



City of Madison

Conditional Use

Location
2999 & 3201 Anderson Street

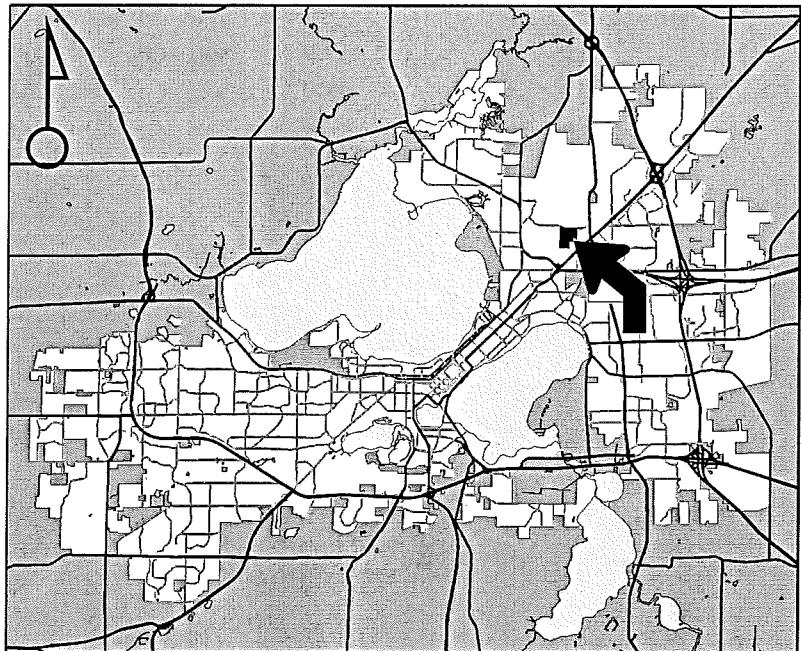
Project Name
Madison College Sports Complex

