

Consultant

Notes

- A SIDE WALK WITH A FITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM FITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
- ALL DRIVEWAYS, CURB ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
- ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.02(4).
- ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING BASEMENTS OR IN PRIVATE GARAGES.
- SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
- BIKE STALLS TO BE IN ACCORDANCE WITH MADISON GENERAL ORDINANCE 20.11, (SEE SUBSECTIONS (3)(a) AND (3)(b)(2)).
- ALL CITY SIDEWALK, CURB, AND GUTTER WHICH IS DAMAGED DURING CONSTRUCTION OR THAT THE CITY ENGINEER DETERMINES TO BE NECESSARY SHALL BE REPLACED.
- ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY'S PATCHING CRITERIA.
- SIGNAGE APPROVALS ARE NOT GRANTED BY THE PLAN COMMISSION. SIGNAGE MUST BE APPROVED BY THE URBAN DESIGN COMMISSION OR STAFF. SIGN PERMITS MUST BE ISSUED BY THE ZONING SECTION OF THE DEPARTMENT OF PLANNING AND COMMUNITY AND ECONOMIC DEVELOPMENT PRIOR TO SIGN INSTALLATIONS.
- PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT MAY BE REQUIRED BY THE CITY TRAFFIC ENGINEER FOR WHICH THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE.
- BOTTOM EDGE OF ACCESSIBLE PARKING SIGNAGE TO BE MOUNTED 60" MIN. ABOVE THE GROUND.

Revisions

- May 11, 2011 - UDC Initial Submittal
- June 8, 2011 - Parking Lot Submittal
- June 29, 2011 - UDC INITIAL SUBMITTAL

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SITE DEVELOPMENT STATISTICS - LOT 26

LOT AREA	50,093 S.F./1.15 ACRES
DWELLING UNITS	28 D.U.
LOT AREA/ D.U.	1,789 S.F./D.U.
DENSITY	24 UNITS/ACRE
BUILDING HEIGHT	3 STORIES
GROSS FLOOR AREA	31,604 S.F.
(excluding underground parking)	

COMMERCIAL BUILDING	
BUILDING HEIGHT	1 STORY
GROSS FLOOR AREA	2,000 S.F.
FLOOR AREA RATIO	0.72

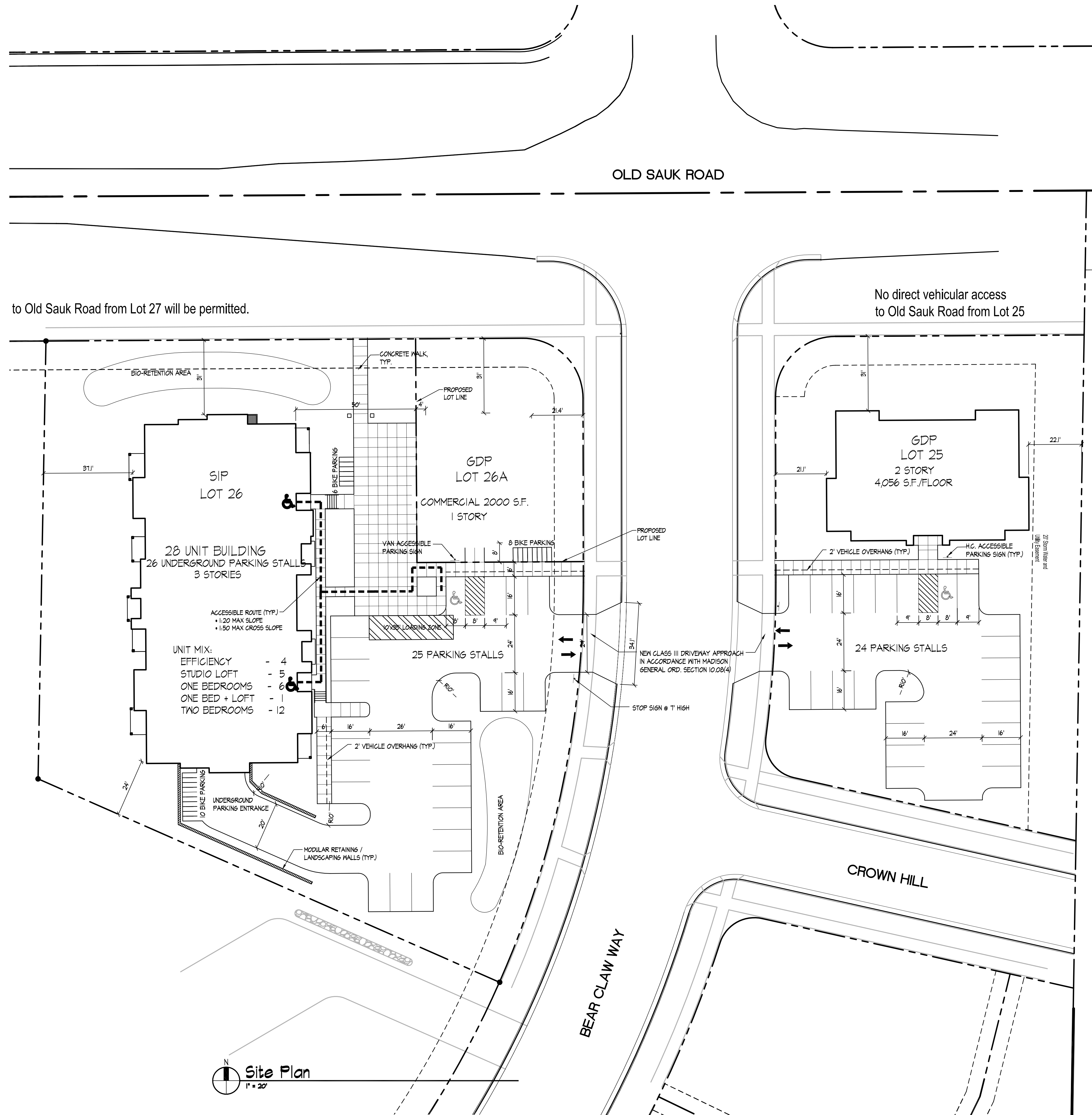
UNIT MIX:	
EFFICIENCY	4
STUDIO W/ LOFT	5
ONE BEDROOM	6
ONE BEDROOM W/ LOFT	1
TWO BEDROOM	12
TOTAL	28

VEHICLE PARKING	
SURFACE	25 (INCL. 1 VAN ACCESSIBLE)
UNDERGROUND	26 (INCL. 1 ACCESSIBLE)
TOTAL	51 (INCL. 2 ACCESSIBLE)

BIKE PARKING	
SURFACE	24
UNDERGROUND	5
TOTAL	29 (29 REQUIRED)

SITE DEVELOPMENT STATISTICS - LOT 25

LOT AREA	24,718 S.F.
BUILDING HEIGHT	2 STORY
GROSS FLOOR AREA	8,112 S.F.



to Old Sauk Road from Lot 27 will be permitted.

