

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_

**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>May 1, 2013</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>May 8, 2013</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1924 Atwood Avenue

ALDERMANIC DISTRICT: Marsha Rummel- District #6

OWNER/DEVELOPER (Partners and/or Principals)

ARCHITECT/DESIGNER/OR AGENT:

Scott Lewis/CMI Management, Inc.

Knothe & Bruce Architects, LLC

121 S. Pinckney Street, Suite 200

7601 University Avenue, Suite 201

Madison, WI 53703

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: [rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)

**TYPE OF PROJECT:**

(See Section A For:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District\* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee Required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

March 20, 2013

Mr. Bill Fruhling  
Department of Planning & Development  
City of Madison  
215 Martin Luther King Jr. Blvd.  
PO Box 2985  
Madison, Wisconsin 53701

Re: Letter of Intent  
PUD-SIP Submittal  
1924 Atwood Ave.  
Madison, WI

Dear Mr. Fruhling,

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

**Organizational structure:**

Owner: CMI Management, Inc.  
121 S. Pinckney St, Suite 200  
Madison, WI 53703  
(608) 256-4200  
Contact: Scott Lewis  
[scott@cmimanagement.net](mailto:scott@cmimanagement.net)

Architect: Knothe & Bruce Architects, LLC  
7601 University Ave, Ste 201  
Middleton, WI 53562  
(608) 836-3690  
(608) 836-6934 Fax  
Contact: Randy Bruce  
[rbruce@knothebruce.com](mailto:rbruce@knothebruce.com)

Engineer: Vierbicher Associates, Inc.  
999 Fourier Drive, Suite 201  
Madison, WI 53717  
(608) 826-0532  
Contact: Joe Doyle  
[jdoyle@vierbicher.com](mailto:jdoyle@vierbicher.com)

Landscape Design: Ken Saiki Design  
303 S. Paterson St. Suite 1  
Madison, WI 53703  
(608)251-3600  
Contact: Abbie Moilien  
[amoilien@ksd-la.com](mailto:amoilien@ksd-la.com)

**Introduction:**

The subject development is located on Atwood Avenue just east of South First Street and is part of a two-phase PUD-GDP. The first phase of the development, located just southwest of the subject site, is a 39-unit apartment building with first floor retail and office space. This second phase of the development is a four story 50-unit apartment building with underground parking.

The site is currently occupied by a parking lot. To the northeast of the proposed site is an existing single family house and to the northwest of the proposed site is an active railroad track and a future pedestrian/bike corridor. Across the street on Atwood lies the Trinity Lutheran Church and associated parking lot.

The original PUD-GDP was approved in 2004 which provided for 39 dwelling units in Phase 1 and 50 dwelling units in Phase 2. A PUD-SIP for the first phase was submitted soon after the GDP for the first phase of the development consisting of 39 dwelling units.

**Project Description:**

The proposed development is a 4-story, 50-unit apartment building with a mix of efficiency, one bedroom, one bedroom plus den, and two bedroom apartments, with 49 underground parking stalls.

**Site Development Data:**

**Densities:**

Lot Area	36,870 sf or 0.846 acres
Dwelling Units	50 units
Lot Area per Dwelling Unit	737 sf
Density	59 du/acre

**Dwelling Unit Mix:**

Studio Apartments	6
One-Bedroom	33
One-Bedroom + Den	2
<u>Two-Bedroom</u>	<u>9</u>
Total	50

**Building Height:** 4 Stories

**Floor Area:**

Gross Floor Area	46,238 sf
Floor Area Ratio:	1.25

**Vehicle Parking Stalls:**

Underground	49 Stalls (incl. 1 accessible)
<u>Surface</u>	<u>5 Stalls (incl. 1 accessible)</u>
Total Parking	54 Stalls (incl. 2 accessible)

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**Bicycle Parking Stalls:**

Underground	42 Stalls
<u>Surface</u>	<u>10 Stalls</u>
Total Bike Parking	52 Stalls

**Project Schedule:**

Construction is scheduled to begin in August 2013 and will be completed in August 2014.

**Social & Economic Impacts:**

This development will have a positive social and economic impact. The proposed development will provide much needed housing to the neighborhood and the added residents will support the local business district. Construction of the buildings will also provide economic employment for local businesses and trades people.

Thank you for your time in reviewing our proposal.

Very Truly Yours,

J. Randy Bruce, AIA  
Managing Member



Zoning Text  
PUD-SIP  
1924 Atwood Avenue  
March 20, 2013

**Legal Description:** Lot 2, Certified Survey Map Number 11334 as recorded in Volume 68 of Certified Survey Maps, on Pages 291-296 as Document Number 4024297, Dane County Registry, located in the SE¼-SW¼ of Section 06, and the NE¼-NW¼ of Section 07, all in Township 07 North, Range 10 East, City of Madison, Dane County, Wisconsin. Said description contains 36,857 square feet or 0.846 acres more or less.

- A. **Statement of Purpose:** This zoning district is established to allow for a mixed-use development with 89 dwelling units and approximately 7,775 square feet of commercial space.
- B. **Permitted Uses:** Following are permitted uses within this P.U.D.
  - 1. Multifamily residential uses as shown on the approved plans.
  - 2. Uses as allowed in the TSS District.
  - 3. Accessory uses including but not limited to:
    - a. Accessory uses directly associated with those permitted uses, including parking for residents and guests.
    - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period of time not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site landscaping will be provided as shown on the approved plans
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition in the TR-U2 zoning district.
- J. **Signage:** Signage will be allowed as approved.
- K. **Alterations and Revisions:** No alteration or revision of the Planned Unit Development shall be permitted unless approved by the City Plan Commission, however, the zoning administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.





E Washington Ave.

PROJECT SITE

Winnebago St.

S First St.

Atwood Avenue



Consultant

Notes

**SHEET INDEX:**

- SITE
- C-1.1 OVERALL SITE PLAN
- C-1.2 SITE AND LIGHTING PLAN
- L-1.0 LANDSCAPE PLAN
- C-2.1 EXISTING CONDITIONS
- C-2.2 DEMOLITION PLAN
- C-2.3 UTILITY PLAN
- C-2.4 GRADINGS AND EROSION CONTROL PLAN
- C-2.5 RAILROAD CORRIDOR
- C-2.6 CONSTRUCTION DETAILS

**ARCHITECTURAL**

- A-1.1 BASEMENT FLOOR PLAN
- A-1.2 FIRST FLOOR PLAN
- A-1.3 SECOND AND THIRD FLOOR PLAN
- A-1.4 FOURTH FLOOR PLAN
- A-2.1 ELEVATIONS
- A-2.2 ELEVATIONS

**SITE DEVELOPMENT DATA**

**DENSITIES:**

Lot Area	36,868 SF. (.846 Acres)
Dwelling Units	50 Units
Lot Area / D.U.	737 SF./Unit
Density	77.2 net D.U./Acre
Usable Open Space	
Usable Open Space/D.U.	

**DWELLING UNIT MIX:**

Efficiency	6
One Bedroom	33
One Bedroom + Den	2
Two Bedroom	4
<b>Total</b>	<b>50</b>

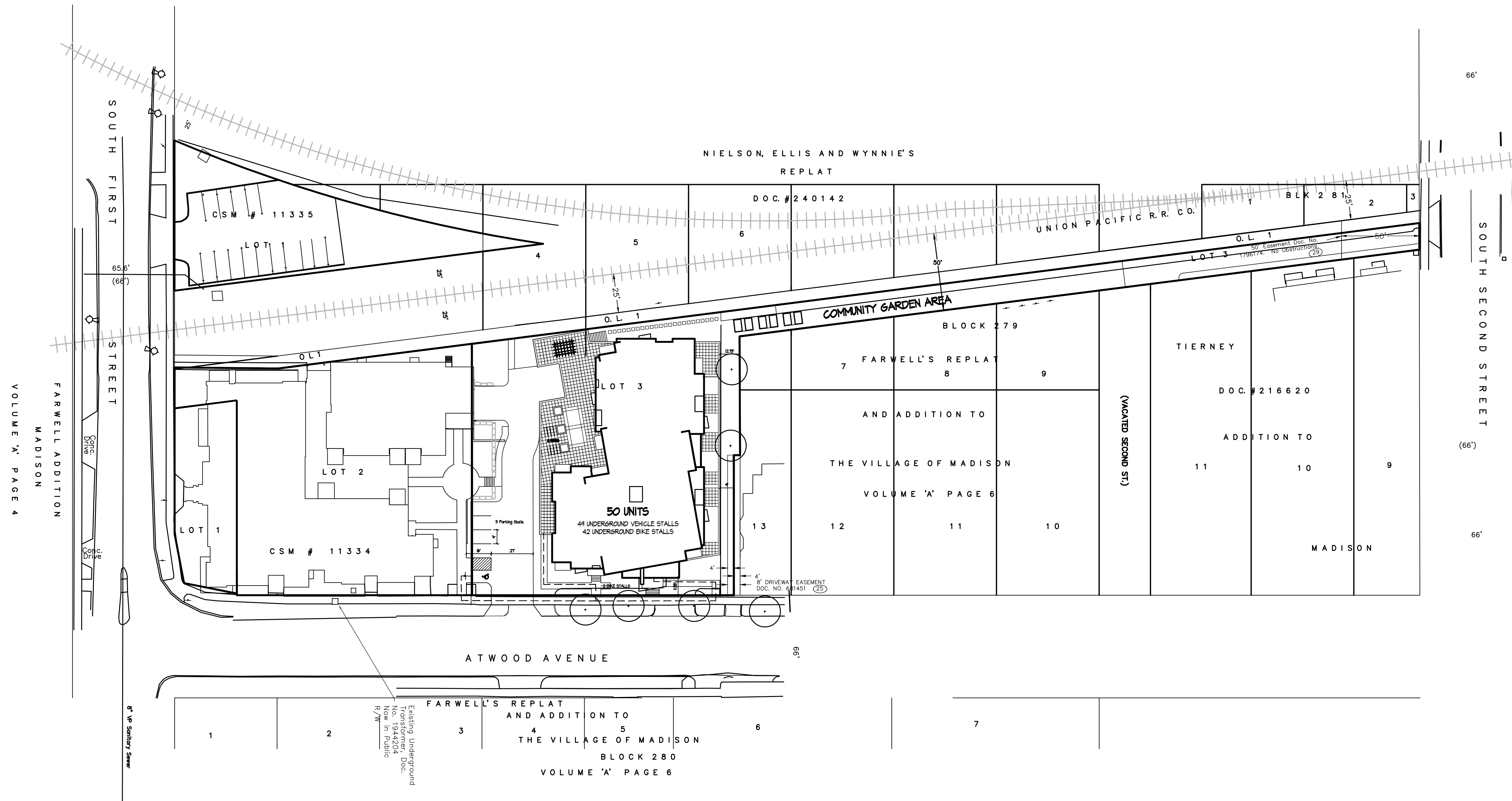
**VEHICLE PARKING**

Underground	44 Stalls
Surface	5 Stalls
<b>Total</b>	<b>54 Stalls</b>

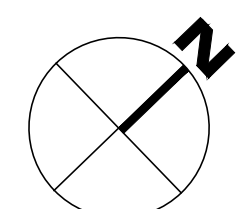
Ratio 1.08 Stalls/D.U.

**BIKE PARKING**

Surface	10
Underground	42
<b>Total</b>	<b>52</b>



VOLUME 'A' PAGE 4



Overall Site Plan  
1" = 40'

Revisions  
PUD-SIP Submittal - March 20, 2019

Project Title  
**Atwood Avenue**

1924 Atwood Avenue  
Drawing Title  
**Overall Site Plan**

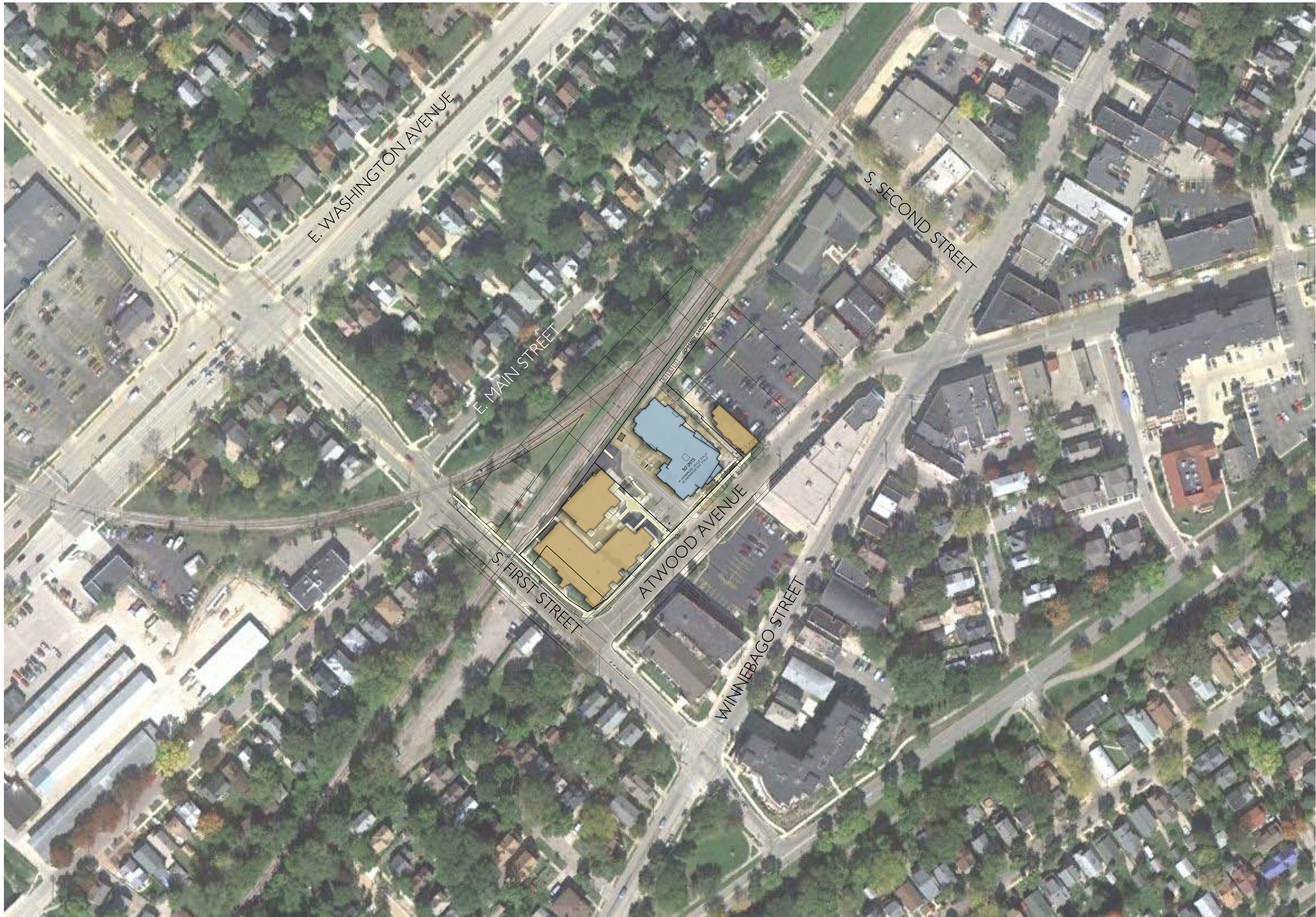
Project No. Drawing No.