Applicant
Mark Stark – Madison College/
Jason Blome – RDG Planning & Design

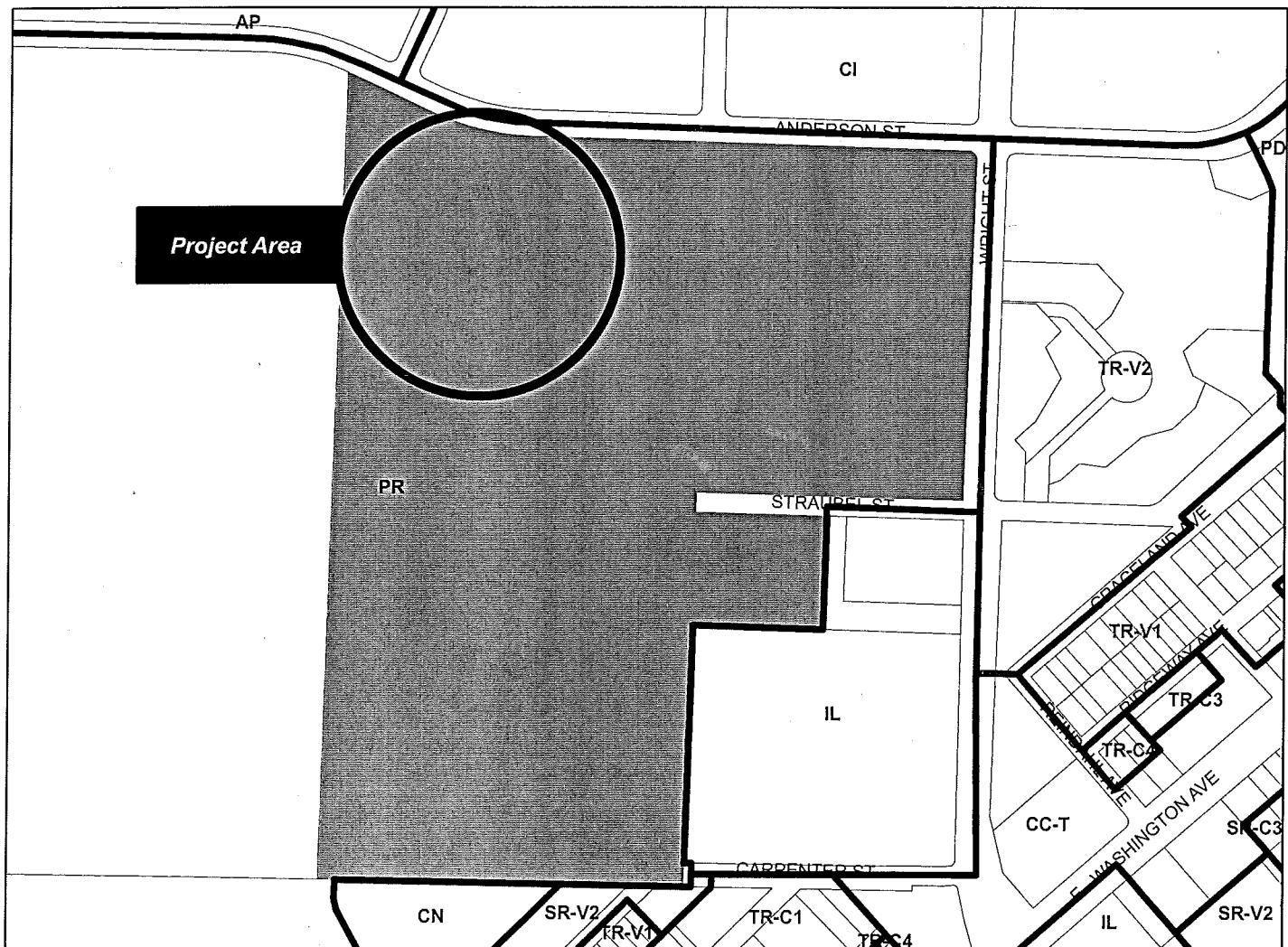
Existing Use
Sports fields

Proposed Use
Construct a stadium at
Madison College

Public Hearing Date
Plan Commission
18 April 2016



For Questions Contact: Chris Wells at: 261-9135 or cwells@cityofmadison.com or City Planning at 266-4635



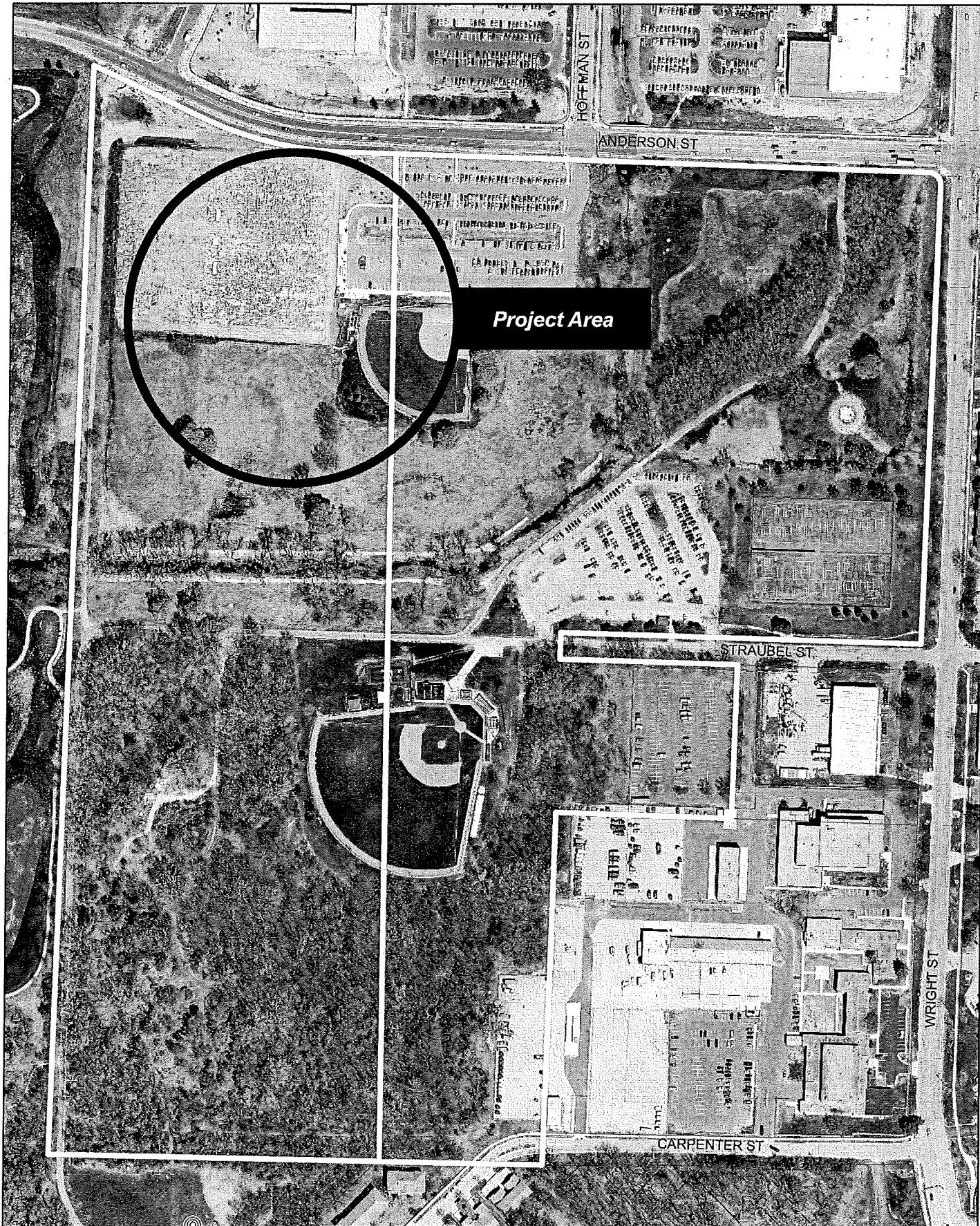
Scale : 1" = 500'

