



City of Madison

Conditional Use

Location
2999 & 3201 Anderson Street

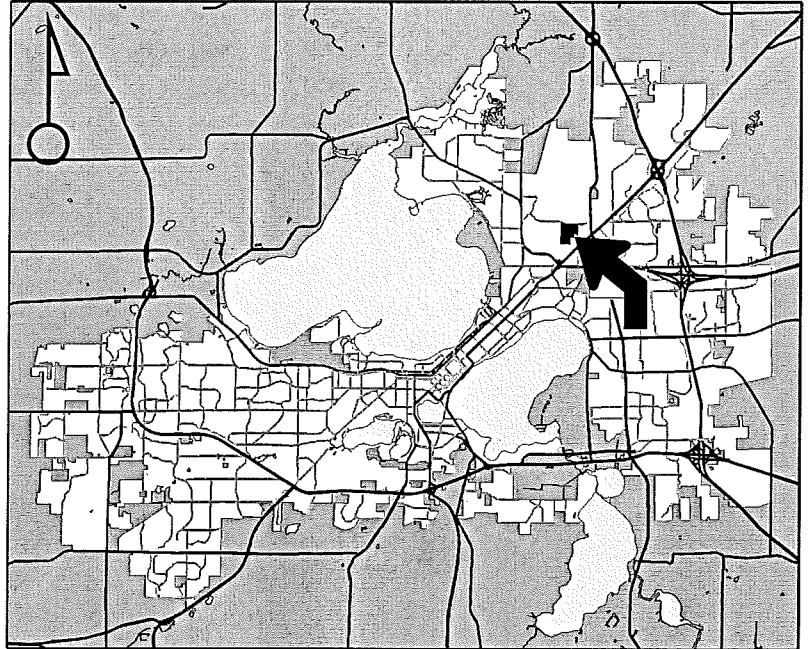
Project Name
Madison College Sports Complex

Applicant
Mark Stark – Madison College/
Jason Blome – RDG Planning & Design

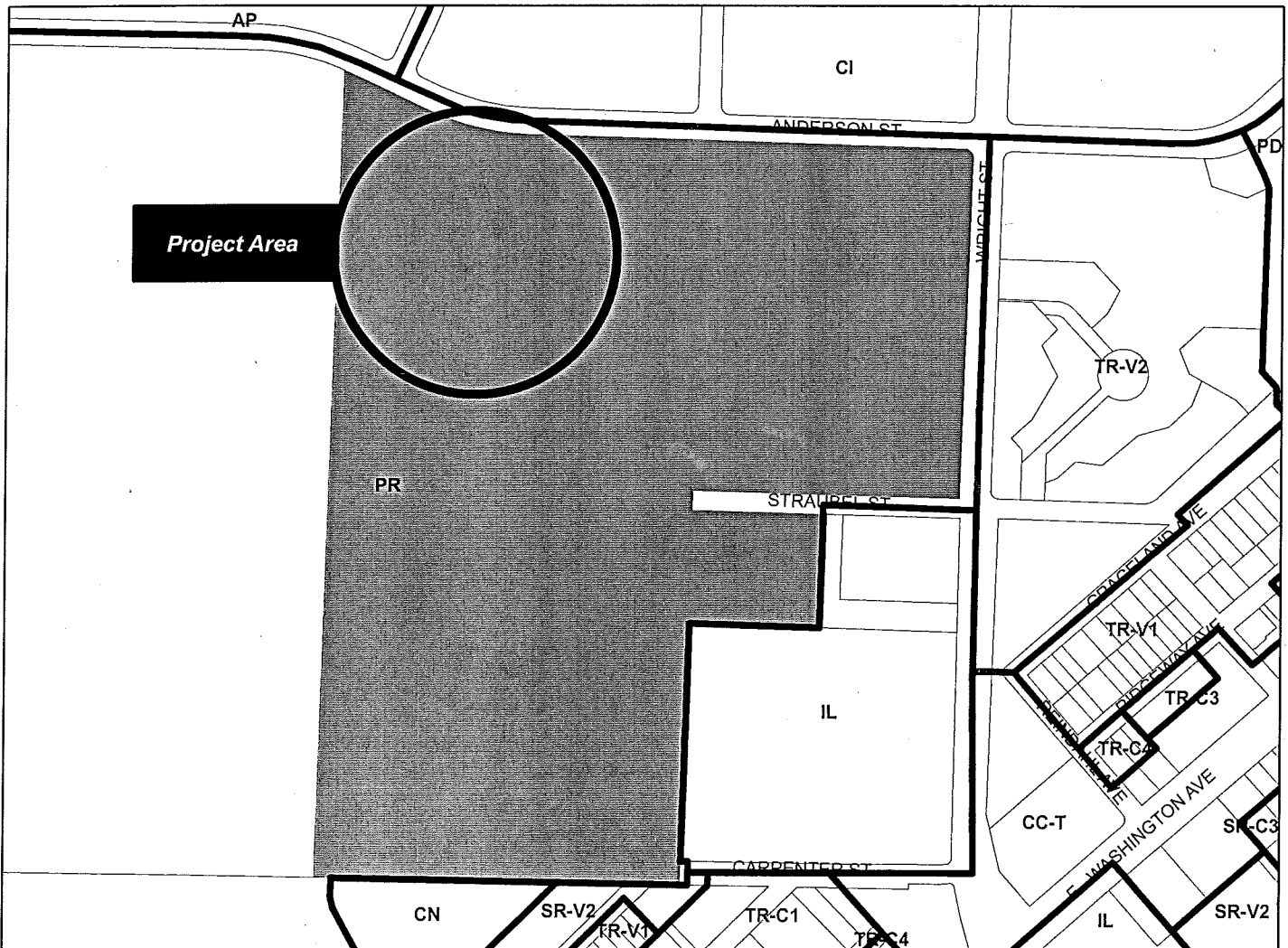
Existing Use
Sports fields

Proposed Use
Construct a stadium at
Madison College

Public Hearing Date
Plan Commission
18 April 2016

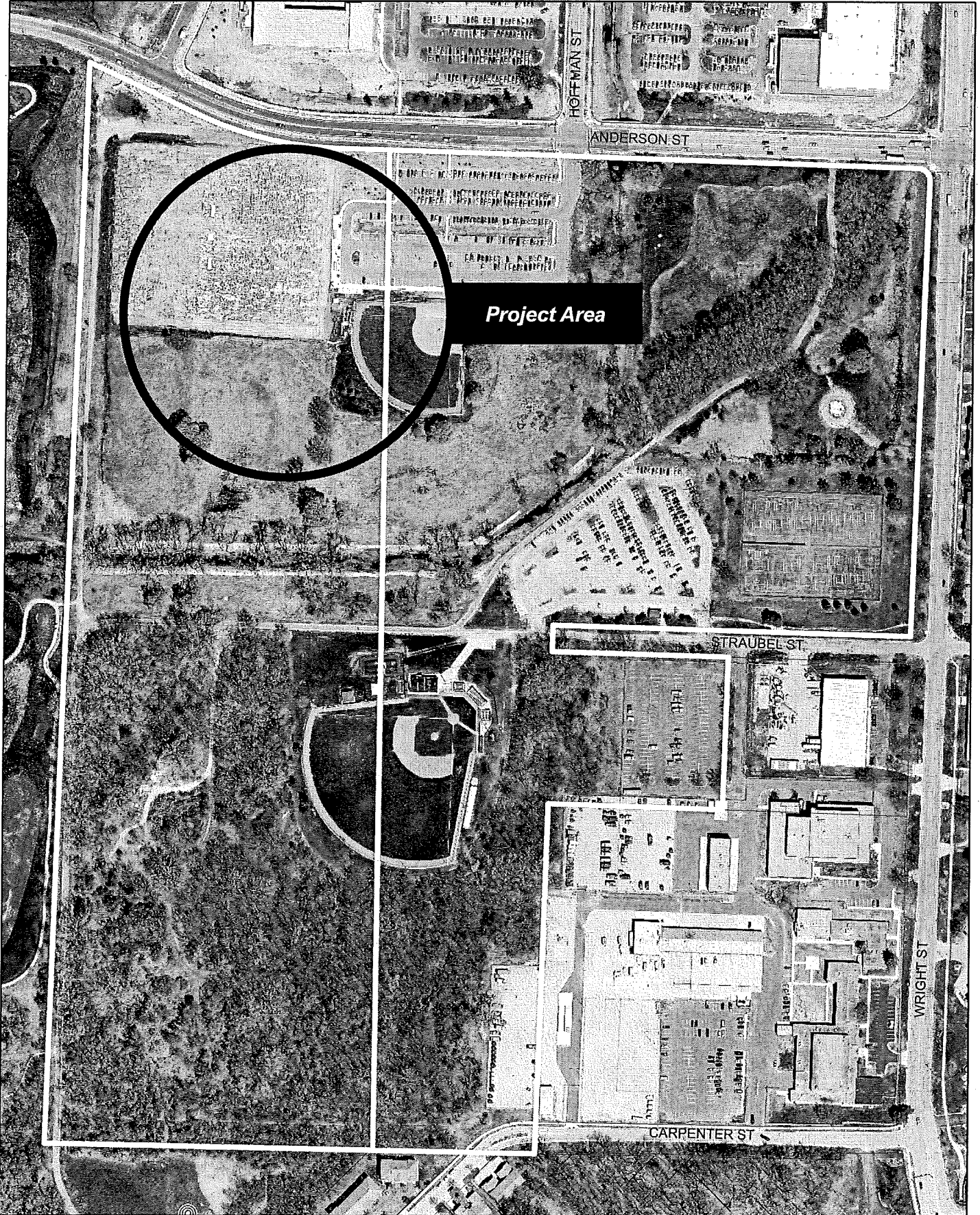


For Questions Contact: Chris Wells at: 261-9135 or cwells@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 500'

City of Madison, Planning Division : RPJ : Date : 11 April 2016



Date of Aerial Photography : Spring 2013



LAND USE APPLICATION

Resubmitted 2016-03-23

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____

Date Received 3/23/16

Received By PDA.

Parcel No. 0810-321-0604-0/322-0099-1

Aldermanic District 12, LARRY PALUM

Zoning District PR

Special Requirements _____

Review Required By:

Urban Design Commission Plan Commission

Common Council Other: _____

Form Effective: February 21, 2013

1. **Project Address:** ~~1701 Wright Street~~ 2999 & 3201 Anderson St.

Project Title (if any): Irwin A. & Robert D. Goodman Sports Complex at Madison College

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Michael Stark **Company:** Madison College

Street Address: 1701 Wright Street **City/State:** Madison, WI **Zip:** 53704-2599

Telephone: (608) 246-6737 **Fax:** (608) 246-6331 **Email:** mmstark@madisoncollege.edu

Project Contact Person: Jason Blome **Company:** RDG Planning & Design

Street Address: 301 Grand Avenue **City/State:** Des Moines **Zip:** IA

Telephone: (515) 288-3414 **Fax:** () **Email:** jblome@rdgusa.com

Property Owner (if not applicant): _____

Street Address: _____ **City/State:** _____ **Zip:** _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Remove existing soccer pitches and softball diamond and replace with a new synthetic turf soccer pitch and synthetic softball diamond with support buildings for each field.