No direct vehicular access to Old Sauk Road from Lot 25

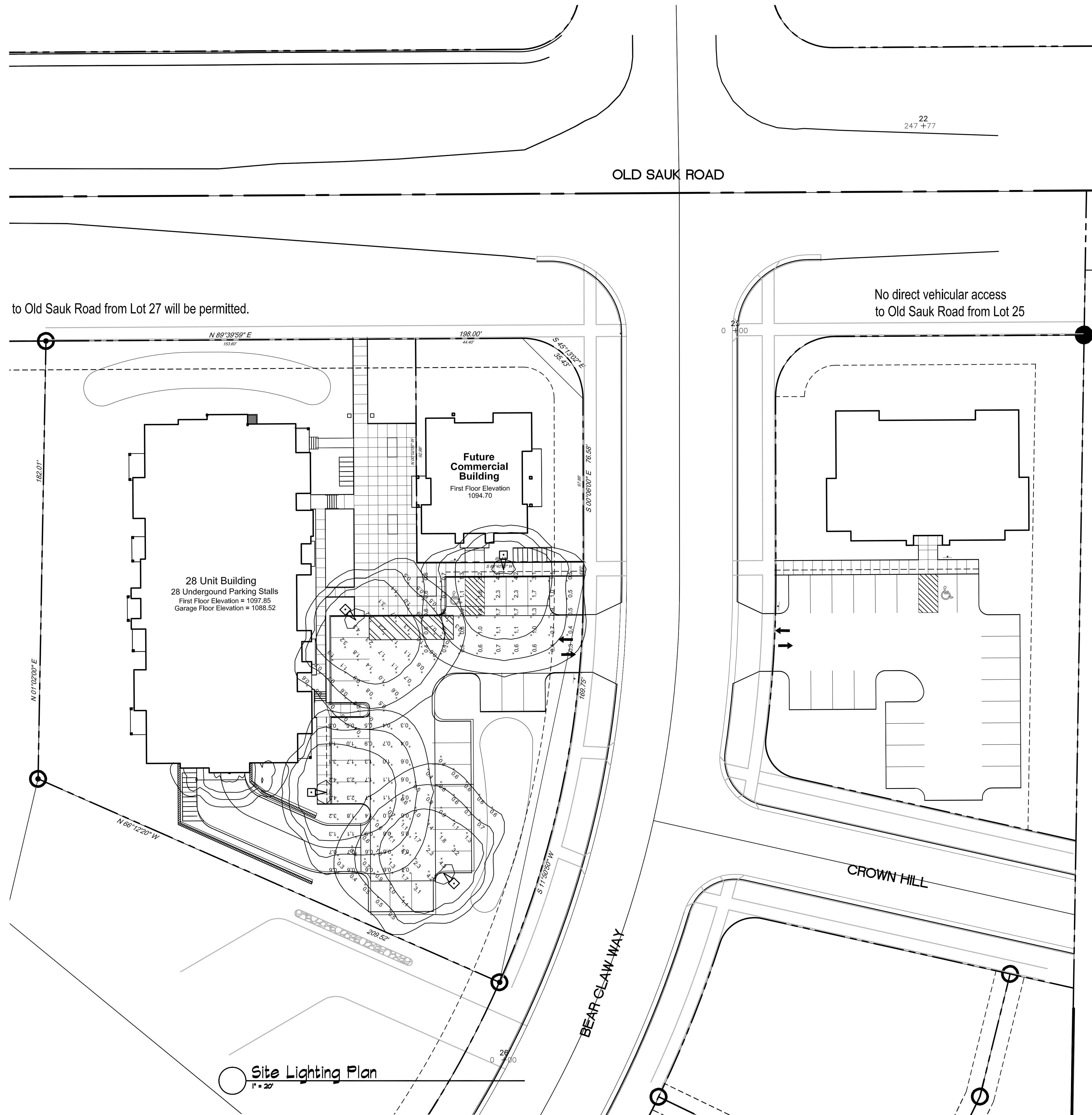
Site Plan
1" = 20'

Project Title
Old Sauk Mixed-Use

Drawing Title
Site Plan

Project No. **1102** Drawing No. **C-1.1**

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to Old Sauk Road from Lot 27 will be permitted.

No direct vehicular access to Old Sauk Road from Lot 25

LIGHTING SCHEDULE									
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	Mounting
	A	9	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 W MH	MAC417SBL.le	9000	16'-0" POLE ON 2'-0" CONC. BASE
	B	2	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50 W MH	E8507.IES	3060	8'-0" UP ON SIDE OF BUILDING

Arrow indicates direction of light, typical

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.2 fc	5.5 fc	0.3 fc	18.3:1	4.0:1

Revisions
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 June 29, 2011 - UDC INITIAL SUBMITTAL


Project Title
Old Sauk Mixed-Use

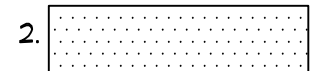
Drawing Title
Site Lighting Plan

Project No. **1102** Drawing No. **C-1.2**

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Notes

1.  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.

2.  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)

3. VARIOUS LINETYPES REPRESENT 500' HOSELAYS.

Revisions

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- June 29, 2011 - UDC INITIAL SUBMITTAL

