

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>June 20, 2007</u>	Action Requested
UDC MEETING DATE: <u>July 11, 2007</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 821 South Cannon Road
ALDERMANIC DISTRICT: JED SANBORN
OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
SJR ENTERPRISES LLC TJK DESIGN BUILD - JOHN BIENO
4518 MONONA DRIVE 1034 WEST MAIN STREET
MADISON, WI 53716 MADISON WISCONSIN 53703

CONTACT PERSON: JOHN BIENO
Address: 1034 WEST MAIN STREET
MADISON WI 53703
Phone: 267 1090
Fax: 267 1092
E-mail address: jjbieno@tjkdesignbuild.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

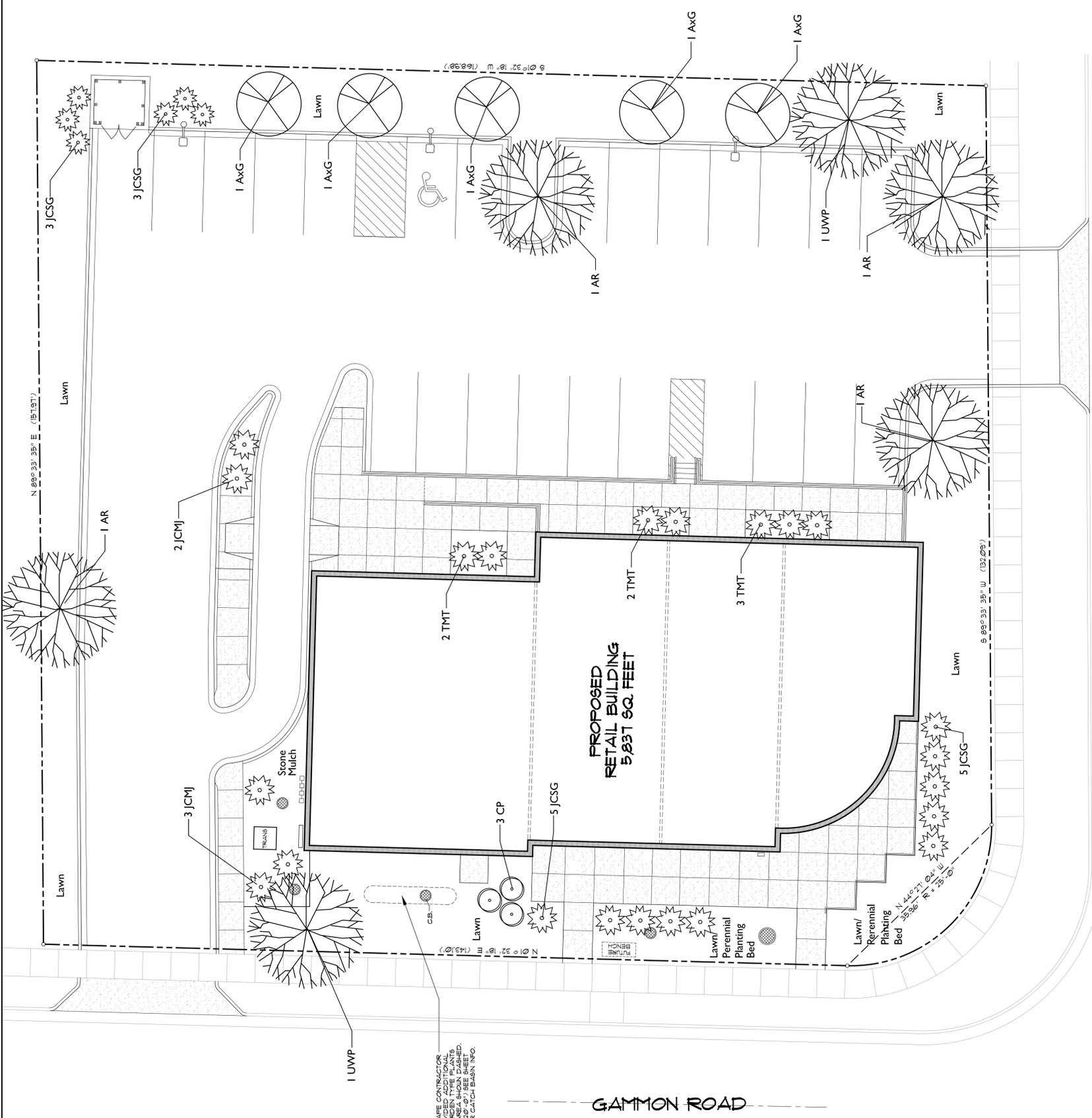
(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

