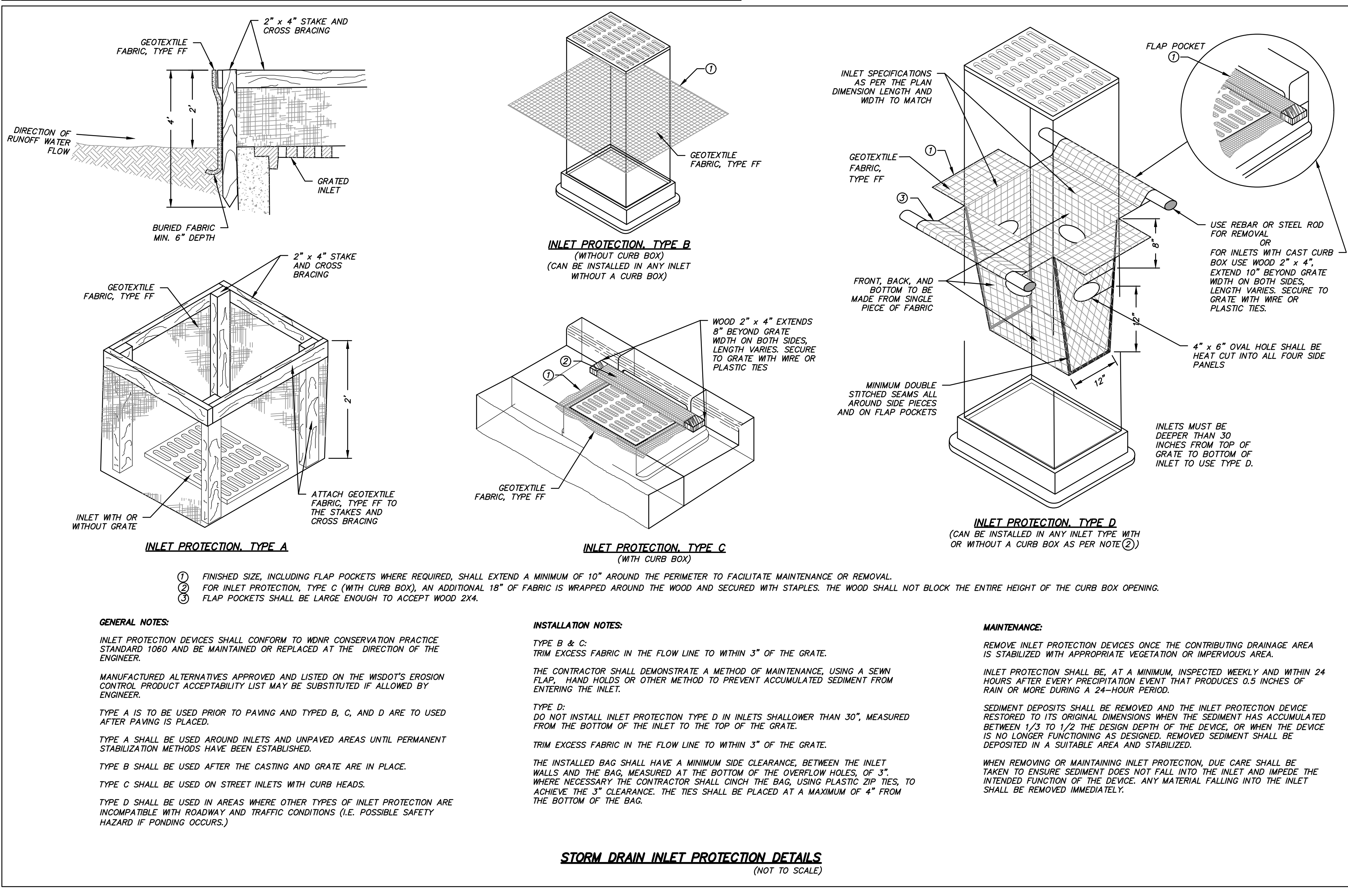
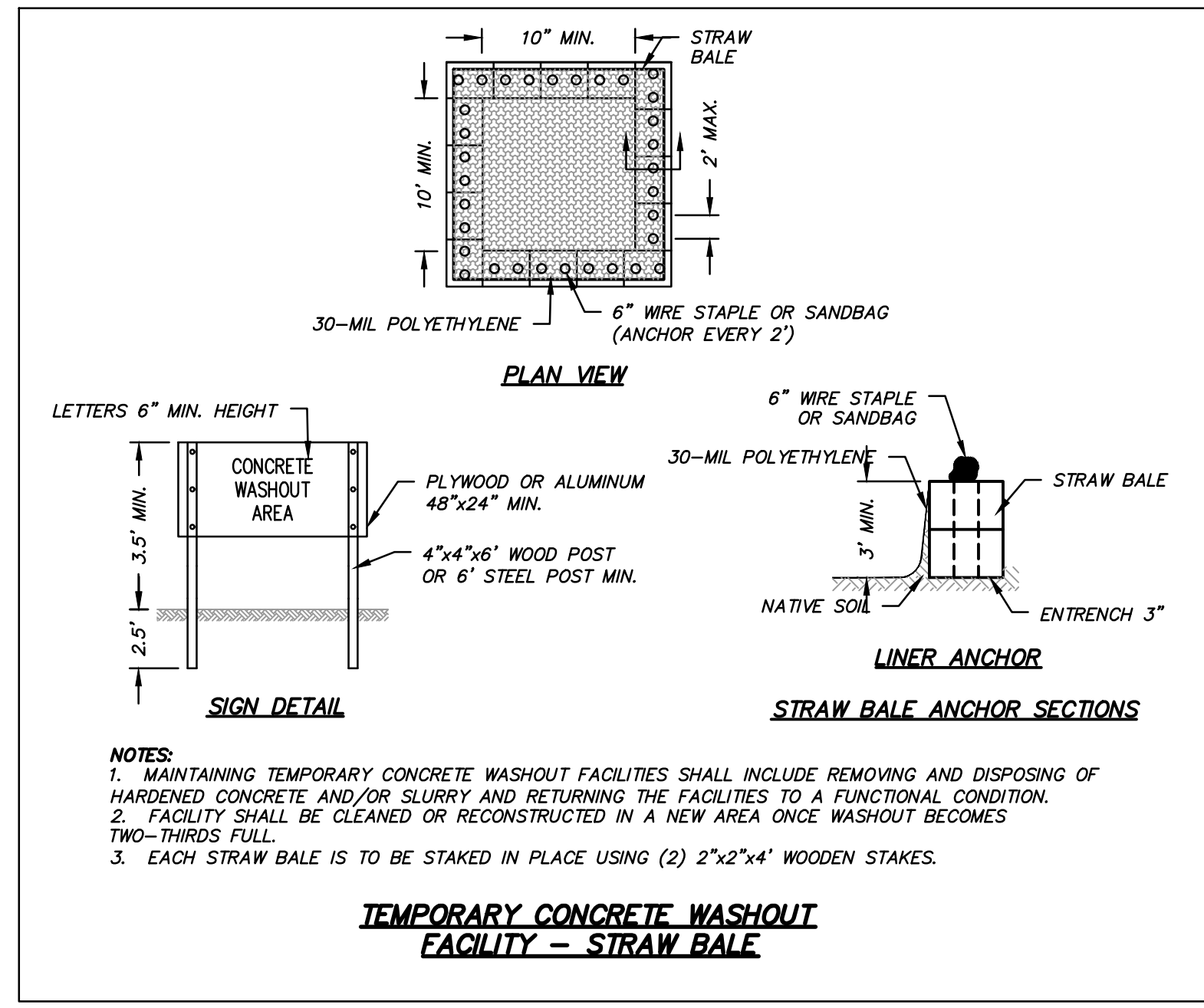
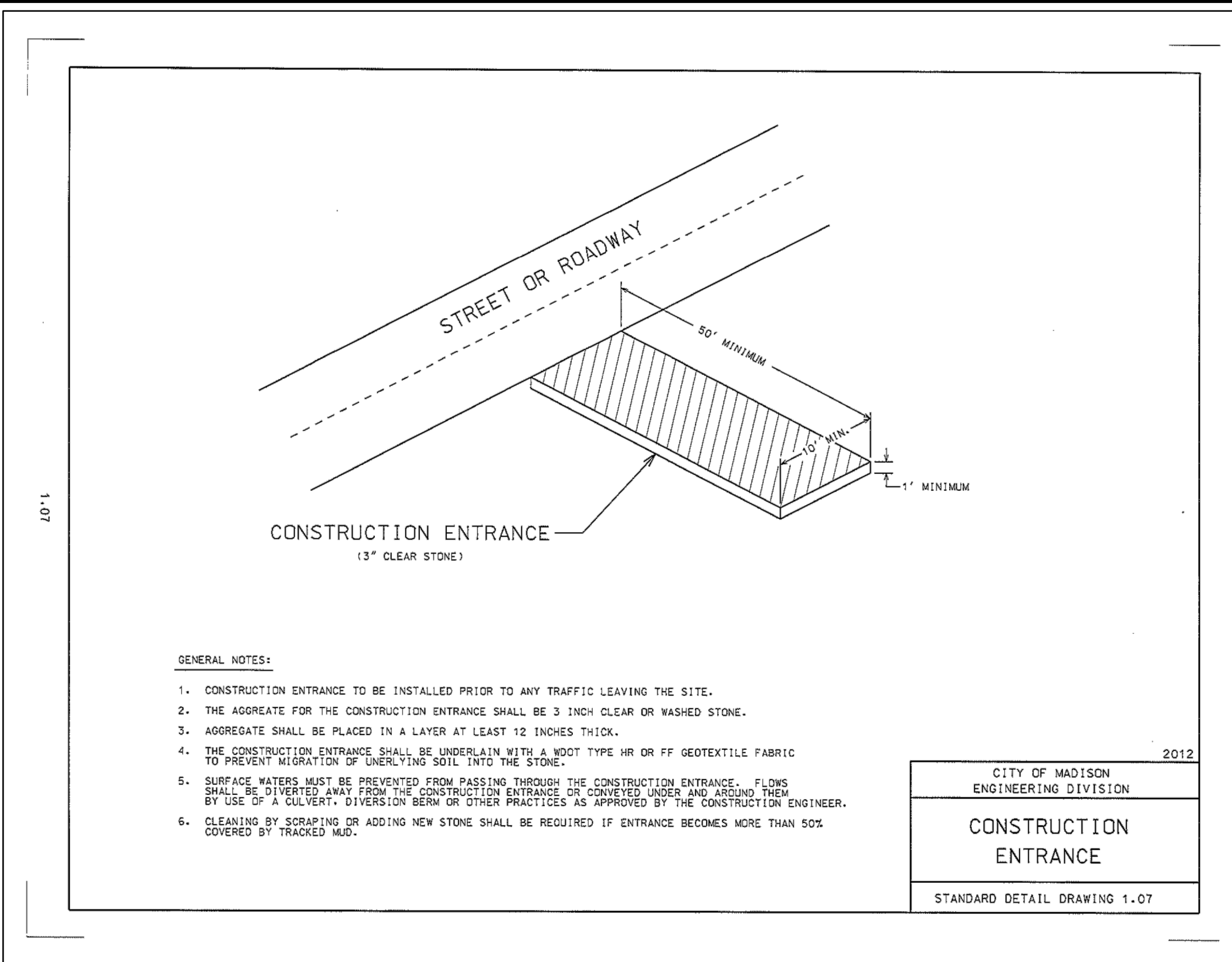
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**WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI**