Development Schedule: Commencement April, 2016 Completion December, 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
District 12 Alder Larry Palm, Carpenter-Ridgeway Neighborhood Association, June, 2015.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 7/16/2015 Zoning Staff: Kevin Firchow Date: 7/16/2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Michael Stark Relationship to Property: Director of Facility Services

Authorizing Signature of Property Owner [Signature] Date 11/4/2015

March 10, 2016

City of Madison Planning & Zoning
AttN: Pat Anderson and Matt Tucker
215 Martin Luther King Jr Blvd
Madison, Wisconsin 53703

IRWIN A. & ROBERT D. GOODMAN SPORTS COMPLEX AT MADISON COLLEGE – Future Operational Summary

Dear Mr. Anderson and Mr. Tucker,

As per your request, we are writing to provide additional operational narrative related to the Irwin A. & Robert D. Goodman Sports Complex at Madison College. Below is a general description of the project and specific responses to your questions related to operations of the Complex following completion of the proposed improvements.

General Description

The Irwin A. & Robert D. Goodman Sports Complex at Madison College will include removal and replacement of the existing soccer pitches and softball diamond with a new soccer pitch and softball diamond. The new soccer pitch and softball diamond will be synthetic turf and will include new support buildings. The soccer pitch will have a new storage building with a press box above. The softball diamond will have two dugouts with a team room, press box, coach's office, training room, concessions, restrooms, mechanical room and storage rooms. New seating will be provided at soccer and softball.

A ticket building will be located at the main entry leading to an entry plaza that shares space between the softball and soccer venues. All improvements will comply with nearby wetland buffers, the 100 year floodplain, grading setbacks and will meet stormwater requirements.

Operational Summary – Specific responses to City Staff questions

Operations of the facility (exclusive private use or public)?

- Complex will be "owned and operated" by Madison College.

Anticipated type of events to be hosted?

- Complex will be utilized by a multitude of internal user groups, including intercollegiate athletics, intramural sports and student recreational activities.
- Complex will be utilized by local high school athletic programs and activity groups on a fee per use basis.
- Complex will be utilized by the College to engage east side community centers in activities directly related to the Youth Fit Initiative.
- Anticipated Complex will host youth sport tournaments, camps, clinics and events.

Times of use?

- Typically 8:00 AM to 10:00 PM.

Operational structure?

- The Complex will be operated as a self-supporting business enterprise operation within the College organizational structure.



Seating capacities?

- Softball Stadium: 500
- Soccer Stadium: 300

Ticketing policies and associated fees?

- Ticket and admission policies will be determined by the individual and/or unique event that is taking place. Not all events will require ticketing and spectator admission fee.

Please feel free to contact with any additional questions or if additional information is needed to advance the City of Madison review and approval process for this project.

Sincerely,

RDG Planning & Design



Scott Crawford, PLA, ASLA, LEED AP
Senior Partner

cc: Michael Stark, Madison College
Justin Frahm, JSD



LAND USE - UDC INITIAL/FINAL SUBMITTAL

© 2015 RDG Planning & Design

PROJECT NUMBER: 2014.414.02

DATE: 11/4/2015

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1 2 3 4 5 6

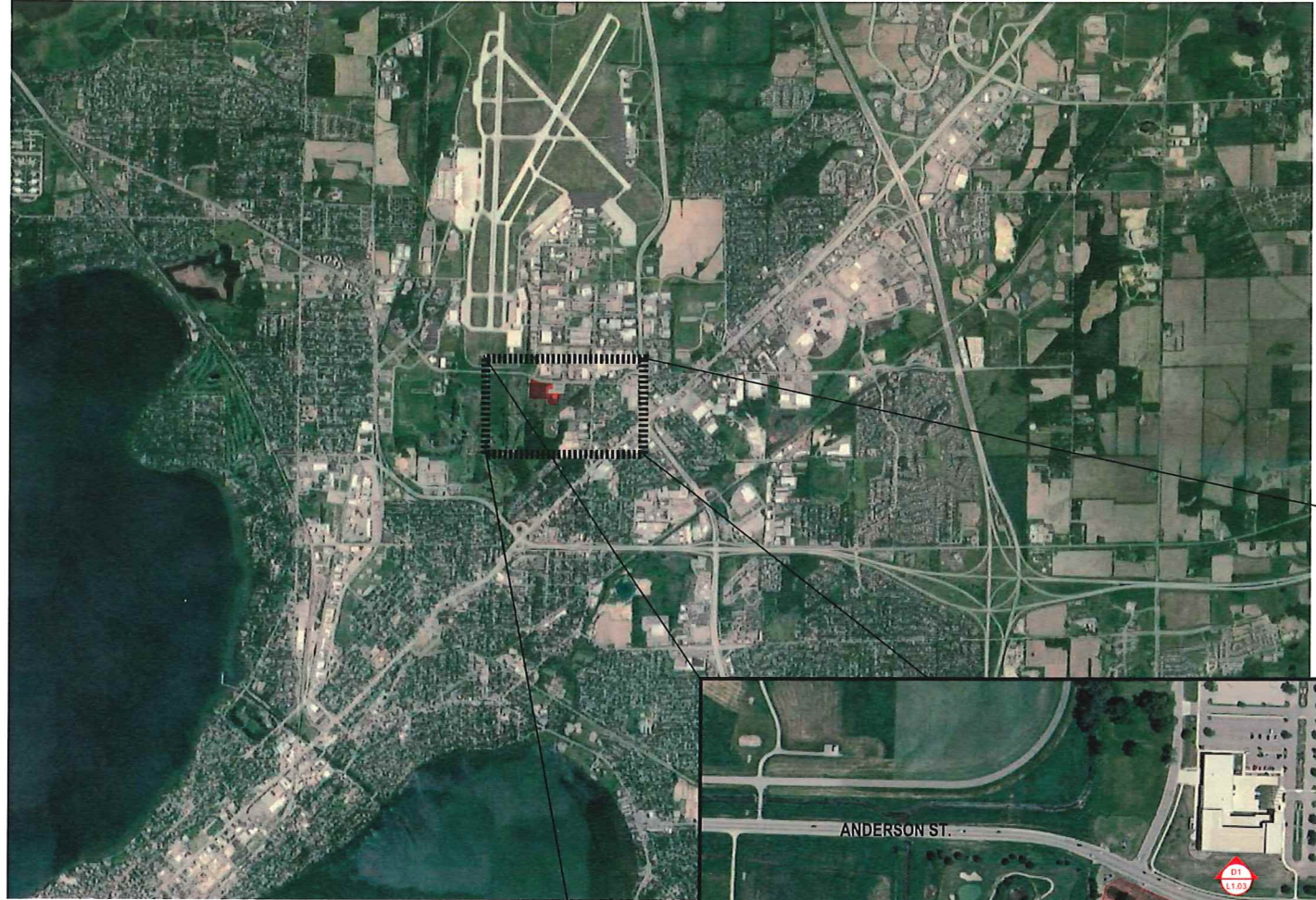
E

D

C

B

A



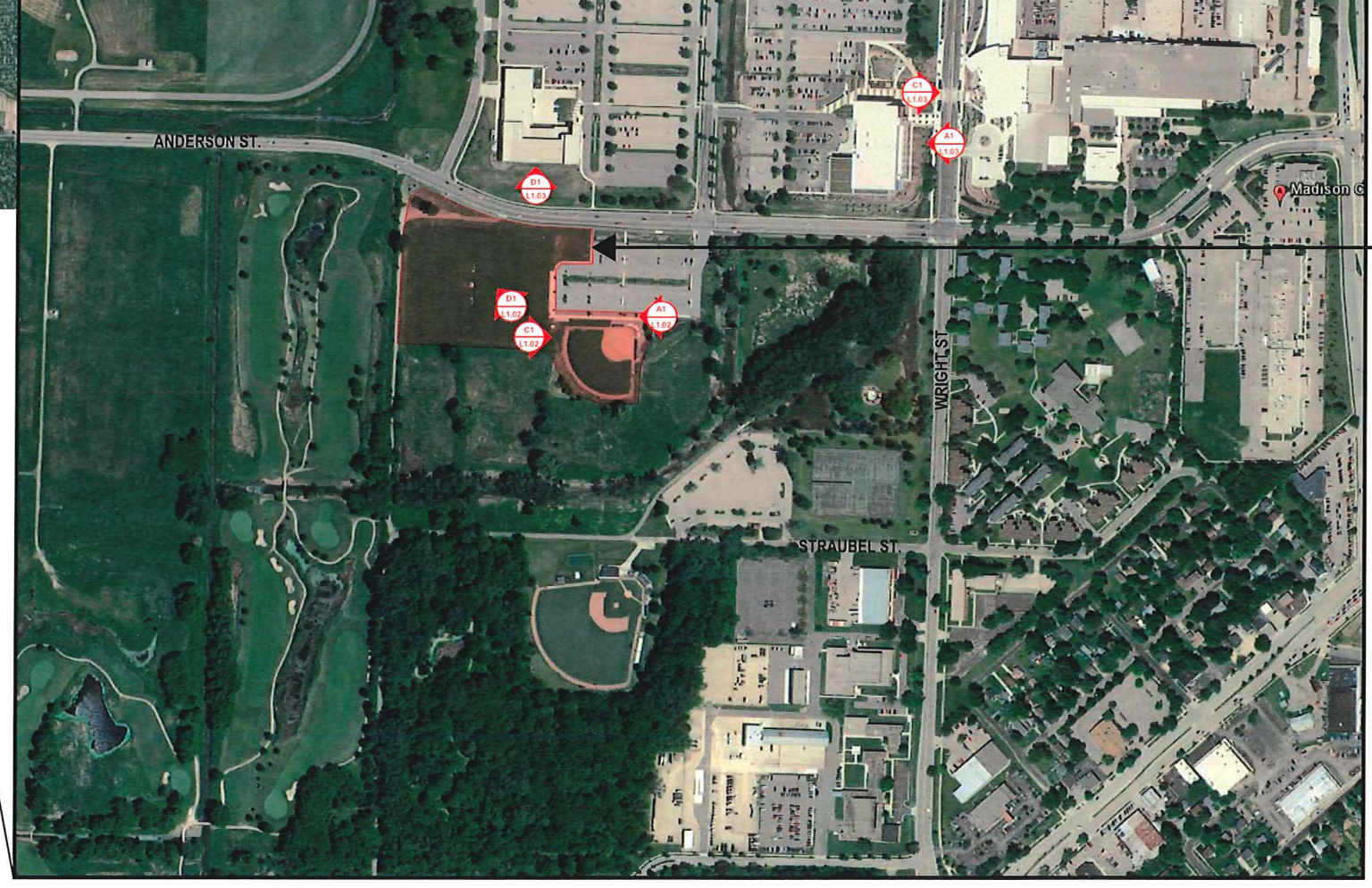
E

D

C

B

A



PROJECT SITE

1 2 3 4 5 6

LAND USE - UDC INITIAL/FINAL SUBMITTAL

ARCHITECT
RDG Planning & Design
2001 Pershing & Orange
Des Moines, IA 50319
Tel: 515 281-3831
Fax: 515 281-3831

STRUCTURAL
Bentz-Ross Engineering
201 West 14th Street
Des Moines, IA 50319
Tel: 515 281-3831
Fax: 515 281-3831

CIVIL
2021 Professional Services, Inc.
2021 Professional Services, Inc.
2021 Professional Services, Inc.
Des Moines, IA 50319
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Fax: 515 281-3831

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LANDSCAPE ARCHITECT
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Fax: 515 281-3831

RDG
PLANNING • DESIGN

Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

KEY PLAN	
REV.	DESCRIPTION

© 2015
RDG Planning & Design
This drawing and any information contained herein are the property
of Irwin A. & Robert D. Goodman Sports
Complex at Madison College

NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED
HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY
FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY
INFORMATION STORAGE AND RETRIEVAL SYSTEM.