Project Title

Old Sauk Mixed-Use

Drawing Title

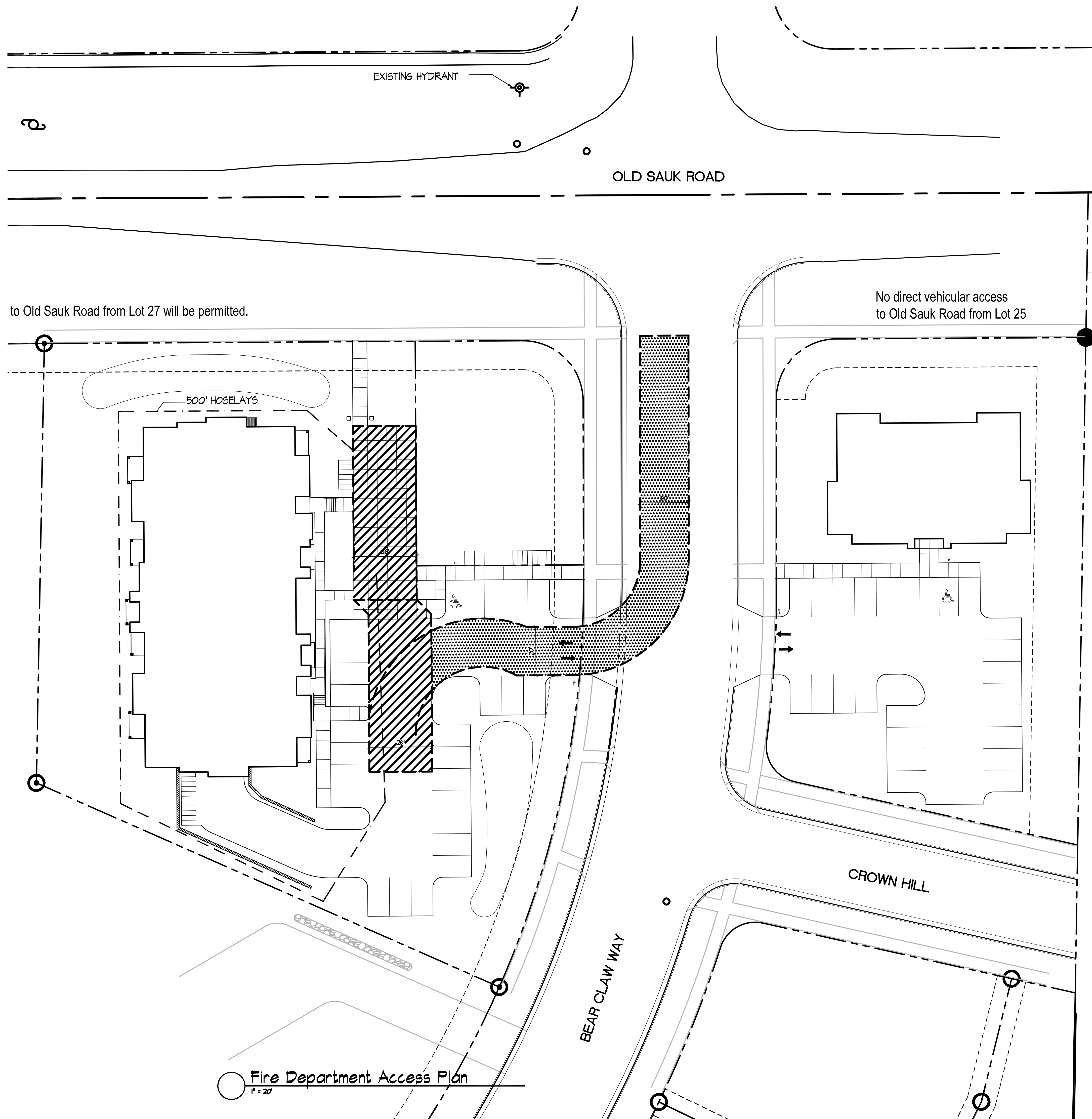
Fire
 Access Plan

Project No.

1102

Drawing No.

C-1.3



to Old Sauk Road from Lot 27 will be permitted.

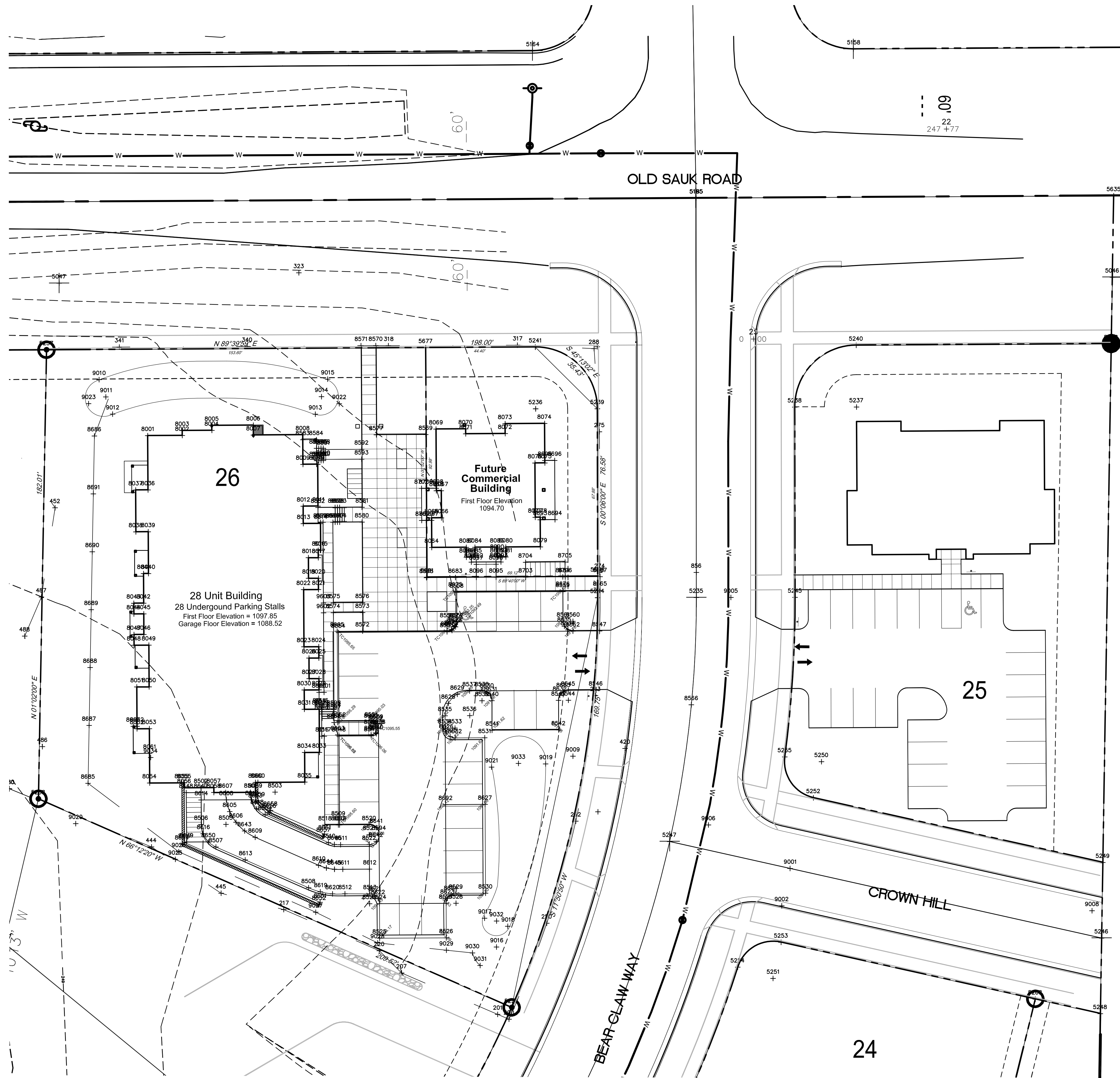
No direct vehicular access to Old Sauk Road from Lot 25

500' HOSELAYS

CROWN HILL

BEAR CLAW WAY

Fire Department Access Plan
 1" = 20'



Site Grading & Utility Plan
 1" = 20'

- Revisions
- May 11, 2011 - UDC Initial Submittal
 - June 8, 2011 - Parking Lot Submittal
 - June 29, 2011 - UDC INITIAL SUBMITTAL

Project Title
Old Sauk Mixed-Use

Drawing Title
Site Grading & Utility Plan

Project No. Drawing No.