REVISION	DATE

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SCHROEDER ROAD



PROPOSED LANDSCAPE PLAN

SCALE: 1" = 10'

CITY OF MADISON - LANDSCAPE POINTS REQUIREMENTS

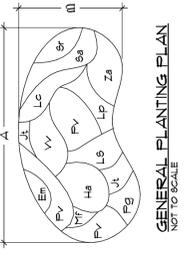
NUMBER OF PARKING STALLS: 24
NUMBER OF 2' - 2 1/2' CAL. SHADE TREES REQUIRED: 2
LOADING BERTH PLANTING REQUIREMENT: 1 BERTH x 15 POINTS/BERTH: 15
NUMBER OF LANDSCAPE POINTS REQUIRED: 111
TOTAL LANDSCAPE POINTS REQUIRED: 132

LANDSCAPE POINTS SOLUTION ELEMENT	POINT VALUE	QTY	POINTS ACHIEVED	CREDITS QTY	POINTS
CANOPY TREES 7'-12'	35	3	105	-	-
DECIDUOUS SHRUBS	3	3	9	-	-
EVERGREEN SHRUBS	5	22	110	-	-
DECORATIVE WALL OR FENCE (PER 10 LF.)	10	-	-	-	-
EARTH BERM (PER 10 LF.)	10	-	-	-	-
AVERAGE HEIGHT - 5'	-	-	-	-	-
EVERGREEN TREES 3' HT. MIN.	30	5	150	-	-
CANOPY TREES OR SMALL ORNAMENTAL TREES 1 1/2'-2'	30	5	150	-	-
SUBTOTALS			495		
TOTAL POINTS					495

Approved by: _____ Date: _____

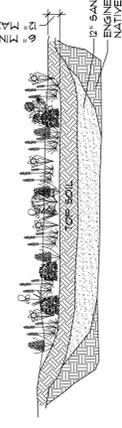
PLANT SCHEDULE

Key	Botanical Name	Common Name	Qty	Planting Size/Root-Spec.
AR	Amelanchier x grandiflora	Apple Serviceberry (multi-stem)	5	2" B&B
AR	Acer rubrum 'October Glory'	October Glory Red Maple	4	2" B&B
AR	Ulmus wilsoniana 'Prospector'	Prospector Elm	2	2" B&B
UWP	Juniperus chinensis 'Blue Jay'	Blue Jay Juniper	5	18" CONT
UWP	Juniperus chinensis 'Sea Green'	Sea Green Juniper	10	18" CONT
UWP	Taxus x media 'Tantoni'	Tantoni Yew	7	18" CONT
CP	Composita penguina	Sweetfern	3	18" CONT



RAIN GARDEN PLANTING LIST

Plant Group/Species	Common Name	Number per 100 sq. ft.
GRASSES/DEERGRASSES	Tennis Cup	1
FORBES	New England aster	9
	Spotted Joe Pye	4
	Prairie blazing star	6
	Cardinal flower	6
	Great blue lobelia	2
	Marsh phlox	6
	Mountain mint	13
	Stiff goldenrod	4
	Golden Alexander	3
Total		100