1229

C-1.1

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Atwood Avenue

KNOTHE  
& BRUCE  
*architects*

Project # 1229  
April 30, 2013





SITE DEVELOPMENT DATA	
<b>DENSITIES:</b>	
Lot Area	36,868 S.F. (846 Acres)
Dwelling Units	50 Units
Lot Area / D.U.	737 S.F./Unit
Density	71.2 net D.U./Acre
Usable Open Space	
Usable Open Space/D.U.	
<b>DWELLING UNIT MIX:</b>	
Efficiency	6
One Bedroom	33
One Bedroom + Den	2
Two Bedroom	4
Total	50
<b>VEHICLE PARKING</b>	
Underground	44 Stalls
Surface	5 Stalls
Total	54 Stalls
Ratio	1.08 Stalls/D.U.
<b>BIKE PARKING</b>	
Surface	10
Underground	42
Total	52

Revisions  
RUD-SIP Submittal - March 20, 2013

Project Title  
**Atwood Avenue**

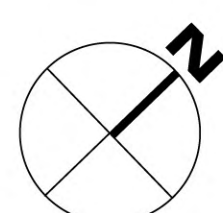
1924 Atwood Avenue  
Drawing Title  
**Site Plan**

Project No. 1229 Drawing No. A-1.X

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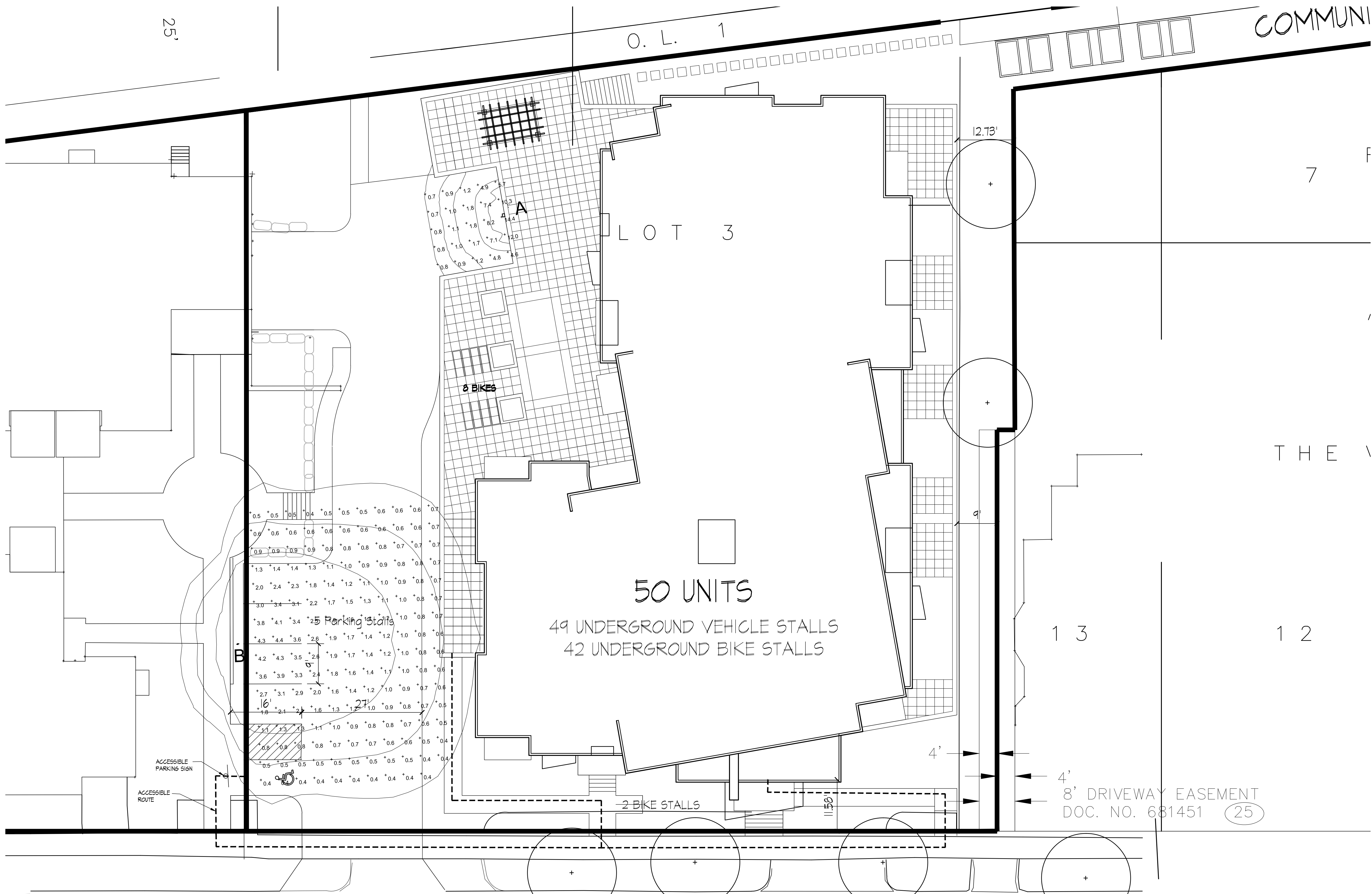
Existing Underground  
Transformer, Doc.  
No. 1944204  
Now in Public  
R/W

**Site Plan**  
1" = 20'



8" VP Sanitary Sewer





LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
□	A	1	RUUD LIGHTING	E8405	RECTANGULAR SECURITY/DEEP SHIELDED	50 WATT MH	E8507.IES	8'-0" UP ON SIDE OF BUILDING
○	B	1	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.ies	18'-0" POLE ON 2'-0" TALL CONC. BASE

ATWOOD AVENUE





Notes

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Revisions

RUD-SIP Submittal - March 20, 2013

Submittal - May 1, 2013

Project Title

Atwood Avenue

1924 Atwood Avenue

Drawing Title

Planting Plan

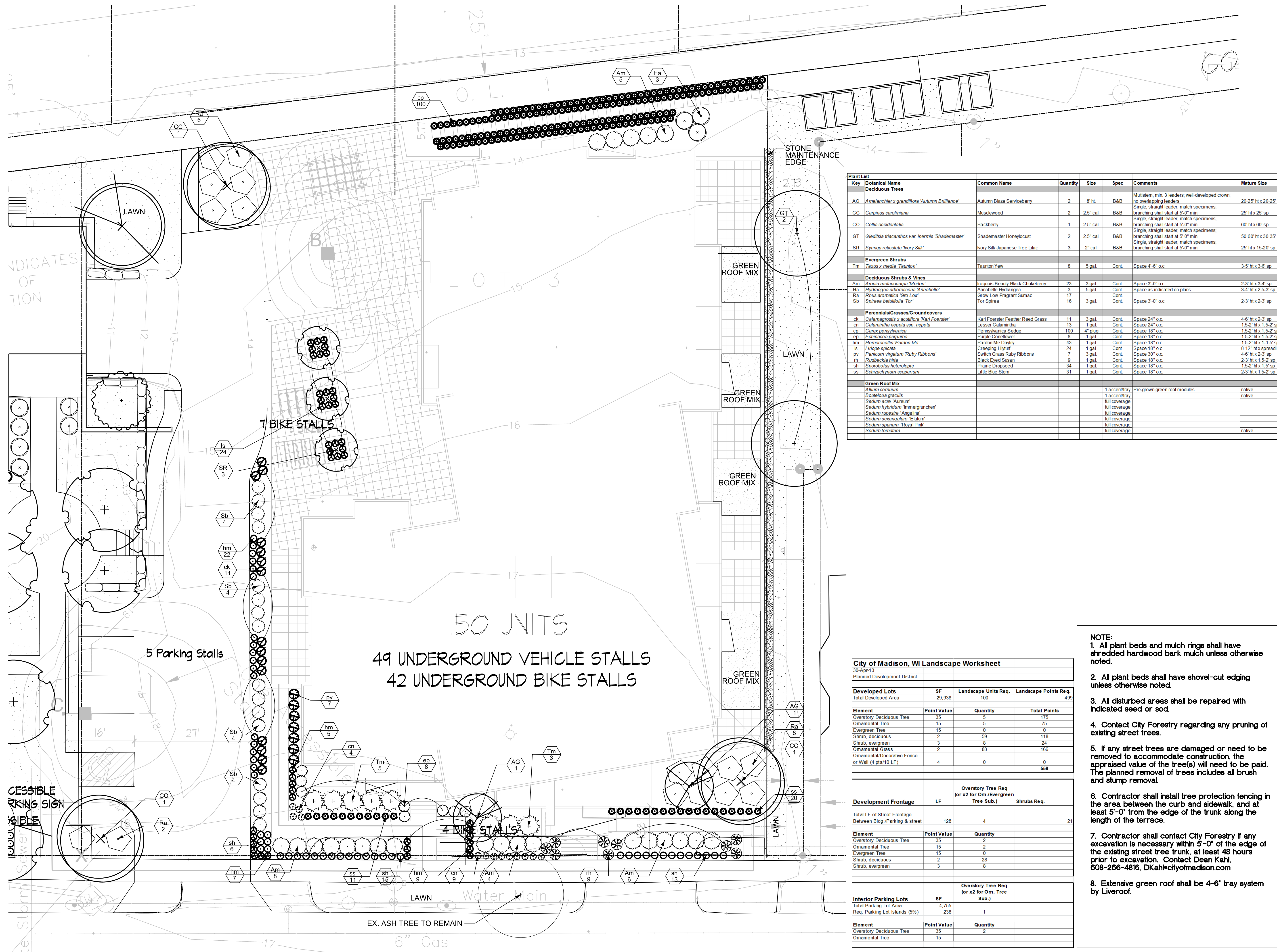
Project No.

1229

Drawing No.

L-1.0

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Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
<b>Deciduous Trees</b>							
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Blaze Serviceberry	2	8' ht	B&B	Multistem, min. 3 leaders, well-developed crown, no overlapping leaders	20-25' ht x 20-25' sp
CC	<i>Carpinus caroliniana</i>	Musclewood	2	2.5' cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	25' ht x 25' sp
CO	<i>Celtis occidentalis</i>	Hackberry	1	2.5' cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	60' ht x 60' sp
GT	<i>Gleditsia triacanthos var. inermis 'Shademaster'</i>	Shademaster Honeylocust	2	2.5' cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	50-60' ht x 30-35' sp
SR	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	3	2" cal.	B&B	Single, straight leader, match specimens; branching shall start at 5'-0" min.	25' ht x 15-20' sp
<b>Evergreen Shrubs</b>							
Tm	<i>Taxus x media 'Taunton'</i>	Taunton Yew	8	5 gal.	Cont.	Space 4'-6" o.c.	3-5' ht x 3-6' sp
<b>Deciduous Shrubs &amp; Vines</b>							
Am	<i>Aronia melanocarpa 'Morton'</i>	Iroquois Beauty Black Chokeberry	23	3 gal.	Cont.	Space 3'-0" o.c.	2-3' ht x 3-4' sp
Ha	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	3	5 gal.	Cont.	Space as indicated on plans	3-4' ht x 2.5-3' sp
Ra	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	17		Cont.		
Sb	<i>Spiraea betulifolia 'Tor'</i>	Tor Spiraea	16	3 gal.	Cont.	Space 3'-0" o.c.	2-3' ht x 2-3' sp
<b>Perennials/Grasses/Groundcovers</b>							
ck	<i>Calamagrostis x scabriflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	11	3 gal.	Cont.	Space 24" o.c.	4-6' ht x 2-3' sp
cn	<i>Calamintha nepeta ssp. nepeta</i>	Lesser Calamint	13	1 gal.	Cont.	Space 24" o.c.	1.5-2' ht x 1.5-2' sp
cp	<i>Carex pensylvanica</i>	Pennsylvania Sedge	100	4" plug	Cont.	Space 18" o.c.	1.5-2' ht x 1.5-2' sp
ep	<i>Echinacea purpurea</i>	Purple Coneflower	8	1 gal.	Cont.	Space 18" o.c.	1.5-2' ht x 1.5-2' sp
hm	<i>Hemerocallis 'Fragrant Me'</i>	Pardon Me Daylily	43	1 gal.	Cont.	Space 18" o.c.	1.5-2' ht x 1.5' sp
ls	<i>Liriope spicata</i>	Creeping Liriope	24	1 gal.	Cont.	Space 18" o.c.	8-12" ht x spreading
pv	<i>Panicum virgatum 'Ruby Ribbons'</i>	Switch Grass Ruby Ribbons	7	3 gal.	Cont.	Space 30" o.c.	4-6' ht x 2-3' sp
rh	<i>Rudbeckia hirta</i>	Black Eyed Susan	9	1 gal.	Cont.	Space 18" o.c.	2-3' ht x 1.5-2' sp
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	34	1 gal.	Cont.	Space 18" o.c.	1.5-2' ht x 1.5' sp
ss	<i>Schizachyrium scoparium</i>	Little Blue Stem	31	1 gal.	Cont.	Space 18" o.c.	2-3' ht x 1.5-2' sp
<b>Green Roof Mix</b>							
	<i>Allium cernuum</i>				1 accent/tray	Pre-grown green roof modules	native
	<i>Bouteloua gracilis</i>				1 accent/tray		native
	<i>Sedum acre 'Aureum'</i>				full coverage		
	<i>Sedum hybridum 'Immergruenchen'</i>				full coverage		
	<i>Sedum rupestre 'Angelina'</i>				full coverage		
	<i>Sedum sexangulare 'Elatum'</i>				full coverage		
	<i>Sedum spurium 'Royal Pink'</i>				full coverage		native
	<i>Sedum ternatum</i>				full coverage		

City of Madison, WI Landscape Worksheet

30-Apr-13  
Planned Development District

Developed Lots	SF	Landscape Units Req.	Landscape Points Req.
Total Developed Area	29,938	100	499

Element	Point Value	Quantity	Total Points
Overstory Deciduous Tree	35	5	175
Ornamental Tree	15	5	75
Evergreen Tree	15	0	0
Shrub, deciduous	2	59	118
Shrub, evergreen	3	8	24
Ornamental Grass	2	83	166
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4	0	0
			558

Development Frontage	LF	Overstory Tree Req (or x2 for Orn./Evergreen Tree Sub.)	Shrubs Req.
Total LF of Street Frontage Between Bldg./Parking & street	128	4	21

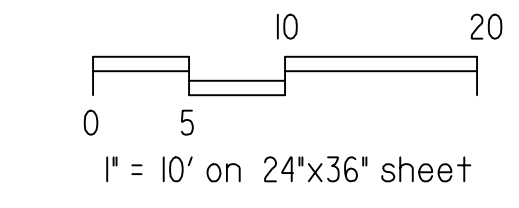
Element	Point Value	Quantity
Overstory Deciduous Tree	35	2
Ornamental Tree	15	2
Evergreen Tree	15	0
Shrub, deciduous	2	28
Shrub, evergreen	3	8

Interior Parking Lots	SF	Overstory Tree Req (or x2 for Orn. Tree Sub.)
Total Parking Lot Area	4,755	
Req. Parking Lot Islands (5%)	238	1

Element	Point Value	Quantity
Overstory Deciduous Tree	35	2
Ornamental Tree	15	

**NOTE:**

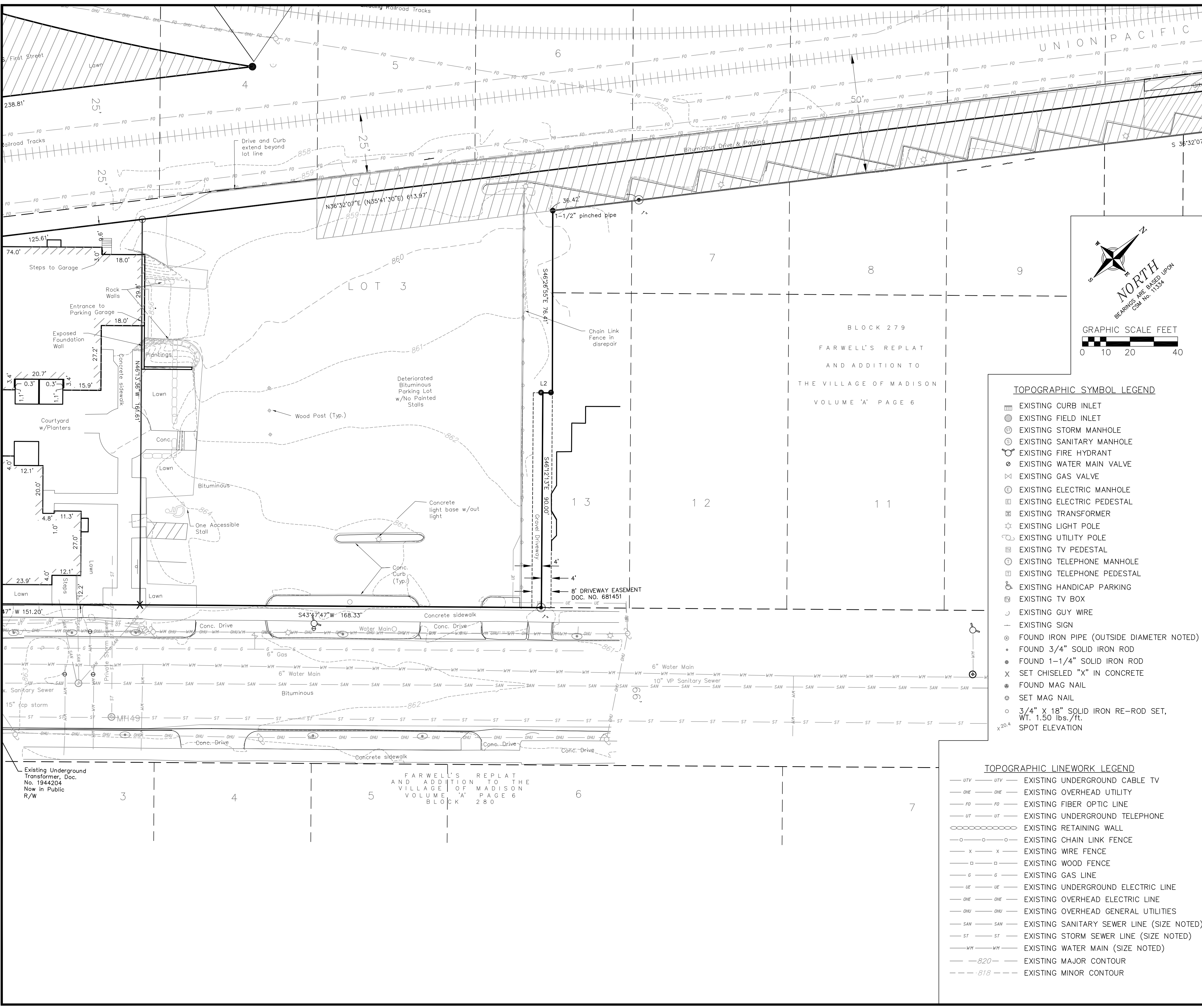
- All plant beds and mulch rings shall have shredded hardwood bark mulch unless otherwise noted.
- All plant beds shall have shovel-cut edging unless otherwise noted.
- All disturbed areas shall be repaired with indicated seed or sod.
- Contact City Forestry regarding any pruning of existing street trees.
- If any street trees are damaged or need to be removed to accommodate construction, the appraised value of the tree(s) will need to be paid. The planned removal of trees includes all brush and stump removal.
- Contractor shall install tree protection fencing in the area between the curb and sidewalk, and at least 5'-0" from the edge of the trunk along the length of the terrace.
- Contractor shall contact City Forestry if any excavation is necessary within 5'-0" of the edge of the existing street tree trunk, at least 48 hours prior to excavation. Contact Dean Kahl, 608-266-4816, DKahl@cityofmadison.com
- Extensive green roof shall be 4-6" tray system by Liverpool.