UTILITY PLAN

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DATE: 11/18/2020
SCALE: 1" = 20'
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCUREK, PE
DESIGNED BY: JLM
CHECKED BY: RJY
SHEET NUMBER
C400

N:\3200225\Draw\Sheets\3200225-UP01.dwg, UTILITY PLAN, 11/18/2020 8:17:10 AM, rjy



DESCRIPTION

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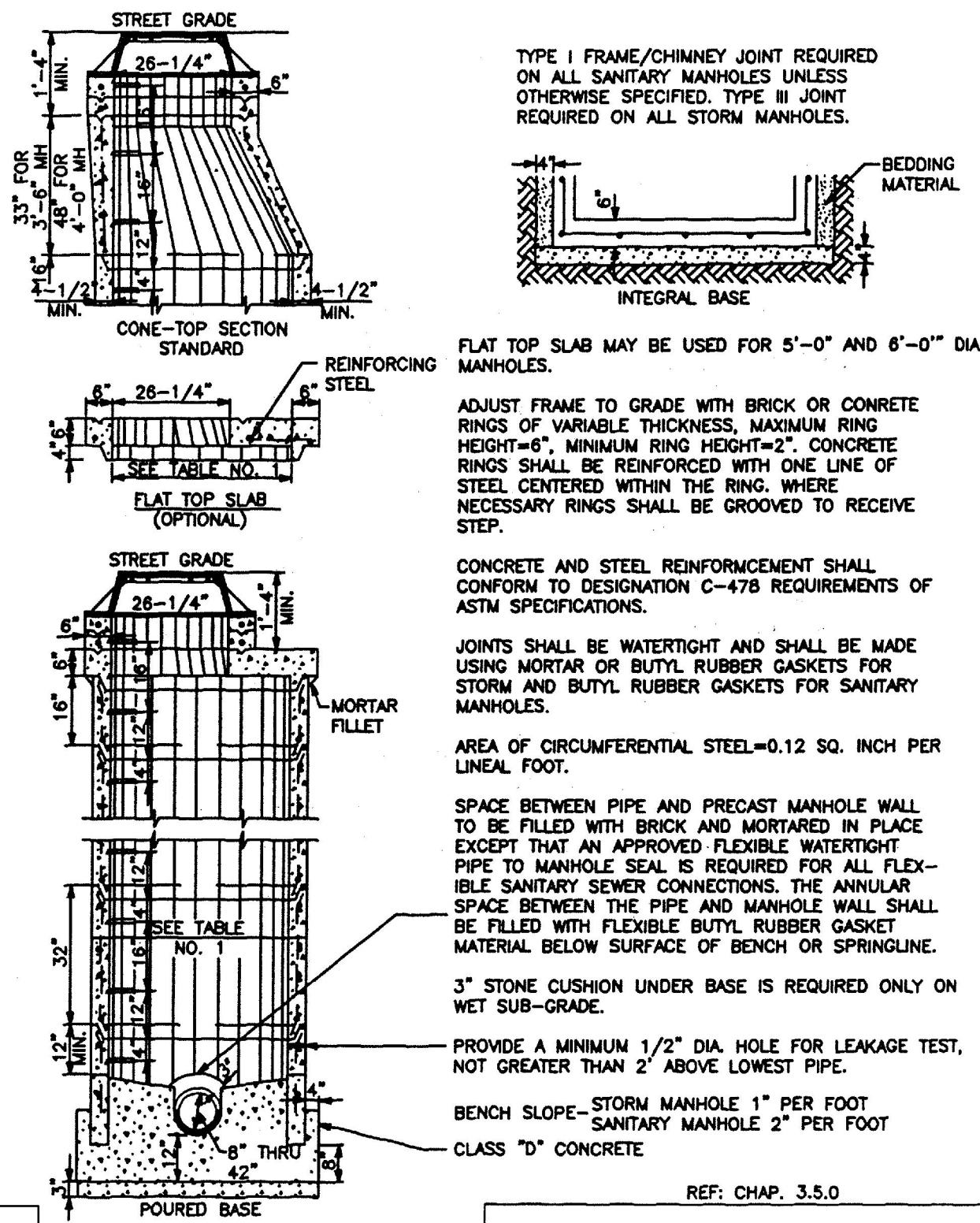
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WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

EROSION CONTROL DETAILS

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SCALE: N.T.S.
JOB NO. 3200225
PROJECT MANAGER:
MATT P. KOCOUREK, PE
DESIGNED BY:
CHECKED BY:
SHEET NUMBER
C500



STORM MANHOLE & INLET NOTES:

NOTES:

INLET (INL)
 REFER TO FILE No. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ON THIS SHEET), EXCEPT:
 A. USE CASTING AS INDICATED BELOW:
 EXAMPLE - NEENAH R-FRAME (GRATE)
 1.) INLETS IN CURB - NEENAH R-3067 (TYPE C)
 2.) INLETS IN PAVEMENT - NEENAH R-2556 (TYPE G)
 3.) INLETS IN GRASS AREAS - NEENAH R-2556 (TYPE G)
 4.) INLETS AS NOTED - NEENAH BEEHIVE R-2560 (TYPE E1)
 5.) INLETS IN DEPRESSED CURB - NEENAH R-3067-C (TYPE C)
 B. USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN
 C. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

MANHOLE (MH)
 REFER TO DETAIL, EXCEPT:
 A. USE CASTING AS INDICATED BELOW:
 ALL MANHOLES - NEENAH R-1661
 B. USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN
 C. PIPE MATERIAL PER C600 UNLESS INDICATED OTHERWISE ON PLAN.
 D. CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

TYPE I FRAME/CHIMNEY JOINT REQUIRED ON ALL SANITARY MANHOLES UNLESS OTHERWISE SPECIFIED. TYPE III JOINT REQUIRED ON ALL STORM MANHOLES.

ADJUST FRAME TO GRADE WITH BRICK OR CONCRETE RINGS OF VARIABLE THICKNESS. MAXIMUM RING HEIGHT=6". MINIMUM RING HEIGHT=2". CONCRETE RINGS SHALL BE REINFORCED WITH ONE LINE OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY RINGS SHALL BE GROOVED TO RECEIVE STEP.

CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.

JOINTS SHALL BE WATER TIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MANHOLES.

AREA OF CIRCUMFERENTIAL STEEL=0.12 SQ. INCH PER LINEAL FOOT.

SPACE BETWEEN PIPE AND PRECAST MANHOLE WALL TO BE FILLED WITH BRICK AND MORTARED IN PLACE EXCEPT THAT AN APPROVED FLEXIBLE WATER TIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEXIBLE SANITARY SEWER CONNECTIONS. THE ANNULAR SPACE BETWEEN THE PIPE AND MANHOLE WALL SHALL BE FILLED WITH FLEXIBLE BUTYL RUBBER GASKET MATERIAL BELOW SURFACE OF BENCH OR SPRINGLINE.

3" STONE CUSHION UNDER BASE IS REQUIRED ONLY ON WET SUB-GRADE.

PROVIDE A MINIMUM 1/2" DIA. HOLE FOR LEAKAGE TEST, NOT GREATER THAN 2' ABOVE LOWEST PIPE.