2 RAIN GARDEN DETAILS
SCALE: NO SCALE

RAIN GARDEN SECTION
NOT TO SCALE

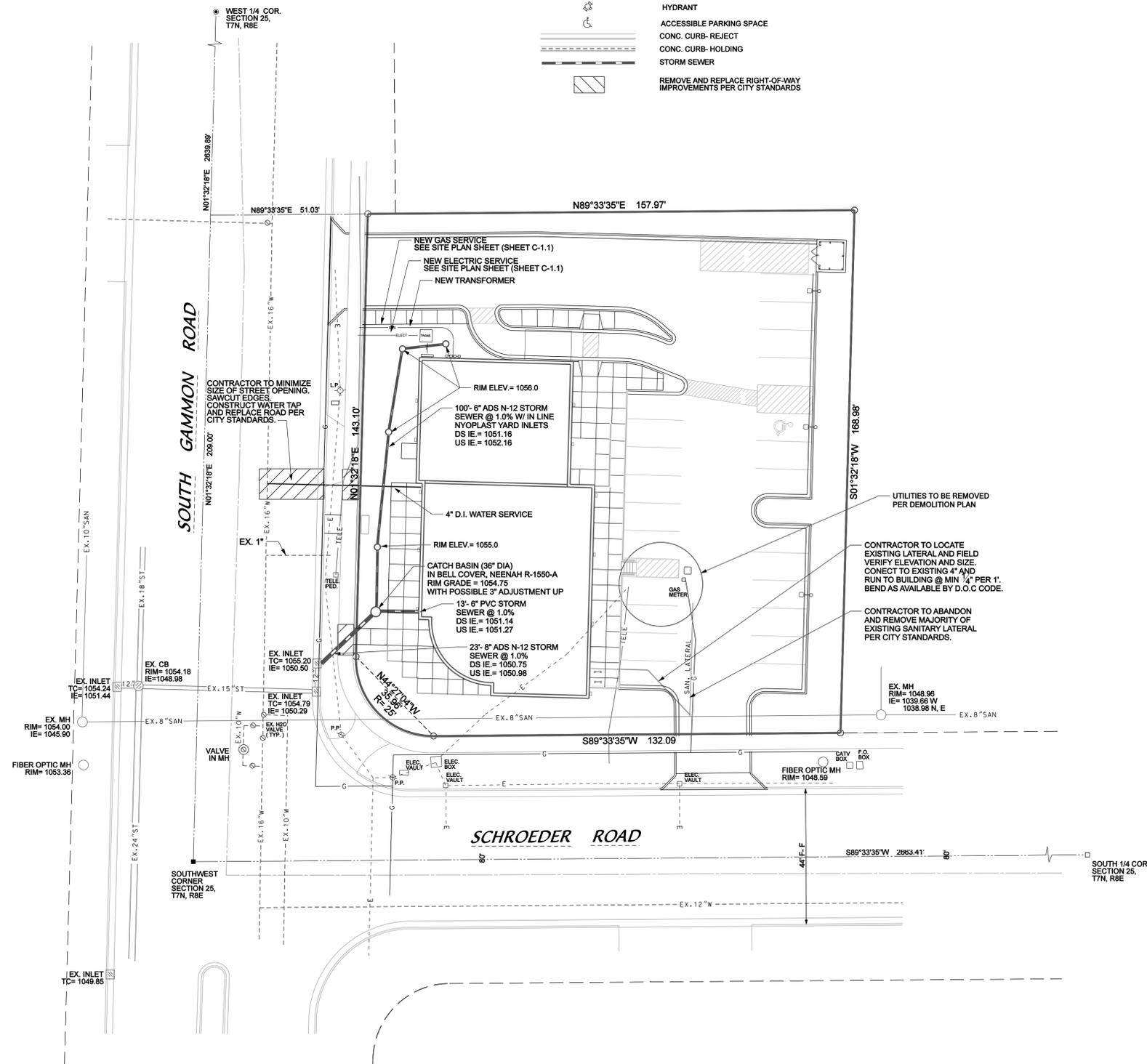
NOTE:
ACTUAL PLANTING ARRANGEMENT & PLANT VARIETIES WILL BE DETERMINED AT THE TIME OF PLANTING AND CONSTRUCTION WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.

CONSTRUCTION NOTES:
CONTRACTOR SHALL OVER EXCAVATE GARDENS TO A MINIMUM DEPTH OF 2'-0" BELOW FINISH GRADE.
IF CLAY IS ENCOUNTERED DURING RAIN GARDEN CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE, REMOVE AND REPLACE WITH SAND UNTIL THE SAND IS 18" BELOW FINISH GRADE. THE SAND SHALL BE COMPACTED TO ACCEPTABLE PERFEASIBLE LAYERS BELOW.
CONTRACTOR SHALL USE CONSTRUCTION MEANS AS NOT TO COMPACT RAIN GARDEN AREAS.