1 PLANTING PLAN  
L-1.0



30 Apr 2013 - 5:18p M:\CMI Management LLC\130024\_1924 Atwood Ave\Engineering\Civil\3D\130024 base.dwg by: jdy



**SURVEY NOTES:**

- LOT DESCRIPTION: LOT 3, CERTIFIED SURVEY MAP 11334, RECORDED IN Vol. 68 of CERTIFIED SURVEY MAPS, PAGE 291, AS #4024297, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
- SURVEY PROVIDED BY BURSE SURVEYING AND ENGINEERING, INC.
- DATES OF FIELD WORK: 9-24-2012, 9-28-2012 AND 10-04-2012.
- ROUTING OF PUBLIC UTILITIES IS BASED UPON MARKINGS PROVIDED BY DIGGER'S HOTLINE TICKET NUMBER 20123816088, CITY OF MADISON UTILITY RECORDS, AND VISIBLE ABOVEGROUND STRUCTURES. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE TO LOCATE UTILITIES. THE SURVEYOR (BURSE) DOES NOT WARRANT THE LOCATION OF UNDERGROUND UTILITIES. BEFORE EXCAVATIONS ARE PERFORMED CONTACT DIGGER'S HOTLINE.
- NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING CONDITION OR CAPACITY OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.
- SUBSURFACE IMPROVEMENTS, OTHER THAN UTILITIES AS MARKED BY DIGGER'S HOTLINE, ON AND ADJACENT TO THE SITE ARE NOT SHOWN HEREON, AS THEY WERE NOT OBSERVED DURING THE COURSE OF THE SURVEY.
- ALL TREES, HEDGES AND GROUND COVER ON THE SITE MAY NOT NECESSARILY BE SHOWN HEREON.
- BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55025C0428G, DATED 01/02/2009.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ZONING: 1902-1912 AND 1924 ATWOOD AVENUE AND 105 S. FIRST STREET ARE ZONED PUD-SIP PER MADISON ZONING LETTER DATED 10/05/2012.
- BUILDING SETBACKS PER THE RECORDED PUD-SIP.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- SECOND STREET APPEARS TO HAVE BEEN RECONSTRUCTED IN THE LAST 12 MONTHS.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. SURVEYOR WAS PROVIDED WITH A TITLE COMMITMENT NUMBER 112090259 AND 1 DATED SEPTEMBER 13, 2012 FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, WHICH REFERENCES THE FOLLOWING (NUMBERS IN PARENTHESIS MATCH ITEMS IN SCHEDULE B - PART II OF COMMITMENT) [SURVEYOR'S COMMENTS IN BRACKETS]:
  - (21) PUBLIC OR PRIVATE RIGHTS IN THAT PART OF THE INSURED PREMISES WHICH MAY BE LAID OUT OR USED FOR HIGHWAY PURPOSES OR RIGHTS OF WAY.
  - (22) RIGHTS OF THE RAILROADS AND OTHERS IN THE SIDETRACKS, SWITCHGEAR, AND RELATED EQUIPMENT INSTALLED ON THE INSURED PREMISES.
  - (23) RIGHTS FOR ENTRANCE TO, MAINTENANCE, CONSTRUCTION, OR REPAIR OF ANY SURFACE STRUCTURES, IMPROVEMENTS OR SERVICES WHICH MAY BE UNDER THE SURFACE OF THE PORTION OF THE INSURED PREMISES LYING WITHIN VACATED SECOND STREET AND MORRIS STREET.
  - (24) RESTRICTIONS RELATIVE TO THE DIRECTION OF DRAINAGE SWALE CONSTRUCTION - AS SHOWN ON CERTIFIED SURVEY MAP #11334.
  - (25) EASEMENT AS CONTAINED IN WARRANTY DEED RECORDED IN VOL. 442 OF DEEDS, PAGE 383, AS #681451. [SHOWN HEREON]
  - (26) COVENANTS, CONDITIONS, RESERVATIONS, EASEMENTS AND REVERSIONARY RIGHTS AS CONTAINED IN DEED RECORDED IN VOL. 457 OF RECORDS, PAGE 150, AS #1372310; AMENDED IN VOL. 1416 OF RECORDS, PAGE 7, AS #1650542. [SHOWN TO THE EXTENT MAPPABLE]
  - (27) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 872 OF RECORDS, PAGE 706, AS #1543793; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
  - (28) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN DEED RECORDED IN VOL. 2302 OF RECORDS, PAGE 86, AS #1684039; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]
  - (29) COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AND CONTAINED IN QUIT CLAIM DEED RECORDED IN VOL. 4832 OF RECORDS, PAGE 79, AS #1798174; BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. [SHOWN TO THE EXTENT MAPPABLE ON SHEET 2]

**TOPOGRAPHIC SYMBOL LEGEND**

- ⊞ EXISTING CURB INLET
- ⊞ EXISTING FIELD INLET
- ⊞ EXISTING STORM MANHOLE
- ⊞ EXISTING SANITARY MANHOLE
- ⊞ EXISTING FIRE HYDRANT
- ⊞ EXISTING WATER MAIN VALVE
- ⊞ EXISTING GAS VALVE
- ⊞ EXISTING ELECTRIC MANHOLE
- ⊞ EXISTING TRANSFORMER
- ⊞ EXISTING LIGHT POLE
- ⊞ EXISTING UTILITY POLE
- ⊞ EXISTING TV PEDESTAL
- ⊞ EXISTING TELEPHONE MANHOLE
- ⊞ EXISTING TELEPHONE PEDESTAL
- ⊞ EXISTING HANDICAP PARKING
- ⊞ EXISTING TV BOX
- ⊞ EXISTING GUY WIRE
- ⊞ EXISTING SIGN
- ⊞ FOUND IRON PIPE (OUTSIDE DIAMETER NOTED)
- ⊞ FOUND 3/4" SOLID IRON ROD
- ⊞ FOUND 1-1/4" SOLID IRON ROD
- ⊞ SET CHISELED "X" IN CONCRETE
- ⊞ FOUND MAG NAIL
- ⊞ SET MAG NAIL
- ⊞ 3/4" X 18" SOLID IRON RE-ROD SET, WT. 1.50 lbs./ft.
- ⊞ SPOT ELEVATION

**TOPOGRAPHIC LINEWORK LEGEND**

- UTV— UTV— EXISTING UNDERGROUND CABLE TV
- OHE— OHE— EXISTING OVERHEAD UTILITY
- FO— FO— EXISTING FIBER OPTIC LINE
- UT— UT— EXISTING UNDERGROUND TELEPHONE
- ⊞⊞⊞⊞⊞⊞ EXISTING RETAINING WALL
- O—O—O—O—O—O— EXISTING CHAIN LINK FENCE
- X—X—X—X—X—X— EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- G—G—G—G—G—G— EXISTING GAS LINE
- UE—UE—UE—UE—UE—UE— EXISTING UNDERGROUND ELECTRIC LINE
- OHE—OHE—OHE—OHE—OHE—OHE— EXISTING OVERHEAD ELECTRIC LINE
- OHE—OHE—OHE—OHE—OHE—OHE— EXISTING OVERHEAD GENERAL UTILITIES
- SAN—SAN—SAN—SAN—SAN—SAN— EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST—ST—ST—ST—ST—ST— EXISTING STORM SEWER LINE (SIZE NOTED)
- WM—WM—WM—WM—WM—WM— EXISTING WATER MAIN (SIZE NOTED)
- 820— EXISTING MAJOR CONTOUR
- 818— EXISTING MINOR CONTOUR

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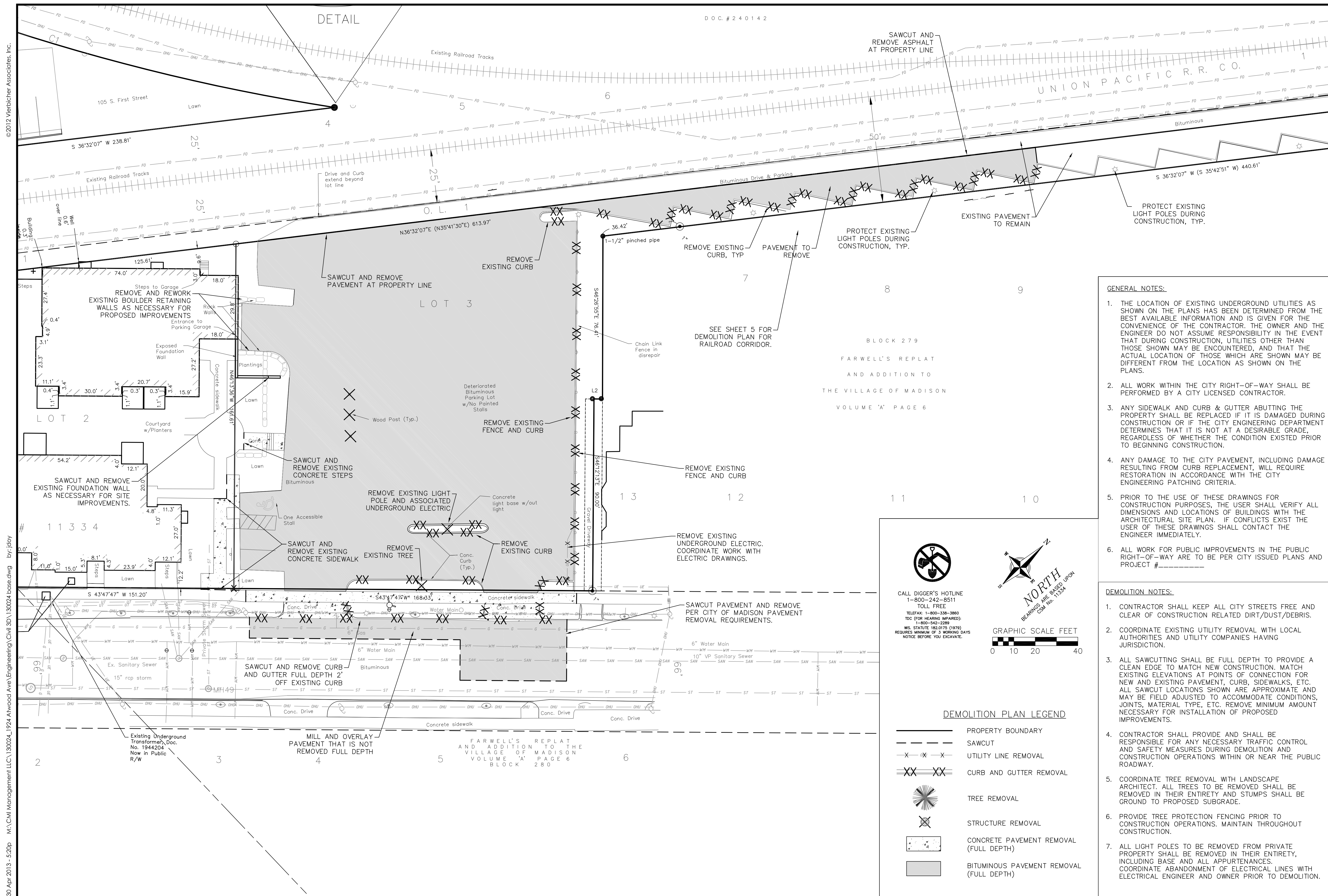
**EXISTING CONDITIONS**

CMI MANAGEMENT, LLC DEVELOPMENT  
1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
DATE 4-30-13  
DRAFTER TCOY  
CHECKED JDOY  
PROJECT NO. 130024  
SHEET 1 OF 6  
DWG. NO.





DETAIL

DOC. # 240142

BLOCK 279  
FARWELL'S REPLAT  
AND ADDITION TO  
THE VILLAGE OF MADISON  
VOLUME 'A' PAGE 6

FARWELL'S REPLAT  
AND ADDITION TO THE  
VILLAGE OF MADISON  
VOLUME 'A' PAGE 6  
BLOCK 280

**GENERAL NOTES:**

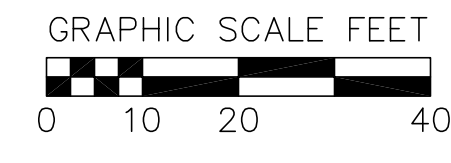
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
3. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
4. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
5. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY.
6. ALL WORK FOR PUBLIC IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE TO BE PER CITY ISSUED PLANS AND PROJECT #-----

**DEMOLITION NOTES:**

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
6. PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.