BENCH SLOPE - STORM MANHOLE 1" PER FOOT
 SANITARY MANHOLE 2" PER FOOT

CLASS "D" CONCRETE

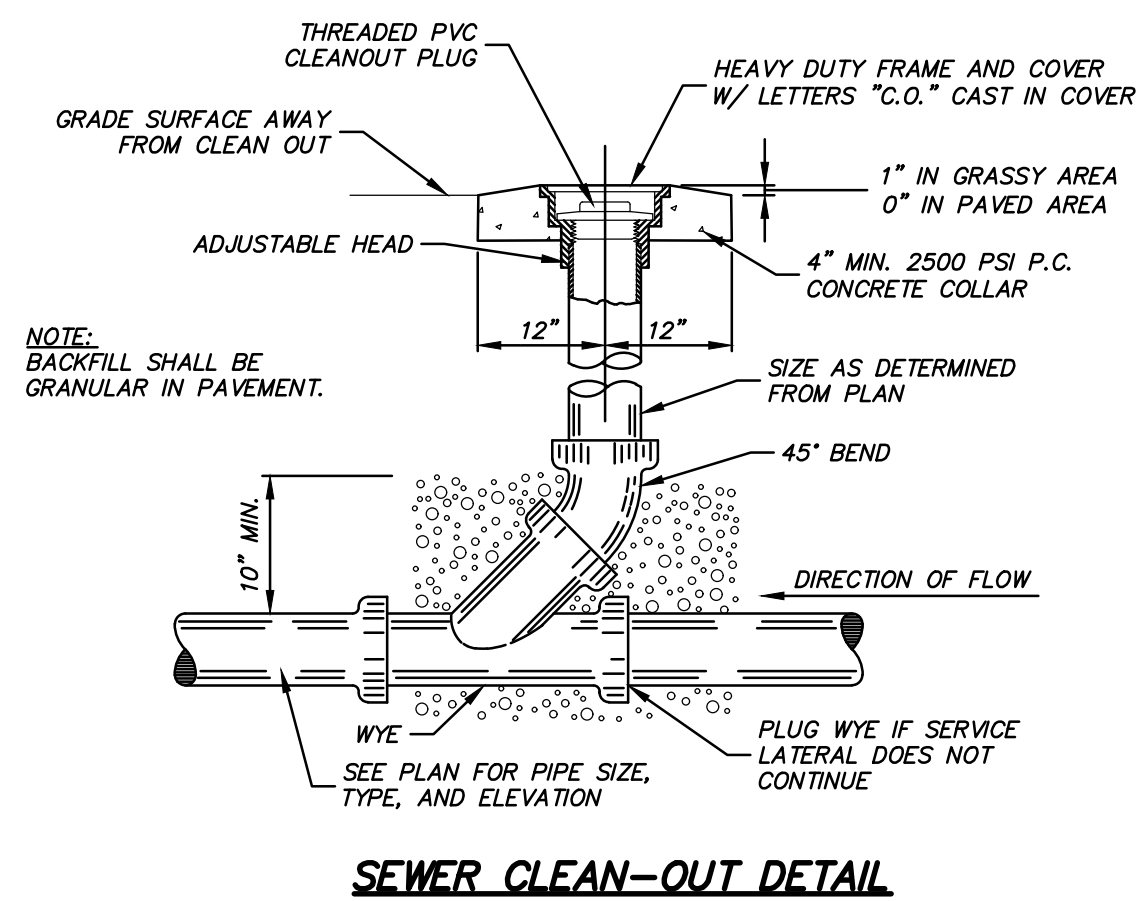
REF: CHAP. 3.5.0

PRECAST MANHOLE	
NOT TO SCALE	FILE NO. 12

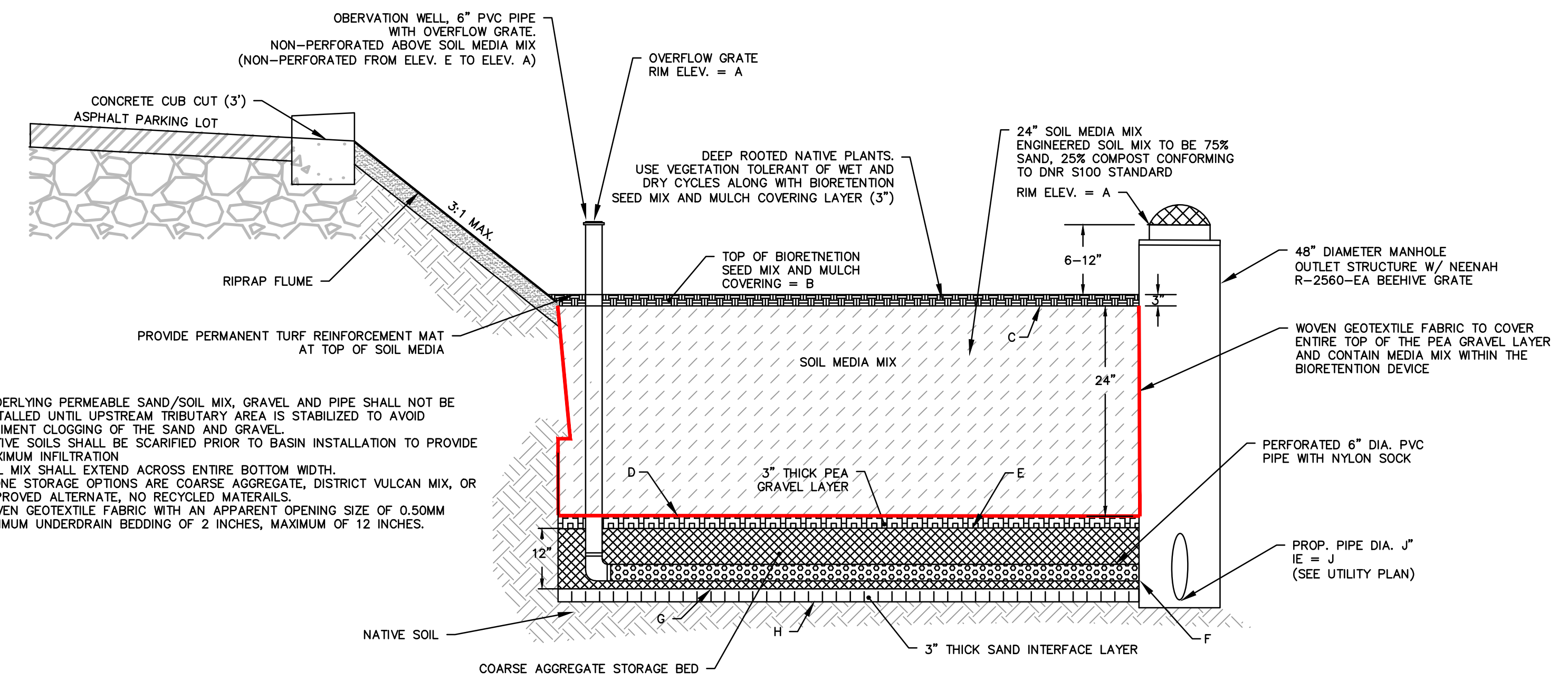
NOTES:
 CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

FOR ALL INLETS REFER TO FILE No. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ABOVE)

STORM INLET DETAIL



SEWER CLEAN-OUT DETAIL



TYPICAL SECTION

NOTES:

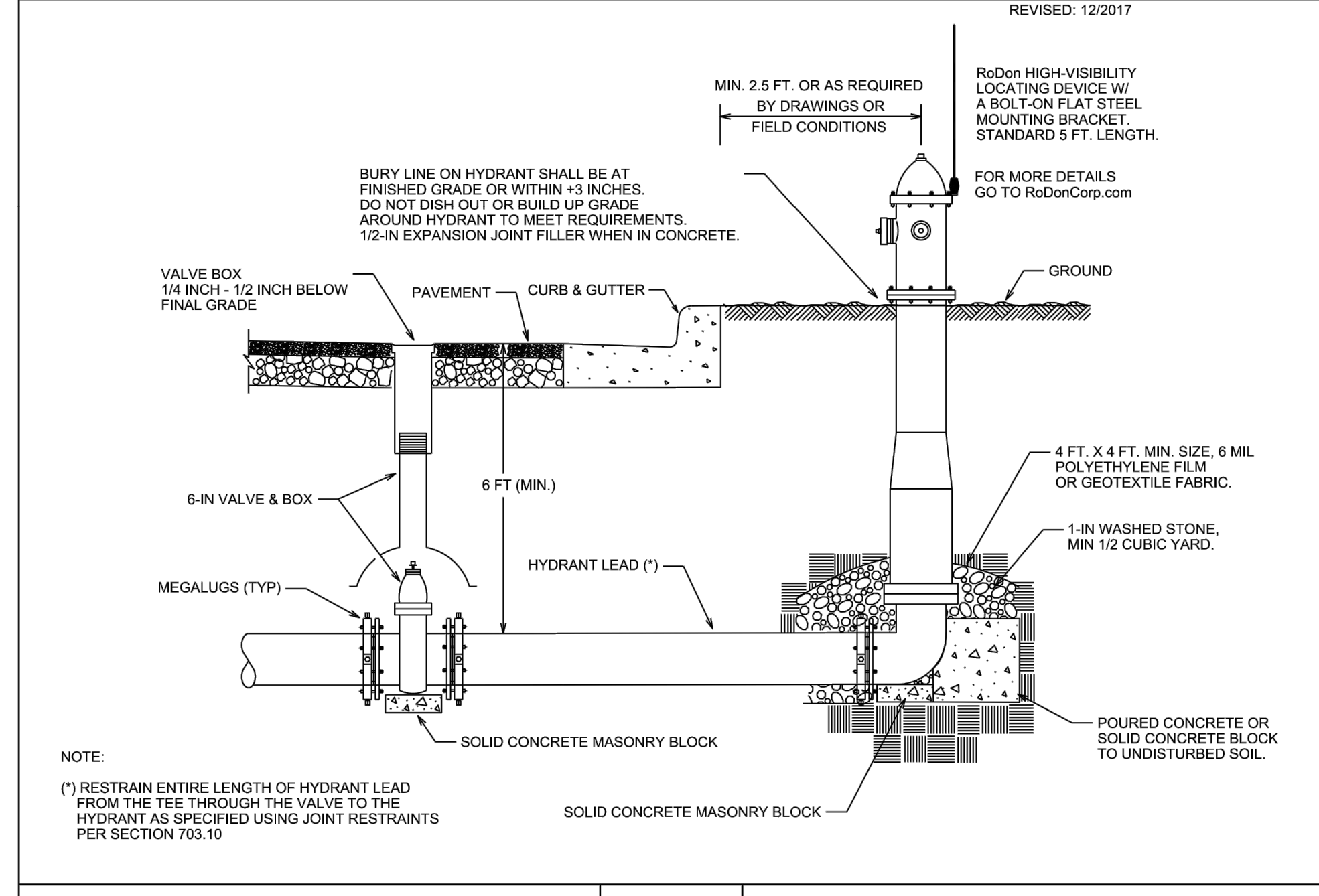
- UNDERLYING PERMEABLE SAND/SOIL MIX, GRAVEL AND PIPE SHALL NOT BE INSTALLED UNTIL UPSTREAM TRIBUTARY AREA IS STABILIZED TO AVOID SEDIMENT CLOGGING OF THE SAND AND GRAVEL.
- NATIVE SOILS SHALL BE SCARIFIED PRIOR TO BASIN INSTALLATION TO PROVIDE MAXIMUM INFILTRATION.
- SOIL MIX SHALL EXTEND ACROSS ENTIRE BOTTOM WIDTH.
- STONE STORAGE OPTIONS ARE COARSE AGGREGATE, DISTRICT VULCAN MIX, OR APPROVED ALTERNATE, NO RECYCLED MATERIALS.
- WOVEN GEOTEXTILE FABRIC WITH AN APPARENT OPENING SIZE OF 0.50MM MINIMUM UNDERDRAIN BEDDING OF 2 INCHES, MAXIMUM OF 12 INCHES.

BASIN NAME	EMERGENCY OVERFLOW SPILLWAY	A RIM ELEVATION	B TOP OF BIOSWALE SEED MIX AND MULCH	C TOP OF SOIL MEDIA MIX	D TOP OF PEA GRAVEL	E TOP OF AGGREGATE STORAGE	F INVERT OF UNDERDRAIN	G TOP OF SAND INTERFACE LAYER	H BOTTOM OF BASIN	J OUTLET PIPE SIZE/INVERT ELEVATION
BIOSWALE 1	209.35	209.50	209.00	208.75	206.75	206.50	205.50	205.50	205.25	15"/204.40
BIOSWALE 2	208.65	208.50	208.00	207.75	205.75	205.50	204.50	204.50	204.25	12"/204.50
BIOSWALE 3	208.40	208.25	207.50	207.25	205.25	205.00	204.00	204.00	203.75	12"/204.00

BIOSWALE DETAIL
 (NOT TO SCALE)

PART VII - WATER MAINS AND SERVICE LATERALS

DETAIL DRAWING NO. 7.04
 REVISED: 12/2017



TYPICAL HYDRANT INSTALLATION

CITY OF MADISON WATER UTILITY	NOT TO SCALE	TYPICAL HYDRANT INSTALLATION
-------------------------------	--------------	------------------------------

City of Madison Standard Specifications for Public Works Construction

DESCRIPTION
DATE

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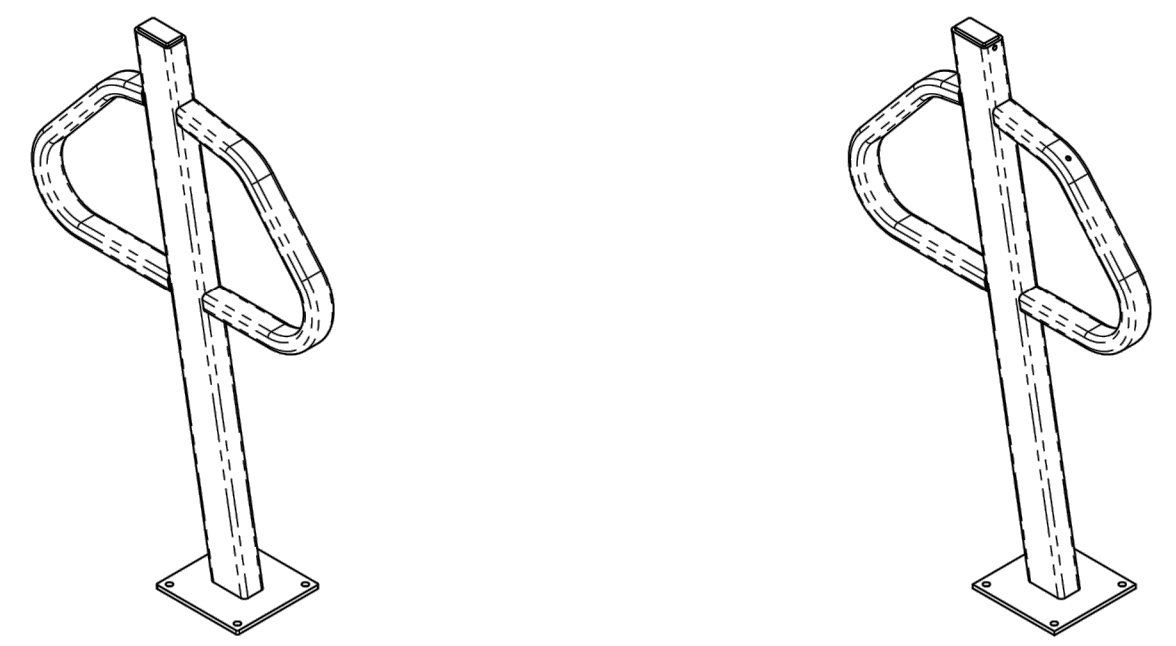
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WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