GENERAL NOTES:
RAIN GARDEN AREAS BEDED AT 10 LB/ACRE WITH SEED MIX AS APPROVED BY ARCHITECT.
ANNUAL ?? SHALL BE SEED AT 5 LB/ACRE WITH THE SEED MIX IN THE RAIN GARDEN AREAS FOR EROSION CONTROL.
FERTILIZER SHALL BE SPREAD CONSISTENT WITH RECOMMENDATIONS FROM NURSERY.
STRAW MULCH SHALL BE PLACED IN THE RAIN GARDEN AREAS USING WISCONSIN DOT SPECIFICATION 671.321 (METHOD A) LOCATED IN CHAPTER 671.321 (METHOD A) LOCATED IN WISCONSIN DOT SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE CITY OF MADISON.

LEGEND

	FOUND 1-1/4" SOLID ROUND IRON STAKE
	FOUND 3/4" SOLID ROUND IRON STAKE
	EX. UNDERGROUND ELECTRIC
	EX. SANITARY SEWER
	EX. WATER MAIN
	EX. GAS MAIN
	EX. STORM SEWER
	TELEPHONE PEDESTAL
	ELECTRIC TRANSFORMER
	MANHOLE
	CATCH BASIN/INLET
	LIGHT POLE
	GAS METER
	VALVE
	HYDRANT
	ACCESSIBLE PARKING SPACE
	CONC. CURB-REJECT
	CONC. CURB-HOLDING
	STORM SEWER
	REMOVE AND REPLACE RIGHT-OF-WAY IMPROVEMENTS PER CITY STANDARDS



- NOTE: 1. WORK WITHIN THE CITY OF MADISON R.O.W. SHALL BE COMPLETED IN CONFORMANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS.
2. ALL SIDEWALK SHALL BE REMOVED AND REPLACED BETWEEN THE SAWCUT LINES PER CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO ABANDON EXISTING 1" WATER SERVICE PER CITY OF MADISON STANDARDS.
4. TERRACE AND SIDEWALK DISTURBANCE AS A RESULT OF NEW GAS & ELECTRIC INSTALLATION SHALL BE REPAIRED PER CITY SPECIFICATIONS.
5. ROOF DRAIN PIPE CONNECTION TO CATCH BASIN TO BE MADE BY PLUMBING CONTRACTOR TO GUARANTEE SLOPE/INVERT COORDINATION.

SITE UTILITY PLAN



SCALE:
1" = 20'

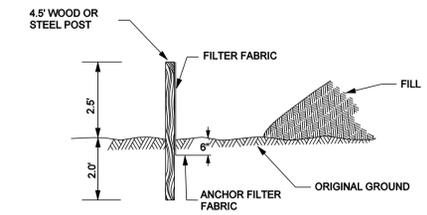
DATE: 06-06-07
FN: 07-05-120 REV.: 07-02-07

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

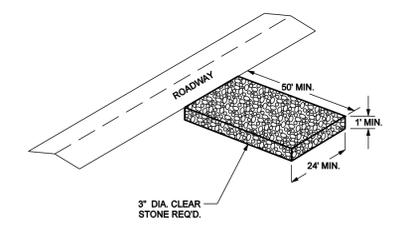
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