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**DEMOLITION PLAN LEGEND**

- — — — — PROPERTY BOUNDARY
- - - - - SAWCUT
- X-X-X- UTILITY LINE REMOVAL
- ==X==X== CURB AND GUTTER REMOVAL
- ☼ TREE REMOVAL
- ☒ STRUCTURE REMOVAL
- ▨ CONCRETE PAVEMENT REMOVAL (FULL DEPTH)
- BITUMINOUS PAVEMENT REMOVAL (FULL DEPTH)

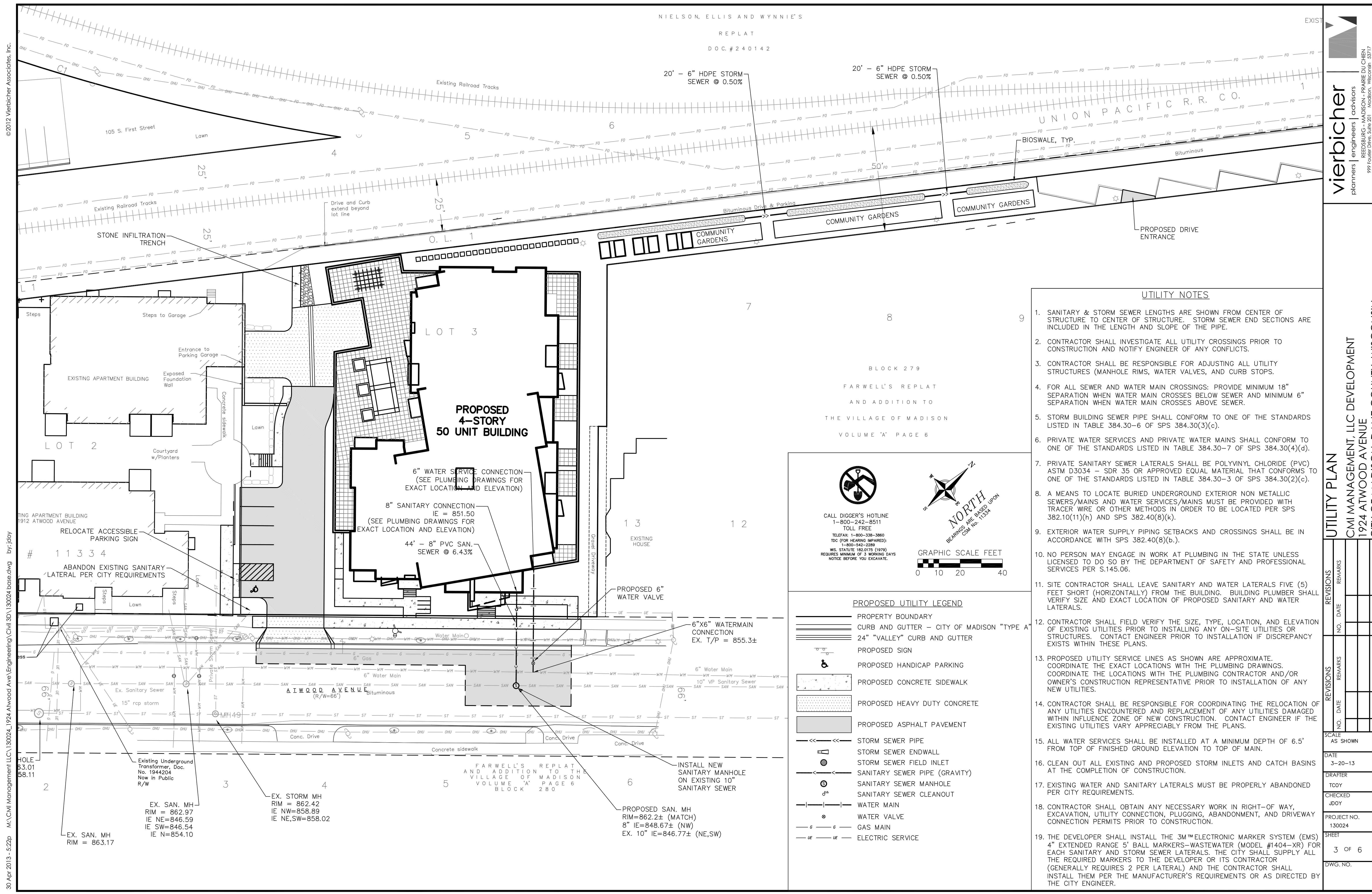
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**DEMOLITION PLAN**  
CMI MANAGEMENT, LLC DEVELOPMENT  
1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS		NO.	DATE	REMARKS

SCALE AS SHOWN  
DATE 4-30-13  
DRAFTER TCOY  
CHECKED JDOY  
PROJECT NO. 130024  
SHEET 2 OF 6  
DWG. NO.

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30 Apr 2013 - 5:22p M:\CMI Management LLC\130024\1924 Atwood Ave\Engineering\Civil\3D\130024 base.dwg by: jdy  
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- ### UTILITY NOTES
- SANITARY & STORM SEWER LENGTHS ARE SHOWN FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS).
  - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  - PRIVATE SANITARY SEWER LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(1)(h) AND SPS 382.40(8)(k).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
  - NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
  - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
  - PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  - ALL WATER SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
  - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
  - THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS—WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.

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BEARINGS ARE BASED UPON  
COM No. 1334

GRAPHIC SCALE FEET  
0 10 20 40

#### PROPOSED UTILITY LEGEND

- — — — — PROPERTY BOUNDARY
- — — — — CURB AND GUTTER - CITY OF MADISON "TYPE A"
- — — — — 24" "VALLEY" CURB AND GUTTER
- — — — — PROPOSED SIGN
- ♿ PROPOSED HANDICAP PARKING
- ▨ PROPOSED CONCRETE SIDEWALK
- ▩ PROPOSED HEAVY DUTY CONCRETE
- ▬ PROPOSED ASPHALT PAVEMENT
- — — — — STORM SEWER PIPE
- ⊙ STORM SEWER ENDWALL
- ⊙ STORM SEWER FIELD INLET
- ⊙ SANITARY SEWER PIPE (GRAVITY)
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- — — — — WATER MAIN
- ⊙ WATER VALVE
- — — — — GAS MAIN
- — — — — ELECTRIC SERVICE

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#### UTILITY PLAN

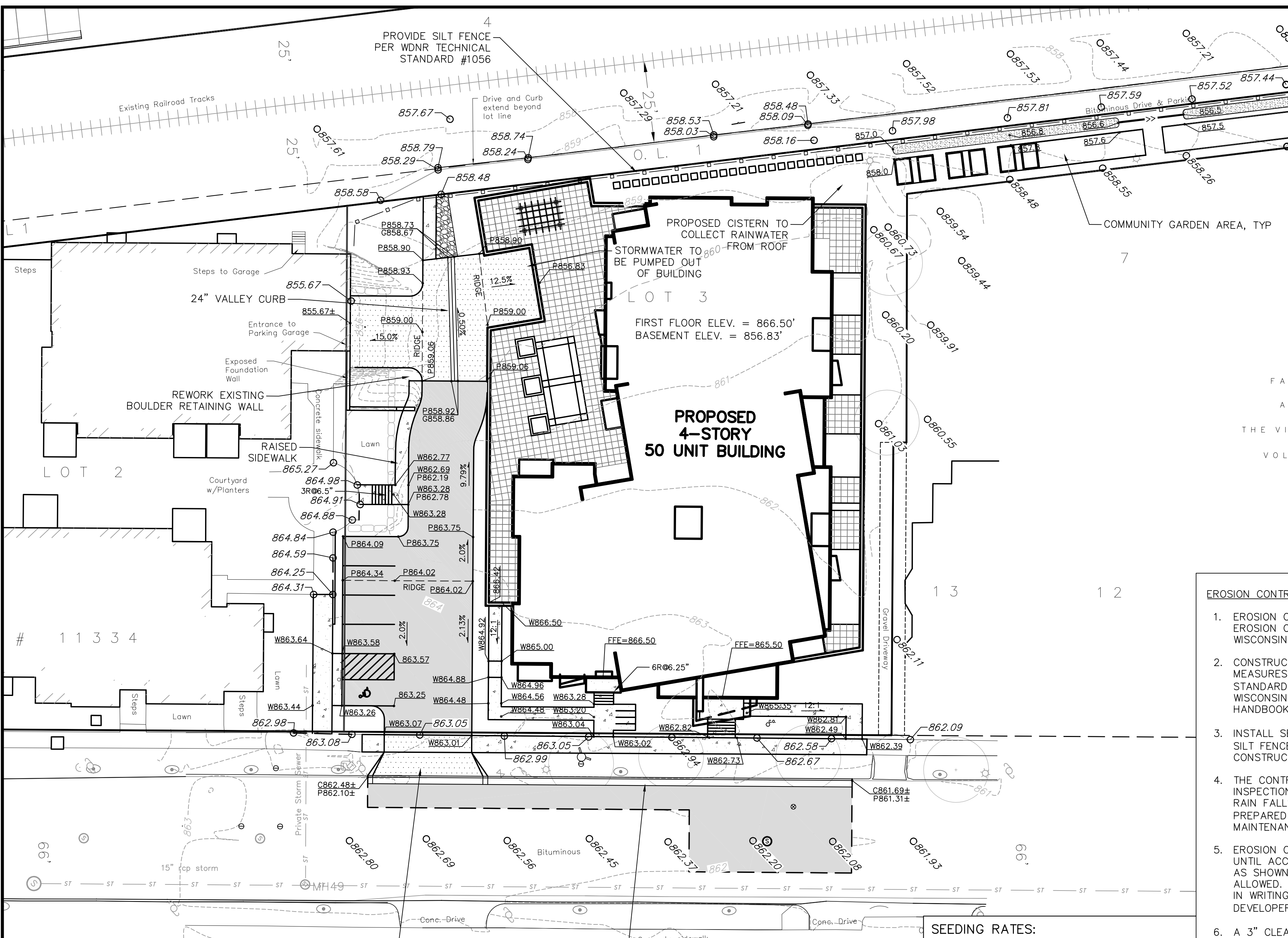
CMI MANAGEMENT, LLC DEVELOPMENT  
1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
 DATE 3-20-13  
 DRAFTER TCOY  
 CHECKED JDOY  
 PROJECT NO. 130024  
 SHEET 3 OF 6  
 DWG. NO.



30 Apr 2013 - 5:25p M:\CMI Management LLC\130024\1924 Atwood Ave\Engineering\Civil\3D\130024 base.dwg by: jdy



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**PROPOSED GRADING LEGEND**

- PROPERTY BOUNDARY
- CURB AND GUTTER - CITY OF MADISON "TYPE A"
- 24" "VALLEY" CURB AND GUTTER
- PROPOSED SIGN
- PROPOSED HANDICAP PARKING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- PROPOSED ASPHALT PAVEMENT
- STORM SEWER PIPE
- STORM SEWER ENDWALL
- STORM SEWER FIELD INLET
- SANITARY SEWER MANHOLE
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- SILT FENCE
- PROPOSED SLOPE ARROWS
- PROPOSED SPOT ELEVATIONS
- EXISTING SPOT ELEVATIONS
- TYPE D INLET PROTECTION

**ABBREVIATIONS**

- C - TOP OF CURB
- FF - FINISHED FLOOR
- W - TOP OF WALK
- P - EDGE OF PAVEMENT

**EROSION CONTROL MEASURES**

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN-RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE. REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

**SEEDING RATES:**

**TEMPORARY:**

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

**PERMANENT:**

- USE WISCONSIN D.O.T. SEED MIX #40 AT 4 LB./1,000 S.F. IN LAWN AND TERRACES.
- USE PRAIRIE NURSERY DETENTION BASIN WET PRAIRIE MIX IN DETENTION BASIN BELOW WATER ELEVATION.
- USE PRAIRIE NURSERY EROSION CONTROL FOR DRY SOILS IN ALL OTHER AREAS AROUND THE DETENTION BASIN.

**FERTILIZING RATES:**

**TEMPORARY AND PERMANENT:**

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

**MULCHING RATES:**

**TEMPORARY AND PERMANENT:**

USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

NATIVE PLANTINGS SHALL BE PER MANUFACTURERS RECOMMENDATIONS.

PROVIDE A MINIMUM 50'X24' TRACKING PAD PER WDNR TECHNICAL STANDARD #1057.

INSTALL NEW 30" TYPE A CITY OF MADISON CURB AND GUTTER, INSTALL AT MINIMUM 0.50%

- SITE PAVING NOTES**
- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
  - HEAVY-DUTY CONCRETE INSTALLED AT DRIVEWAYS, LOADING ZONES, AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
  - PROPOSED ASPHALT PAVEMENT SHALL BE 1.5" SURFACE COURSE OVER 1.5" BINDER COURSE OVER A 10" AGGREGATE BASE COURSE.
- CONSTRUCTION SEQUENCE:**
- INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
  - REMOVE EXISTING PAVEMENT AND PERFORM OTHER SITE DEMOLITION.
  - INSTALL SILT FENCE AND TRACKING PAD.
  - ROUGH GRADE DRIVE, PARKING LOT AND BUILDING PAD.
  - CONSTRUCT UNDERGROUND UTILITIES.
  - CONSTRUCT WALKS, DRIVE, AND PARKING LOT.
  - INSTALL INLET PROTECTION ON ALL NEW STORM INLETS.
  - FINAL GRADE SITE, INSTALL TOPSOIL, SEED AND MULCH.
  - REMOVE SILT FENCE AFTER DISTURBED AREAS ARE STABILIZED.

**vierbicher**  
 engineers | architects  
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**GRADING AND EROSION CONTROL PLAN**  
 CMI MANAGEMENT, LLC DEVELOPMENT  
 1924 ATWOOD AVENUE  
 CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS
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SCALE AS SHOWN

DATE 4-30-13

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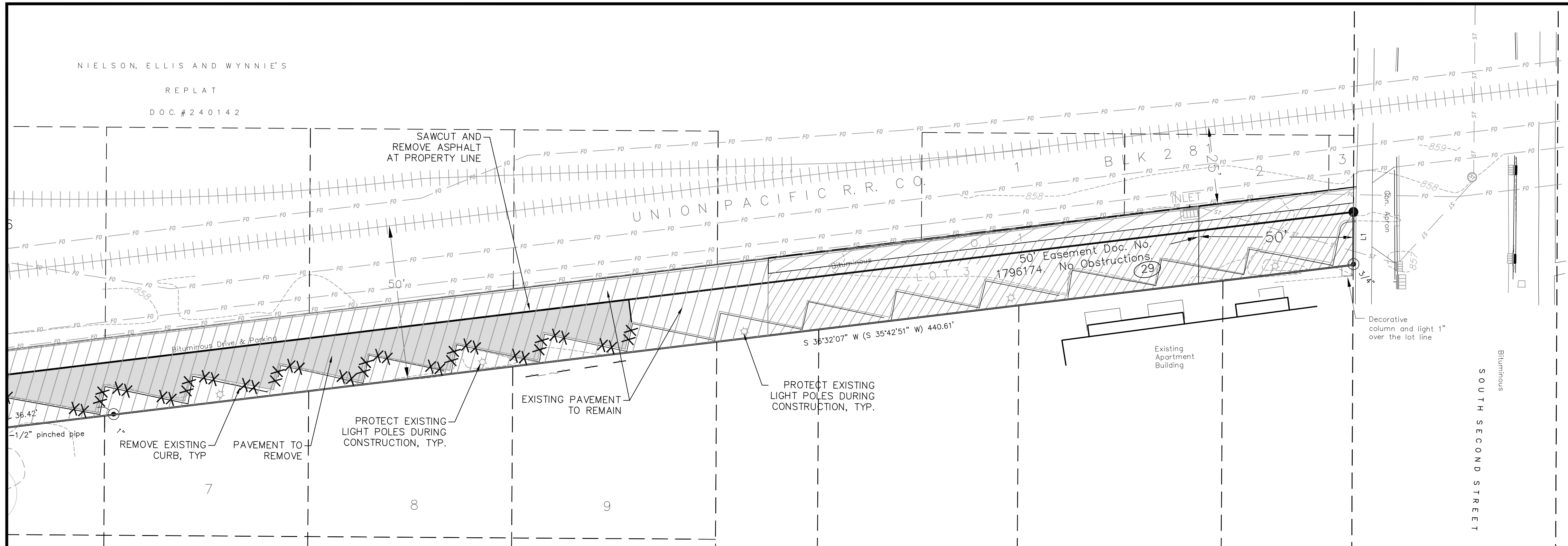
PROJECT NO. 130024