UTILITY DETAILS

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 R.A. Smith, Inc.
 DATE: 11/18/2020
 SCALE: N.T.S.
 JOB NO. 3200225
 PROJECT MANAGER:
 MATT P. KOCOUREK, PE
 DESIGNED BY: JLM
 CHECKED BY: RJY

SHEET NUMBER
 C501



FLANGE MOUNT PAINTED

FLANGE MOUNT GALVANIZED

NOTES:

- DO NOT SCALE DRAWING.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- WEIGHT IS RACK ONLY, NOT TO BE CONSIDERED AS SHIPPING WEIGHT.
- FINISHING OPTIONS INCLUDE SUPER DURABLE POLYESTER POWDERCOAT AND HOT DIP GALVANIZING.
- SEE WEBSITE OR CATALOG FOR POLYESTER POWDERCOAT COLOR OPTIONS.



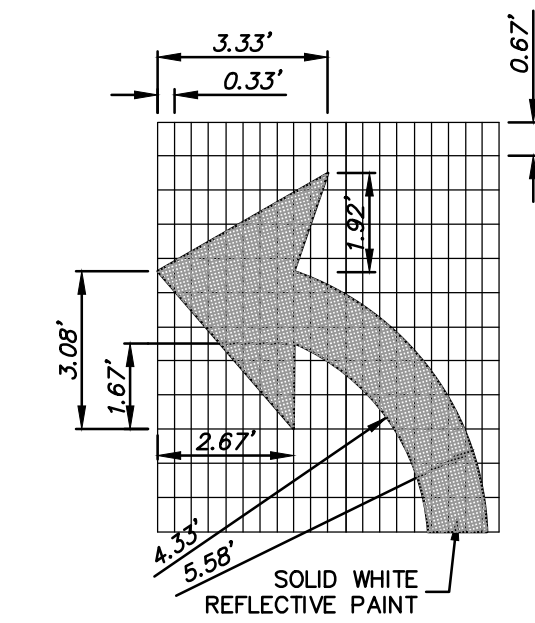
WE BRING CYCLING TO LIFE

SARIS CYCLING GROUP

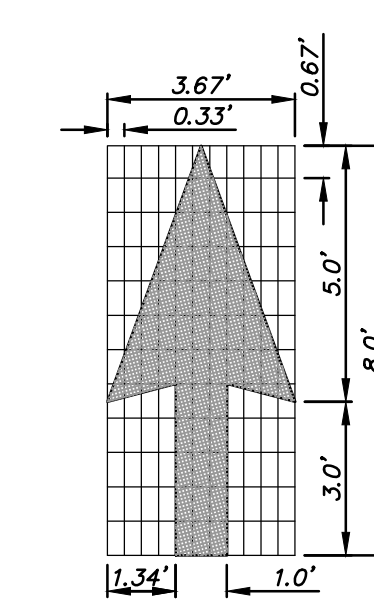
5253 VERONA RD., MADISON WI. 53711
1-800-783-7257 / 1-608-274-1702
WWW.SARISPARKING.COM

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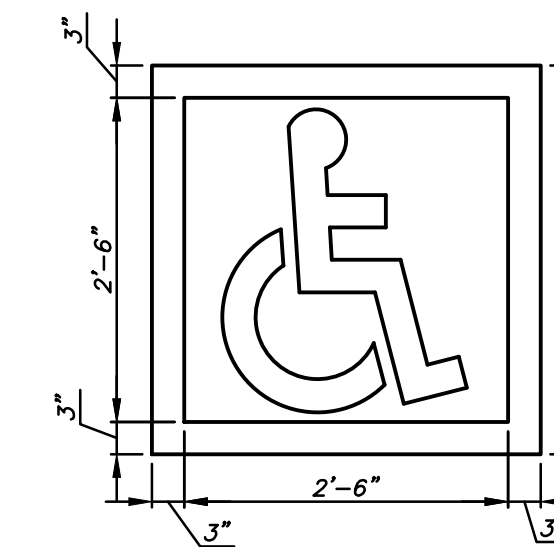
TITLE: **POST AND RING, 2450 SERIES, FM**



TURNING ARROW



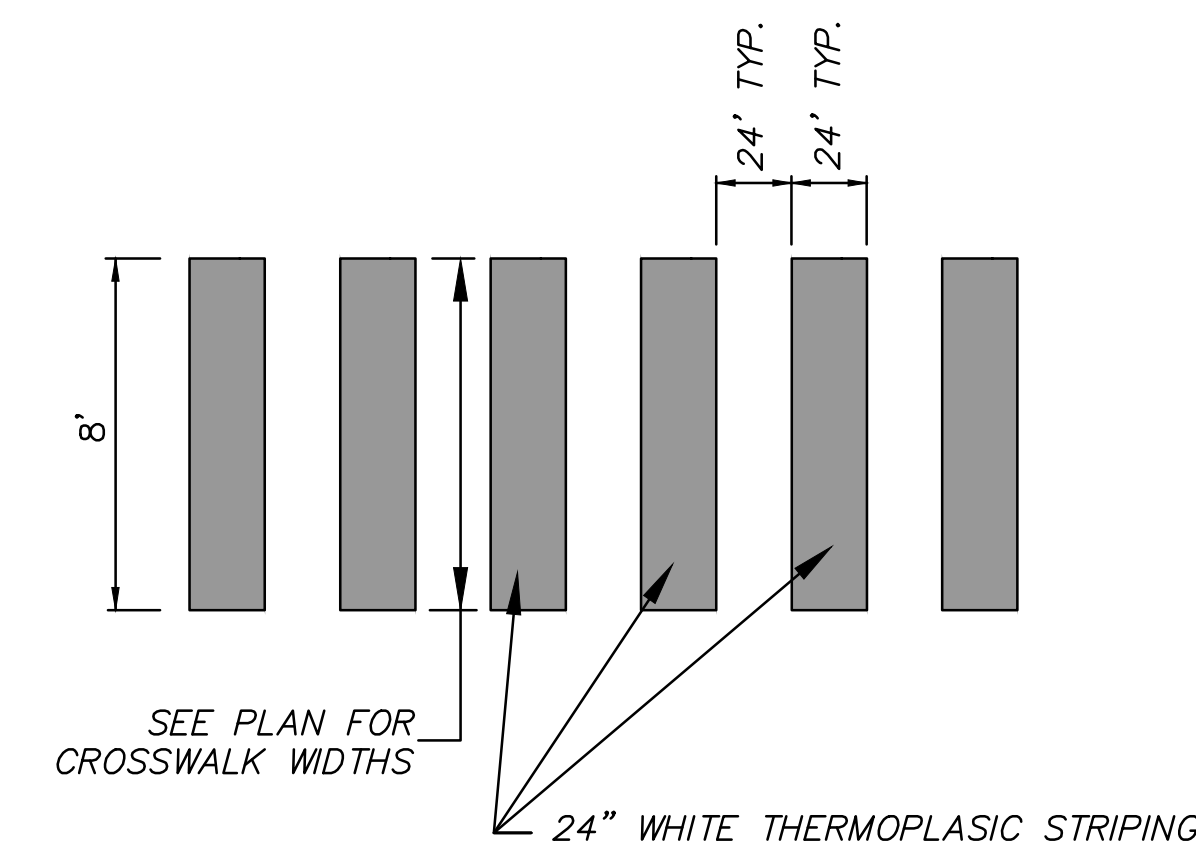
TRAFFIC LANE DIRECTIONAL ARROW



ADA SYMBOL NOTES:

- ALL STROKES TO BE 3" WDE.
- PROVIDE TWO COATS OF PAINT MINIMUM.
- BLUE BACKGROUND WITH WHITE SYMBOL.
- LOCATE SYMBOL AT CENTER OF STALL WHERE SHOWN ON SITE PLAN.
- ONE SYMBOL FOR EACH ADA PARKING SPACE.