**SITE
LOCATOR
MAP**

G01.02



D1: VIEW LOOKING NORTHWEST AT THE EXISTING SOCCER PITCH



C1: VIEW LOOKING EAST AT THE EXISTING SOFTBALL DIAMOND



A1: VIEW LOOKING WEST AT THE EXISTING SOFTBALL DIAMOND AND PARKING LOT

LAND USE - UDC INITIAL/FINAL SUBMITTAL

Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College



ARCHITECT
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KEY PLAN

REV	DATE	DESCRIPTION

© 2015
RDG Planning & Design
1701 Wright Street, Madison, WI 53704
Irwin A. & Robert D. Goodman Sports
Complex at Madison College

EXISTING SITE
PHOTOS

G01.03



D1: VIEW LOOKING NORTH FROM THE EXISTING SOCCER PITCH TO THE PROTECTIVE SERVICES BUILDING



C1: VIEW LOOKING EAST FROM WRIGHT STREET TO THE TRAUX BUILDING/MITBY THEATER/REDSTEN GYMNASIUM



A1: VIEW LOOKING WEST FROM WRIGHT STREET TO HEALTH EDUCATION BUILDING

LAND USE - UDC INITIAL/FINAL SUBMITTAL

RDG
PLANNING • DESIGN

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207 Forest Avenue, Suite 100
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Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

KEY PLAN

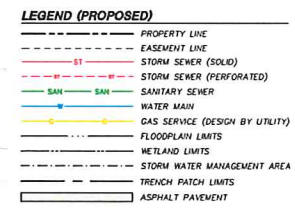
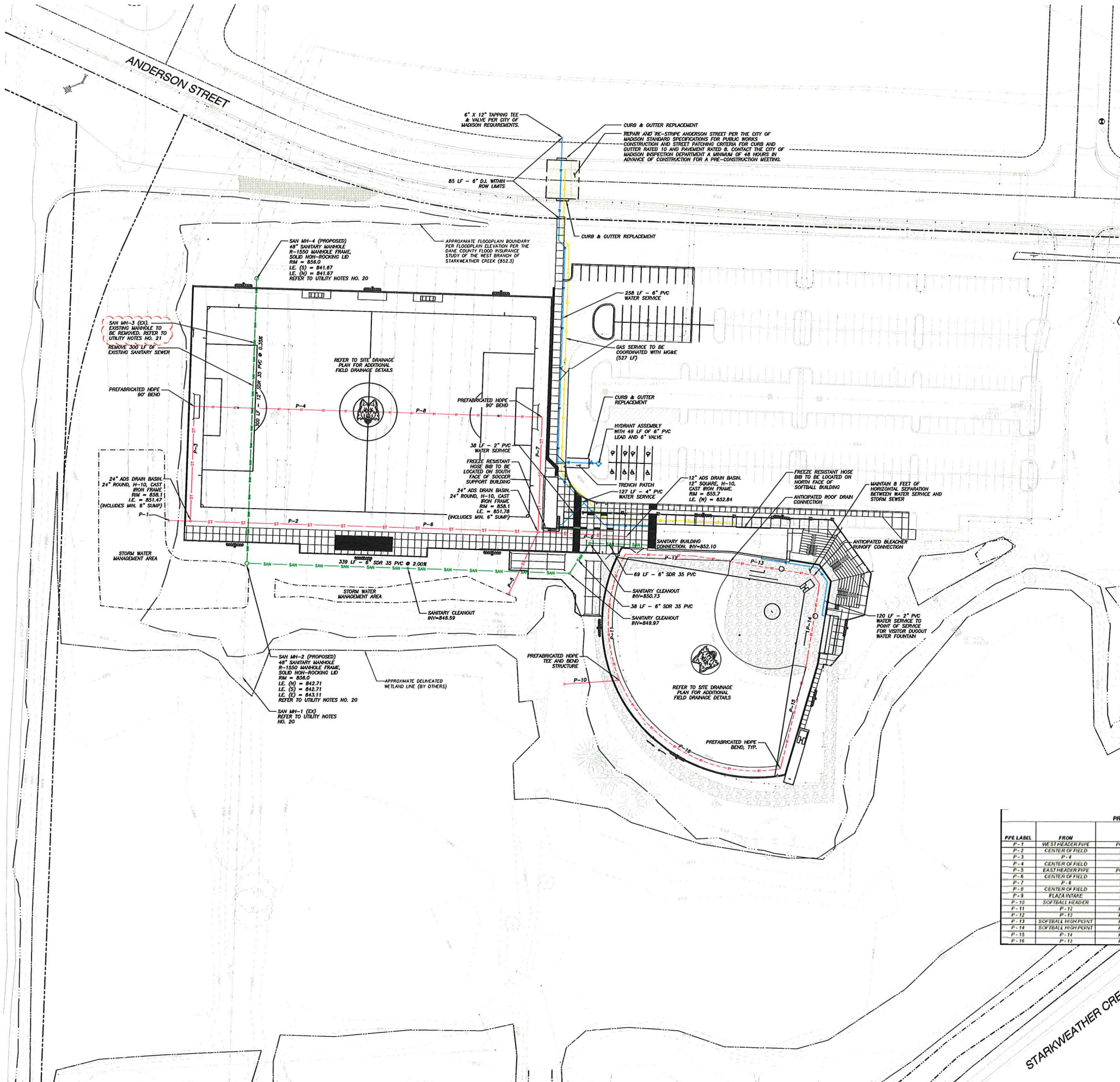
REV	DATE	DESCRIPTION

DATE: 10/20/15
PROJECT NO: 2014.04.02

RDG Planning & Design
1905 UNIVERSITY AVENUE, SUITE 100
MADISON, WI 53706
TEL: 608.261.1111
WWW.RDGDESIGN.COM

**SITE
BUILDING
CONTEXT
PHOTOS**

G01.04

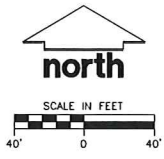


- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SFT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REVISION MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND MISSOURI DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND MISSOURI, WISCONSIN, AND IOWA.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER OR OTHER UTILITIES DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL NOTIFY THE CITY OF MADISON PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO S&B 384.30, TABLE 384.30-6.
 - WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION. CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PART VII. CONTACT CITY OF MADISON DEPARTMENT OF PUBLIC WORKS 48 HOURS PRIOR TO CONSTRUCTION.
 - ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL MEET THE REQUIREMENTS OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO S&B 384.30, TABLE 384.30-6.
 - GREASE INTERCEPTOR SHOWN FOR RESTAURANT A AND RESTAURANT B SHALL BE 3,500 GALLON GREASE INTERCEPTOR BY CREST PRECAST, INC., MODEL 3500-2.
 - DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER MOHR STORM WATER MANAGEMENT TECHNICAL STANDARD 10E1.
 - ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. PRE-CONSTRUCTION MEETING WITH THE CITY OF MADISON IS REQUIRED PRIOR TO INSTALLATION.
 - SANITARY SEWER REPLACEMENT ANTICIPATED CONSTRUCTION SEQUENCE:
 - 20.1. CONSTRUCT MH-4 AROUND EXISTING 12\"/>
 - INSTALL EQUIPMENT TO BYPASS PUMP FROM MH-4 TO MH-1 (EX) AND PLUG OUTLET TO MH-4 WHEN PUMP SYSTEM IS IN OPERATION.
 - CONSTRUCT MH-2 AROUND EXISTING 12\"/>
 - TEST SANITARY SEWER FROM MH-2 TO MH-4 (EX).
 - REMOVE PLUG AND BYPASS PUMPING SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND OPERATING THE BYPASS SYSTEM DURING THE REMOVAL AND REPLACEMENT OF THE SANITARY SEWER. THE PUMPING SYSTEM SHALL FUNCTION 24 HOURS/DAY. THE CONTRACTOR SHALL HAVE SOMEONE ON SITE OR HAVE A CONTROL SYSTEM AND NOTIFICATION SYSTEM THAT HAS THE ABILITY TO PROVIDE AN OPERATOR DURING 30 MINUTES AFTER THE TAKING OF PUMP SYSTEM.
- CONTRACTOR TO PROVIDE PRICING FOR ALTERNATIVE SANITARY SEWER OPTION THAT INCLUDES BURYING SAN MH-3 UNDER SYNTHETIC TURF SYSTEM IN LIEU OF PROPOSED PIPE AND MANHOLE INSTALLATION.

PROPOSED STORM SEWER PIPE SCHEDULE

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	WEST HEADER/PIPE	POUND A	22	851.97	851.86	0.50%	12\"/>
P-2	CENTER OF FIELD	P-1	181	852.87	851.86	0.50%	12\"/>
P-3	CENTER OF FIELD	P-1	242	853.16	851.86	0.50%	12\"/>
P-4	CENTER OF FIELD	P-3	181	854.17	853.26	0.50%	12\"/>
P-5	EAST HEADER PIPE	POUND B	70	852.33	852.00	1.40%	12\"/>
P-6	CENTER OF FIELD	P-5	181	853.29	852.38	0.50%	12\"/>
P-7	P-6	P-5	242	853.34	852.38	0.40%	12\"/>
P-8	CENTER OF FIELD	P-7	181	854.16	853.44	0.40%	12\"/>
P-9	PLAZA INTAKE	P-5	93	852.84	852.38	0.50%	6\"/>
P-10	SOFTBALL HEADER	AES	58	850.73	850.50	0.40%	12\"/>
P-11	P-12	P-10	137	851.28	850.73	0.40%	12\"/>
P-12	P-13	P-11	73	851.57	851.28	0.40%	12\"/>
P-13	SOFTBALL HIGH POINT	P-12	137	852.11	851.57	0.40%	12\"/>
P-14	SOFTBALL HIGH POINT	P-13	83	852.35	852.02	0.40%	12\"/>
P-15	P-16	P-14	116	852.02	851.56	0.40%	12\"/>
P-16	P-17	P-15	227	851.56	850.73	0.40%	12\"/>



LAND USE - UDC INITIAL/FINAL SUBMITTAL

Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

ARCHITECT
RDG Planning & Design
2017 Parkview Dr.
Madison, WI 53703
608.261.1881

STRUCTURAL
RDG Planning & Design
2017 Parkview Dr.
Madison, WI 53703
608.261.1881

MECHANICAL/ELECTRICAL/PLUMBING
RDG Planning & Design
2017 Parkview Dr.
Madison, WI 53703
608.261.1881

LANDSCAPE ARCHITECT
RDG Planning & Design
2017 Parkview Dr.
Madison, WI 53703
608.261.1881