SHEET 4 OF 6

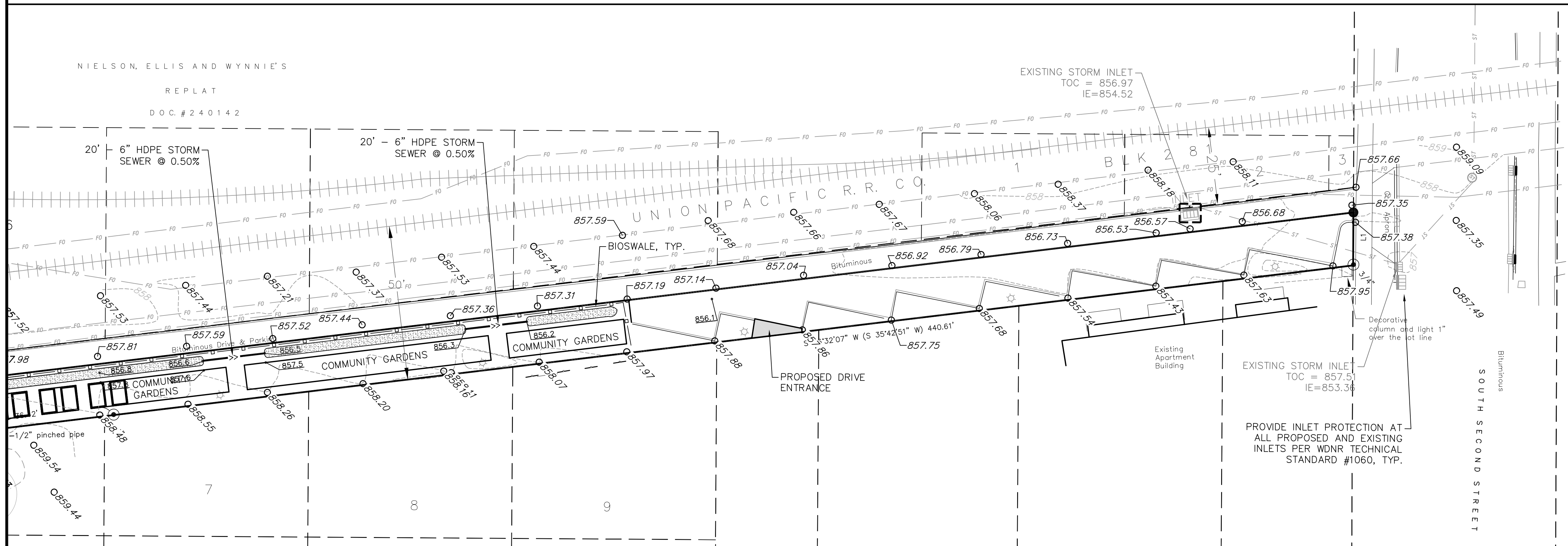
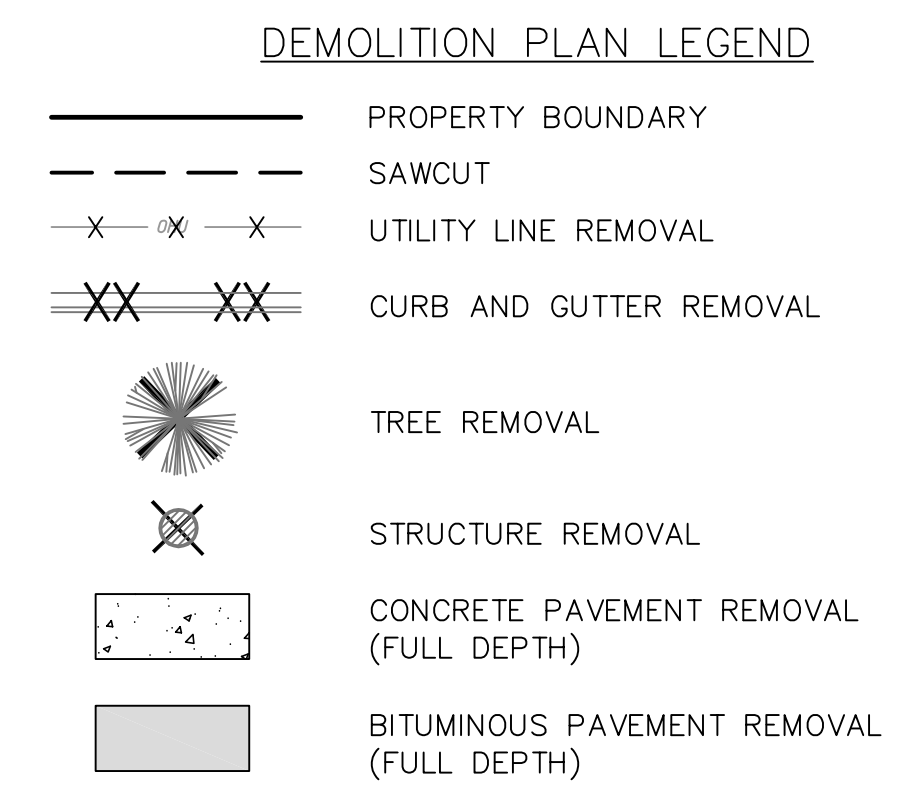
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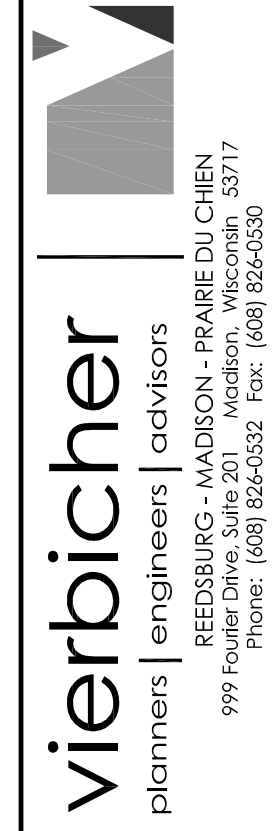
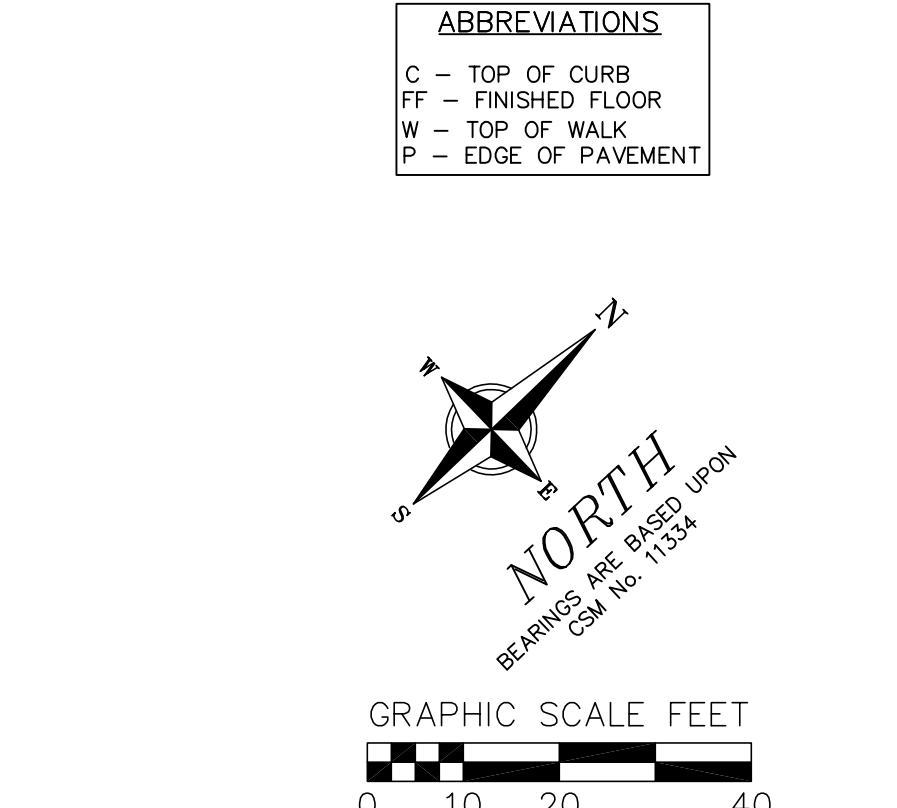
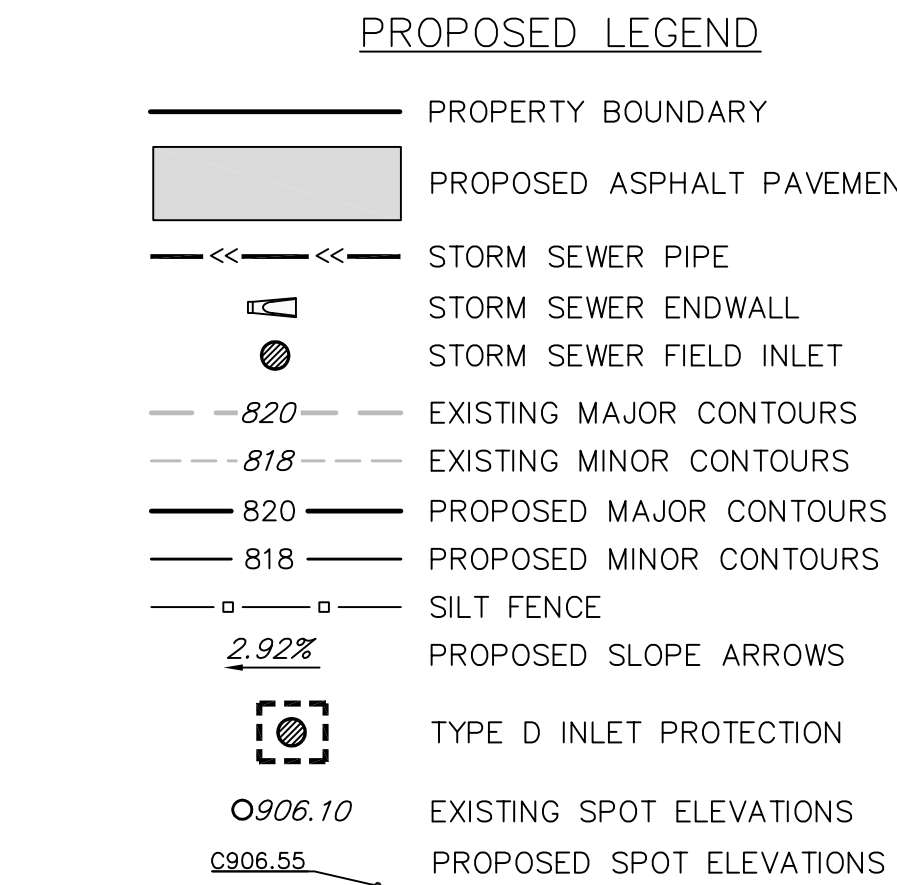
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RAILROAD CORRIDOR - DEMOLITION PLAN



RAILROAD CORRIDOR - PROPOSED IMPROVEMENTS



**RAILROAD CORRIDOR**  
CMI MANAGEMENT, LLC DEVELOPMENT  
1924 ATWOOD AVENUE  
CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 4-30-13

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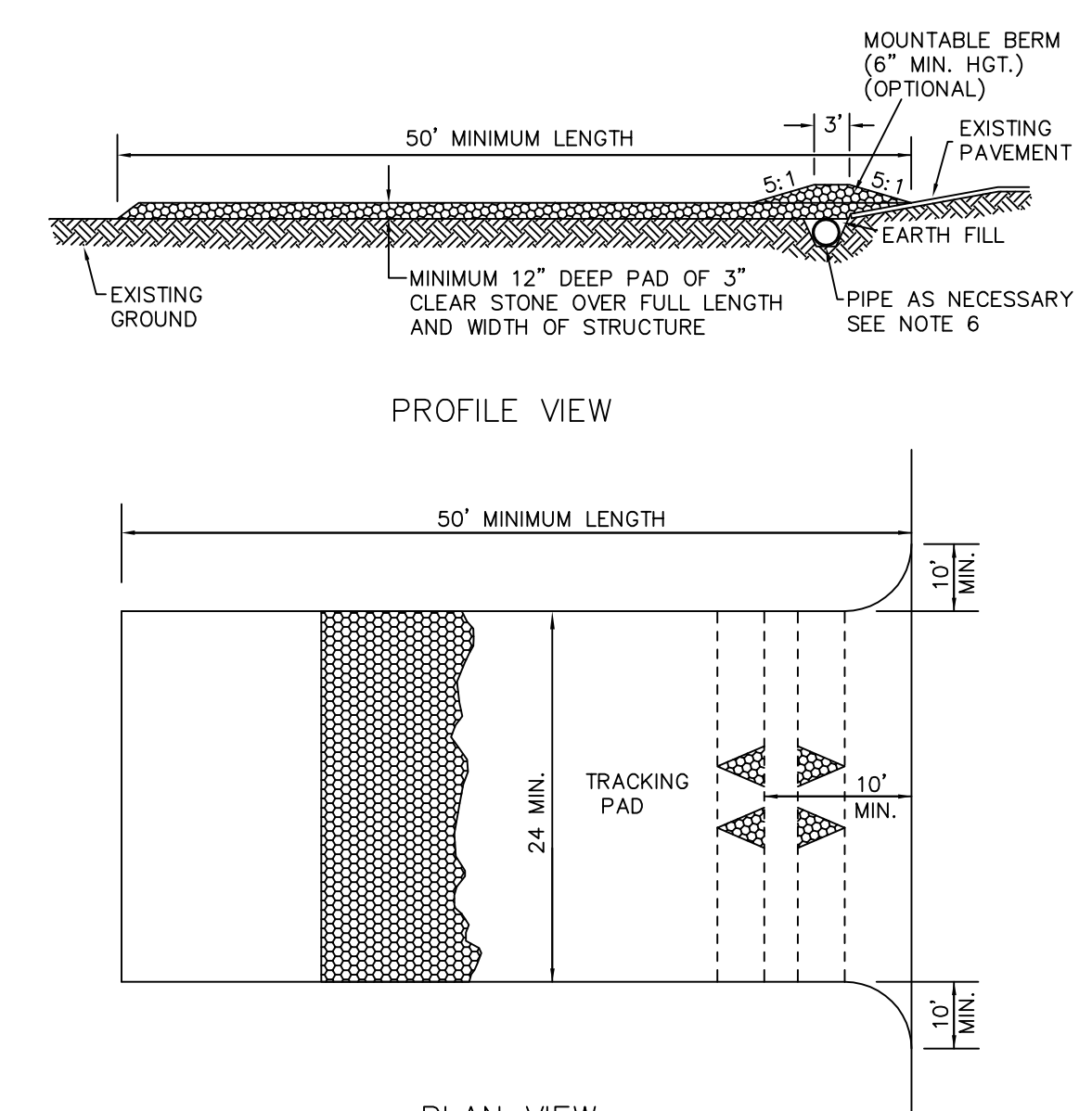
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SHEET 5 OF 6