PAINTED SYMBOL FOR ALL ACCESSIBLE AND VAN ACCESSIBLE SPACES

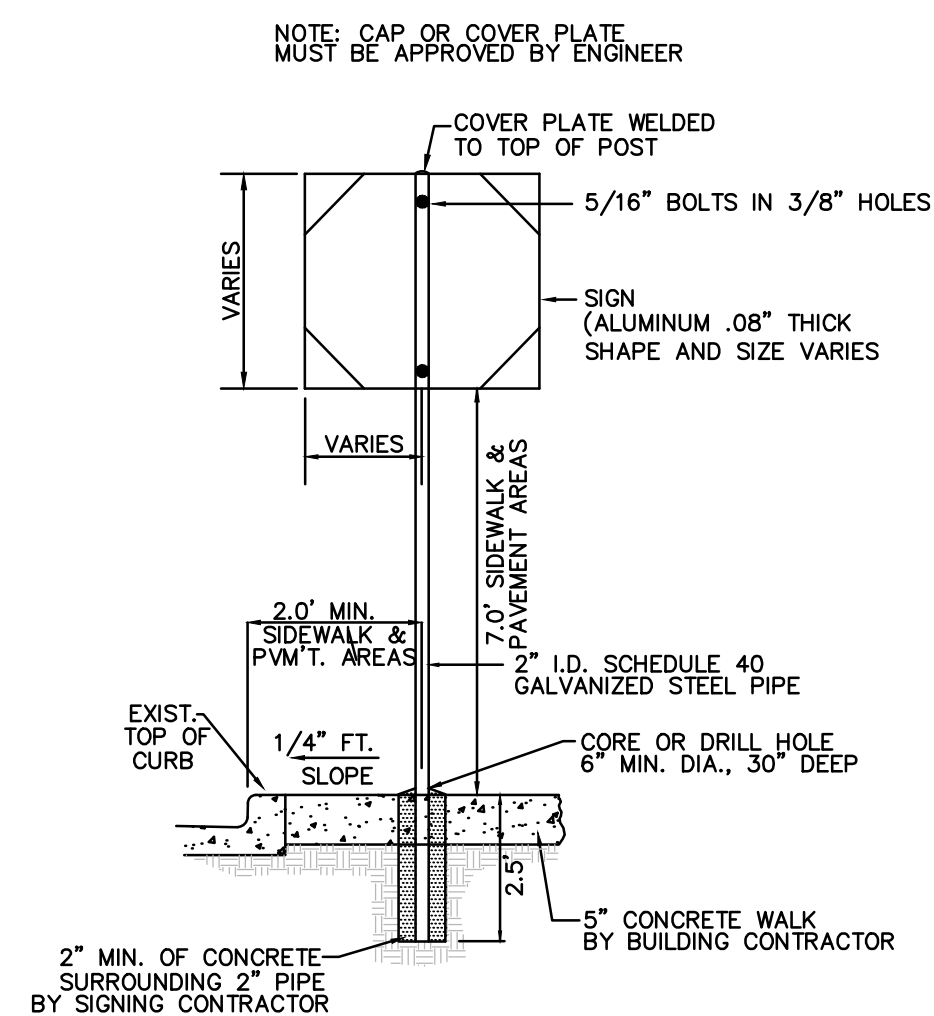


SEE PLAN FOR CROSSWALK WIDTHS

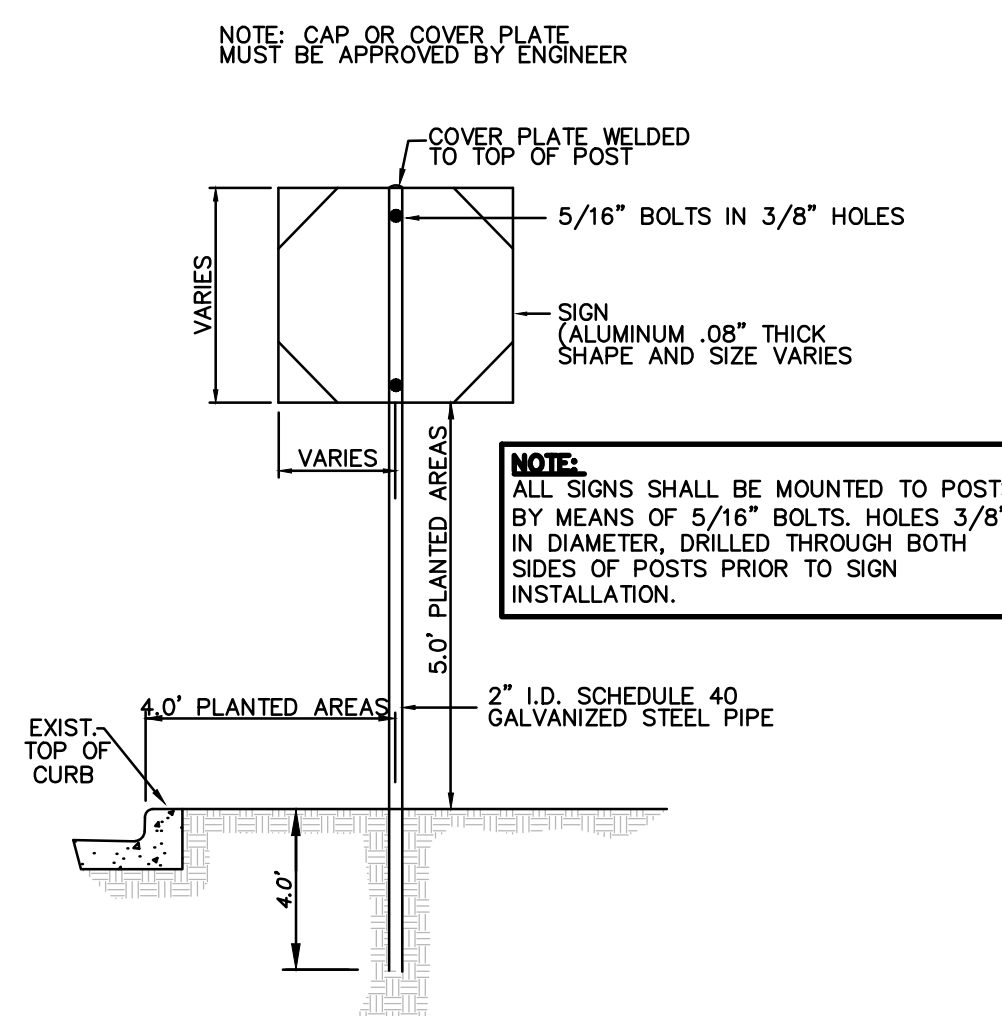
GENERAL NOTES

- STRIPING TO BE SOLID WHITE REFLECTIVE THERMOPLASTIC TRAFFIC PAINT AS SPECIFIED ON PROJECT PLANS.

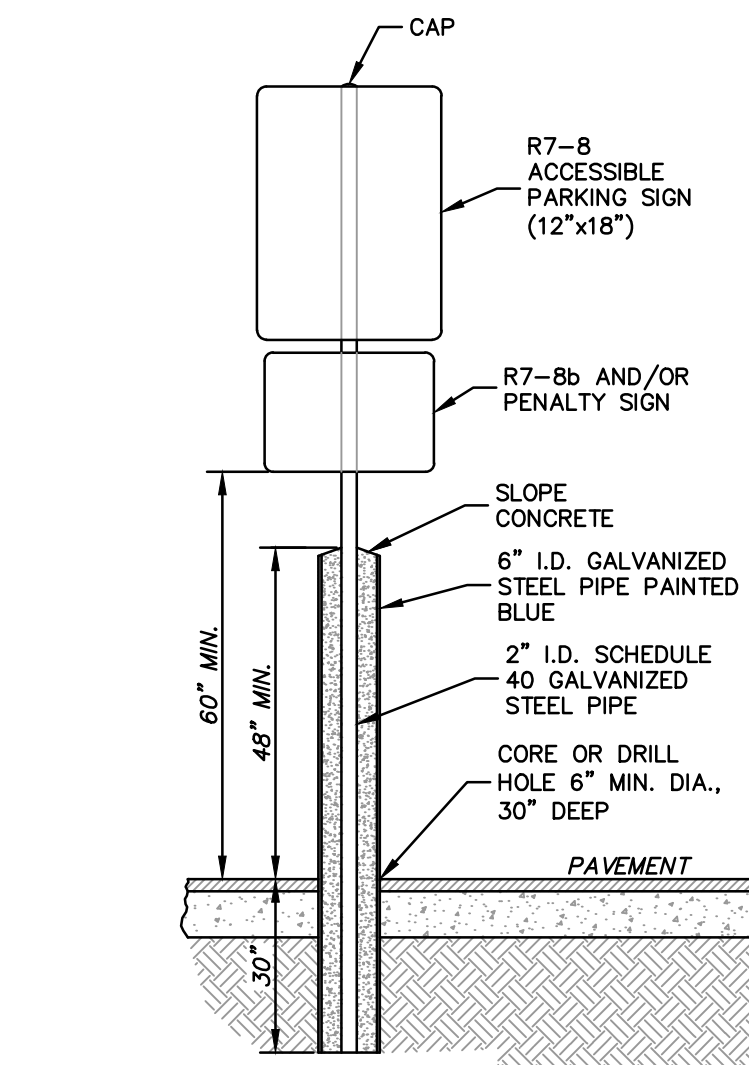
CROSSWALK STRIPING NOT TO SCALE



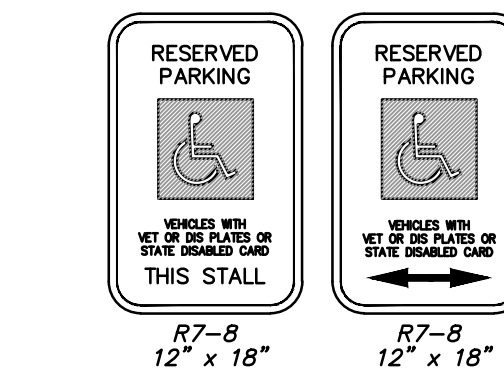
SIGN & POST INSTALLATION TYPE I
FOR ALL SIGNS WITHIN THE CURB AROUND THE BUILDING



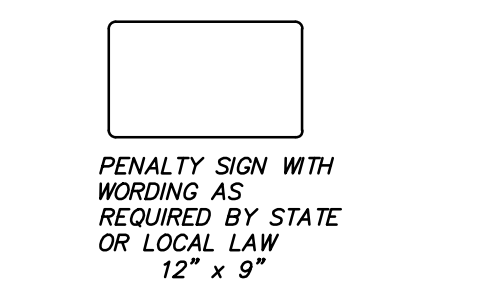
SIGN & POST INSTALLATION TYPE II
FOR ALL SIGNS ON SITE, OUTSIDE THE BUILDING CURB



ACCESSIBLE PARKING SIGN AND POST INSTALLATION IN BOLLARD TYPE III



R7-8 12' x 18" VAN ACCESSIBLE



STATE OF WISCONSIN ACCESSIBLE PARKING SIGNS

DATE	DESCRIPTION

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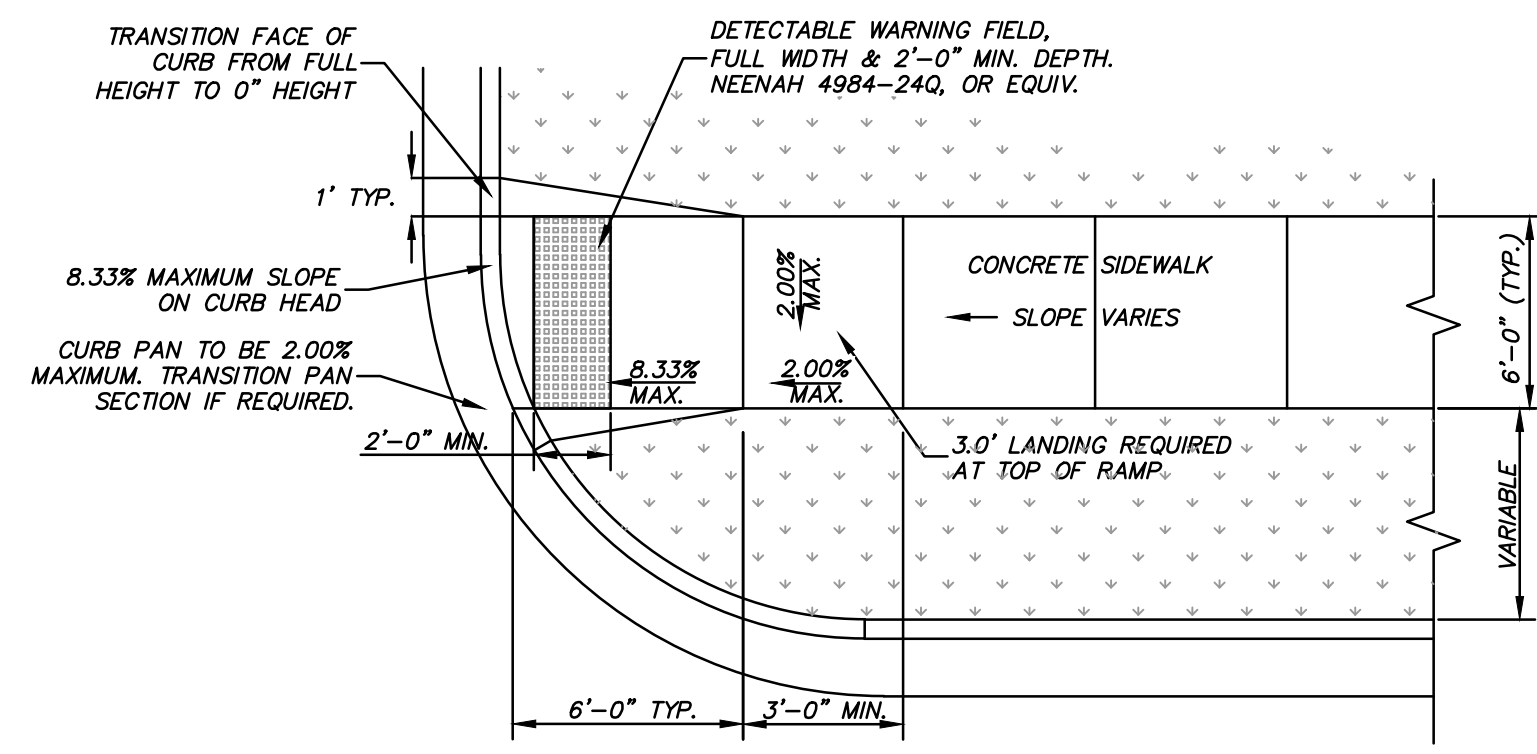
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Mount Pleasant, WI | Naperville, IL | Irvine, CA

**WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI**

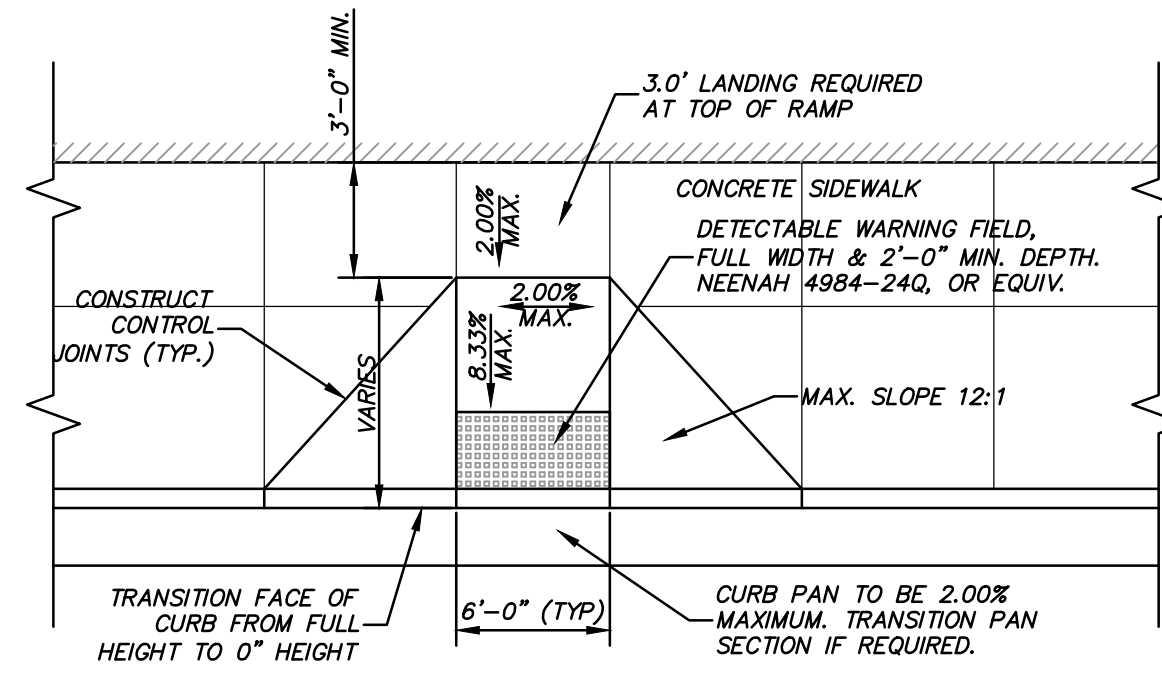
SIGNAGE AND STRIPING DETAILS

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DATE: 11/18/2020
SCALE: N.T.S.
JOB NO. 3200225
PROJECT MANAGER: MATT P. KOCOUREK, PE
DESIGNED BY: RJY
CHECKED BY: JLM
SHEET NUMBER
C503

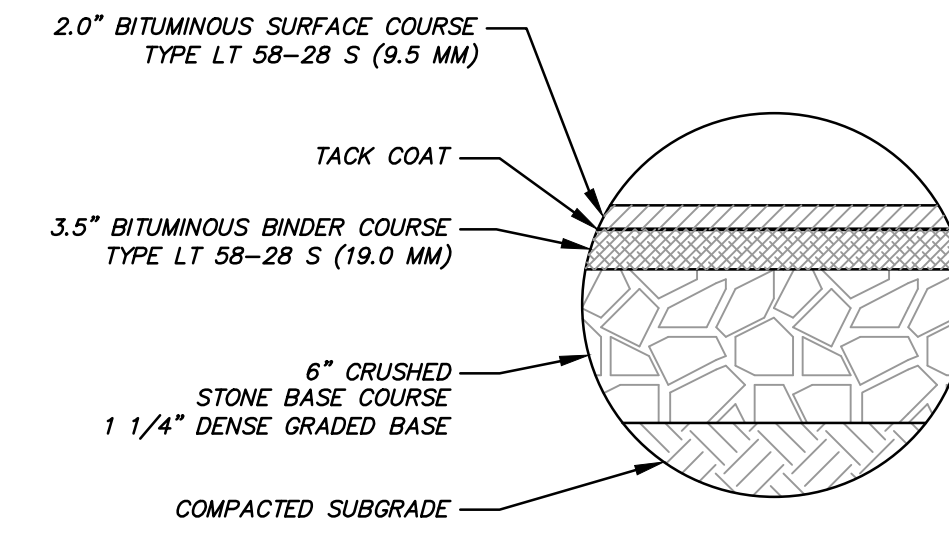


TYPE 1 CURB RAMP

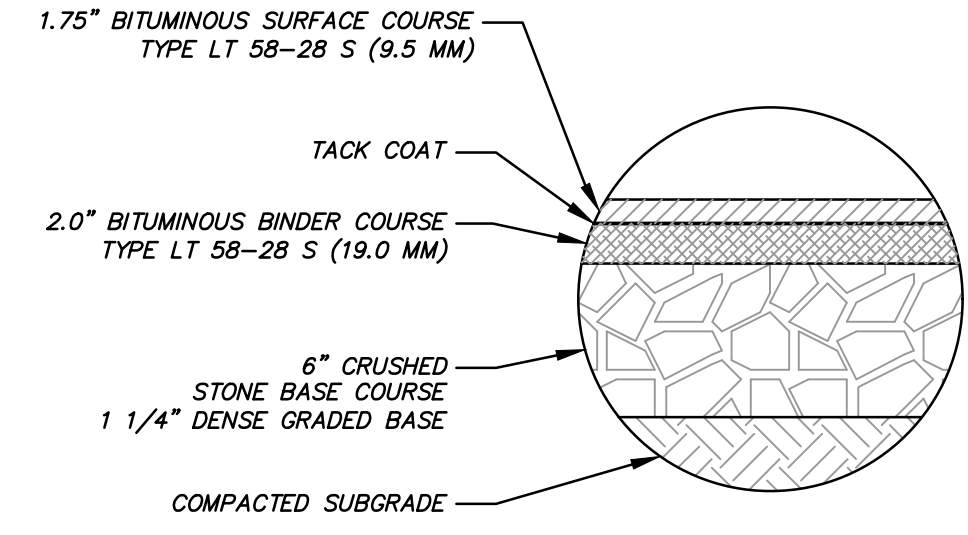
NOTES:
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