City of Madison, Planning Division : RPJ : Date : 11 April 2016



City of Madison

2999 & 3201 Anderson Street



Date of Aerial Photography : Spring 2013



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received <u>3/23/16</u>	
Received By <u>PDA</u>	
Parcel No. <u>0810-321-0604-0 / 322-0099-1</u>	
Aldermanic District <u>12, LARRY PALM</u>	
Zoning District <u>PR</u>	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission <input checked="" type="checkbox"/> Plan Commission <input type="checkbox"/> Common Council <input type="checkbox"/> Other: _____	

Form Effective: February 21, 2013

1. Project Address: 1701 Wright Street 2999 & 3201 Anderson St.

Project Title (if any): Irwin A. & Robert D. Goodman Sports Complex at Madison College

2. This is an application for (Check all that apply to your Land Use Application):

Zoning Map Amendment from _____ to _____
 Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
 Review of Alteration to Planned Development (By Plan Commission)
 Conditional Use, or Major Alteration to an Approved Conditional Use
 Demolition Permit
 Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Michael Stark Company: Madison College

Street Address: 1701 Wright Street City/State: Madison, WI Zip: 53704-2599

Telephone: (608) 246-6737 Fax: (608) 246-6331 Email: mmstark@madisoncollege.edu

Project Contact Person: Jason Blome Company: RDG Planning & Design

Street Address: 301 Grand Avenue City/State: Des Moines Zip: IA

Telephone: (515) 288-3414 Fax: () Email: jblome@rdgusa.com

Property Owner (if not applicant): _____

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Remove existing soccer pitches and softball diamond and replace with a new synthetic turf soccer pitch and synthetic softball diamond with support buildings for each field.

Development Schedule: Commencement	<u>April, 2016</u>	Completion	<u>December, 2016</u>
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5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/ altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

• Project Team	• Building Square Footage	• Value of Land
• Existing Conditions	• Number of Dwelling Units	• Estimated Project Cost
• Project Schedule	• Auto and Bike Parking Stalls	• Number of Construction & Full-Time Equivalent Jobs Created
• Proposed Uses (and ft ² of each)	• Lot Coverage & Usable Open Space Calculations	• Public Subsidy Requested
• Hours of Operation		

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
District 12 Alder Larry Palm, Carpenter-Ridgeway Neighborhood Association, June, 2015.

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 7/16/2015 Zoning Staff: Kevin Firchow Date: 7/16/2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Michael Stark Relationship to Property: Director of Facility Services

Authorizing Signature of Property Owner Michael Stark Date 11/4/2015

March 10, 2016

City of Madison Planning & Zoning
Attn: Pat Anderson and Matt Tucker
215 Martin Luther King Jr Blvd
Madison, Wisconsin 53703

IRWIN A. & ROBERT D. GOODMAN SPORTS COMPLEX AT MADISON COLLEGE – Future Operational Summary

Dear Mr. Anderson and Mr. Tucker,

As per your request, we are writing to provide additional operational narrative related to the Irwin A. & Robert D. Goodman Sports Complex at Madison College. Below is a general description of the project and specific responses to your questions related to operations of the Complex following completion of the proposed improvements.

General Description

The Irwin A. & Robert D. Goodman Sports Complex at Madison College will include removal and replacement of the existing soccer pitches and softball diamond with a new soccer pitch and softball diamond. The new soccer pitch and softball diamond will be synthetic turf and will include new support buildings. The soccer pitch will have a new storage building with a press box above. The softball diamond will have two dugouts with a team room, press box, coach's office, training room, concessions, restrooms, mechanical room and storage rooms. New seating will be provided at soccer and softball.