LEGEND

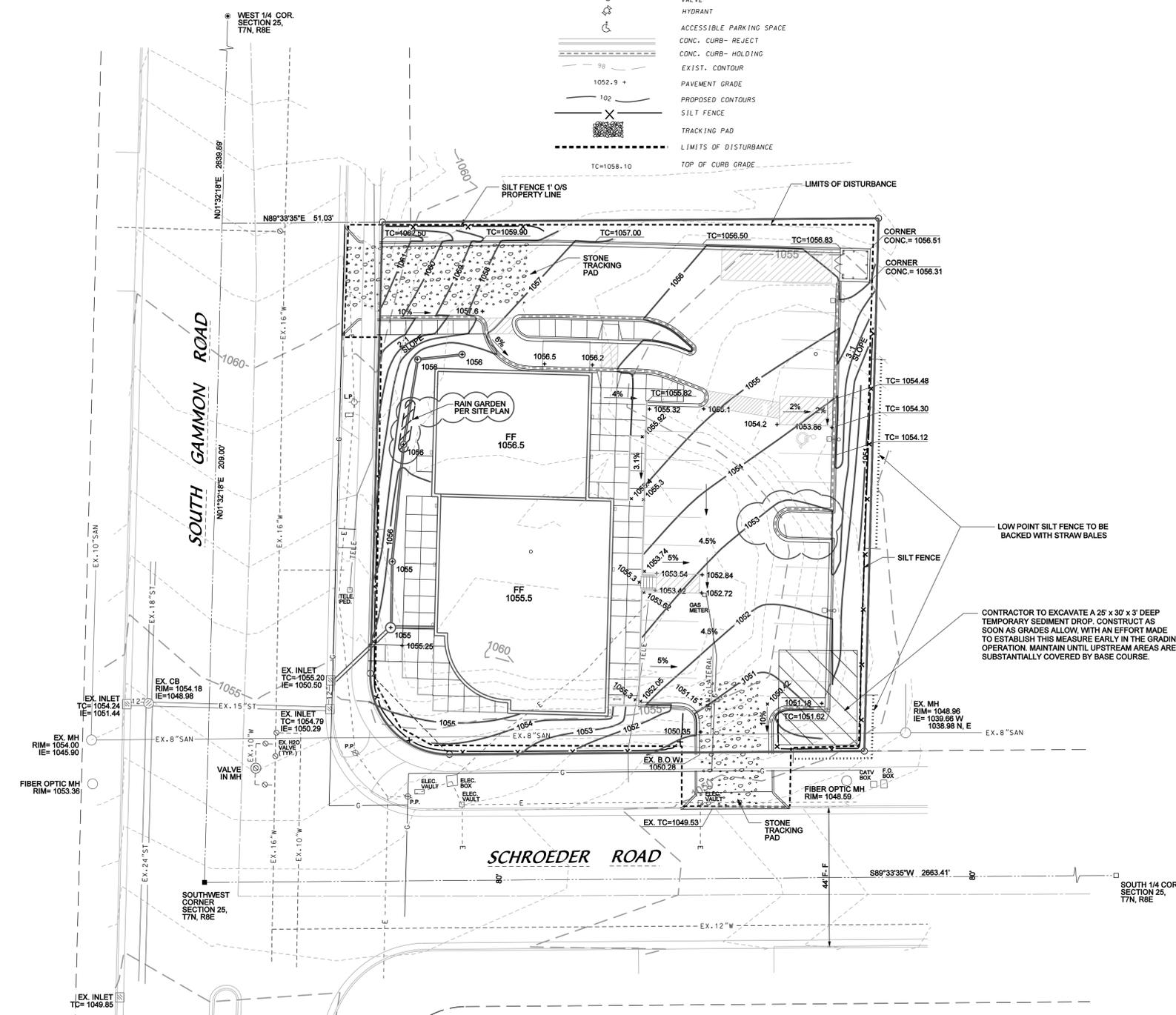
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	LIGHT POLE
	GAS METER
	VALVE
	HYDRANT
	ACCESSIBLE PARKING SPACE
	CONC. CURB- REJECT
	CONC. CURB- HOLDING
	EXIST. CONTOUR
	PAVEMENT GRADE
	PROPOSED CONTOURS
	SILT FENCE
	TRACKING PAD
	LIMITS OF DISTURBANCE
	TOP OF CURB GRADE



SILT FENCE DETAIL
NOT TO SCALE



STONE TRACKING PAD DETAIL
NOT TO SCALE



SITE GRADING AND EROSION CONTROL NOTES

- Spot grades and parking lot slopes have been rounded off to the nearest tenth.
- All site grading and erosion control shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
- Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
- Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan. All slopes 4:1 and greater to be restored with double net straw erosion mat.
- Public streets and adjacent parking lots shall be cleaned daily as necessary.
- Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
- The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
- Schedule:
Erosion Control = August 9, 2007 (Silt fence, Tracking pad.)
Land Disturbance (removal of existing base course, backfilling of removed building, stump grinding and grading) = August 9, 2007
Does not include building demolition, tree cutting, or bituminous milling.
Parking Lot Base Course = September 21, 2007
Parking Lot Pavement = Per Contractor's Schedule
Restore Lawn at north and east side of site = October 1, 2007
Final Landscaping Around Building = November 15, 2007
- City of Madison Standard inlet protection shall be placed in the inlet and catch basin as soon as the structure is set.
- Preventing tracking onto Gammon and Schroeder Roads shall be the utmost concern. The period of greatest risk is during demolition and excess soil removal. The contractor shall take extra steps as warranted by field conditions to prevent tracking. Possible efforts include, but are not limited to, extending length of tracking pad, refreshing tracking pad more often than usual, street cleaning several times a day, or stopping work during wet conditions.