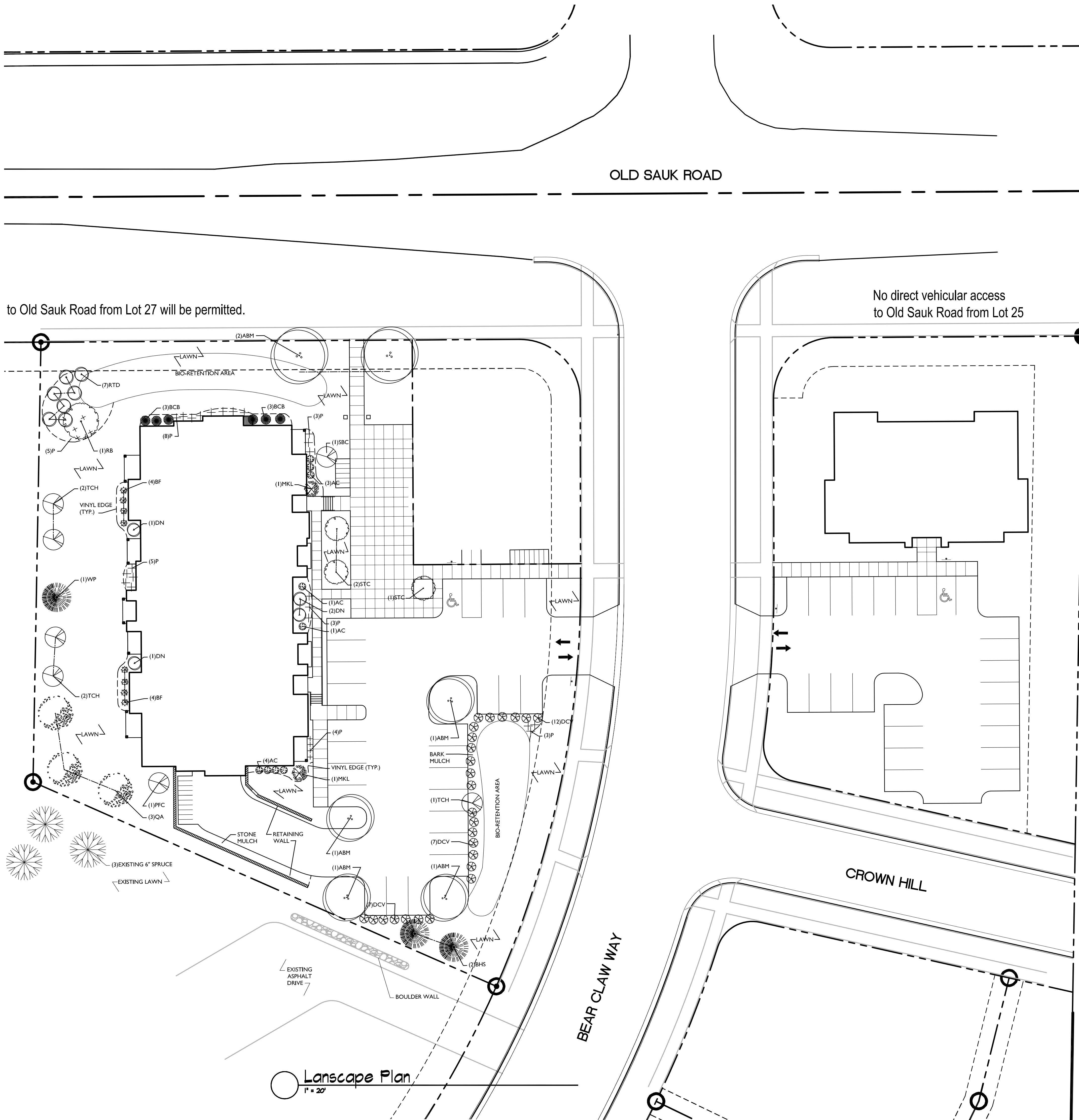
1102

C-2.1

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Plant List				
Key	Size	Common Name	Root	Quantity
Canopy Trees				
ABM	2 1/2"	Autumn Blaze Maple	BB	6
RB	10"	River Birch Clump	BB	1
QA	2"	Quaking Aspen	BB	3
Ornamental Trees				
PFC	2"	Prairie Fire Crab	BB	1
STC	2"	Sergeant Thia Crab	BB	3
TCH	2"	Thornless Cocksbur Hawthorn	BB	5
Evergreen Trees				
BHS	4"	Black Hills Spruce	BB	2
WP	6"	White Pine	BB	1
Deciduous Shrubs				
AC	15"	Alpine Currant	Pot	9
BCB	18"	Black Chokeberry	Pot	6
BF	15"	Bronx Forsythia	Pot	8
DCV	18"	Dwarf Cranberry bush Viburnum	Pot	19
DN	24"	Diablo Ninebark	Pot	4
MKL	24"	Miss Kim Lilac	Pot	2
RTD	24"	Red Twig Dogwood	Pot	7
P	1 Gal	Perennials: AJ Sedum Midnight Wine Daylily Stella De'Oro Daylily Variegated Hosta	Con	31

- NOTES:**
- Lawn Areas shall be fine graded, fertilized, and sodded (#1 locally grown sod).
 - Planting beds designated as "stone mulch" to receive 3" of 2# washed stone over weed barrier fabric.
 - Planting beds designated as "bark mulch" to receive 3" shredded hardwood bark mulch.
 - Individual trees and shrubs in lawn areas to receive shredded hardwood bark mulch plant rings (4" diameter) spread to a depth of 3".
 - Planting beds to be separated from lawn areas with 5" black vinyl bed edging (Valley View Black Diamond or equal).
 - Retaining walls to be constructed of Waupun stone.
 - Owner is responsible for maintenance after completion.



Landscape Plan
1" = 20'

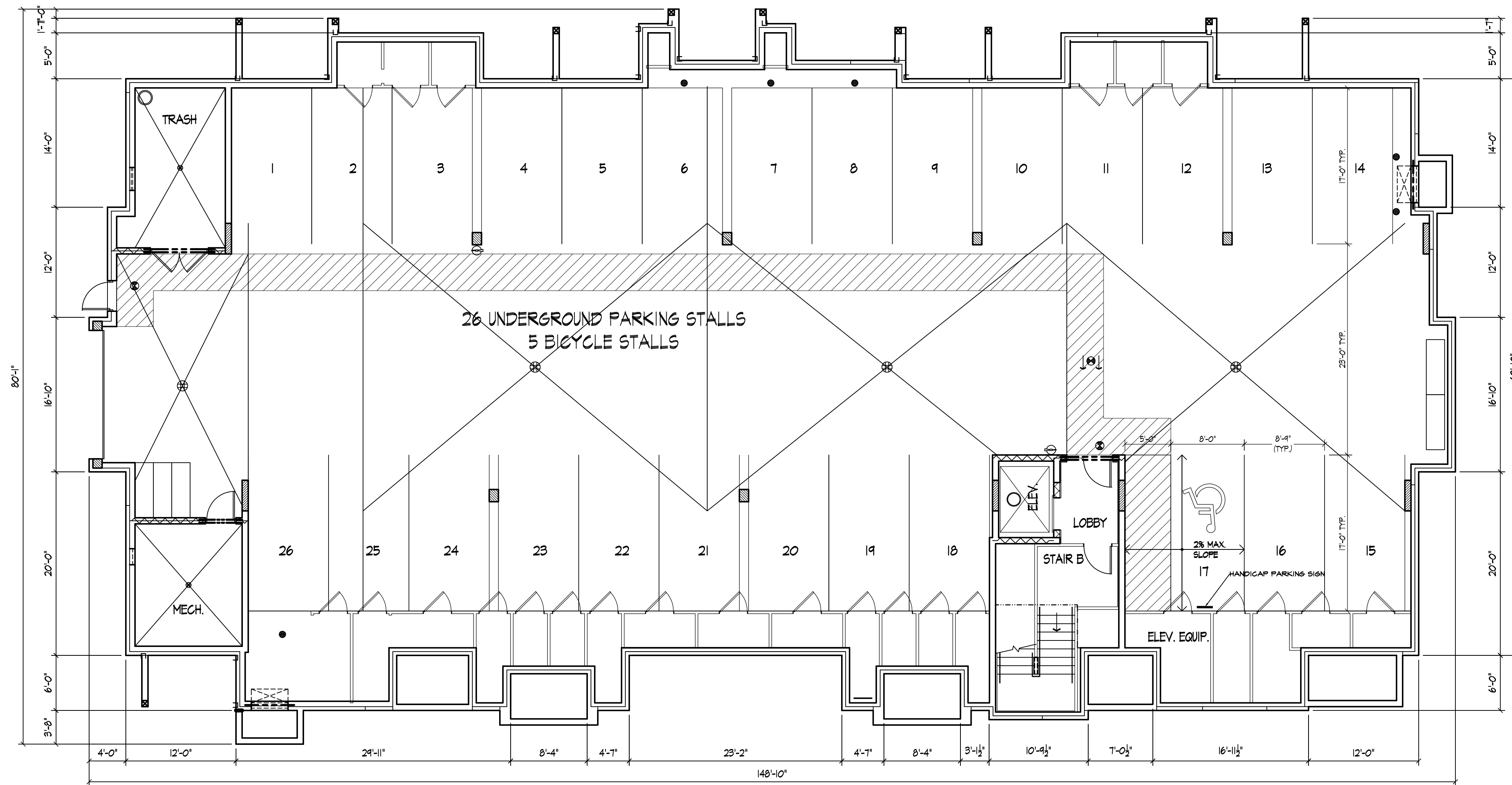
- Revisions**
- May 11, 2011 - UDC Initial Submittal
 - June 8, 2011 - Parking Lot Submittal
 - June 29, 2011 - UDC INITIAL SUBMITTAL