A ticket building will be located at the main entry leading to an entry plaza that shares space between the softball and soccer venues. All improvements will comply with nearby wetland buffers, the 100 year floodplain, grading setbacks and will meet stormwater requirements.

Operational Summary – Specific responses to City Staff questions

Operations of the facility (exclusive private use or public)?

- Complex will be "owned and operated" by Madison College.

Anticipated type of events to be hosted?

- Complex will be utilized by a multitude of internal user groups, including intercollegiate athletics, intramural sports and student recreational activities.
- Complex will be utilized by local high school athletic programs and activity groups on a fee per use basis.
- Complex will be utilized by the College to engage east side community centers in activities directly related to the Youth Fit Initiative.
- Anticipated Complex will host youth sport tournaments, camps, clinics and events.

Times of use?

- Typically 8:00 AM to 10:00 PM.

Operational structure?

- The Complex will be operated as a self-supporting business enterprise operation within the College organizational structure.

Seating capacities?

- Softball Stadium: 500
- Soccer Stadium: 300

Ticketing policies and associated fees?

- Ticket and admission policies will be determined by the individual and/or unique event that is taking place. Not all events will require ticketing and spectator admission fee.

Please feel free to contact with any additional questions or if additional information is needed to advance the City of Madison review and approval process for this project.

Sincerely,

RDG Planning & Design



Scott Crawford, PLA, ASLA, LEED AP
Senior Partner

cc: Michael Stark, Madison College
Justin Frahm, JSD





Irwin A. & Robert D. Goodman Sports Complex at Madison College
1701 Wright Street, Madison WI, 53704

LAND USE - UDC INITIAL/FINAL SUBMITTAL

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PROJECT NUMBER: **2014.414.02**

DATE: **11/4/2015**

DRAWING INDEX:

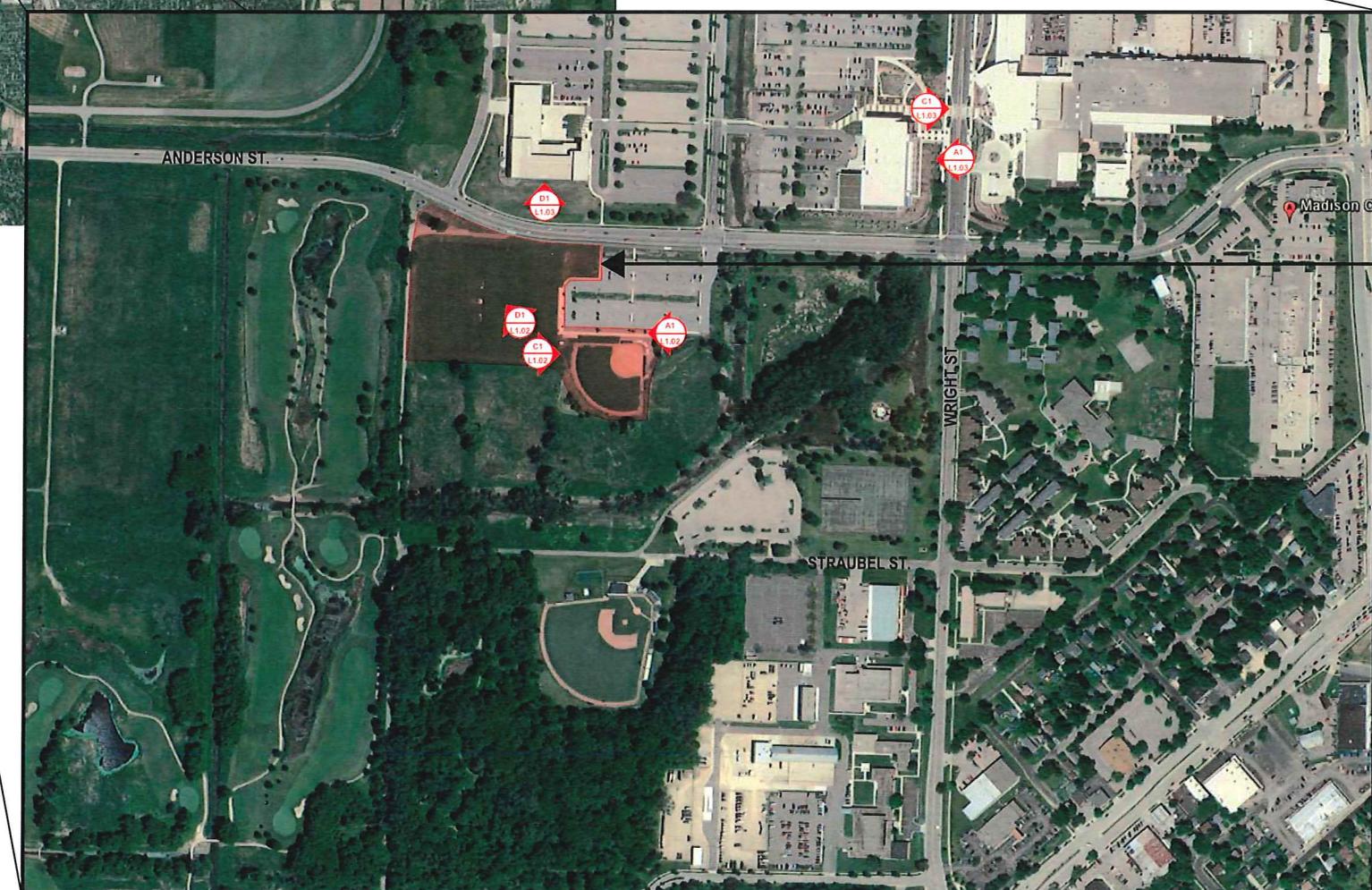
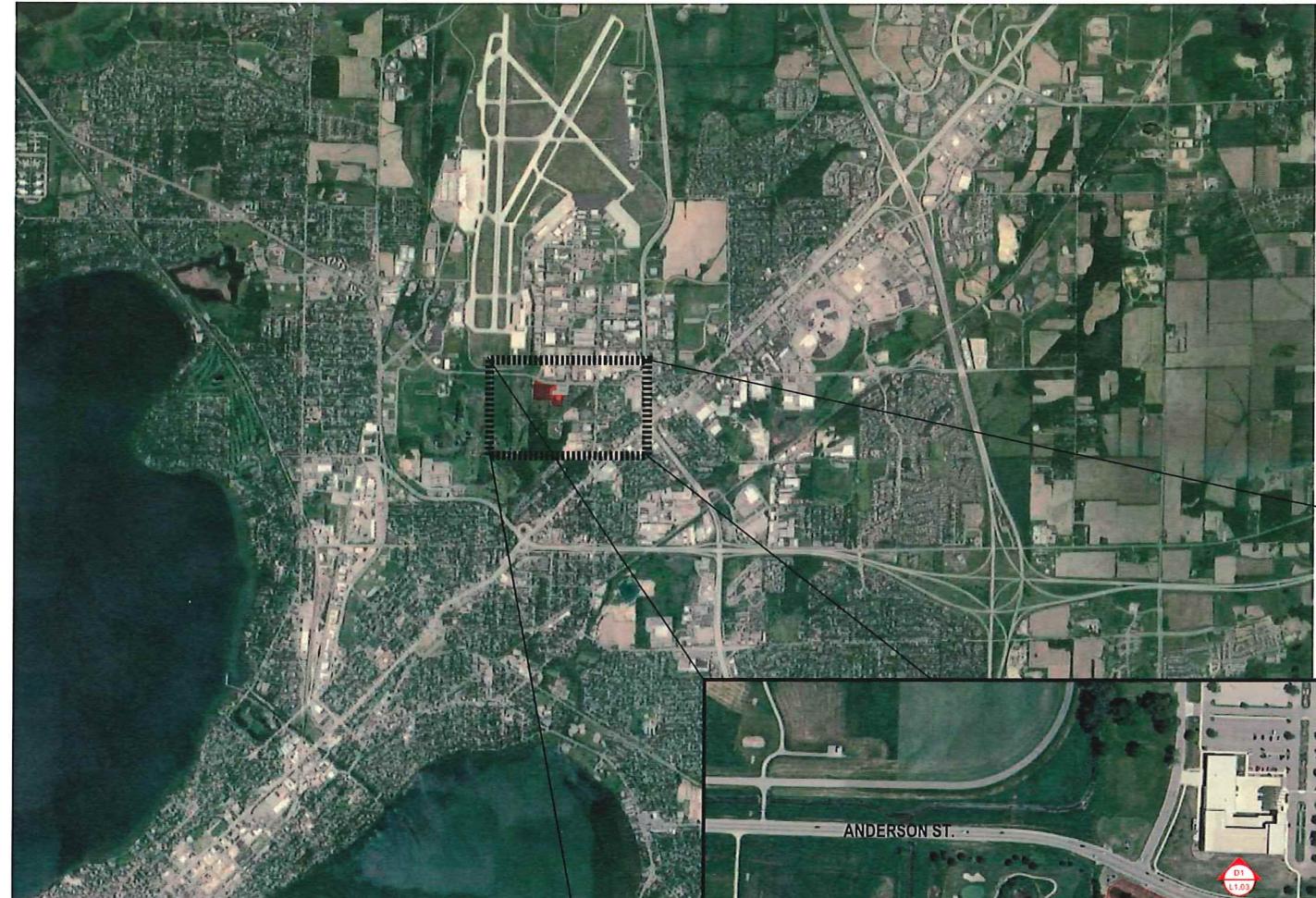
GENERAL
G01.01 COVER SHEET
G01.02 SITE LOCATOR MAP
G01.03 EXISTING SITE PHOTOS
G01.04 SITE BUILDING CONTEXT PHOTOS