CIVIL
RDG Planning & Design
2017 Parkview Dr.
Madison, WI 53703
608.261.1881

SITE PLAN

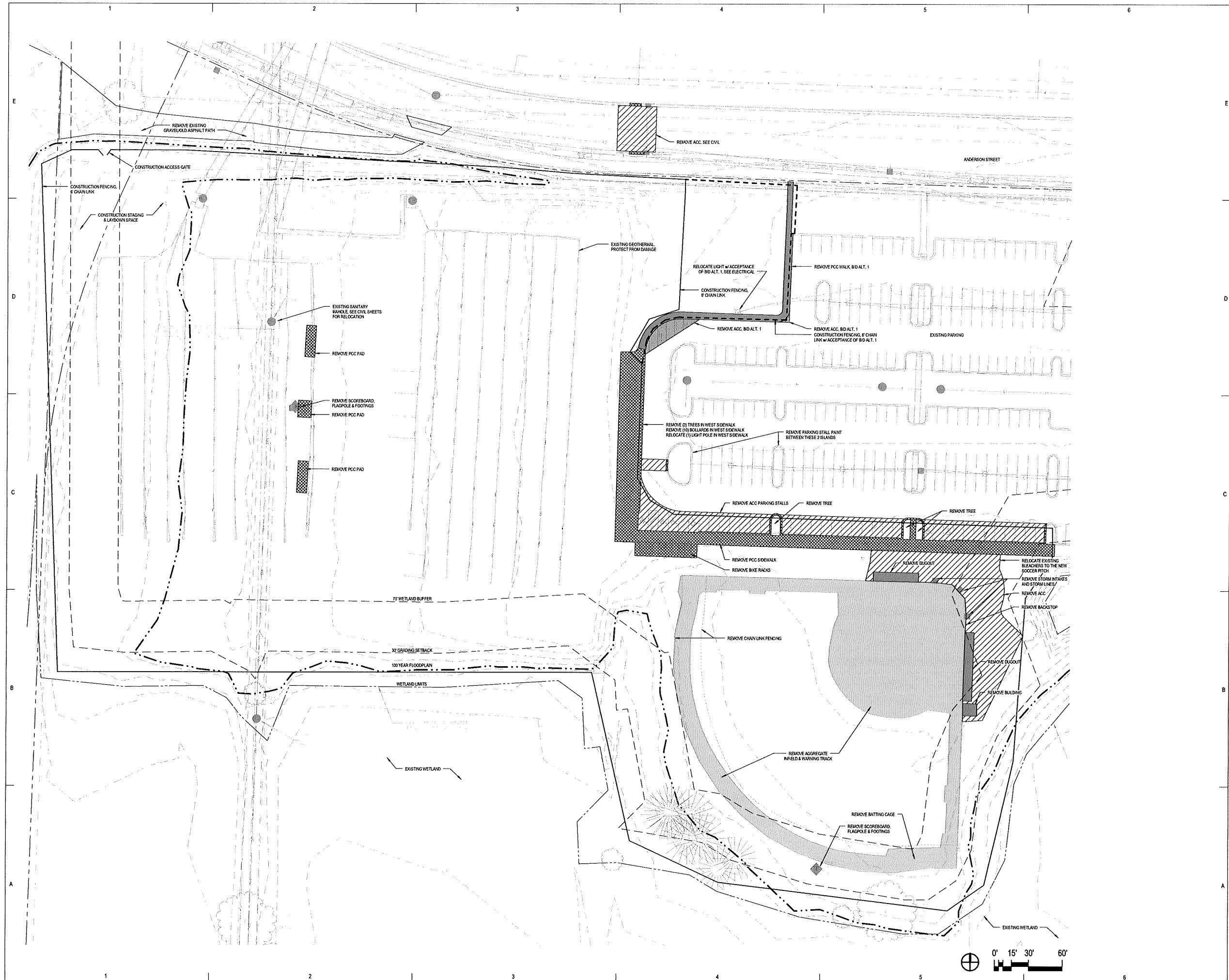
DATE: 10/20/24

PROJECT: 24142

RDG Planning & Design
2017 Parkview Dr.
Madison, WI 53703
608.261.1881

SITE UTILITY PLAN

C2.01



LAND USE - UDC INITIAL/FINAL SUBMITTAL

Inwin A. & Robert D. Goodman Sports Complex at Madison College



ARCHITECT
 RDG Planning & Design
 800 North Broadway
 Des Moines, Iowa 50319
 515-281-8811

LANDSCAPE ARCHITECT
 RDG Planning & Design
 800 North Broadway
 Des Moines, Iowa 50319
 515-281-8811

STRUCTURAL
 RDG Planning & Design
 800 North Broadway
 Des Moines, Iowa 50319
 515-281-8811

CIVIL
 RDG Planning & Design
 800 North Broadway
 Des Moines, Iowa 50319
 515-281-8811

MECH/ELEC/PLUMB
 RDG Planning & Design
 800 North Broadway
 Des Moines, Iowa 50319
 515-281-8811

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

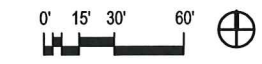
KEY PLAN

REV	DATE	DESCRIPTION

SHEET NO: 154-281-8811
 PROJECT NO: 2014-04-181
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SITE PREPARATION PLAN

L1.01



Irwin A. & Robert D. Goodman Sports Complex at Madison College
 1701 Wright Street, Madison WI, 53704
 Madison Area Technical College

LAND USE - UDC INITIAL/FINAL SUBMITTAL

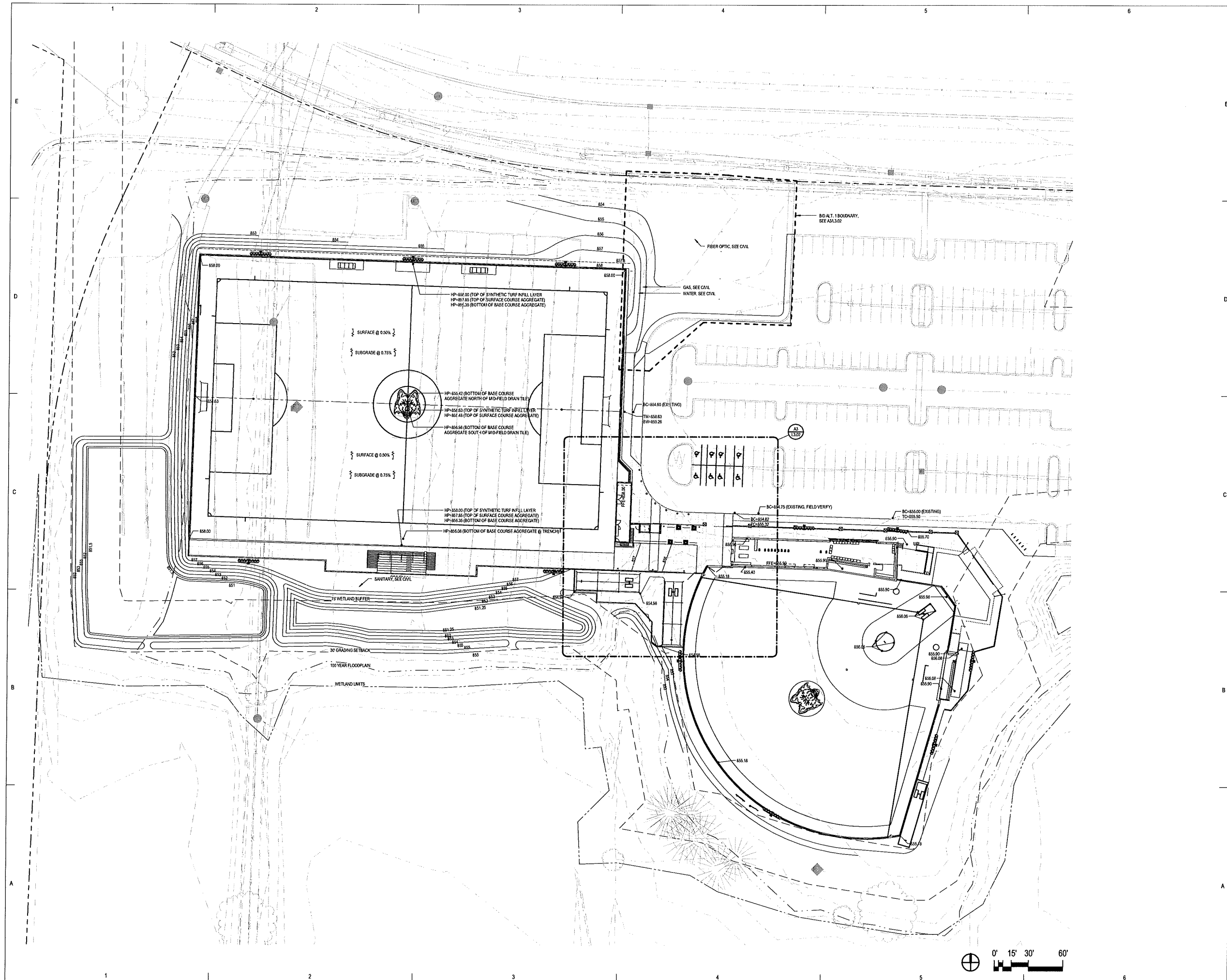
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ARCHITECT 300 University Drive Madison, WI 53706 Tel: (608) 263-1111 Fax: (608) 263-1111	LANDSCAPE ARCHITECT 300 University Drive Madison, WI 53706 Tel: (608) 263-1111 Fax: (608) 263-1111
STRUCTURAL 300 University Drive Madison, WI 53706 Tel: (608) 263-1111 Fax: (608) 263-1111	CIVIL 300 University Drive Madison, WI 53706 Tel: (608) 263-1111 Fax: (608) 263-1111
MECH/ELEC/PLUMB 300 University Drive Madison, WI 53706 Tel: (608) 263-1111 Fax: (608) 263-1111	

KEY PLAN

REV	DATE	DESCRIPTION

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 Madison, WI 53706
 Irwin A. & Robert D. Goodman Sports
 Complex at Madison College
 Project No. 2014-014-02