Project Title
Old Sauk Mixed-Use

Drawing Title
Landscape Plan

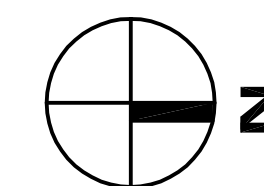
Project No. **1102** Drawing No. **L-1.1**

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Revisions
JUNE 8, 2011 - PARKING LOT SUBMITTAL
JUNE 24, 2011 - UDC INITIAL SUBMITTAL

BASEMENT FLOOR PLAN
1/8" = 1'-0"



Project Title
Old Sauk Apartments
652 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
Basement Floor Plan
28 Unit

Project No. Drawing No.

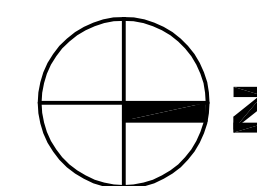
1102

A-1.0

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FIRST FLOOR PLAN 9491 S.F.
1/8" = 1'-0"



Revisions
JUNE 8, 2011 - PARKING LOT SUBMITTAL
JUNE 24, 2011 - UDC INITIAL SUBMITTAL

Project Title
Old Sauk Apartments
652 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
First Floor Plan
28 Unit

Project No. Drawing No.

1102 A-1.1

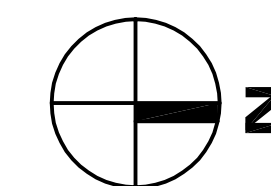
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Revisions
 JUNE 8, 2011 - PARKING LOT SUBMITTAL
 JUNE 24, 2011 - UDC INITIAL SUBMITTAL

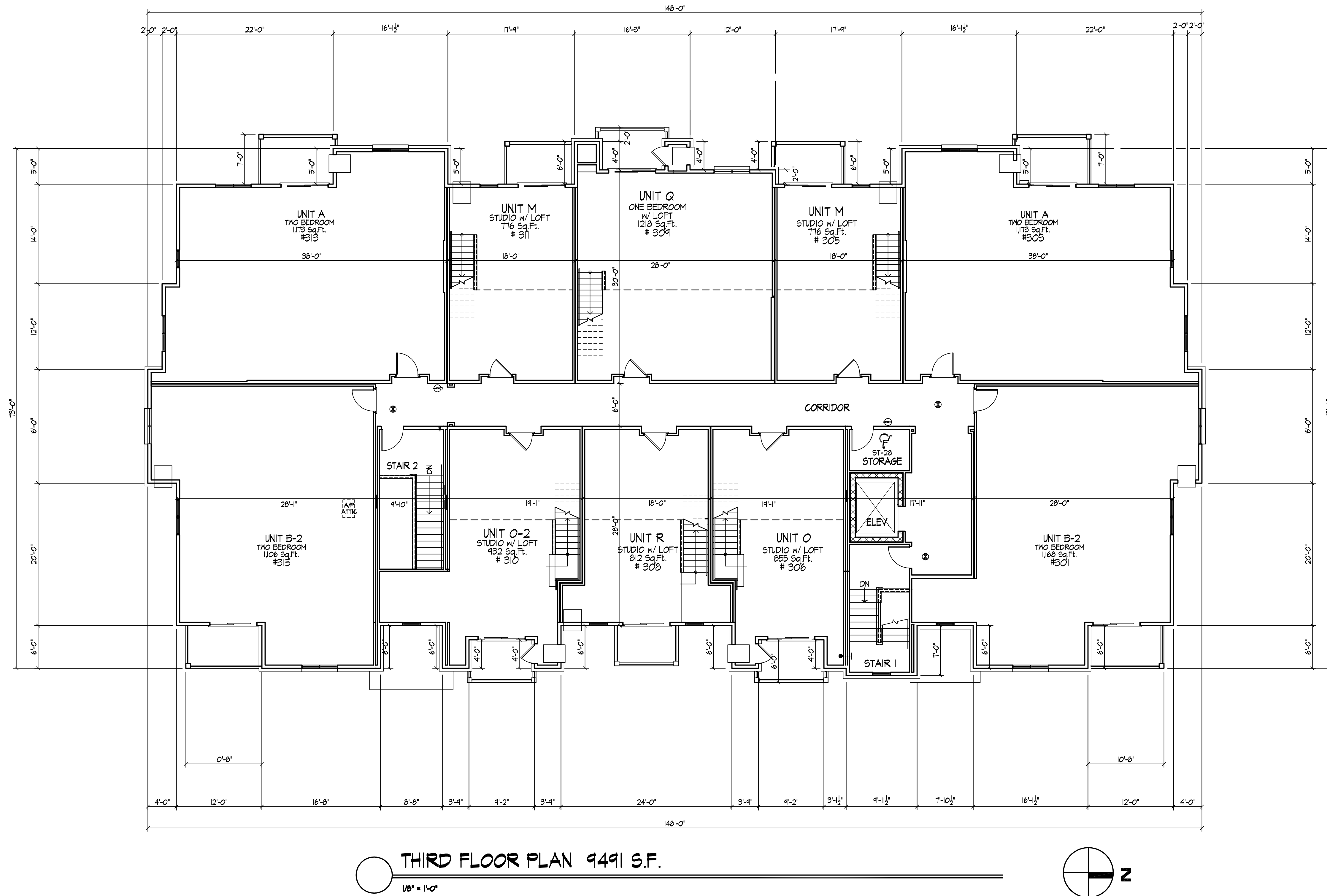
Project Title
Old Sauk Apartments
 652 Bear Claw Way
 Lot 26 of Sauk Heights

SECOND FLOOR PLAN 9491 S.F.
 1/8" = 1'-0"