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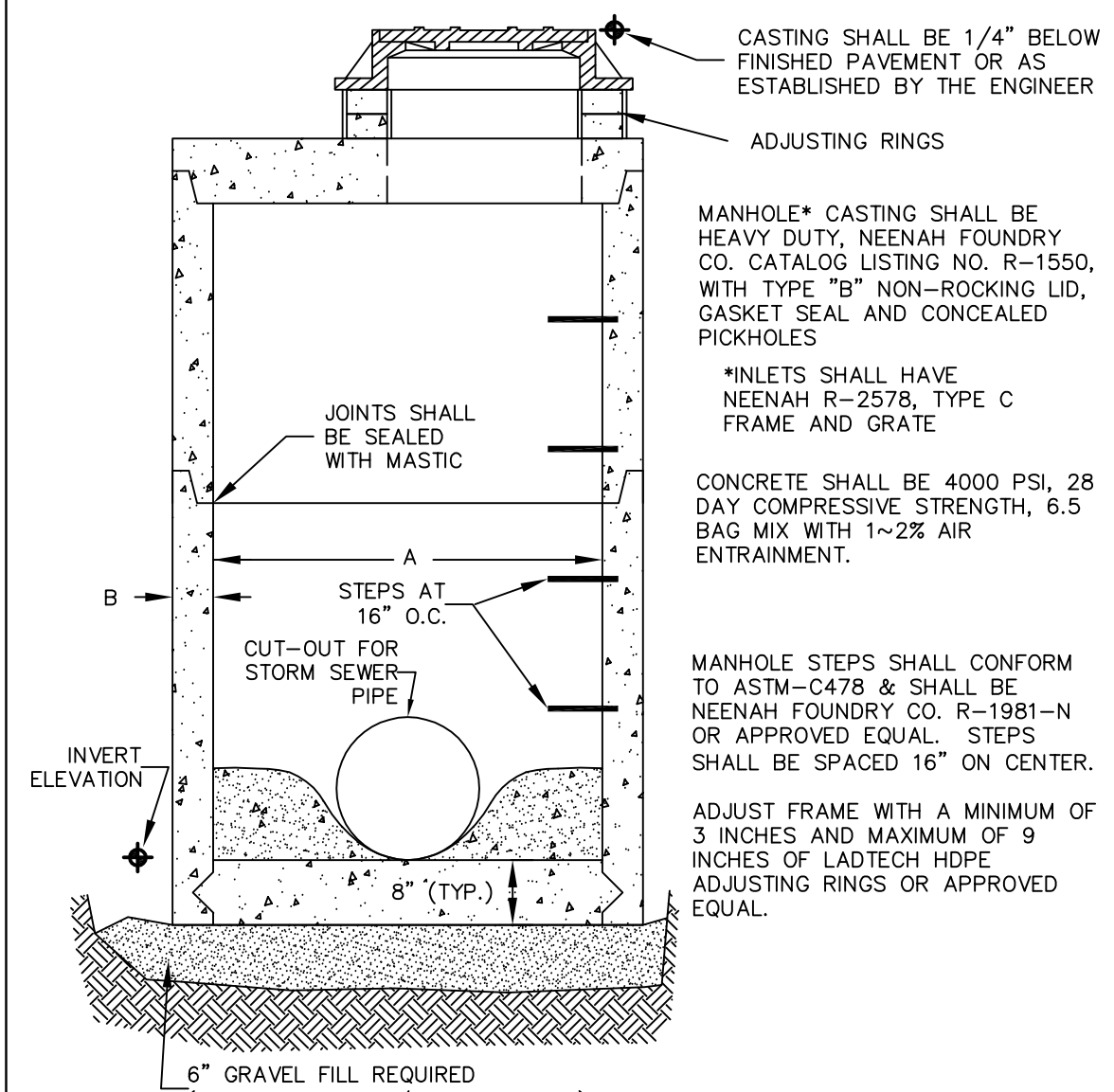
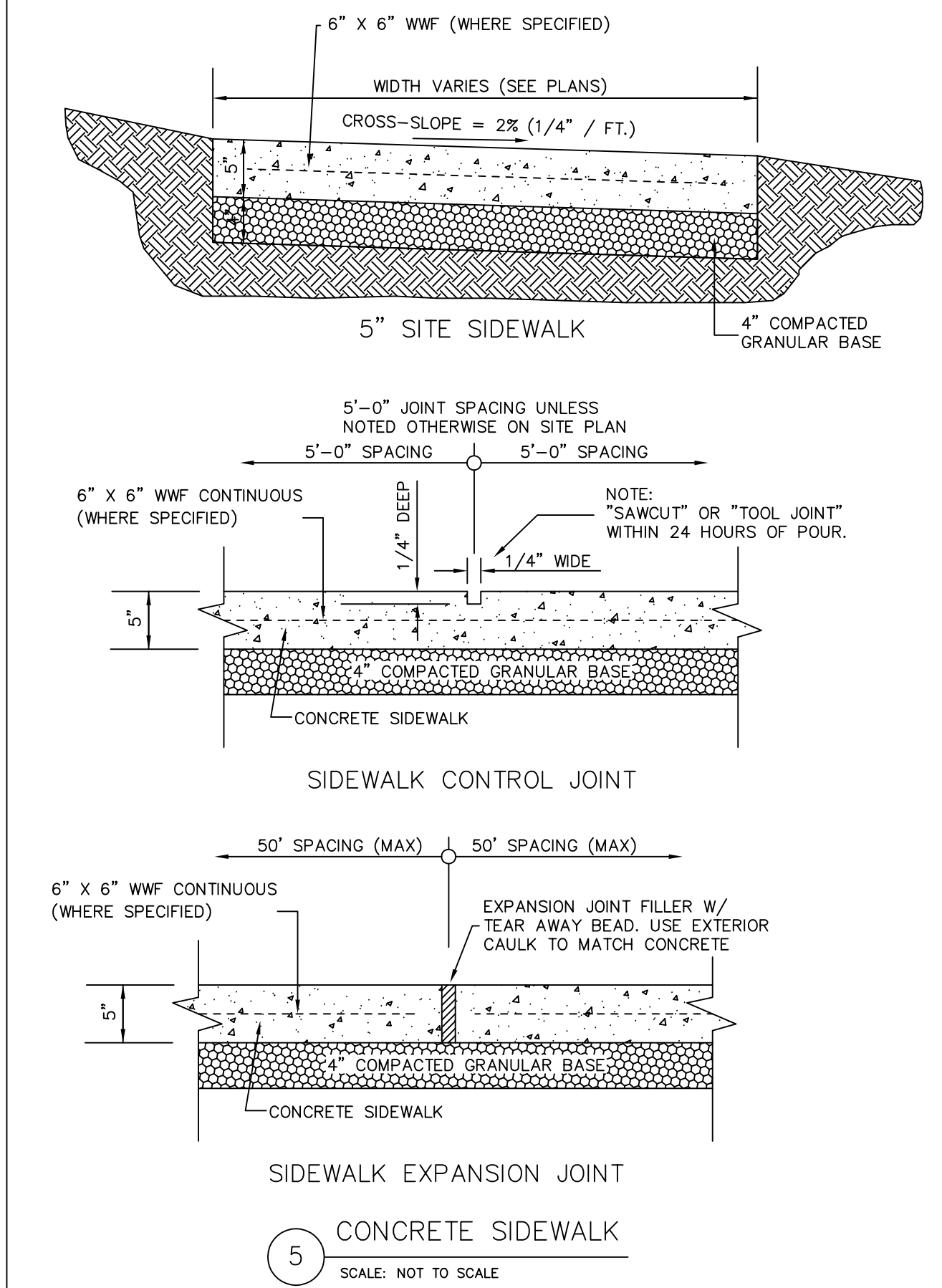
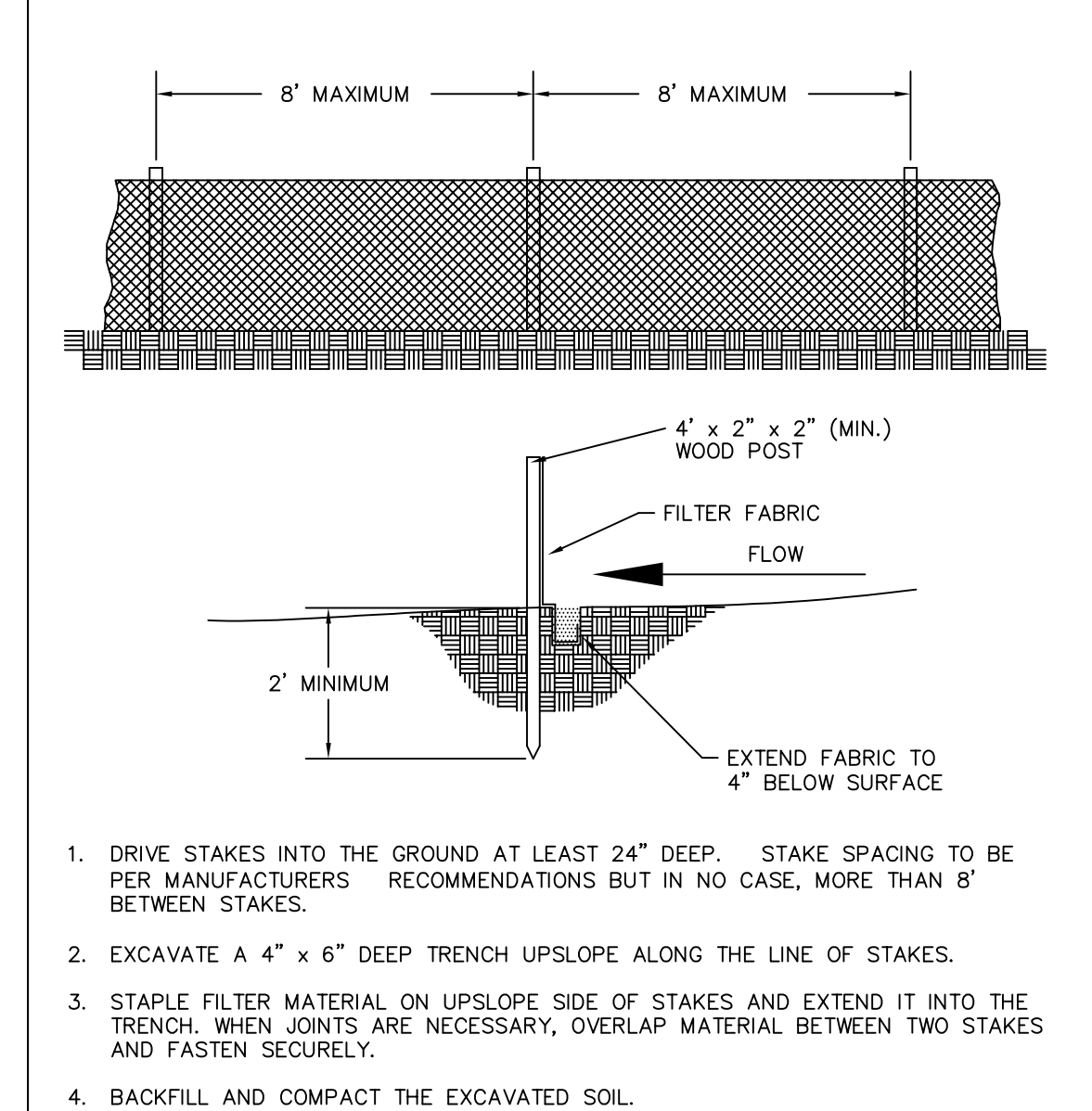
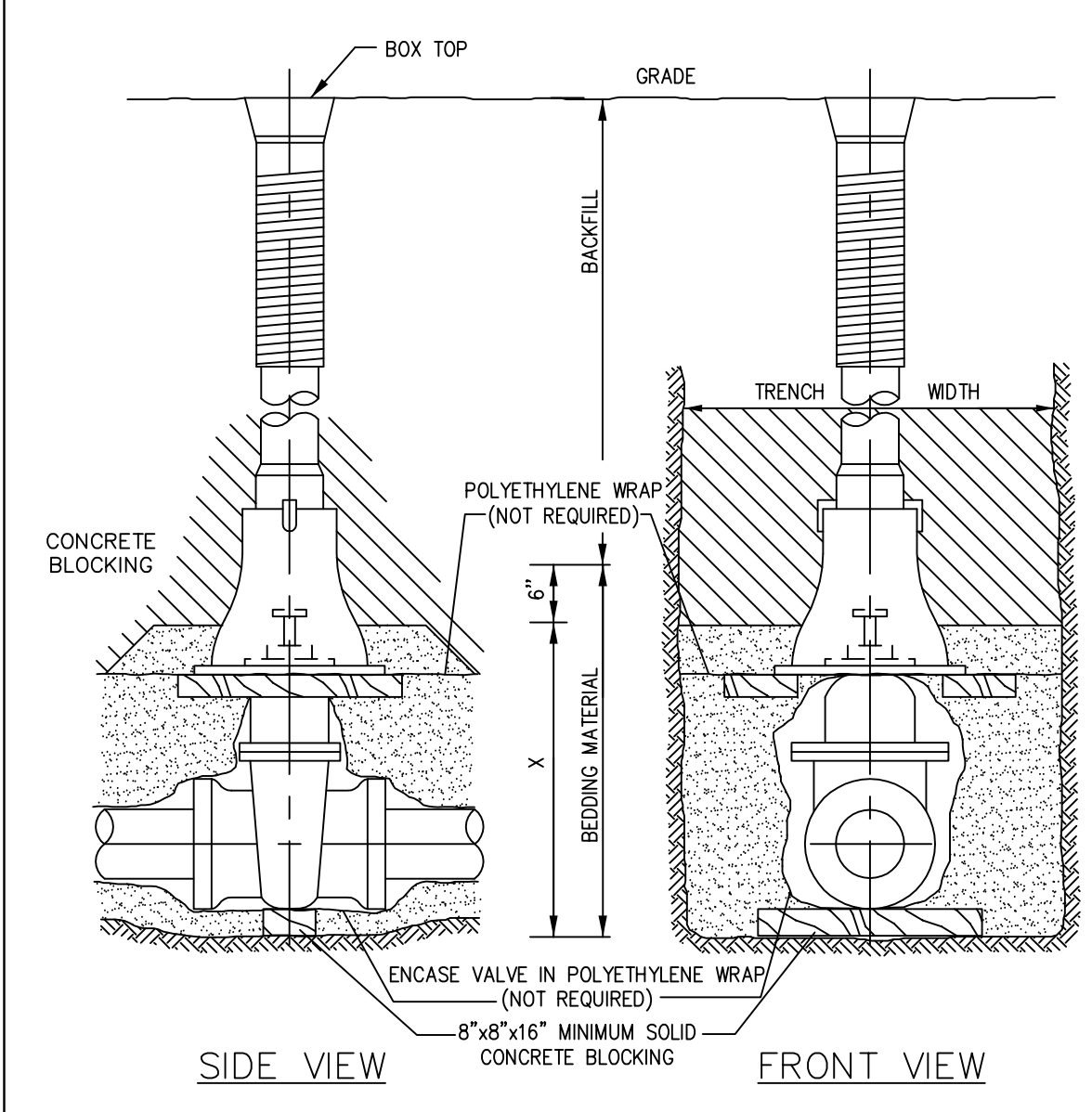
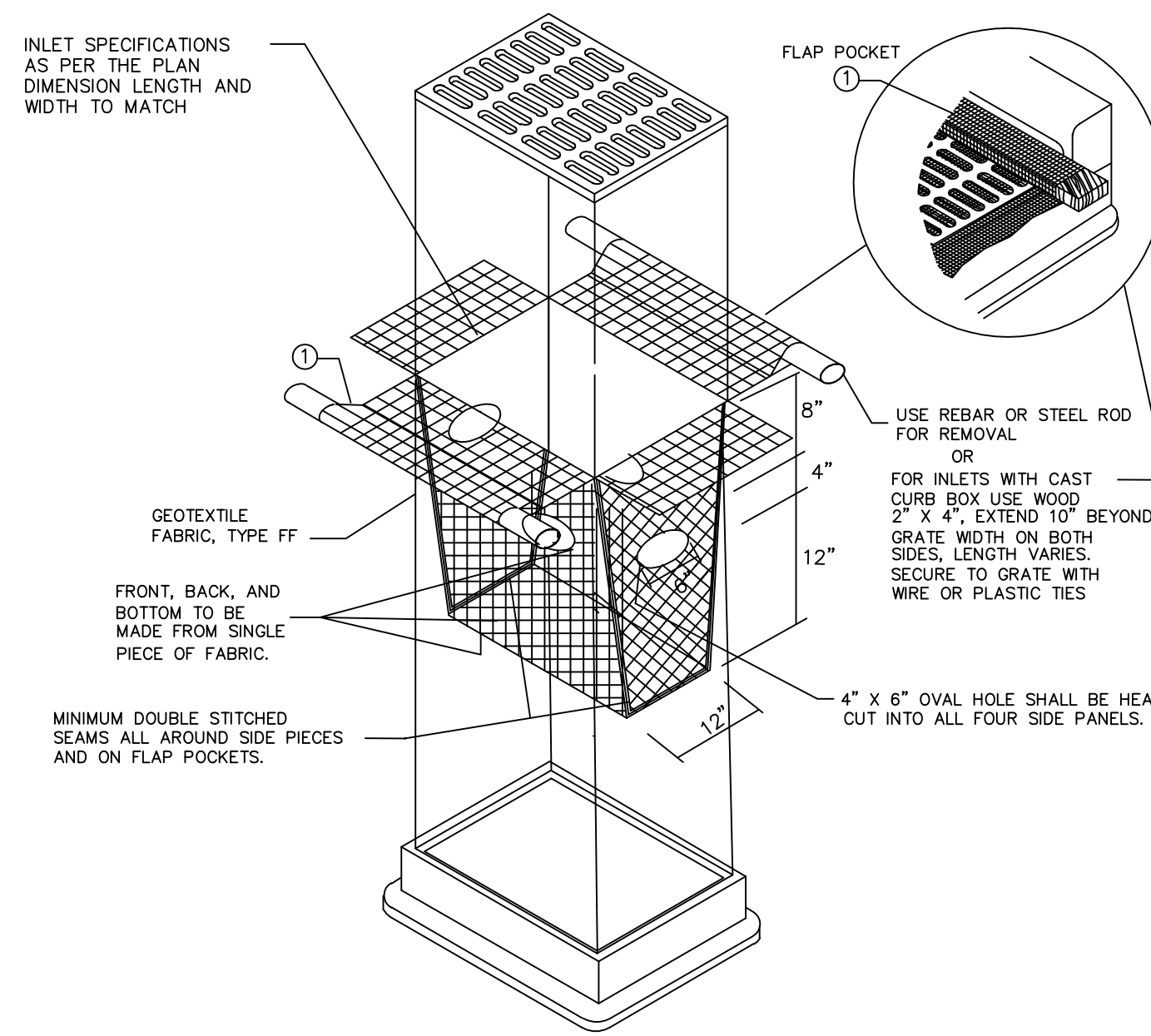


- 1) FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
  - 2) LENGTH - MINIMUM OF 50'.
  - 3) WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
  - 4) ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
  - 5) STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
  - 6) SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
  - 7) LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.
- 1) STONE CONSTRUCTION ENTRANCE**  
 SCALE: NOT TO SCALE

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT DIRECTION OF THE ENGINEER. THE MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