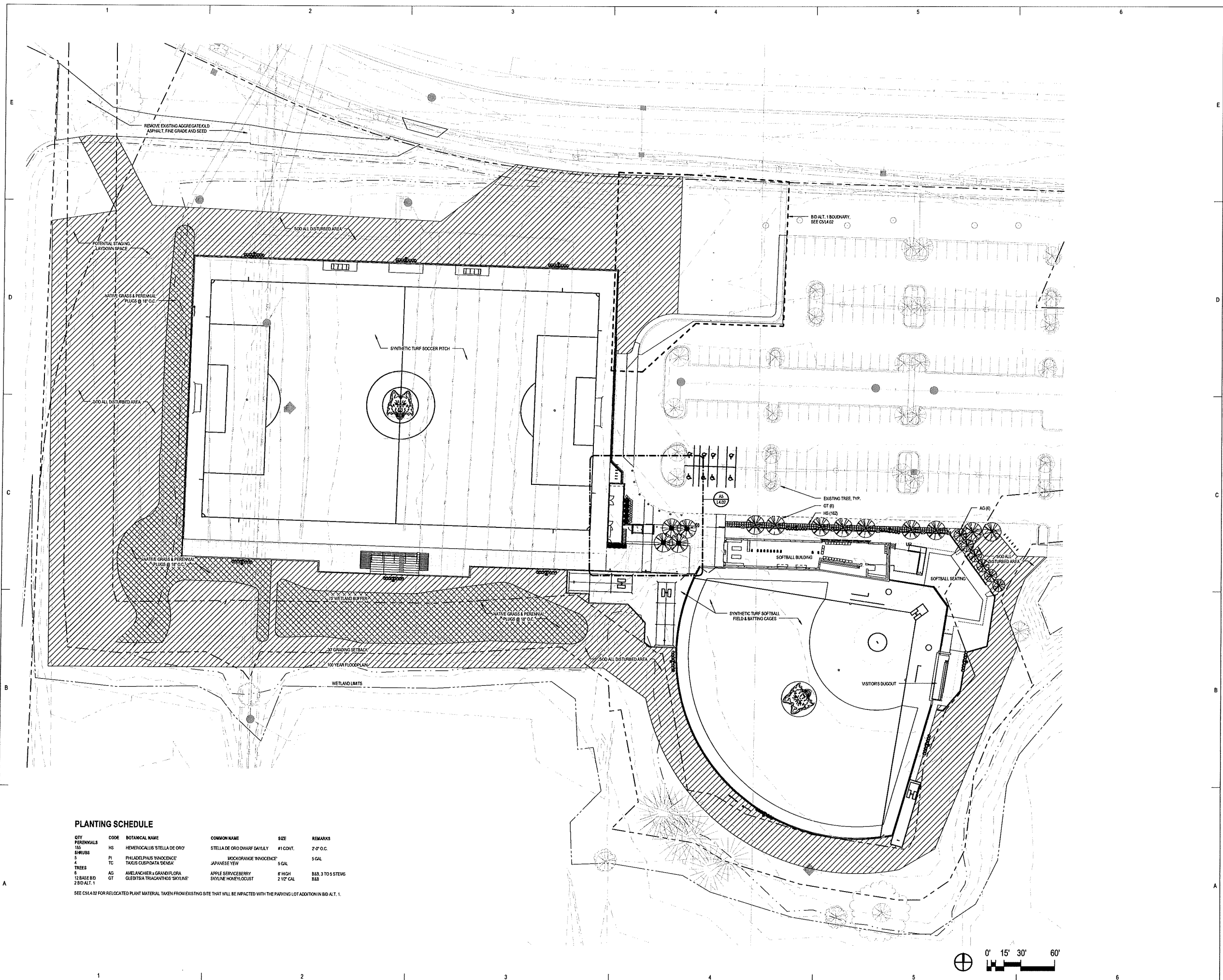
**SITE LAYOUT
 PLAN
 RENDERING**
L2.03



Irwin A. & Robert D. Goodman Sports Complex at Madison College

LAND USE - UDC INITIAL/FINAL SUBMITTAL

<p>ARCHITECT RDG Planning & Design 1701 Wright Street, Madison, WI 53704 Tel: 608.263.1811 Fax: 608.263.1811</p>	<p>MECH/ELEC/PLUMB RDG Planning & Design 1701 Wright Street, Madison, WI 53704 Tel: 608.263.1811 Fax: 608.263.1811</p>	<p>LANDSCAPE ARCHITECT RDG Planning & Design 1701 Wright Street, Madison, WI 53704 Tel: 608.263.1811 Fax: 608.263.1811</p>
<p>1701 Wright Street, Madison WI, 53704</p>		
<p>Madison Area Technical College</p>		
<p>SITE GRADING PLAN</p>		
<p>L3.01</p>		



PLANTING SCHEDULE

QTY	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
150	HS	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DWARF DAYLILY	#1 CONT.	2' 0" O.C.	
5	PI	PHALADIPHAIS 'INNOCENCE'	MOCKORANGE 'INNOCENCE'	5 GAL.	5 GAL.	
4	TC	TAXUS CURIPATA 'DENSE'	JAPANESE YEW	5 GAL.		
6	AG	AMELANCHIER & GRANDIFLORA	APPLE SERVICEBERRY	8' HIGH	B&B, 3 TO 5 STEMS	
12 BASE RD	GT	GLEDTISIA TRICACANTHOS 'SKYLINE'	SAYLIVE HONEYLOCUST	2 1/2" CAL.	B&B	

SEE CS1.4.02 FOR RELOCATED PLANT MATERIAL TAKEN FROM EXISTING SITE THAT WILL BE IMPACTED WITH THE PARKING LOT ADDITION IN BID ALT. 1.

Irwin A. & Robert D. Goodman Sports Complex at Madison College

LAND USE - UDC INITIAL/FINAL SUBMITTAL

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

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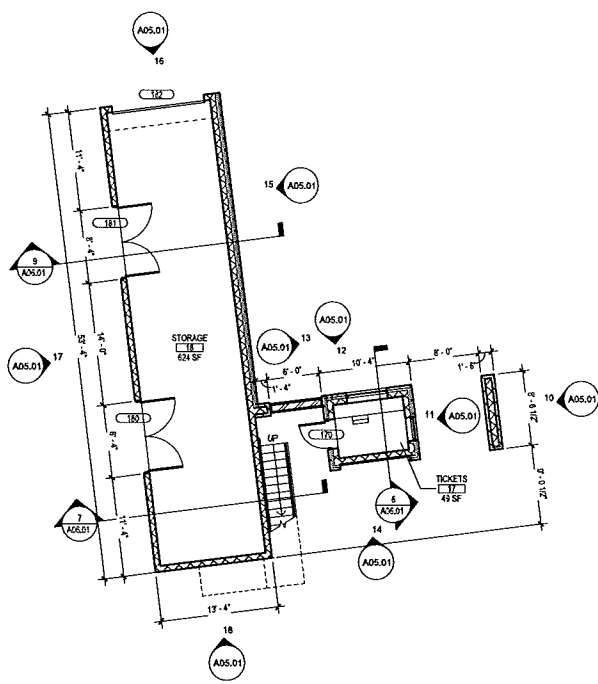
SITE PLANTING PLAN

L4.01

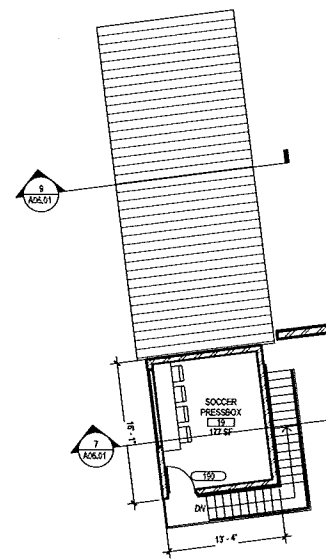
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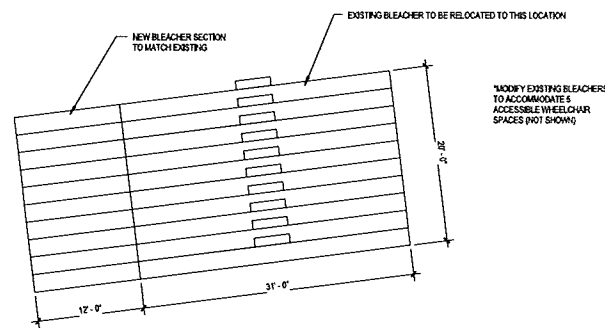
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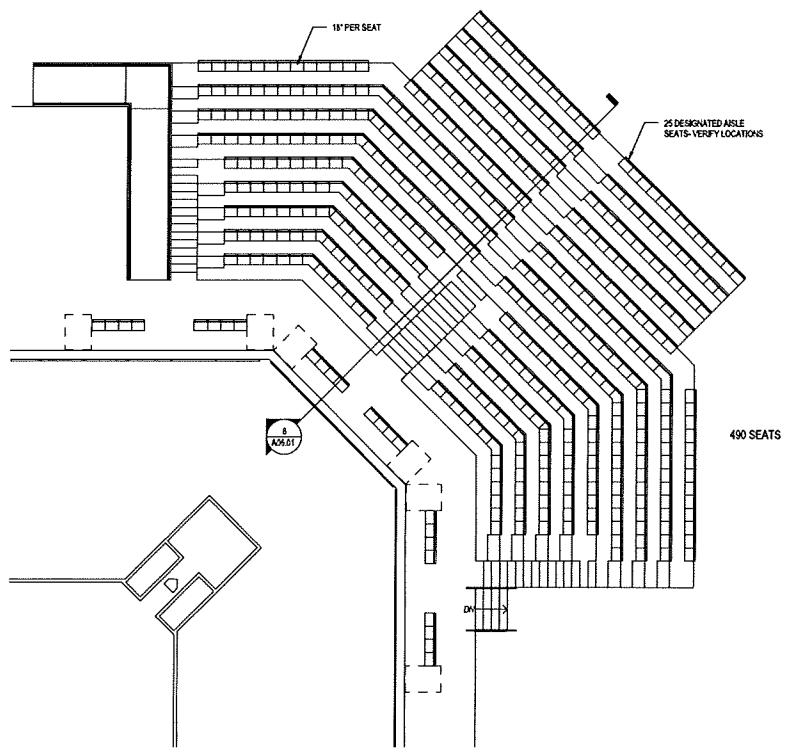
1 SOCCER SUPPORT - LEVEL 1
1/8" = 1'-0"