Drawing Title
Second Floor Plan
 20 Unit

Project No. **1102** Drawing No. **A-1.2**



Revisions
 JUNE 8, 2011 - PARKING LOT SUBMITTAL
 JUNE 24, 2011 - UDC INITIAL SUBMITTAL

Project Title
Old Sauk Apartments
 652 Bear Claw Way
 Lot 26 of Sauk Heights

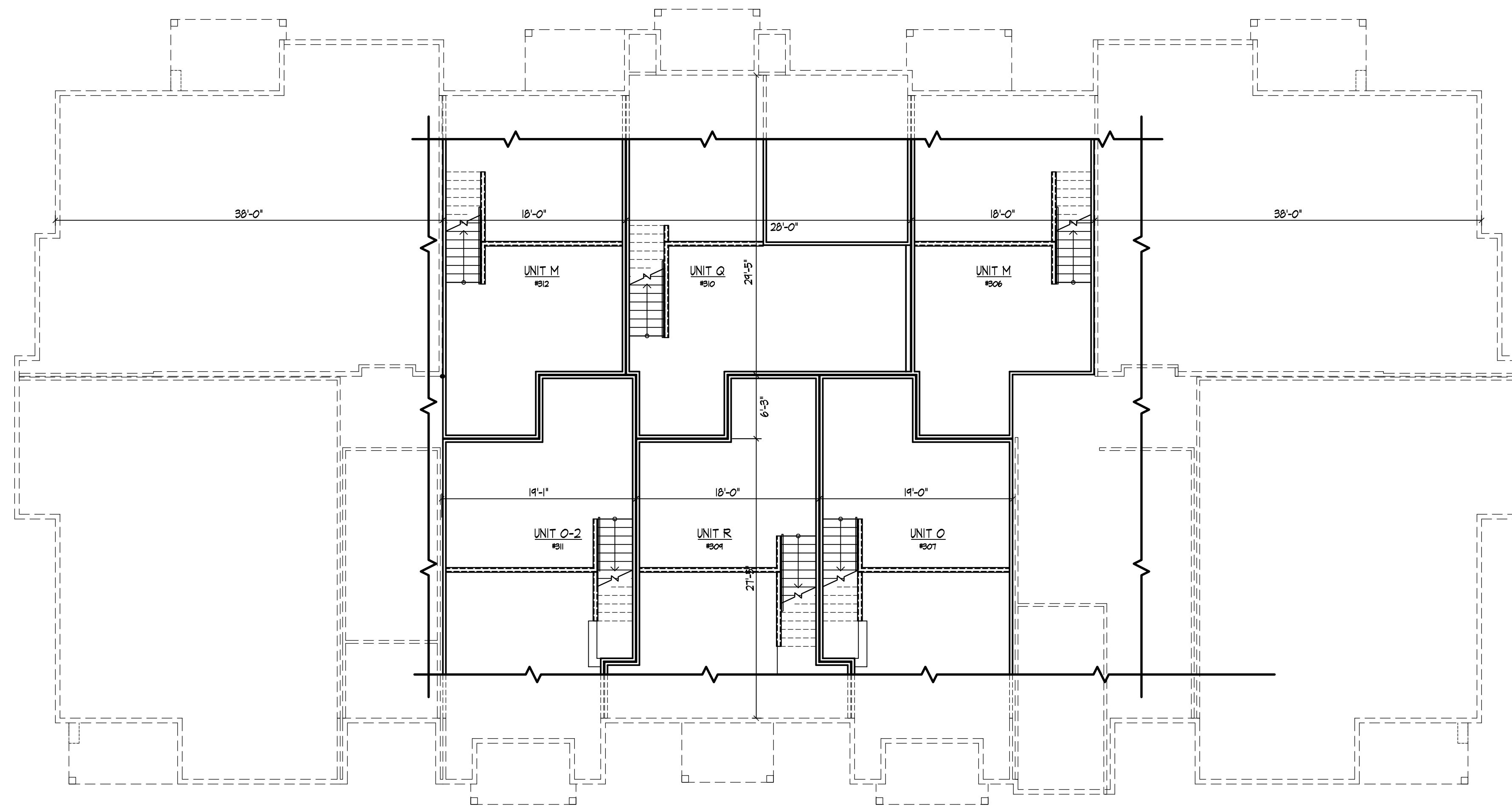
Drawing Title
Third Floor Plan
 20 Unit

Project No. **1102** Drawing No. **A-1.3**

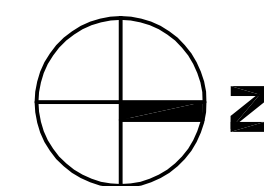
Consultant

Notes

1. SEE SHEET A-1.1 FOR TYPICAL NOTES



LOFT FLOOR PLAN 1800 S.F.
1/8" = 1'-0"



Revisions

JUNE 8, 2011 - PARKING LOT SUBMITTAL
JUNE 24, 2011 - UDC INITIAL SUBMITTAL

Project Title

Old Sauk Apartments
652 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title

Loft Plan
28 Unit

Project No.

1102

Drawing No.

A-1.4



SIDE ELEVATION
along Old Sauk Road



FRONT ELEVATION

652 Bear Claw Way
Lot 26 of Sauk Heights



July 6, 2011

**KNOTHE
& BRUCE**
architects



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

Revisions

JUNE 29, 2011 - UDC INITIAL SUBMITTAL

Project Title

Old Sauk Apartments
652 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title