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SITE GRADING AND EROSION CONTROL PLAN



SCALE:
1" = 20'

DATE: 06-06-07
FN: 07-05-120 REV: 07-02-07

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

PROPOSED FACILITY FOR:
SJR ENTERPRISES, LLC
821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

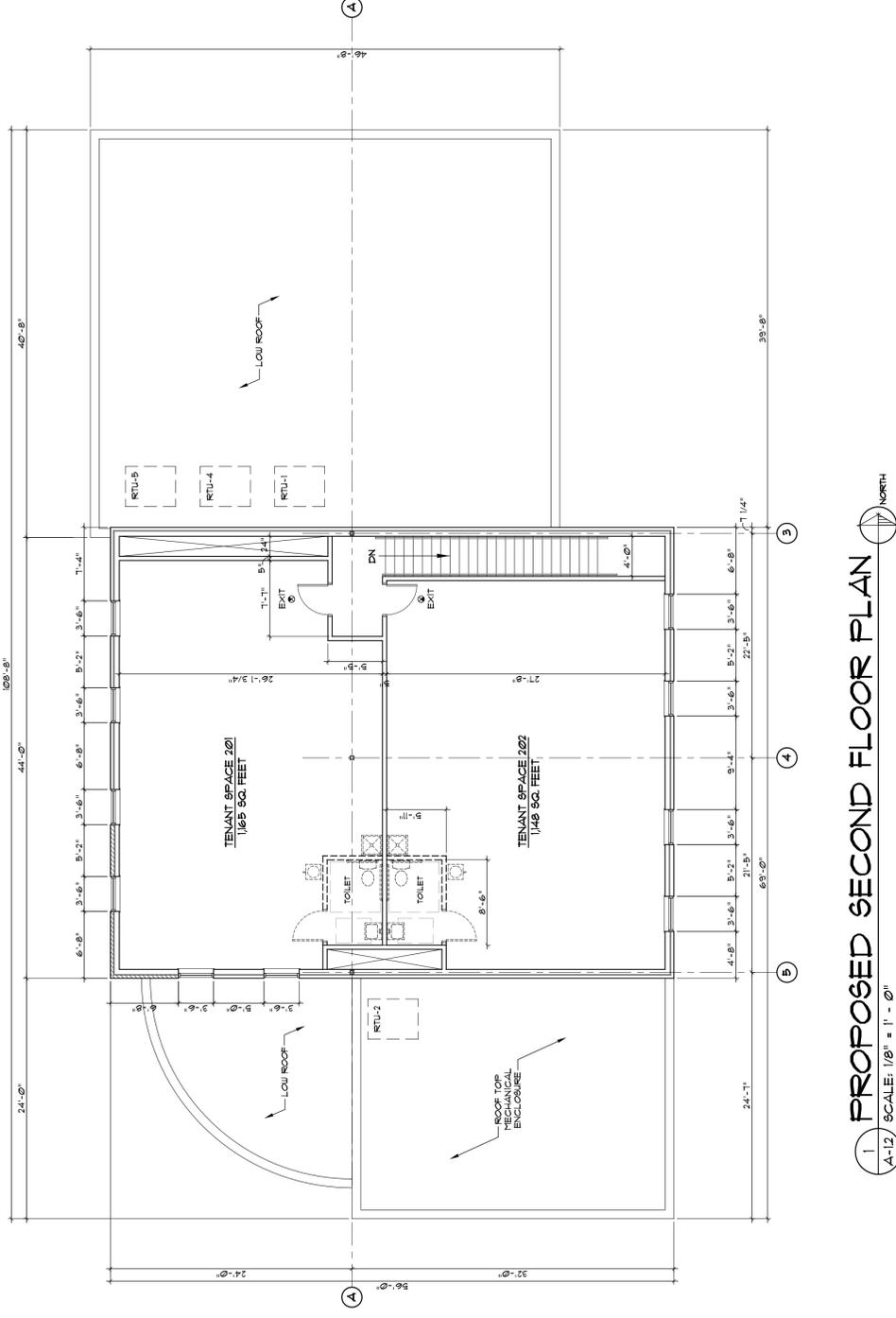
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REVISION	DATE

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PROPOSED FACILITY FOR:
SM ENTERPRISES, LLC
821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