CIVIL
C2.01 SITE UTILITY PLAN

LANDSCAPE
L1.01 SITE PREPARATION PLAN
L2.01 SITE LAYOUT PLAN
L2.02 SITE LAYOUT PLAN - PLAZA ENLARGEMENT & BD ALT. 1
L2.03 SITE LAYOUT PLAN RENDERING
L3.01 SITE GRADING PLAN
L3.02 GRADING PLAN ENLARGEMENT
L4.01 SITE PLANTING PLAN
L4.02 PLANTING PLAN ENLARGEMENT & BD ALT

ARCHITECTURE
A01.01 FLOOR PLAN - SOFTBALL SUPPORT BLDG
A01.02 FLOOR PLAN - SOFTBALL SUPPORT BLDG
A1.01 BUILDING ELEVATIONS
A1.1 BUILDING ELEVATIONS

ELECTRICAL
ES1.01 SITE PLAN ELECTRICAL
ES.02 SITE PHOTOMETRIC PLAN



Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

LAND USE - UDC INITIAL/FINAL SUBMITTAL

RDG...
PLANNING • DESIGN

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LANDSCAPE ARCHITECT
RDG Planning & Design
301 Grove Park Lane
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RDG Planning & Design
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507.245.2341
515.258.5141
PHONE: 515.258.4851
FAX: 515.258.4851

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CIVIL
RDG Planning & Design
301 Grove Park Lane
515.258.5141
PHONE: 515.258.4851
FAX: 515.258.4851

KEY PLAN

REV. DATE DESCRIPTION
00000 11/04/2015
PROJECT NO. 2014414182
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Irwin A. & Robert D. Goodman Sports
Complex at Madison College
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Irwin A. & Robert D. Goodman Sports
Complex at Madison College

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SITE
LOCATOR
MAP

G01.02



D1: VIEW LOOKING NORTHWEST AT THE EXISTING SOCCER PITCH



C1: VIEW LOOKING EAST AT THE EXISTING SOFTBALL DIAMOND



A1: VIEW LOOKING WEST AT THE EXISTING SOFTBALL DIAMOND AND PARKING LOT

Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

KEY PLAN

REV	DATE	DESCRIPTION
0000	11/4/2015	
PROJECT NO.	2014414182	
© 2015		RDG Planning & Design
		MEI Architects and Engineers, Inc. A/E, P.E., P.S.W.E.
		With A. A. Robert D. Goodman Sports Complex at Madison College
		101 10th Street, Suite 200, Madison, WI 53703 Phone: 608.243.1000 • Fax: 608.243.1001 E-mail: info@rdgdesign.com • Web: www.rdgdesign.com
		EXISTING SITE PHOTOS
		G01.03

RDG...
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Phone: 608.243.1000 • Fax: 608.243.1001
E-mail: info@rdgdesign.com • Web: www.rdgdesign.com

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LANDSCAPE ARCHITECT
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Madison, WI 53703
Phone: 608.243.1000 • Fax: 608.243.1001
E-mail: info@rdgdesign.com • Web: www.rdgdesign.com

STRUCTURAL
RDG Planning & Design
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Madison, WI 53703
Phone: 608.243.1000 • Fax: 608.243.1001
E-mail: info@rdgdesign.com • Web: www.rdgdesign.com

CIVIL
RDG Planning & Design
101 10th Street, Suite 200
Madison, WI 53703
Phone: 608.243.1000 • Fax: 608.243.1001
E-mail: info@rdgdesign.com • Web: www.rdgdesign.com



D1: VIEW LOOKING NORTH FROM THE EXISTING SOCCER PITCH TO THE PROTECTIVE SERVICES BUILDING



C1: VIEW LOOKING EAST FROM WRIGHT STREET TO THE TRAUX BUILDING/MITBY THEATER/REDSTEN GYMNASIUM



A1: VIEW LOOKING WEST FROM WRIGHT STREET TO HEALTH EDUCATION BUILDING

Inwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

KEY PLAN

REV	DATE	DESCRIPTION
10-4-2015	2014-14-02	PROJECT NO.