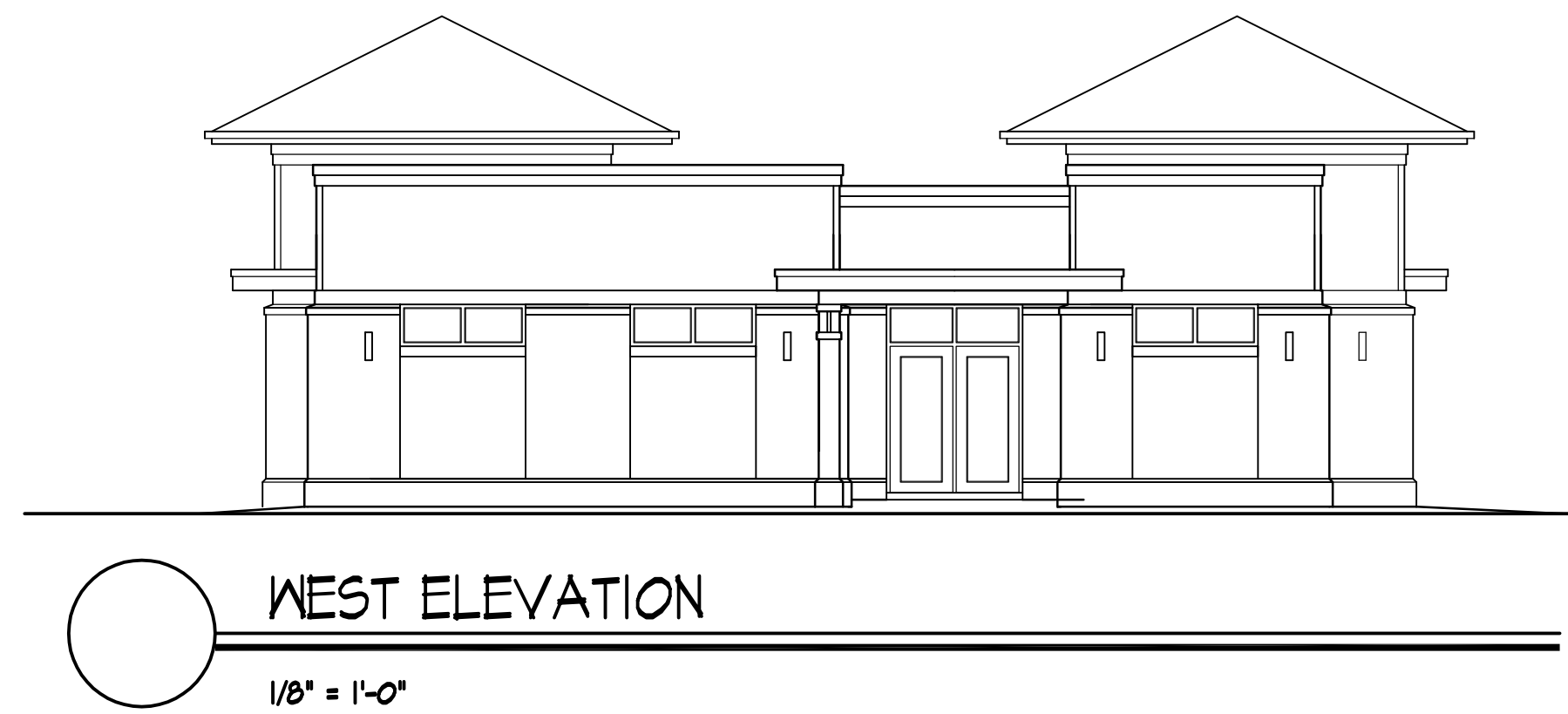
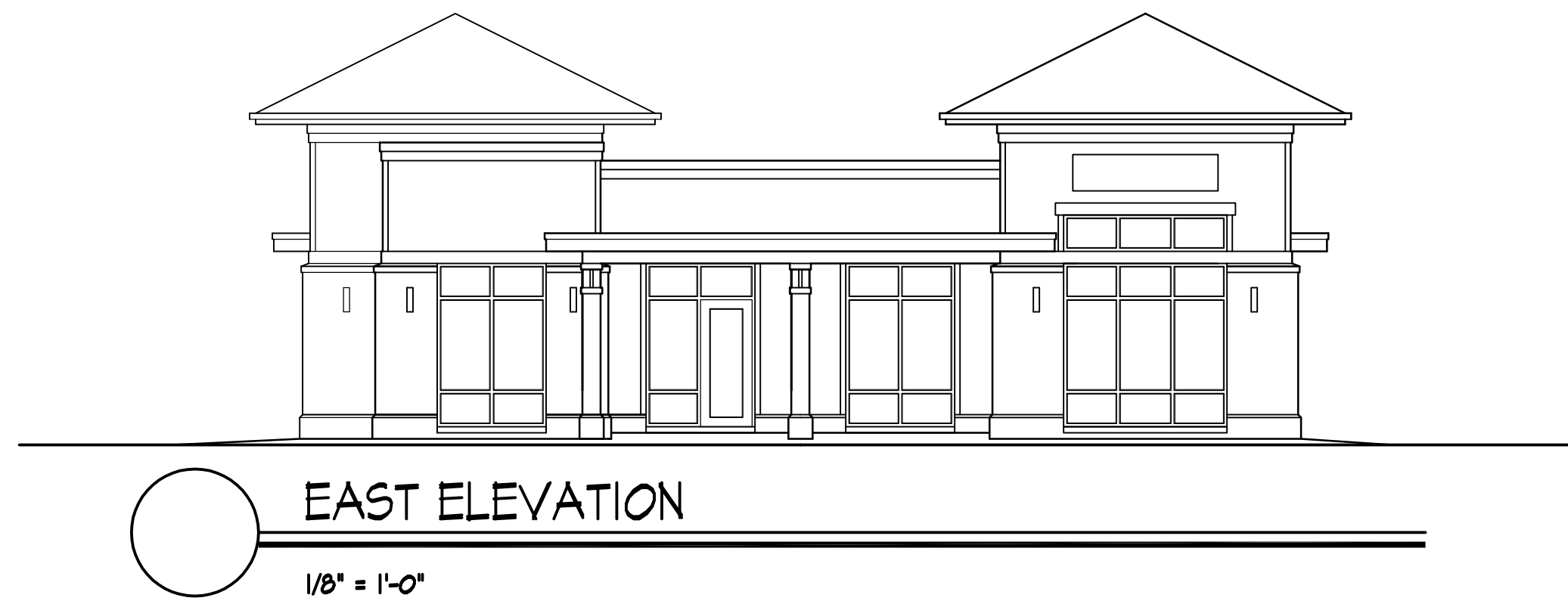
Elevations
28 Unit

Project No.

1102

Drawing No.

A-2.2



Revisions
JUNE 24, 2011 - UDC INITIAL SUBMITTAL

Project Title
Old Sauk Apartments
652 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
**Elevations
Commercial**

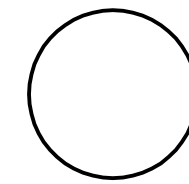
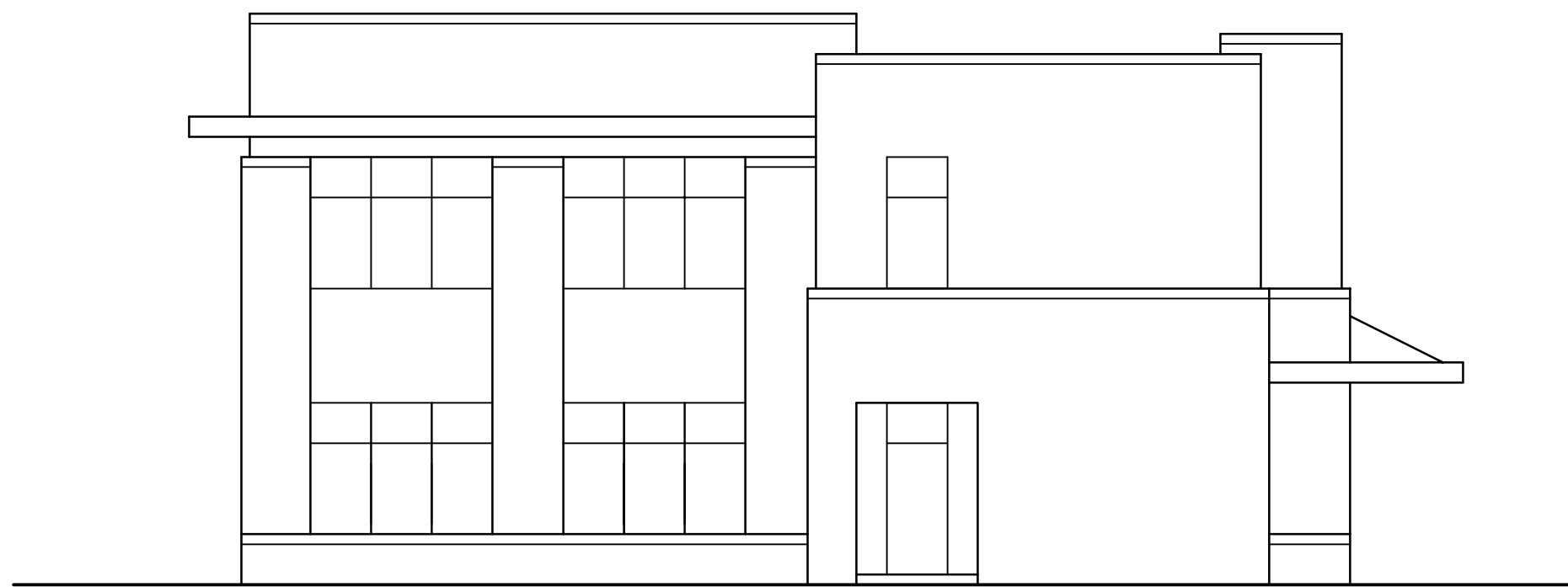
Project No.