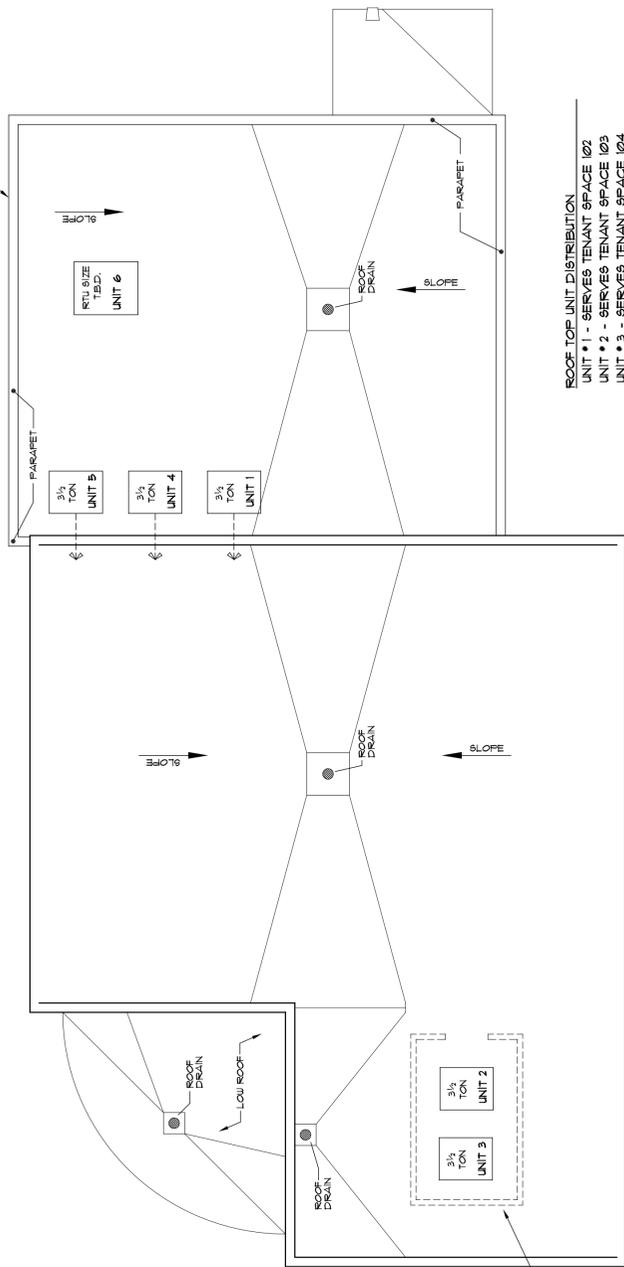
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GENERAL NOTES SUITE 201, 202 CONSTRUCTION NOTES:

- TYPICAL TENANT BOARD ON BOTH SIDES TO STRUCTURE (UNLESS NOTED OTHERWISE) TAPE AND FINISH TO 1/8" READY FOR PAINT
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. ENSURE CONTINUED ILLUMINATION FOR A DURATION OF 90 MINUTES IN THE EVENT OF A POWER OUTAGE. ALL EXIT SIGNS SHALL BE CONNECTED TO A BATTERY BACKUP SYSTEM. PROVIDE BATTERY BACKUP SYSTEMS TO ALL EXIT SIGNS. PROVIDE AN EMERGENCY ILLUMINATION POWER ALONG EGRESS PATHS IN ACCORDANCE W/ ICC ELECTRICAL CODE. ILLUMINATION IS TO LAST FOR A DURATION OF NOT LESS THAN 90 MINUTES AND PROVIDE 1.5 WATT PER SQUARE FOOT OF AREA SERVED.
- ELECTRIC CONTRACTOR TO PROVIDE DUPLEX OUTLETS BASED ON ONE OUTLET PER 60 SQ. FT. BASED ON FUTURE 60 SQ. FT.
- ELECTRIC CONTRACTOR TO PROVIDE PRISMATIC LENS FLUORESCENT 2 TUBE LAY-IN LIGHT FIXTURES BASED ON FUTURE 60 SQ. FT.
- EACH TENANT SPACE IS TO HAVE AN ACCESSIBLE WATER BOTTLE DRINKING FOUNTAIN WITH INDIVIDUAL DRINKING CUPS FURNISHED BY TENANT (NO PLUMBING). ELECTRICIAN TO PROVIDE OUTLET FOR COOLER.
- PROVIDE AND INSTALL STANDARD 2 x 4 FRAMED CEILING TILE IN STANDARD GRID AT 10'-0".
- PROVIDE AND INSTALL DUCTWORK, FLEX, AND DUCTWORK INTO CEILING GRID FOR STANDARD "WHITE BOX" FUTURE TOILET ROOM NOTES:
 - BATHROOM LIGHTING TO BE A SINGLE TUBO - TUBE SURFACE MOUNTED URAP FIXTURE
 - BATHROOM FLOORING TO BE V.C.T. AND 4" VNTL. COVE BASE
 - BATHROOM DOORS TO BE 3'-0" X 1'-0" SOLID CORE OAK DOOR IN HOLLOW METAL FRAMES WITH "A" SERIES PRIVACY LOCK. (DOORS TO BE STAINED / FRAMES TO BE PAINTED)
 - BATHROOMS TO HAVE EXHAUST FANS VENTED THRU ROOF BY HVAC CONTRACTOR
 - PLUMBING CONTRACTOR TO PROVIDE (1) - 6-GALLON ELECTRIC WATER HEATER MOUNTED ABOVE ROOF ON FLOOR PLATFORM
 - 2 x 4 VNTL. COATED SHEETROCK CEILING AT 8'-0"