2 SOCCER SUPPORT - LEVEL 2
1/8" = 1'-0"



3 SOCCER BLEACHER PLAN
1/8" = 1'-0"



4 GRANDSTAND PLAN
1/8" = 1'-0"

LAND USE - UDC INITIAL/FINAL SUBMITTAL

Irwin A. & Robert D. Goodman Sports Complex at Madison College



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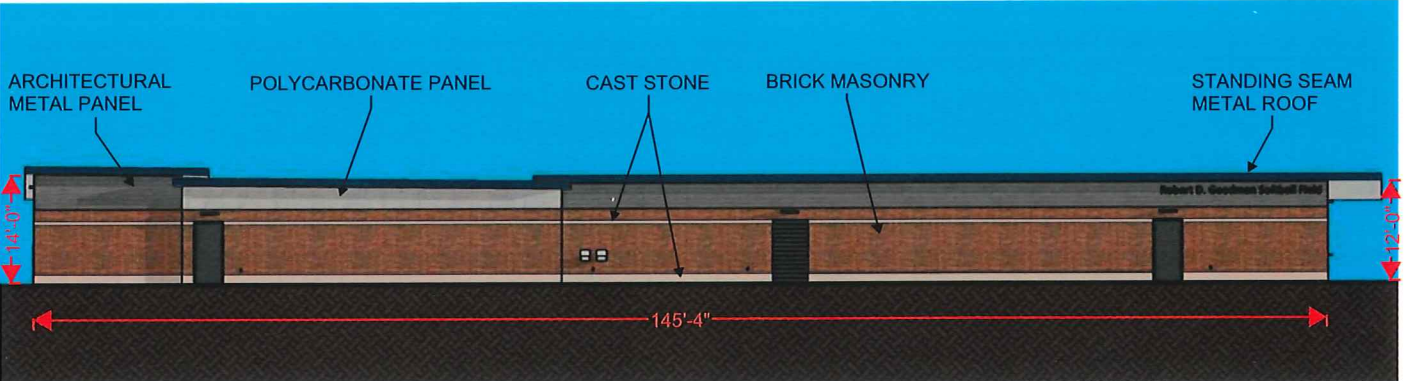
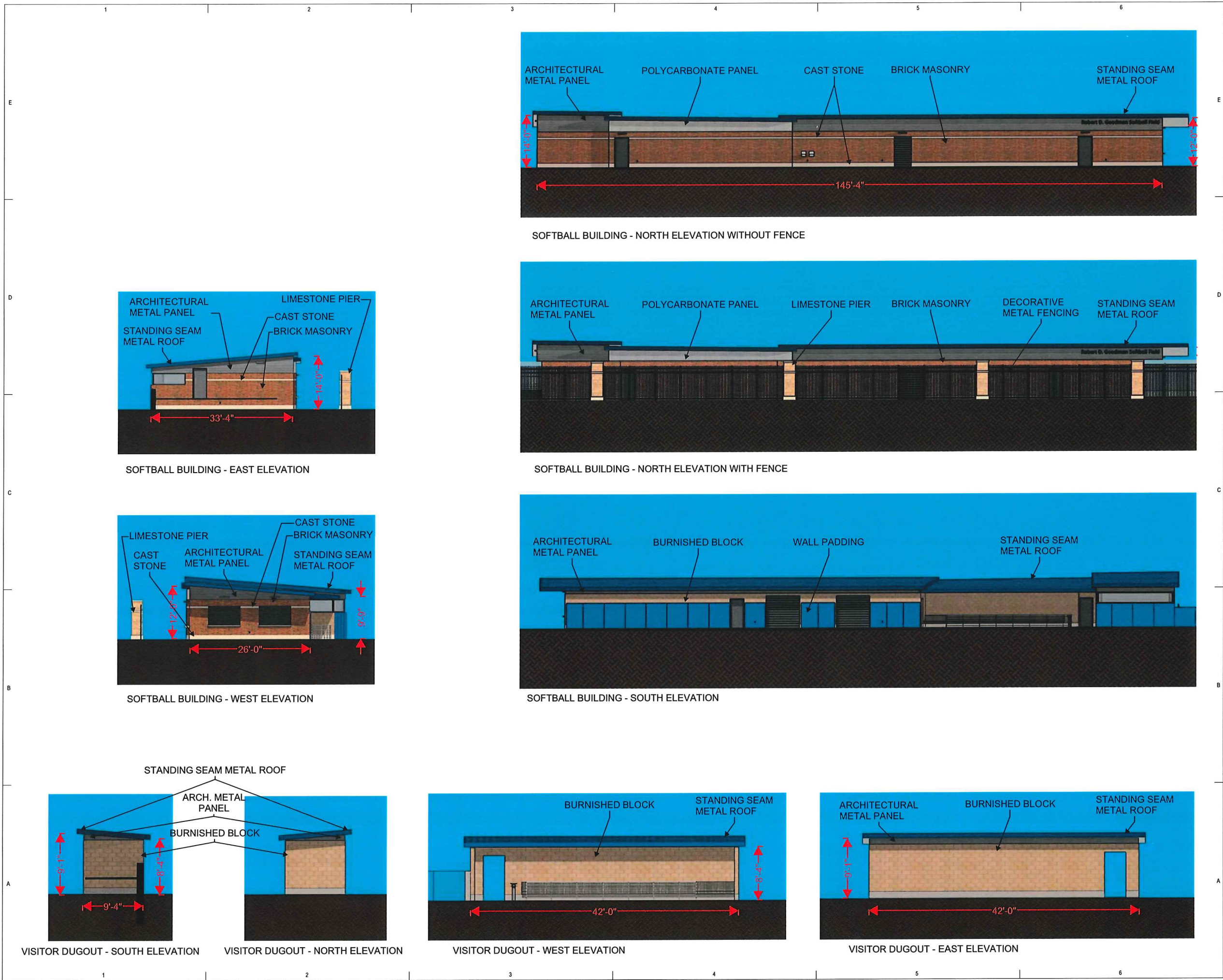
Madison Area Technical College

REV	DATE	DESCRIPTION

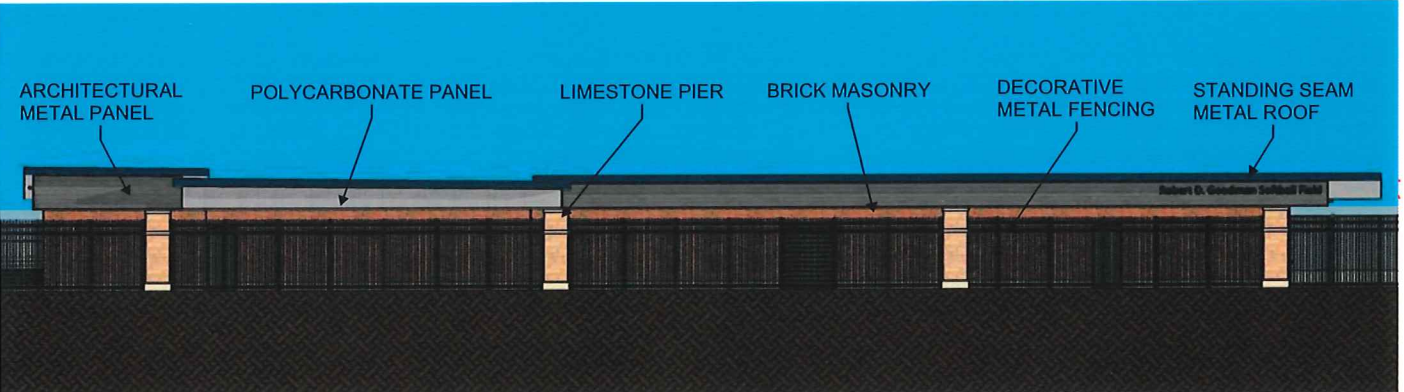
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BY IRWIN A. & ROBERT D. GOODMAN SPORTS COMPLEX AT MADISON COLLEGE

FLOOR PLAN - SOCCER SUPPORT BLDG

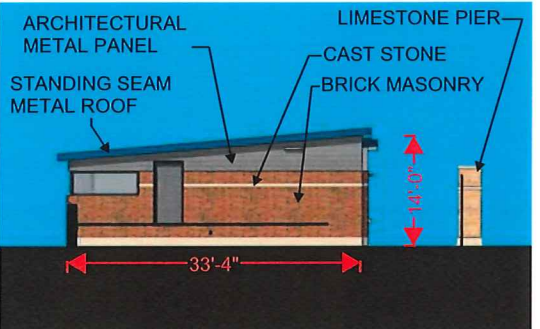
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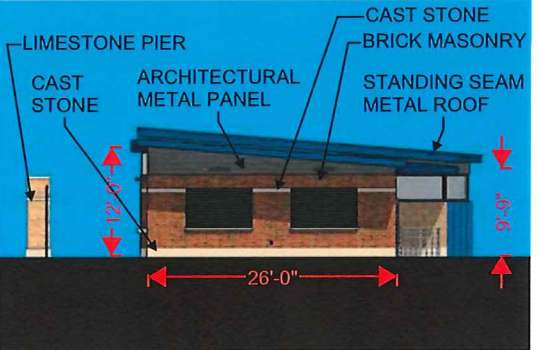
SOFTBALL BUILDING - NORTH ELEVATION WITHOUT FENCE



SOFTBALL BUILDING - NORTH ELEVATION WITH FENCE



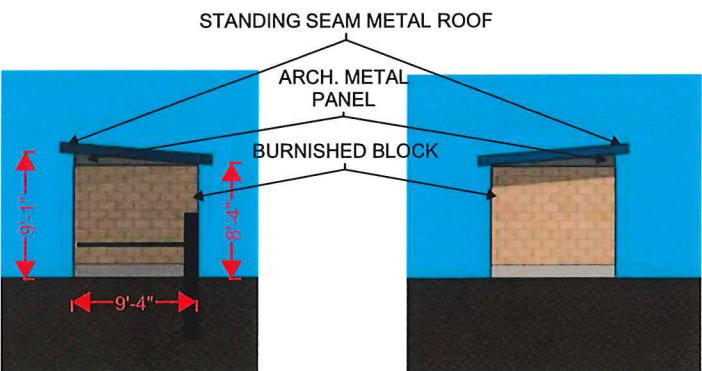
SOFTBALL BUILDING - EAST ELEVATION



SOFTBALL BUILDING - WEST ELEVATION

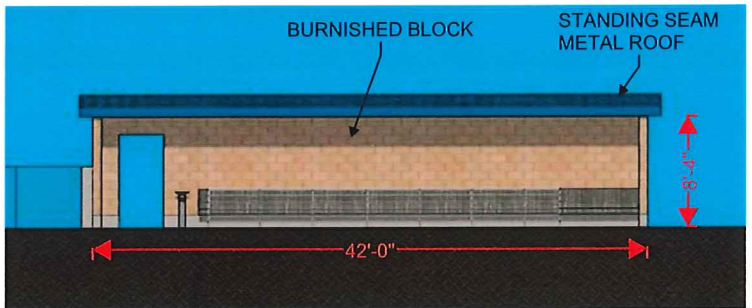


SOFTBALL BUILDING - SOUTH ELEVATION

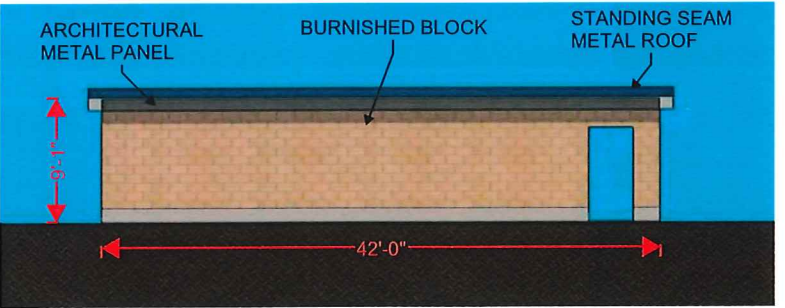


VISITOR DUGOUT - SOUTH ELEVATION

VISITOR DUGOUT - NORTH ELEVATION



VISITOR DUGOUT - WEST ELEVATION



VISITOR DUGOUT - EAST ELEVATION

LAND USE - UDC INITIAL/FINAL SUBMITTAL
 Irwin A. & Robert D. Goodman Sports Complex at Madison College
 1701 Wright Street, Madison WI, 53704
 Madison Area Technical College