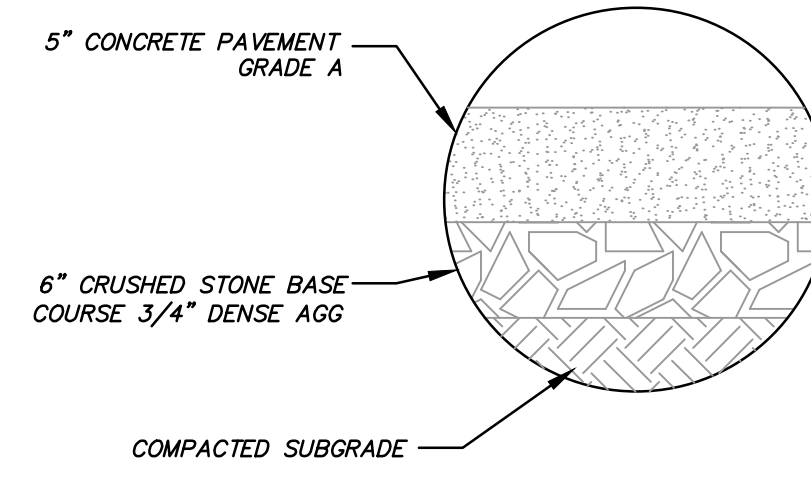
TYPE 2 CURB RAMP



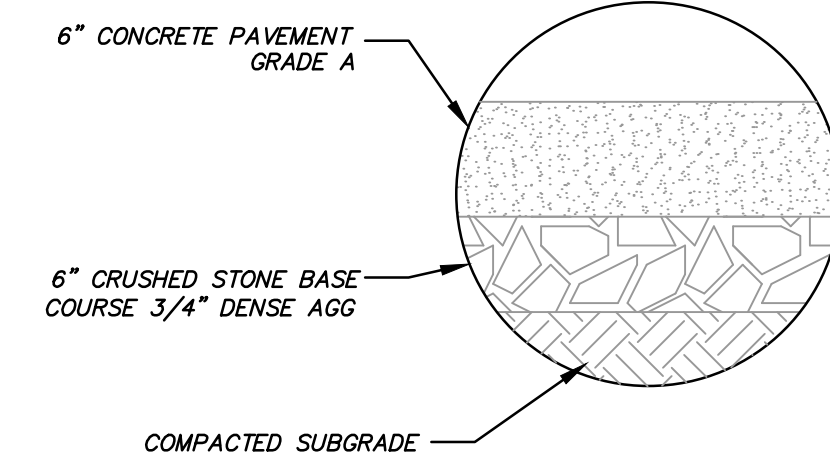
HD ASPHALT PAVEMENT



SD ASPHALT PAVEMENT

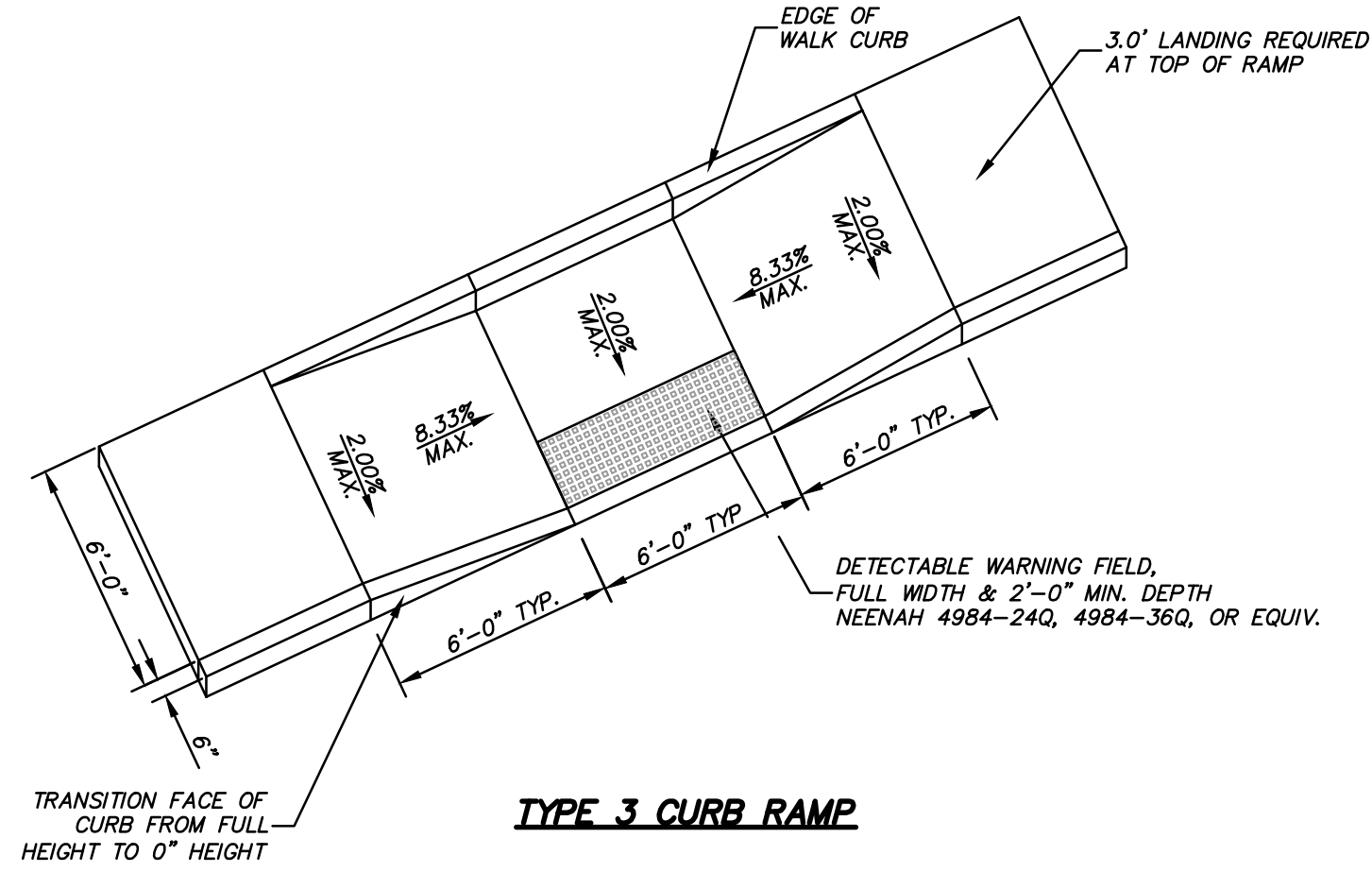


CONCRETE SIDEWALK SECTION

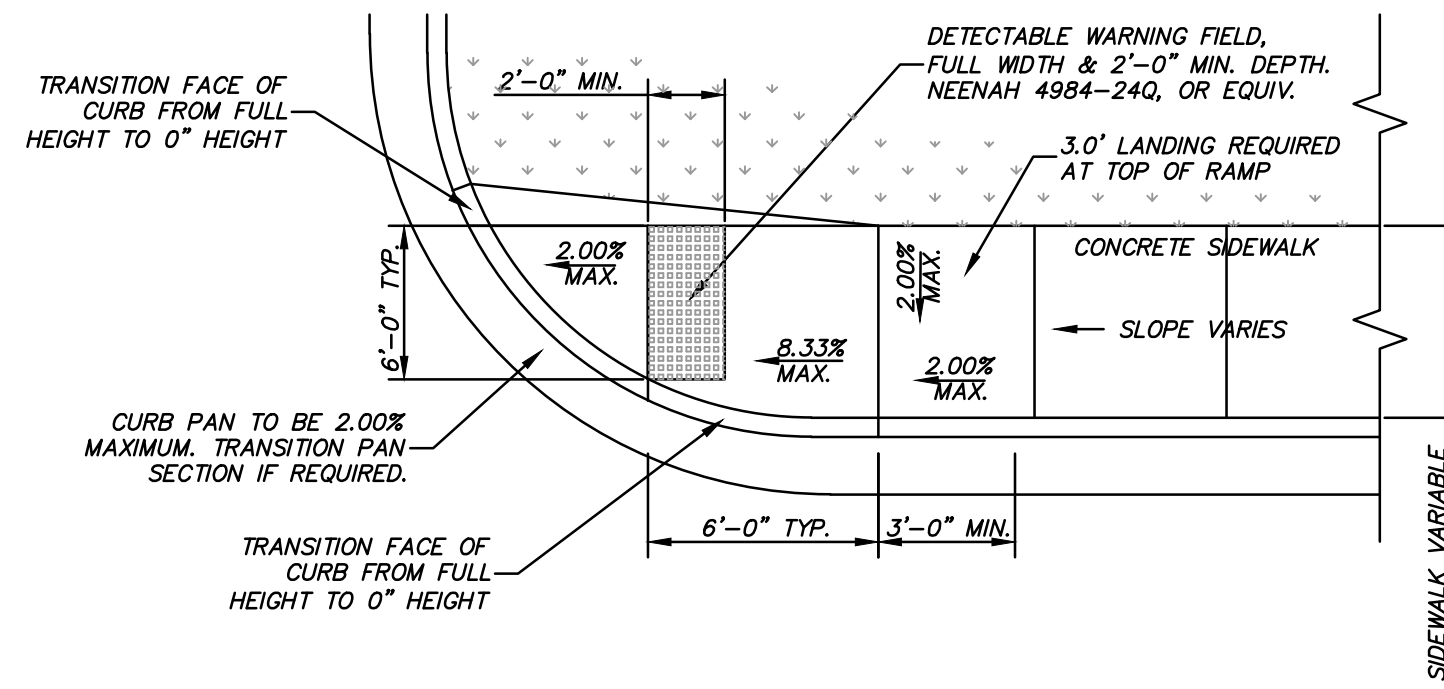


HD CONCRETE SECTION

**ALL PAVEMENT DESIGN AND PAVING SHALL BE VERIFIED WITH THE GEOTECHNICAL ENGINEER.

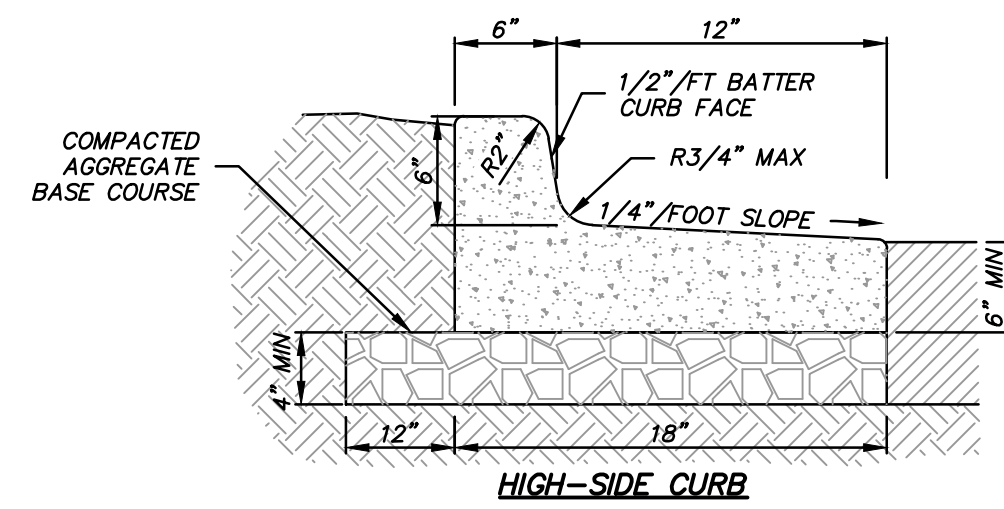


TYPE 3 CURB RAMP

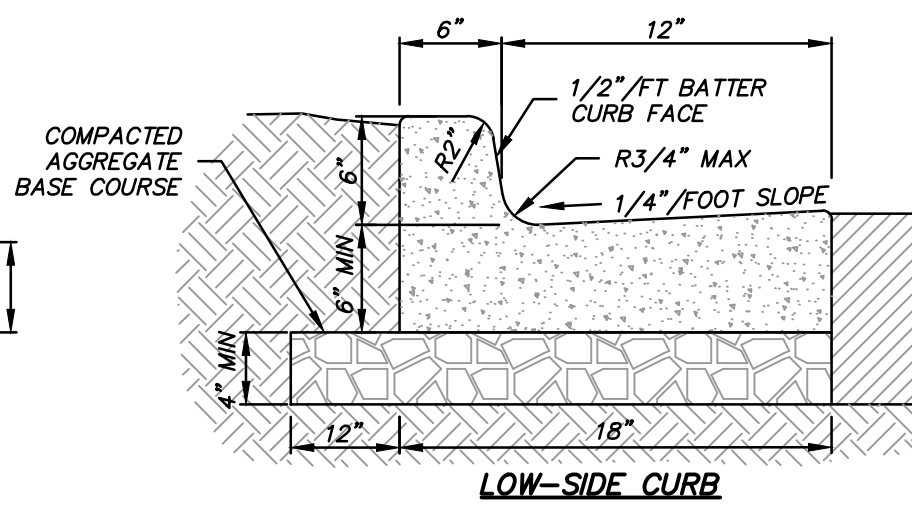


TYPE 4 CURB RAMP

NOTES:
1. SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



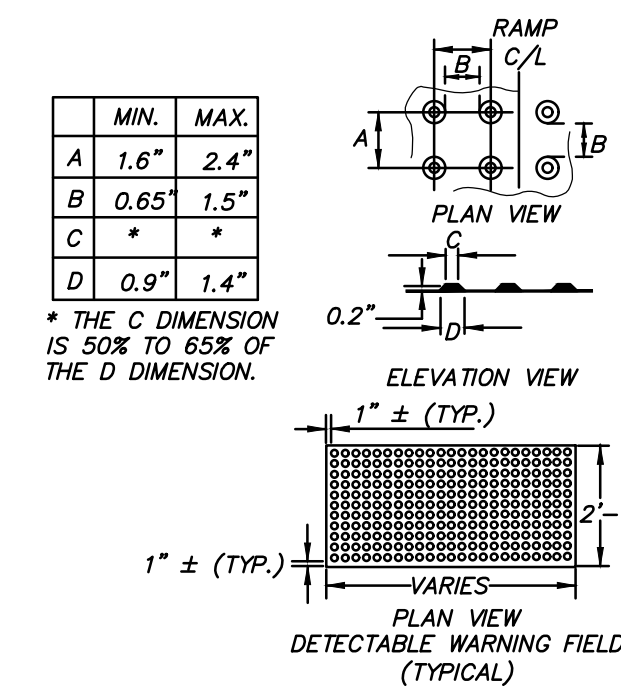
HIGH-SIDE CURB



LOW-SIDE CURB

NOTES:
A) 3500 PSI CONCRETE SHALL BE USED IN CONSTRUCTION OF THE CURB & GUTTER.
B) THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE SLOPE OF THE GUTTER PAN.
C) FOR DEPRESSED CURB HEAD SLOPE, USE THE SAME SLOPE AS ADJACENT SIDEWALK.
D) THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE. PROVIDE MINIMUM 6" GUTTER THICKNESS MAINTAINED. TRANSVERSE CONTRACTION JOINTS SHALL BE CUT OR SAWS AT MAXIMUM 20 FOOT INTERVALS.
E) 1/2" PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED TRANSVERSELY IN THE CURB ABUTTING EXISTING CURB AND SIDEWALK, WALLS OR BUILDINGS, AND AT INTERVALS NOT TO EXCEED 300 FEET, WITH PREFERRED LOCATIONS BEING AT RADIUS POINTS OR ANGLE POINTS.