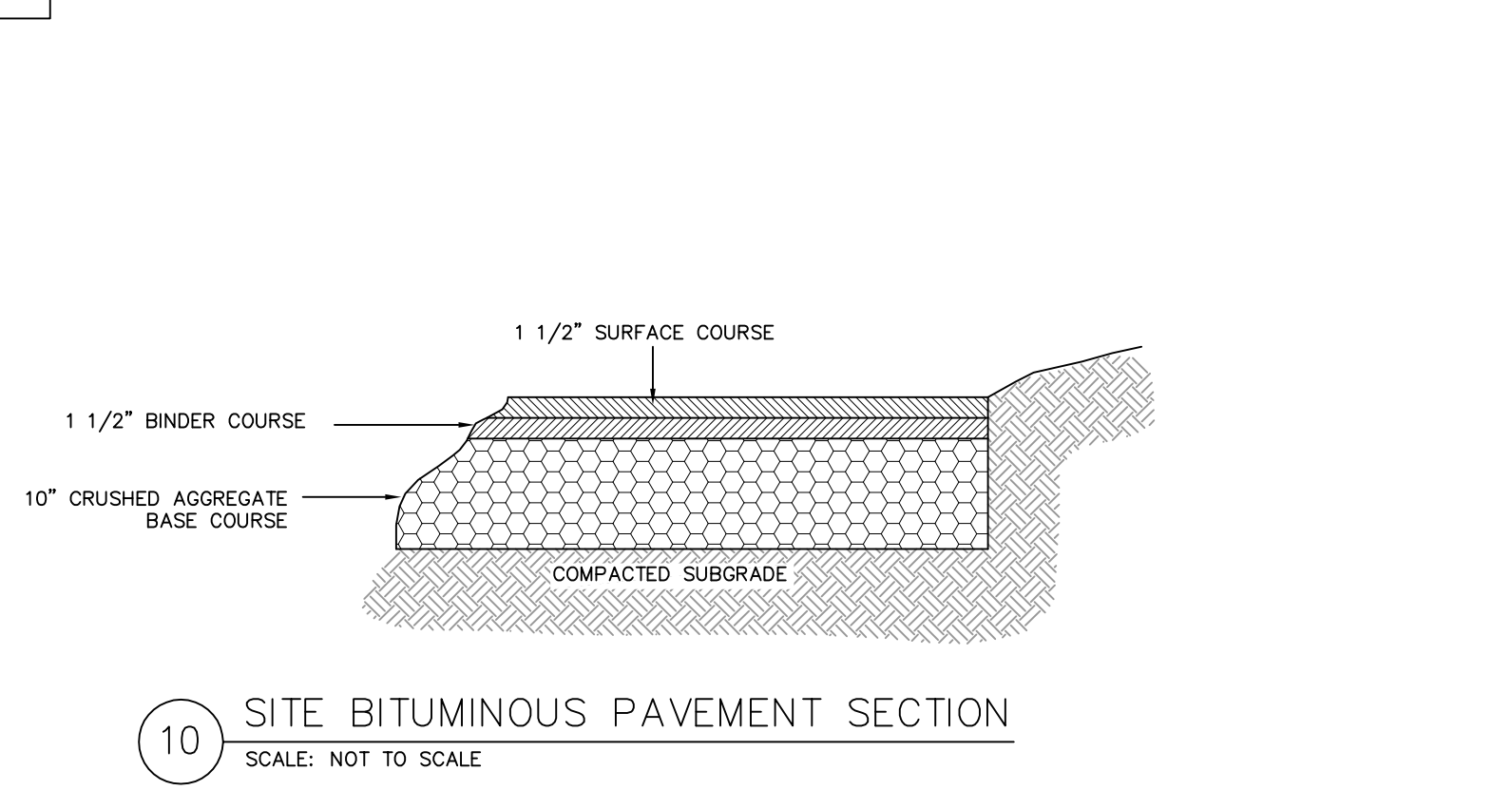
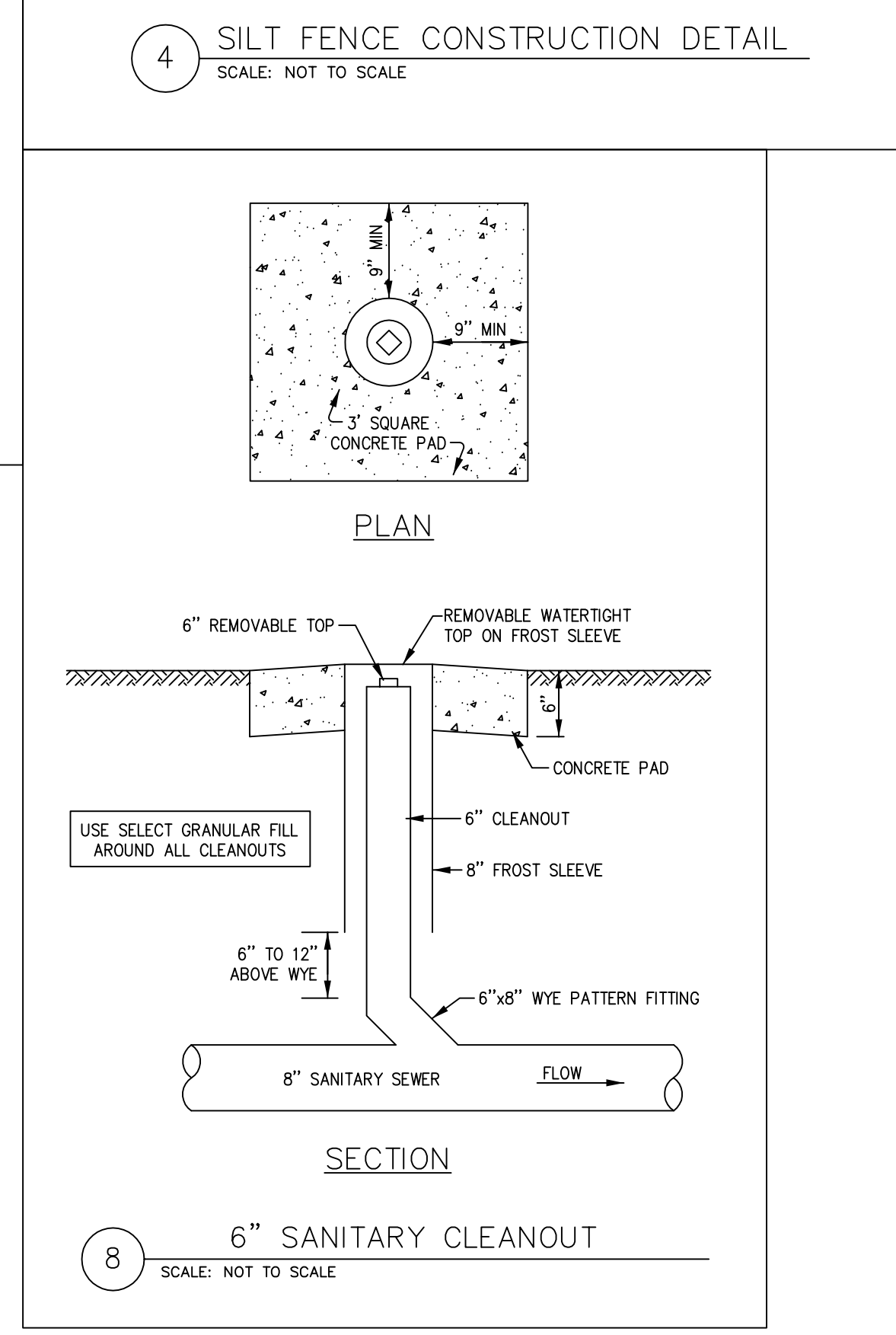
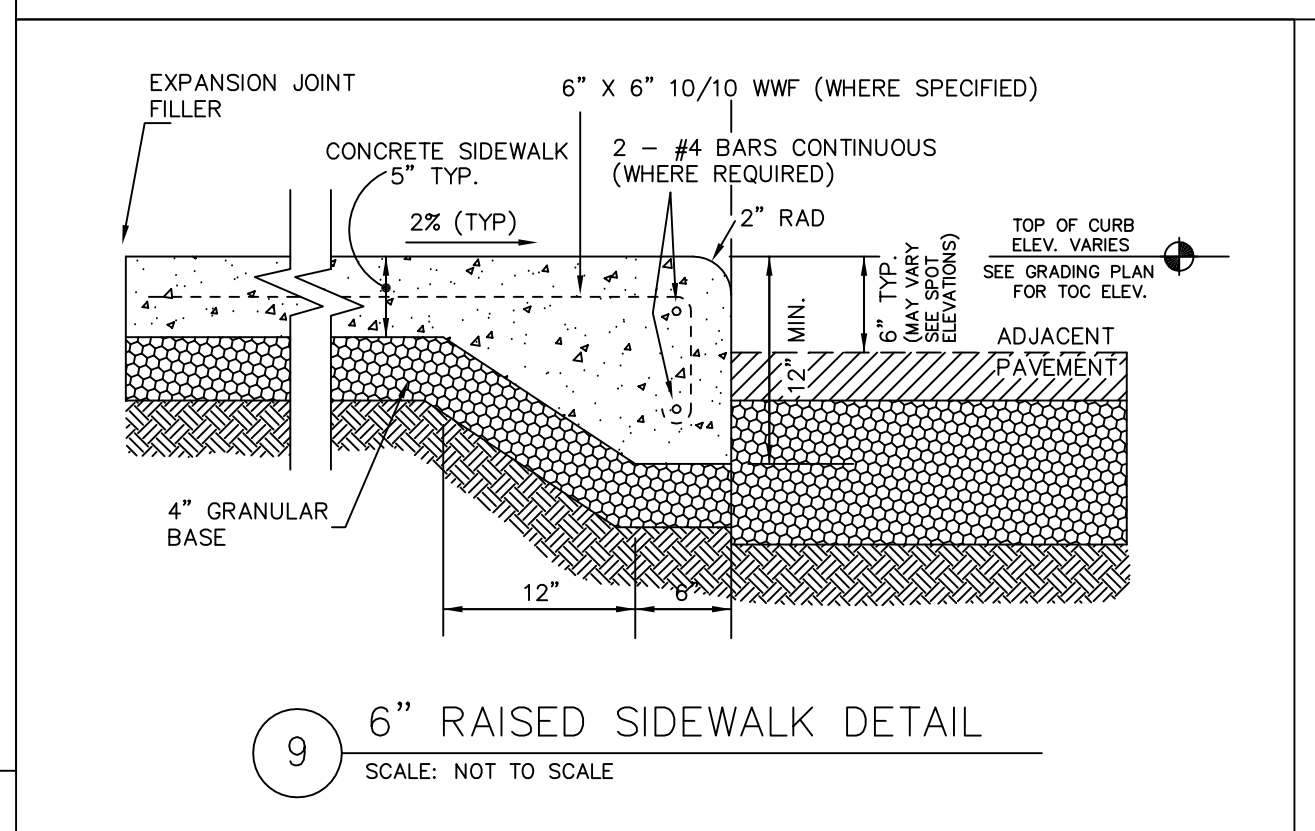
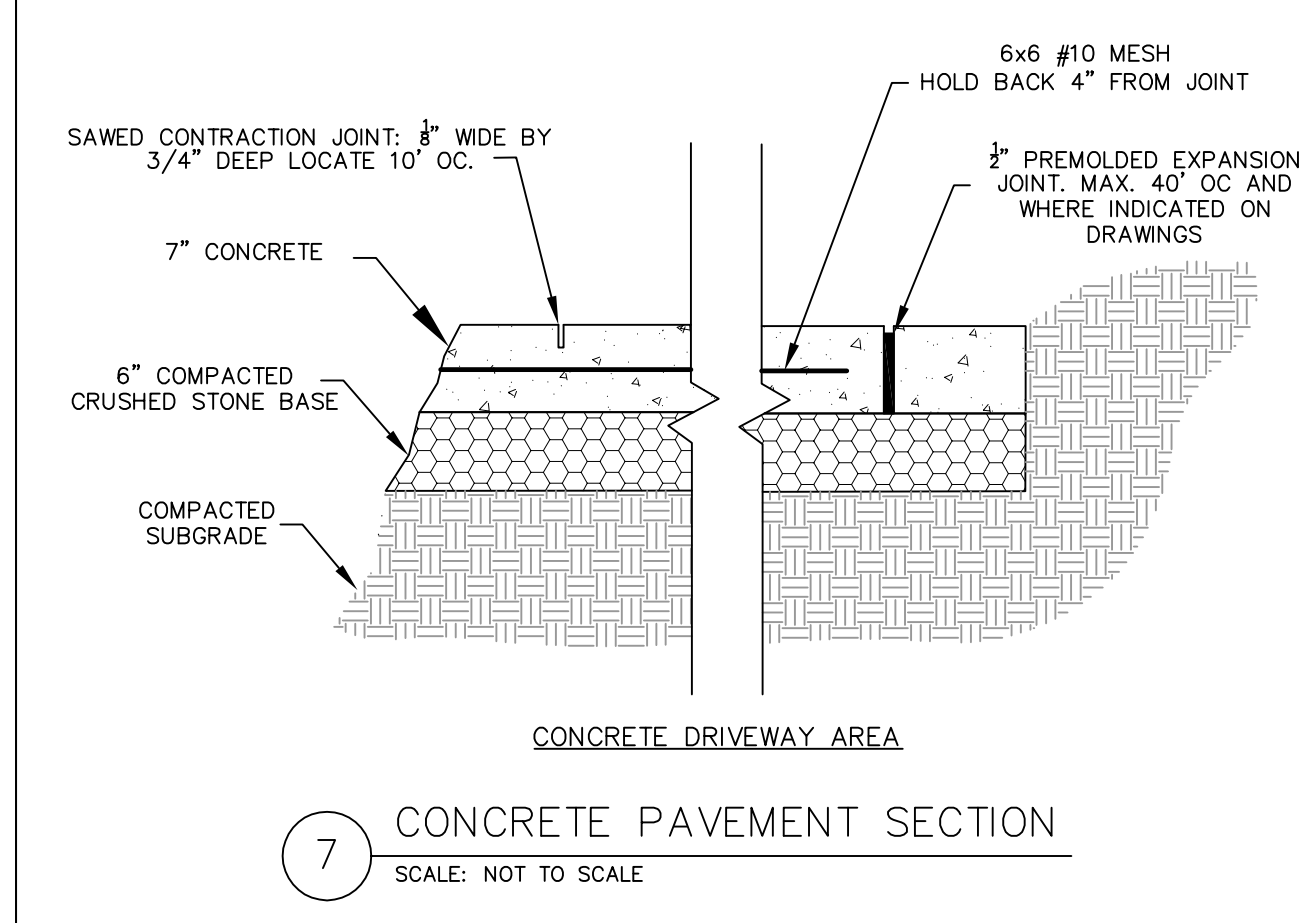
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET MUST BE REMOVED IMMEDIATELY.