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REV: _____ DATE: _____

PROJECT NO: 2018.01.01

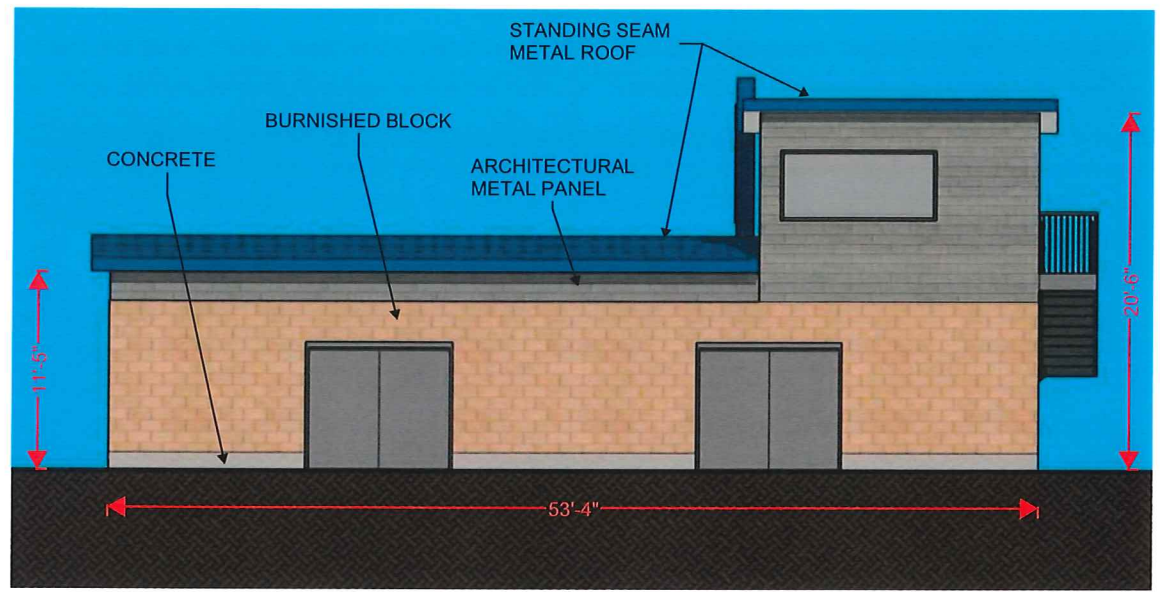
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PROJECT: 2018.01.01

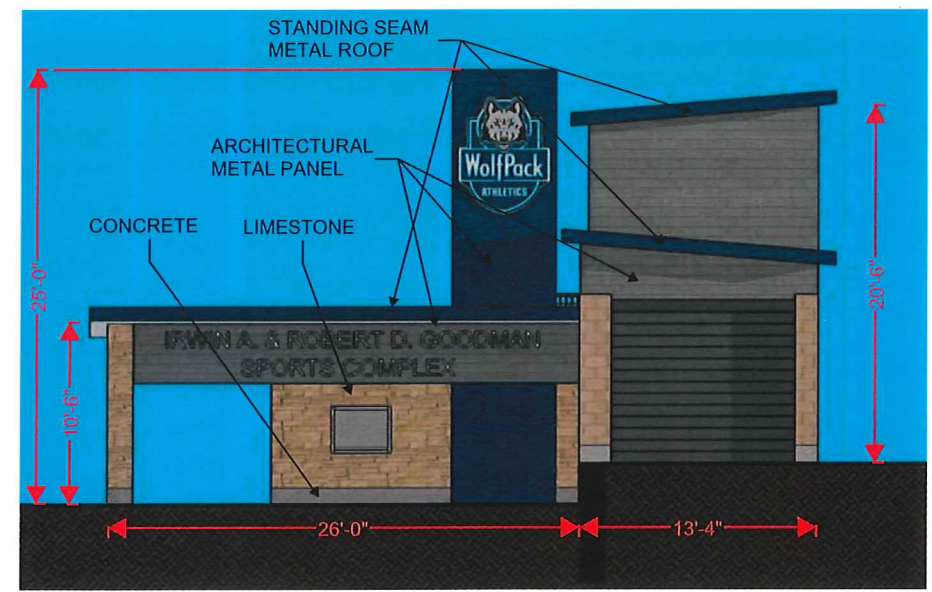
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BUILDING ELEVATIONS

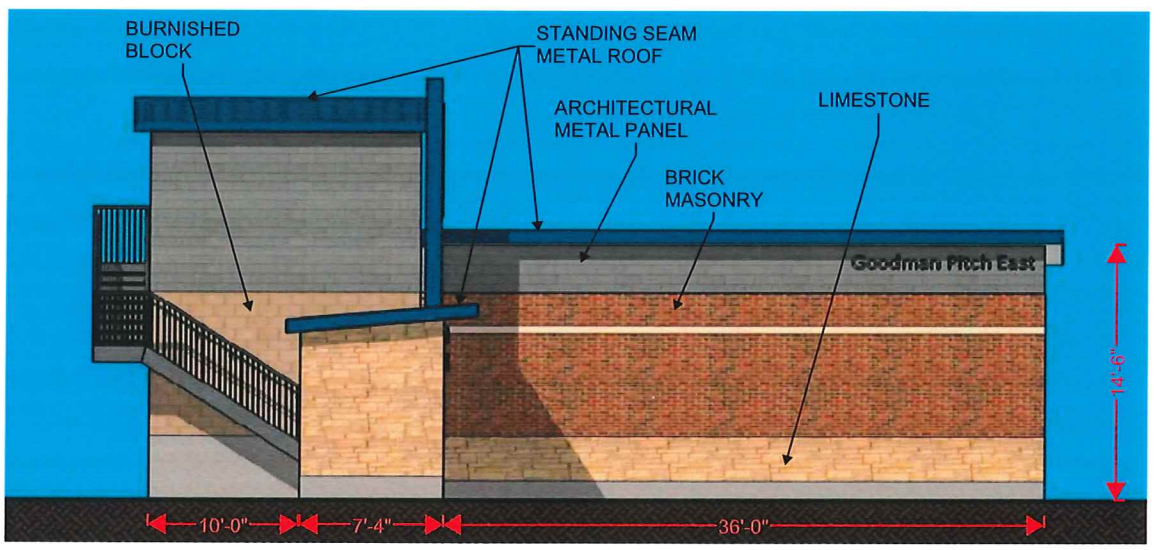
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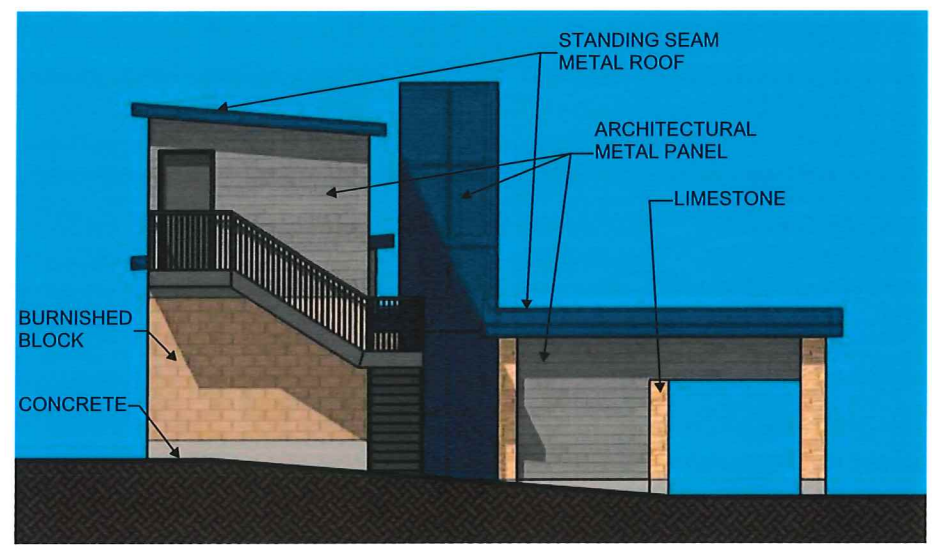
TICKET BUILDING/SOCCER STORAGE - WEST ELEVATION



TICKET BUILDING/SOCCER STORAGE - NORTH ELEVATION



TICKET BUILDING/SOCCER STORAGE - EAST ELEVATION



TICKET BUILDING/SOCCER STORAGE - SOUTH ELEVATION

LAND USE - UDC INITIAL/FINAL SUBMITTAL

Irwin A. & Robert D. Goodman Sports Complex at Madison College
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PROJECT NO: 201414182

DATE: 1/14/2015

PROJECT: IRWIN A. & ROBERT D. GOODMAN SPORTS COMPLEX AT MADISON COLLEGE

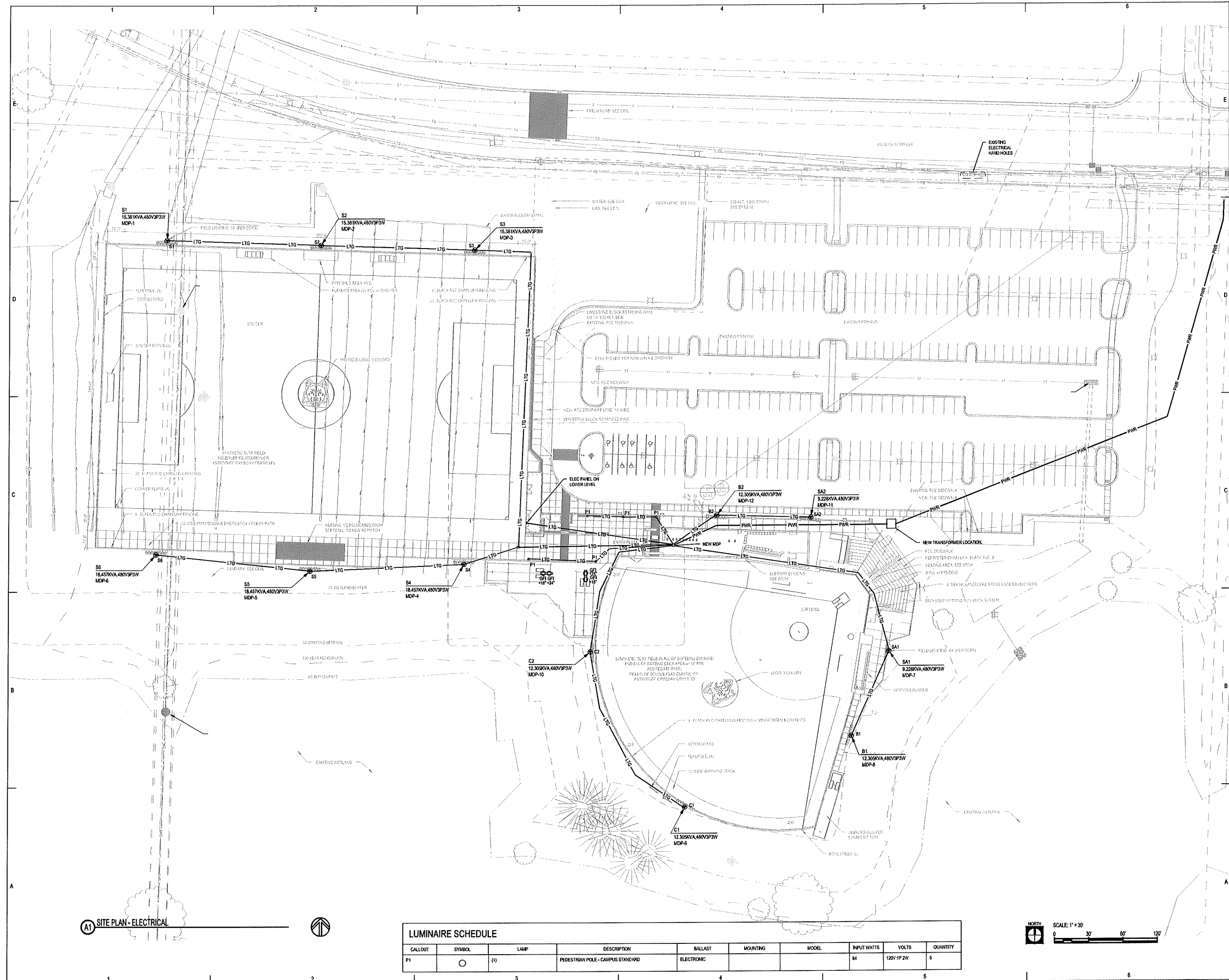
REVISIONS

REV	DATE	DESCRIPTION

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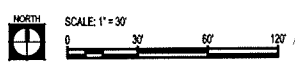
BUILDING ELEVATIONS