CONCRETE CURB & GUTTER 18"



DETECTABLE WARNING FIELD (TRUNCATED DOMES)

NOTES:
1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
2. DETECTABLE WARNING FIELDS SHALL BE "NEENAH DETECTABLE WARNING PLATES" 4984-XXXX, OR EQUIV.
3. CURB RAMP DETECTABLE WARNING FIELDS TO BE INSTALLED 6 TO 8 INCHES FROM THE FACE OF CURB.

WEST TOWNE MALL REDEVELOPMENT
CITY OF MADISON, WI

PAVING DETAILS

DESCRIPTION

DATE

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DATE: 11/18/2020

SCALE: N.T.S.

JOB NO. 3200225

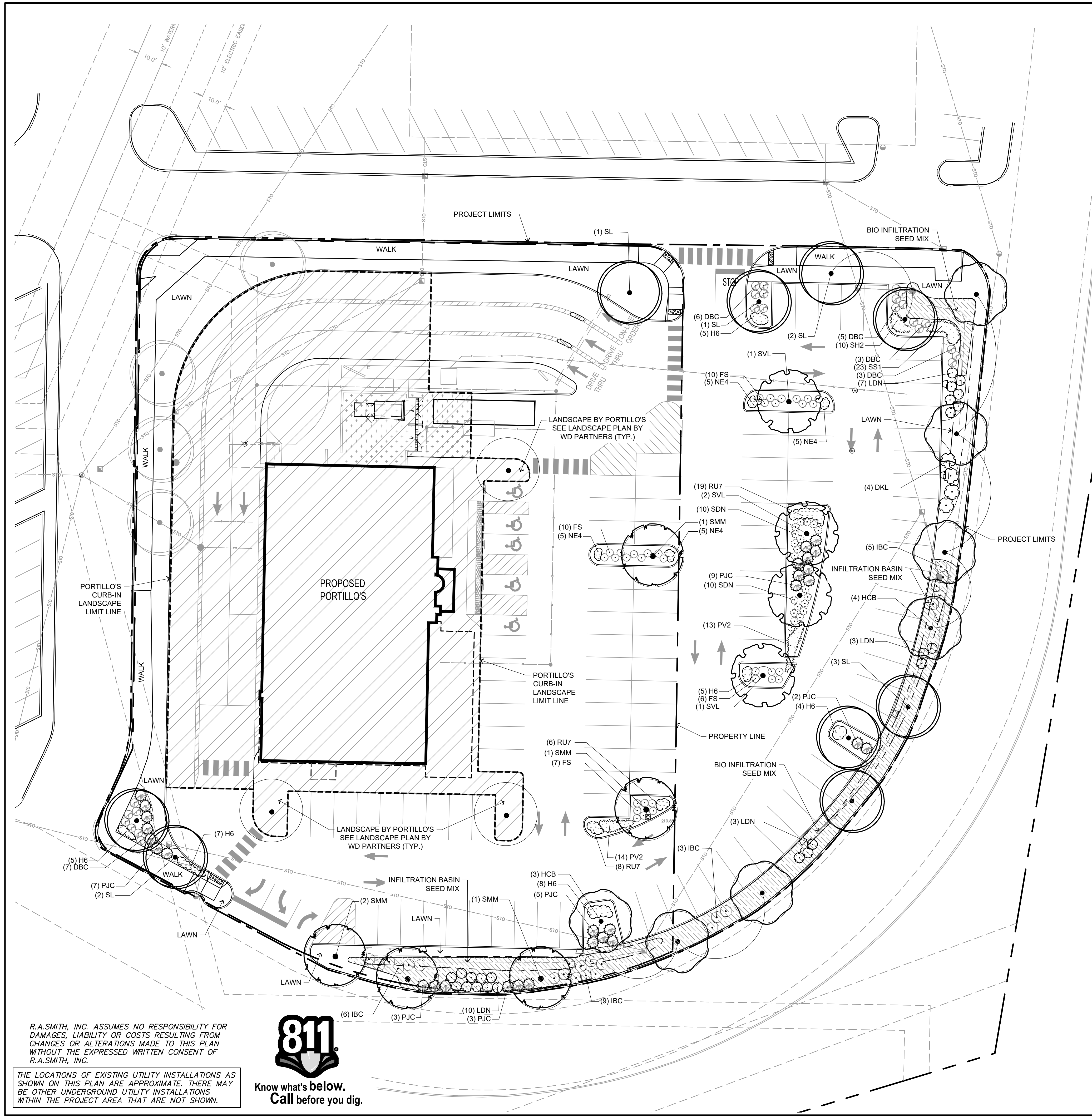
PROJECT MANAGER:
MATT P. KOCUREK, PE

DESIGNED BY: RJY

CHECKED BY: JLM

SHEET NUMBER

C504



KEY MAP
NTS

PLANT SCHEDULE

DECIDUOUS CANOPY TREE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	5	State Street Miyabeii Maple	Acer miyabei 'Morton' TM	2 1/2' CAL	B&B	Full matching heads
HCB	7	Common Hackberry	Celtis occidentalis	2 1/2' CAL	B&B	Full matching heads
SL	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2 1/2' CAL	B&B	Full matching heads
SVL	4	Sterling Silver Linden	Tilia tomentosa 'Sterling'	2 1/2' CAL	B&B	Full matching heads

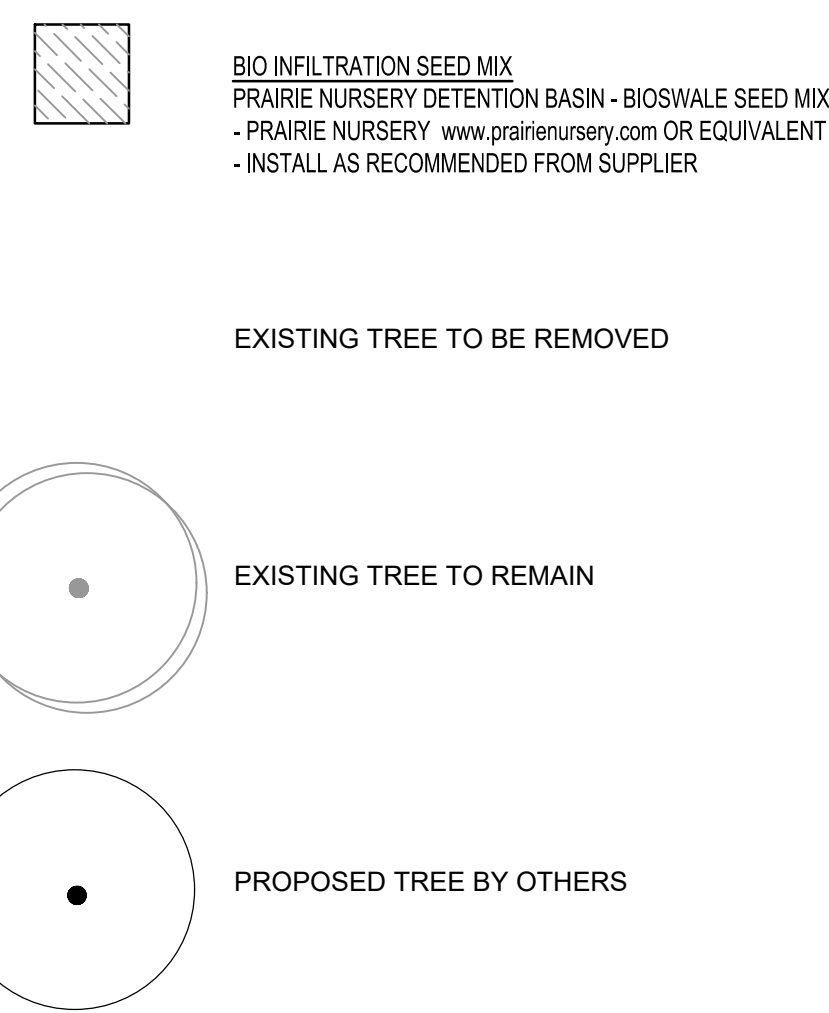
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
IBC	23	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	15" HT	CONT.	
SDN	20	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT.	
DBC	24	Cool Splash False Honeysuckle	Diervilla sessilifolia 'Cool Splash'	15" HT	CONT.	
LDN	23	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
FS	33	Froebel Spirea	Spiraea x bumalda 'Froebelii'	15" HT	CONT.	
DKL	4	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	24" HT	CONT.	

EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	29	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18"SPD	CONT.	

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PV2	27	Cheyenne Sky Switch Grass	Panicum virgatum 'Cheyenne Sky'	1 GAL	POT	18" Spacing
SS1	23	Little Bluestem Grass	Schizachyrium scoparium	1 GAL	POT	18" Spacing
SH2	10	Tara Prairie Dropseed	Sporobolus heterolepis 'Tara'	1 GAL	POT	18" Spacing

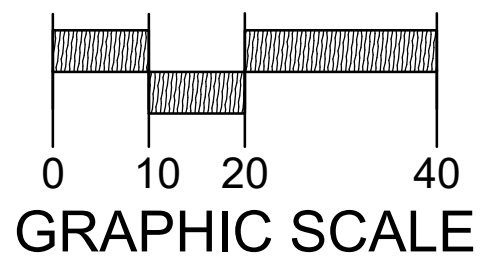
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
H6	34	Little Business Daylily	Hemerocallis x 'Little Business'	1 GAL	POT	24" Spacing
NE4	20	Kit Cat Catmint	Nepeta x faassenii 'Kit Cat'	1 GAL	POT	18" Spacing
RU7	33	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivanti 'Little Goldstar'	1 GAL	POT	18" Spacing

LANDSCAPE KEY



GENERAL LANDSCAPE NOTES

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND.



THIS PLAN IS FOR MUNICIPAL REVIEW
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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
WEST TOWNE MALL REDEVELOPMENT CITY OF MADISON, WI LANDSCAPE PLAN	
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