**TYPE D**  
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30". MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



**STORM MANHOLE DIMENSIONS**

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"



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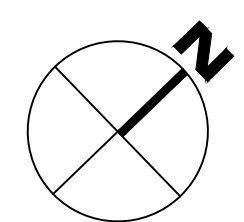
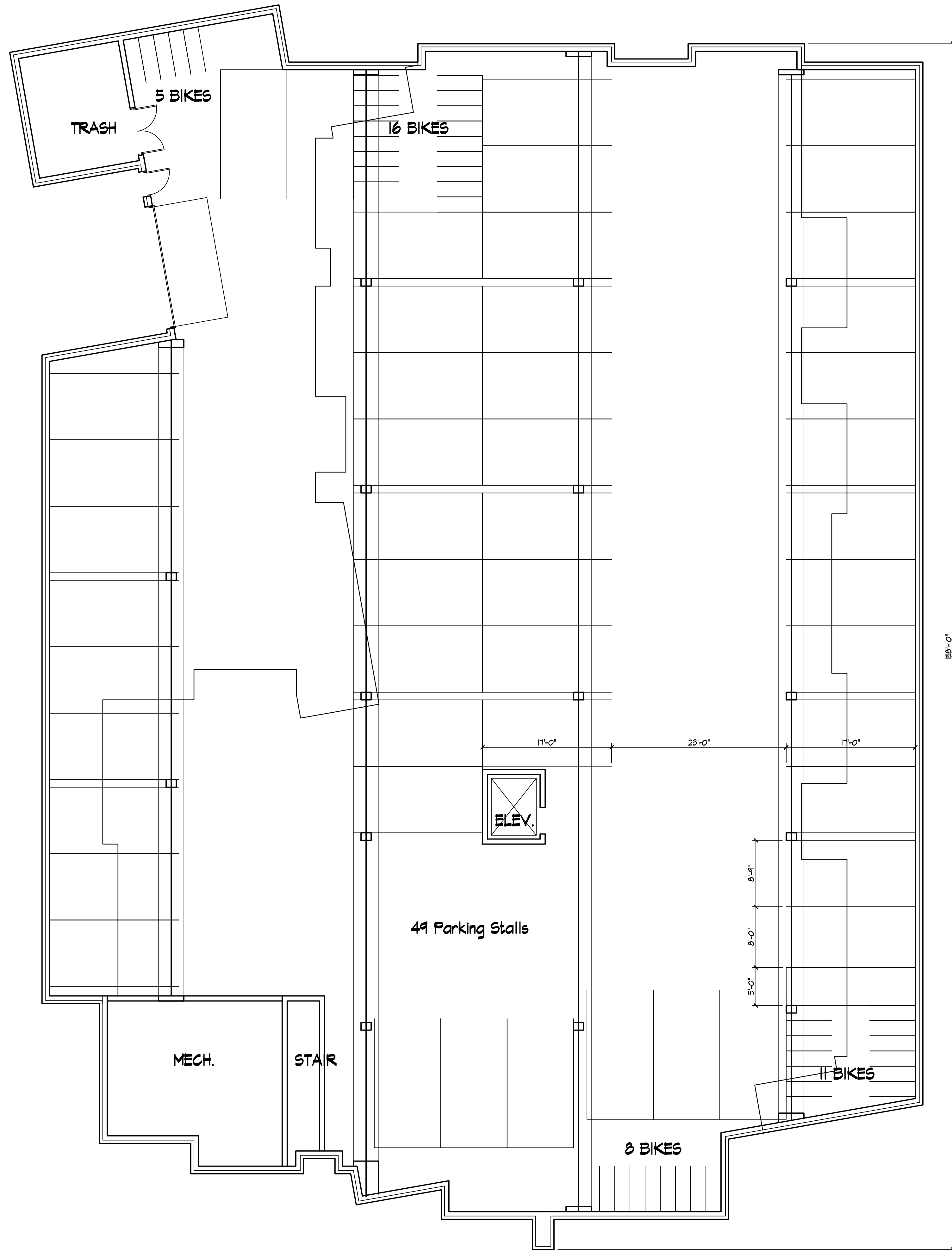
**CONSTRUCTION DETAILS**  
 CMI MANAGEMENT, LLC DEVELOPMENT  
 1924 ATWOOD AVENUE  
 CITY OF MADISON, DANE COUNTY, WISCONSIN

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN  
 DATE 4-30-13  
 DRAFTER TCOY  
 CHECKED JDOY  
 PROJECT NO. 130024  
 SHEET 6 OF 6  
 DWG. NO.

Consultant

Notes



**BASEMENT PLAN**  
1/8" = 1'-0"

Revisions  
SIP Submittal - March 20, 2013

Project Title  
**Atwood Avenue**

1924 Atwood Ave.  
Drawing Title  
**Basement Plan**

Project No.

**1229**

Drawing No.

**A-1.1**

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Consultant

Notes

Revisions

SIP Submittal - March 20, 2013

Project Title

Atwood Avenue

1924 Atwood Ave.

Drawing Title

First Floor Plan

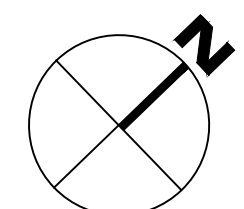
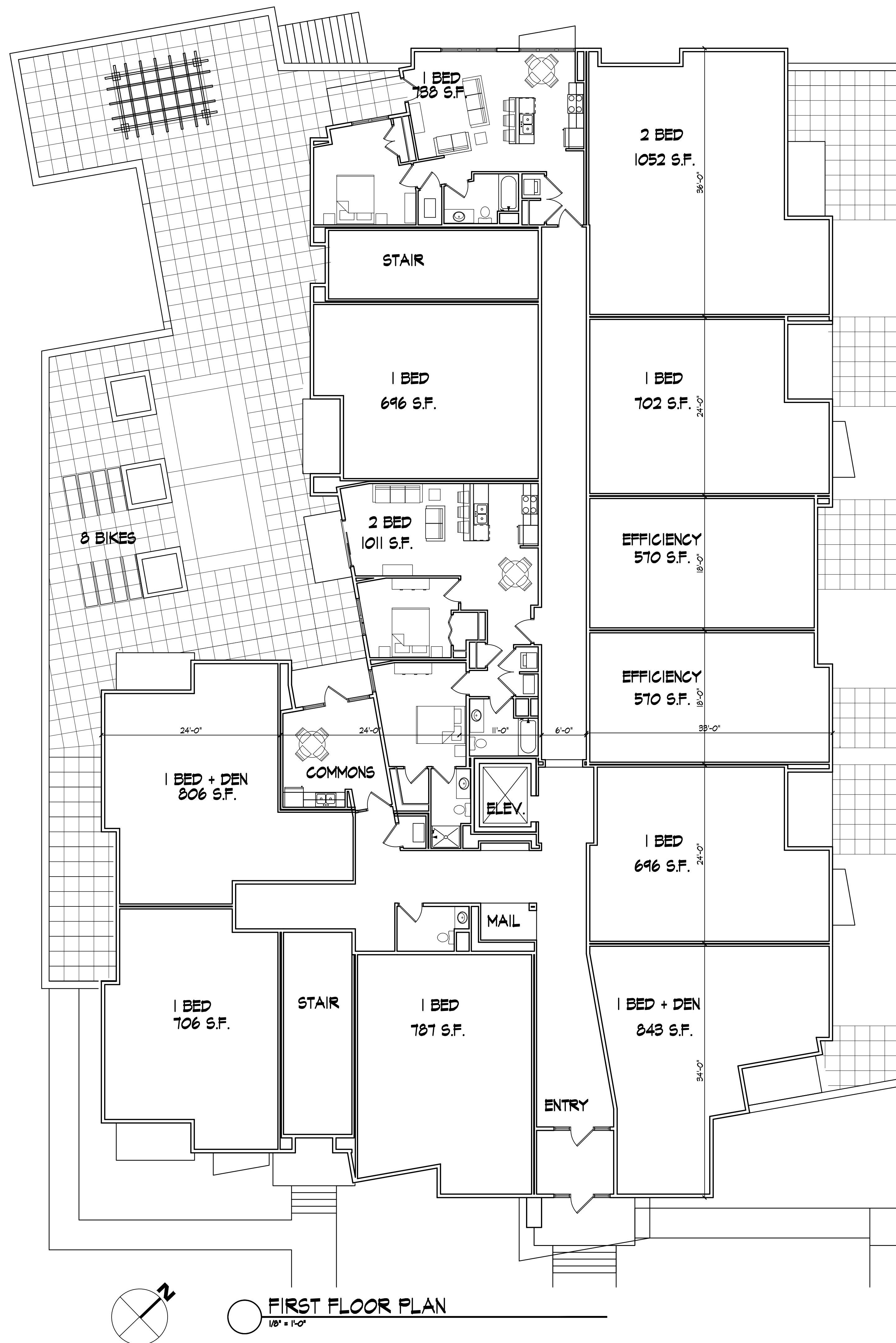
Project No.

1229

Drawing No.

A-1.2

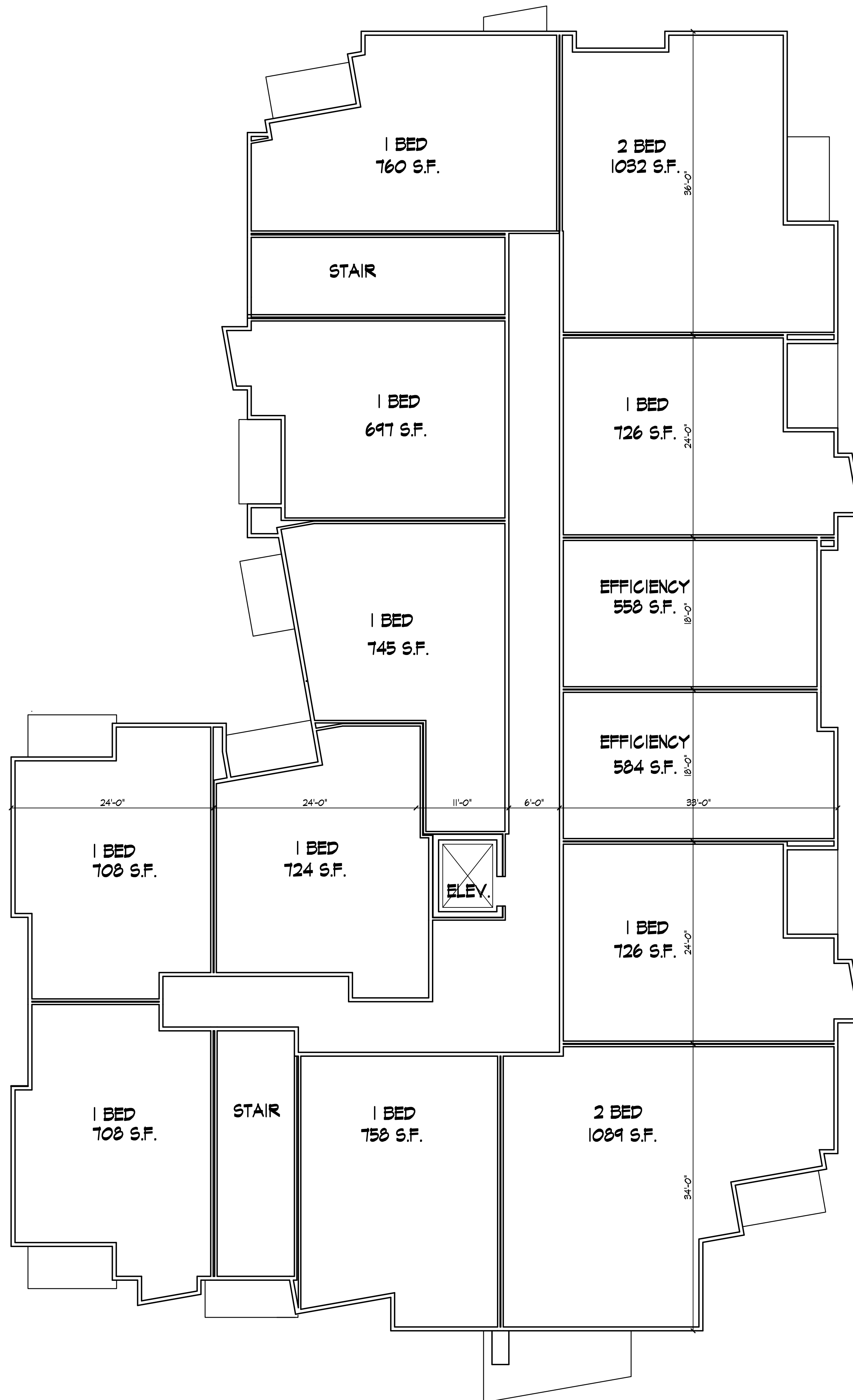
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**FIRST FLOOR PLAN**  
1/8" = 1'-0"

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Notes

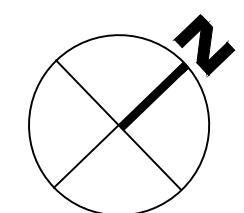


Revisions  
SIP Submittal - March 20, 2013

Project Title  
**Atwood Avenue**

1924 Atwood Ave.  
Drawing Title  
**Second/Third Floor Plan**

Project No. 1229 Drawing No. A-1.3

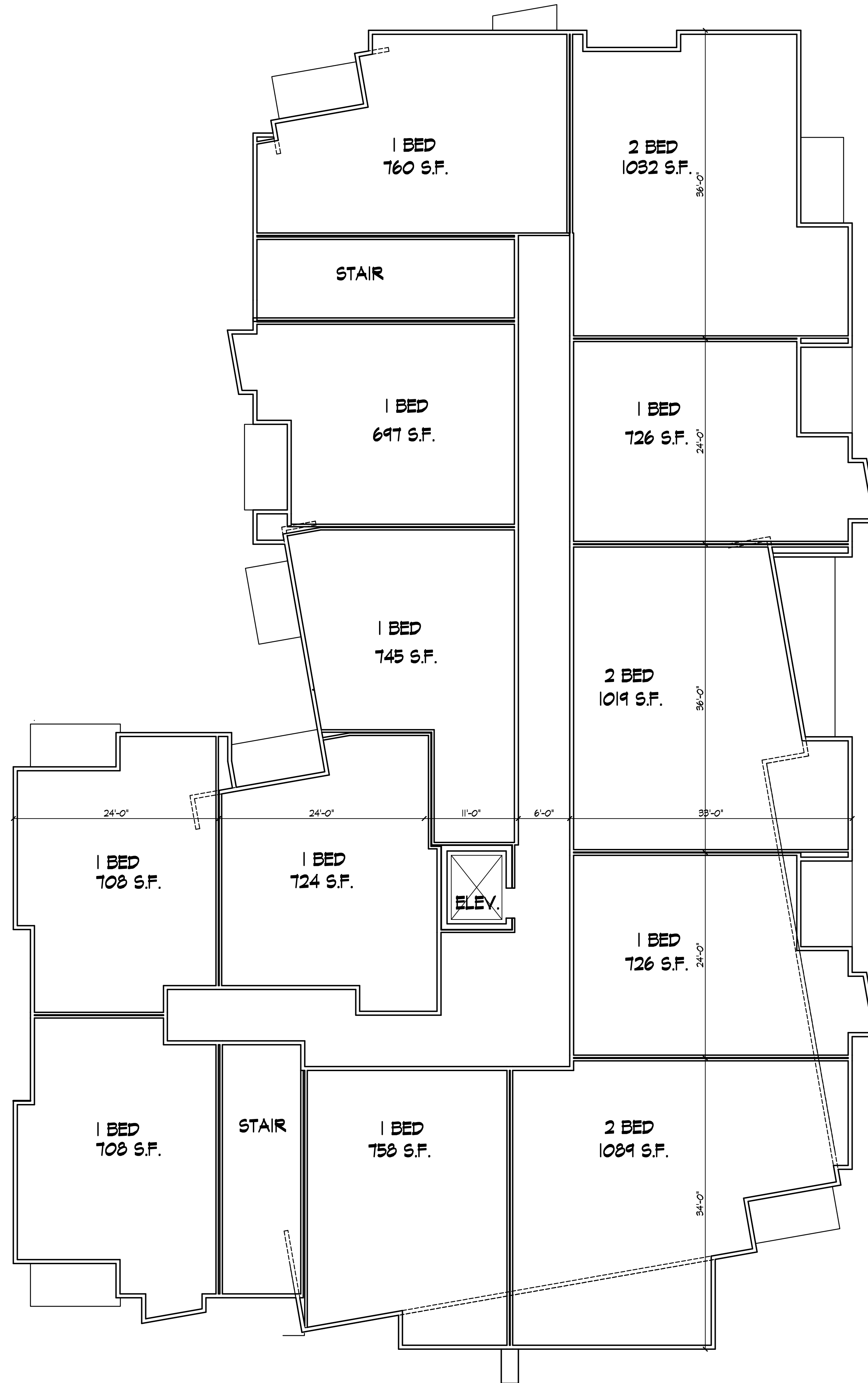


**SECOND AND THIRD FLOOR PLAN**  
1/8" = 1'-0"



Consultant

Notes

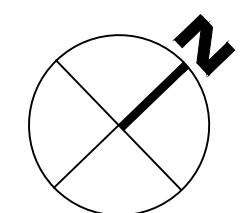


Revisions  
SIP Submittal - March 20, 2013

Project Title  
**Atwood Avenue**

1924 Atwood Ave.  
Drawing Title  
**Fourth Floor Plan**

Project No. 1229 Drawing No. A-1.4



**FOURTH FLOOR PLAN**  
1/8" = 1'-0"





**SOUTHEAST ELEVATION**  
1/8" = 1'-0"



**NORTHEAST ELEVATION**  
1/8" = 1'-0"

Revisions  
SIP Submittal - March 20, 2013

Project Title  
**Atwood Avenue**

1924 Atwood Ave.  
Drawing Title  
**Elevations**

Project No.  
**1229**

Drawing No.  
**A-2.1**





**NORTHWEST ELEVATION**  
1/8" = 1'-0"



**SOUTHWEST ELEVATION**  
1/8" = 1'-0"

Revisions  
SIP Submittal - March 20, 2013

Project Title  
**Atwood Avenue**

1924 Atwood Ave.  
Drawing Title  
**Elevations**

Project No. Drawing No.  
**1229 A-2.2**

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Perspective View

Atwood Avenue

KNOTHE  
& BRUCE  
*architects*

Project # 1229  
May 1, 2013