ROOF DRAIN SHALL HAVE PARAPETS ON ALL FOUR SIDES



ROOF TOP UNIT DISTRIBUTION
UNIT # 1 - SERVES TENANT SPACE 102
UNIT # 2 - SERVES TENANT SPACE 103
UNIT # 3 - SERVES TENANT SPACE 104
UNIT # 4 - SERVES TENANT SPACE 201
UNIT # 5 - SERVES TENANT SPACE 202
UNIT # 6 - SERVES TENANT SPACE 101

CEGAR TRIMMED MECHANICAL ENCLOSURE

PROPOSED FACILITY FOR:

SJR ENTERPRISES LLC

821 SOUTH GAMMON ROAD
MADISON, WISCONSIN

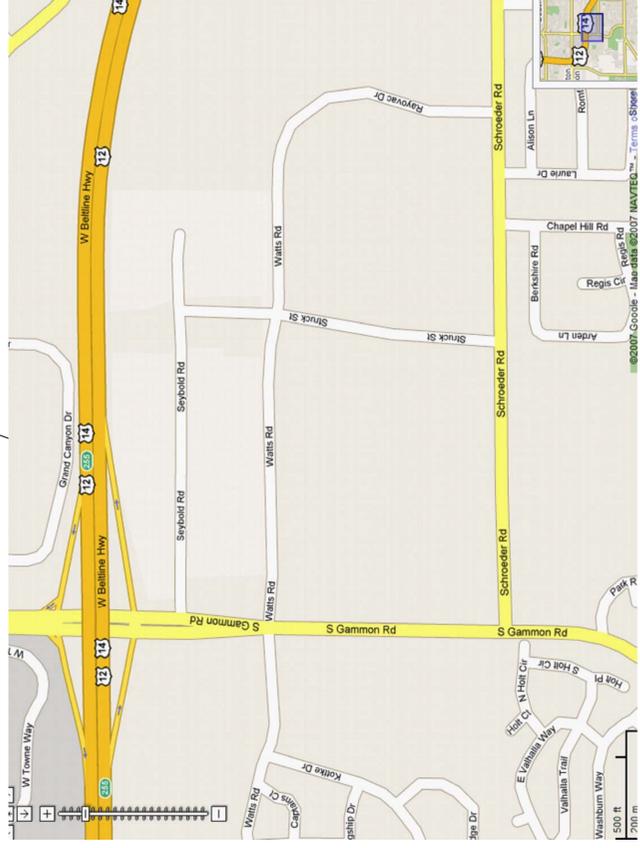


TJK Design Build Inc.
634 West Main Street
Madison Wisconsin 53703
608/257-1090 FAX 608/257-1092

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- A-1.2 UPPER FLOOR PLAN / ROOF PLAN
- A-2.1 BUILDING ELEVATIONS

PROJECT LOCATION
8,000 SQUARE FEET



SITE LOCATION MAP
NOT TO SCALE