Drawing No.

1102

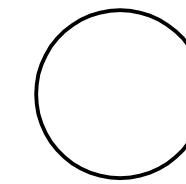
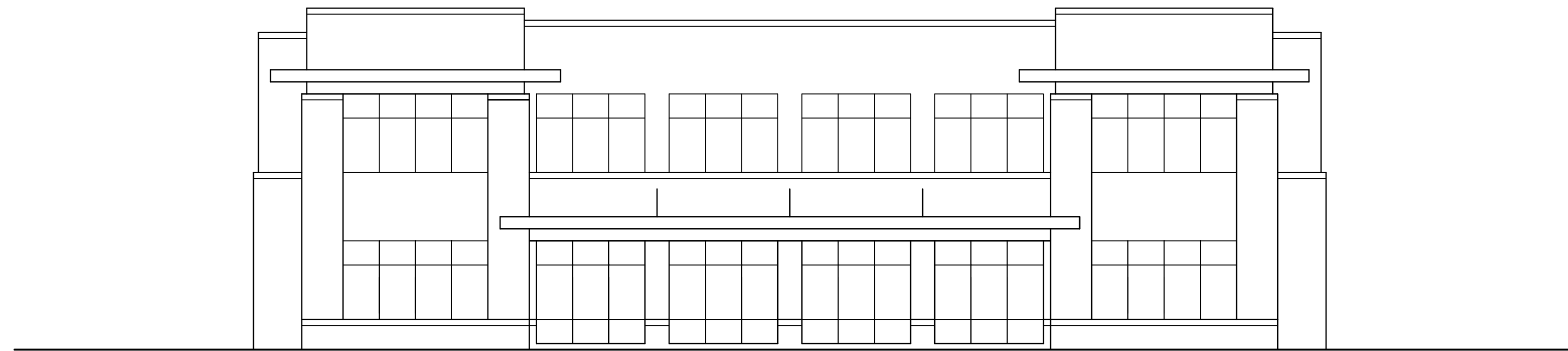
A-2.3

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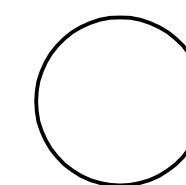
SIDE ELEVATION

1/8" = 1'-0"



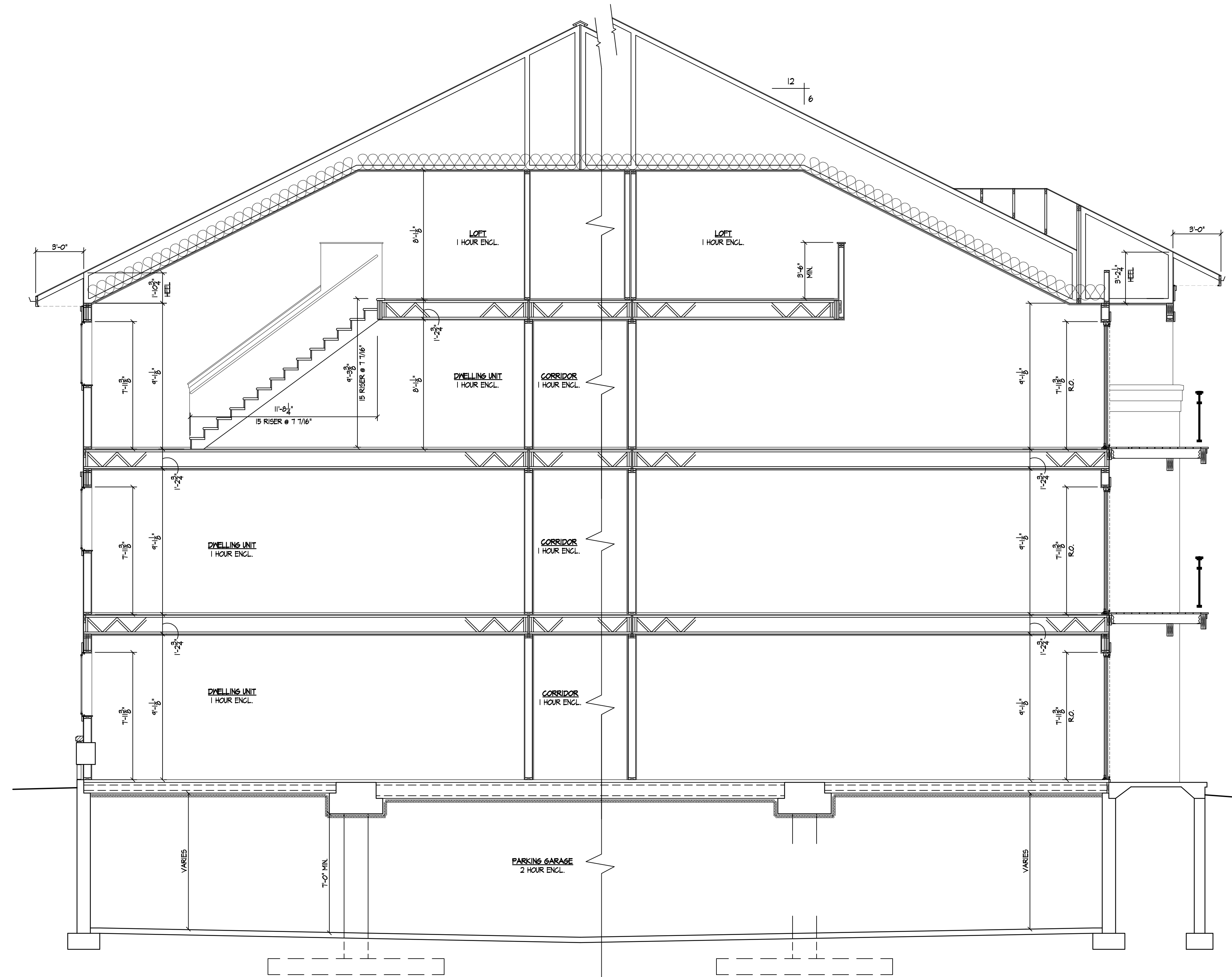
NORTH ELEVATION ALONG OLD SAUK

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"



A
A-3.1 BUILDING SECTION
1/4" = 1'-0"

Revisions

JULY 27, 2011 - UDC FINAL SUBMITTAL

Project Title

Old Sauk Apartments
652 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title

Building Section
28 Unit

Project No.

1102

Drawing No.

A-3.1