A1.1



(A1) SITE PLAN - ELECTRICAL

LUMINAIRE SCHEDULE									
CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	QUANTITY
P1	○	(1)	PEDESTRIAN POLE - CAMPUS STANDARD	ELECTRONIC			64	120V 1P 2W	5



Irwin A. & Robert D. Goodman Sports Complex at Madison College
LAND USE - UDC INITIAL/FINAL SUBMITTAL



PROJECT CHIEF
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 531-288-2111
 531-288-2111

LANDSCAPE ARCHITECT
 200 Central Avenue
 531-288-2111
 531-288-2111

MECH/ELEC/CLUB
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 531-288-2111
 531-288-2111

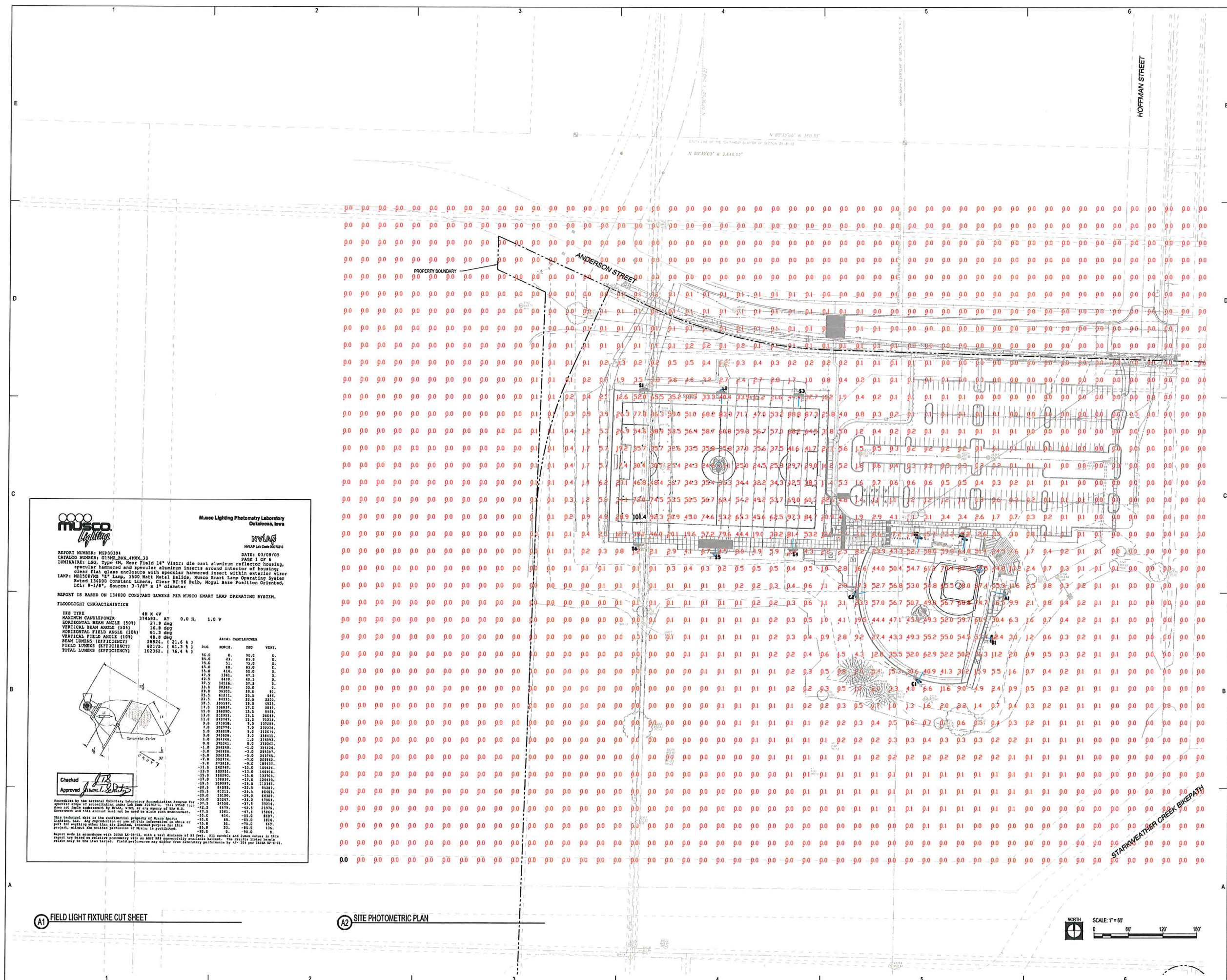
STRUCTURAL
 200 Central Avenue
 531-288-2111
 531-288-2111

1701 Wright Street, Madison WI, 53704
 Madison Area Technical College

REV	DATE	DESCRIPTION

RDG Planning & Design
 200 Central Avenue
 531-288-2111
 531-288-2111

SITE PLAN - ELECTRICAL
ES1.01



Musco Lighting
Musco Lighting Photometry Laboratory
Oskaloosa, Iowa

REPORT NUMBER: MLD00394
CATALOG NUMBER: OLING_BUN_4WXX_3D
DATE: 03/08/05
PAGE: 1 OF 6

LUMINAIRE: L50, Type 4W, Near Field 14" Visor; die cast aluminum reflector housing, specular hammered and specular aluminum inserts around interior of housing, clear flat glass enclosure with specular hammered insert within exterior visor

LAMP: MH1500/RS 4" Lamp, 1500 Watt Metal Halide, Musco Smart Lamp Operating System Rated 134000 Constant Lumens, Class BT-56 Bulb, Mogul Base Position Oriented, ICL: 8-1/8", Source: 3-7/8" x 1" diameter

REPORT IS BASED ON 134000 CONSTANT LUMENS PER MUSCO SMART LAMP OPERATING SYSTEM.

FLOODLIGHT CHARACTERISTICS

IES TYPE	48 X 4V	AT	O.D.H.	1.0 V
MAXIMUM CANDLES/FOOT	374593	AT		
HORIZONTAL BEAM ANGLE (50%)	27.9 deg			
VERTICAL BEAM ANGLE (50%)	16.8 deg			
HORIZONTAL FIELD ANGLE (10%)	61.3 deg			
VERTICAL FIELD ANGLE (10%)	48.8 deg			
BEAM COLUMNS (EFFICIENCY)	28926 (21.6 %)			
FIELD LUMENS (EFFICIENCY)	82375 (61.3 %)			
TOTAL LUMENS (EFFICIENCY)	102362 (76.4 %)			

AXIAL CANDLEPOWER

DEG	HORIZ.	DEG	VERT.
16.0	0	96.6	0
15.0	23	95.0	0
14.0	51	79.0	0
13.0	80	85.0	0
12.0	108	87.5	0
11.0	136	87.5	0
10.0	164	87.5	0
9.0	192	87.5	0
8.0	220	87.5	0
7.0	248	87.5	0
6.0	276	87.5	0
5.0	304	87.5	0
4.0	332	87.5	0
3.0	360	87.5	0
2.0	388	87.5	0
1.0	416	87.5	0
0	444	87.5	0
-1.0	472	87.5	0
-2.0	500	87.5	0
-3.0	528	87.5	0
-4.0	556	87.5	0
-5.0	584	87.5	0
-6.0	612	87.5	0
-7.0	640	87.5	0
-8.0	668	87.5	0
-9.0	696	87.5	0
-10.0	724	87.5	0
-11.0	752	87.5	0
-12.0	780	87.5	0
-13.0	808	87.5	0
-14.0	836	87.5	0
-15.0	864	87.5	0
-16.0	892	87.5	0
-17.0	920	87.5	0
-18.0	948	87.5	0
-19.0	976	87.5	0
-20.0	1004	87.5	0
-21.0	1032	87.5	0
-22.0	1060	87.5	0
-23.0	1088	87.5	0
-24.0	1116	87.5	0
-25.0	1144	87.5	0
-26.0	1172	87.5	0
-27.0	1200	87.5	0
-28.0	1228	87.5	0
-29.0	1256	87.5	0
-30.0	1284	87.5	0
-31.0	1312	87.5	0
-32.0	1340	87.5	0
-33.0	1368	87.5	0
-34.0	1396	87.5	0
-35.0	1424	87.5	0
-36.0	1452	87.5	0
-37.0	1480	87.5	0
-38.0	1508	87.5	0
-39.0	1536	87.5	0
-40.0	1564	87.5	0
-41.0	1592	87.5	0
-42.0	1620	87.5	0
-43.0	1648	87.5	0
-44.0	1676	87.5	0
-45.0	1704	87.5	0
-46.0	1732	87.5	0
-47.0	1760	87.5	0
-48.0	1788	87.5	0
-49.0	1816	87.5	0
-50.0	1844	87.5	0
-51.0	1872	87.5	0
-52.0	1900	87.5	0
-53.0	1928	87.5	0
-54.0	1956	87.5	0
-55.0	1984	87.5	0
-56.0	2012	87.5	0
-57.0	2040	87.5	0
-58.0	2068	87.5	0
-59.0	2096	87.5	0
-60.0	2124	87.5	0
-61.0	2152	87.5	0
-62.0	2180	87.5	0
-63.0	2208	87.5	0
-64.0	2236	87.5	0
-65.0	2264	87.5	0
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-85.0	2824	87.5	0
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-94.0	3076	87.5	0
-95.0	3104	87.5	0
-96.0	3132	87.5	0
-97.0	3160	87.5	0
-98.0	3188	87.5	0
-99.0	3216	87.5	0
-100.0	3244	87.5	0

Accredited by the National Voluntary Laboratory Accreditation Program for specific lamps of illumination under the name "MUSCO". This stamp does not imply endorsement by NIST, or any agency of the U.S. Government, and the accuracy must be used in each endorsement.

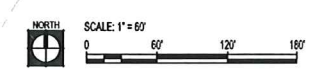
This technical data is the confidential property of Musco Sports Lighting, Inc. All information is given for your use only and is not to be used for any other purpose without the written permission of Musco Sports Lighting, Inc.

Report made in accordance with IESNA LM-79-02, with a test distance of 33 feet. All candela and lumen values are based upon the photometric data as determined from laboratory performance by 1" dia. per IESNA LM-79-02.

Checked: *[Signature]*
Approved: *[Signature]*

A1 FIELD LIGHT FIXTURE CUT SHEET

A2 SITE PHOTOMETRIC PLAN



LAND USE - UDC INITIAL/FINAL SUBMITTAL

Irwin A. & Robert D. Goodman Sports Complex at Madison College

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Madison Area Technical College

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SITE PHOTOMETRIC PLAN

ES.02