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Project: A. & Robert D. Goodman Sports Complex at Madison College

PLANS NOT TO SCALE FOR USE ONLY FOR SITE PLACEMENT PURPOSES

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RDG PL

LAND USE - UDC INITIAL/FINAL SUBMITTAL

Madison Area Technical College

1701 Wright Street, Madison WI, 53704

L2.01

ARCHITECT RDG Planning & Design
1701 Wright Street
Madison, WI 53704
DSC 204-211-0000
DSC 204-211-0001
DSC 204-211-0002
DSC 204-211-0003
DSC 204-211-0004
DSC 204-211-0005

LANDSCAPE ARCHITECT
Open Landscaping
1701 Wright Street
Madison, WI 53704
DSC 204-211-0006
DSC 204-211-0007
DSC 204-211-0008

CIVIL
RDG Planning & Design
1701 Wright Street
Madison, WI 53704
DSC 204-211-0009
DSC 204-211-0010
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DSC 204-211-0012
DSC 204-211-0013
DSC 204-211-0014
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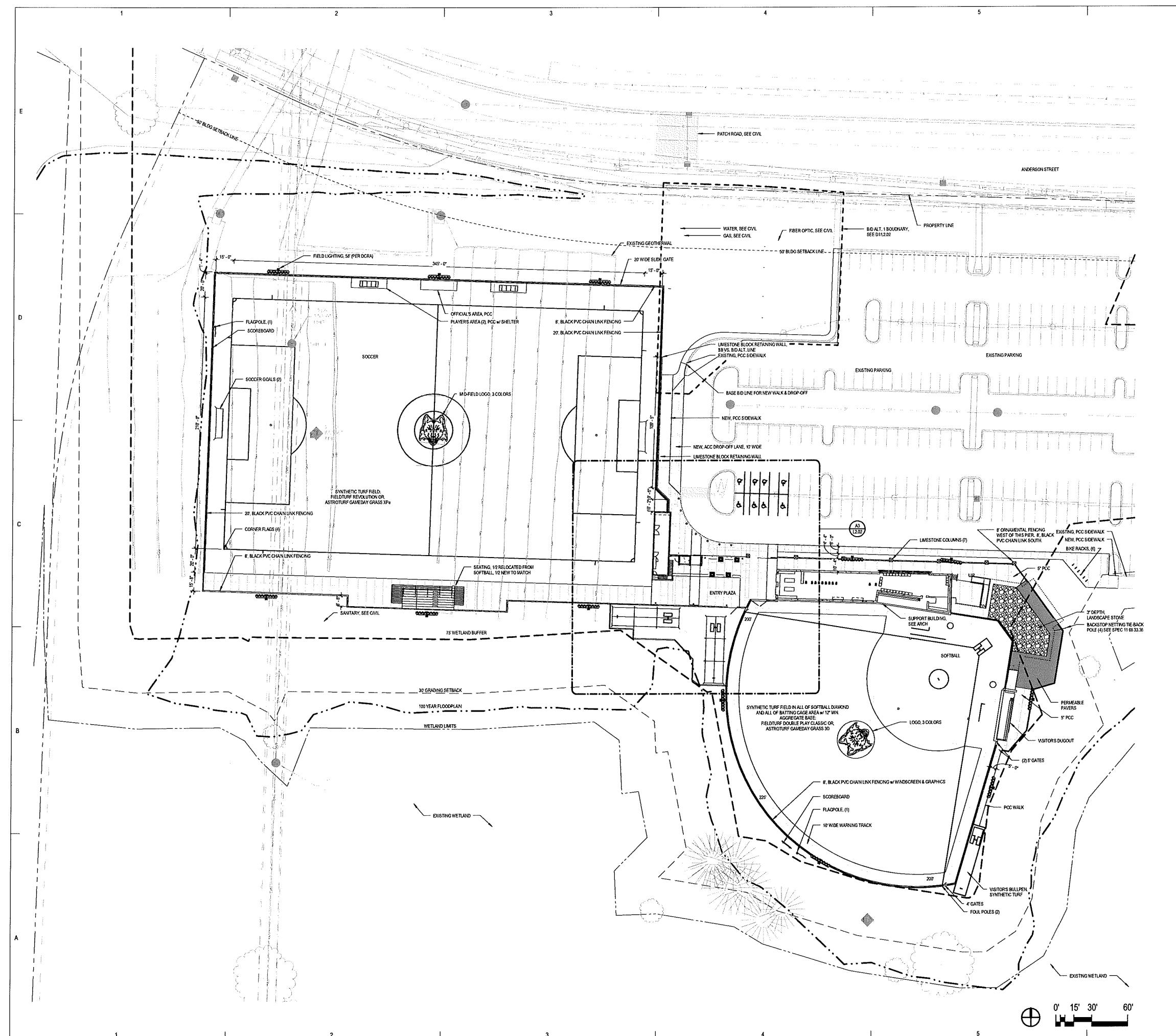
MECH/ELEC/PLUMB
RDG Planning & Design
1701 Wright Street
Madison, WI 53704
DSC 204-211-0016
DSC 204-211-0017
DSC 204-211-0018
DSC 204-211-0019
DSC 204-211-0020
DSC 204-211-0021
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DSC 204-211-0023
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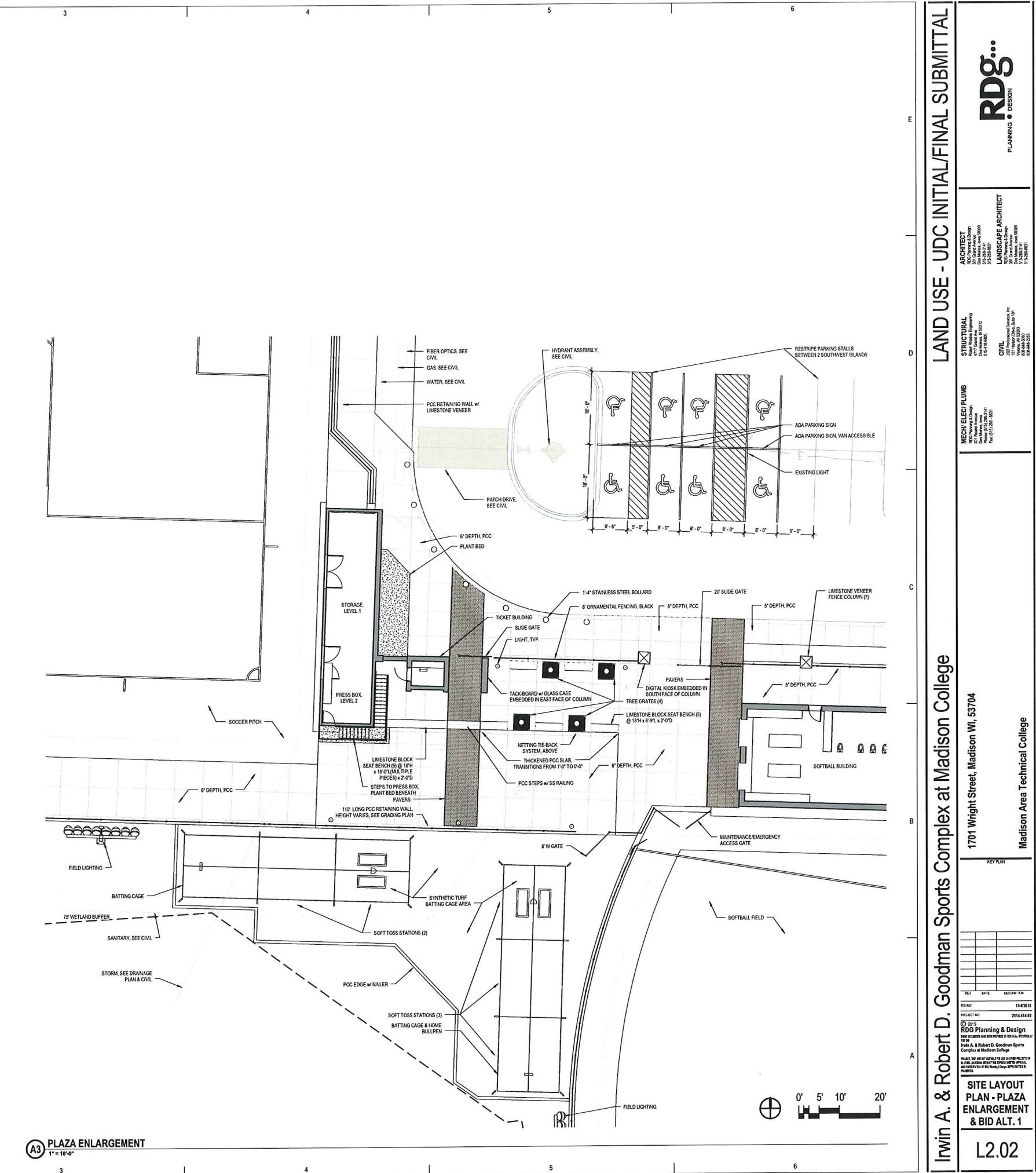
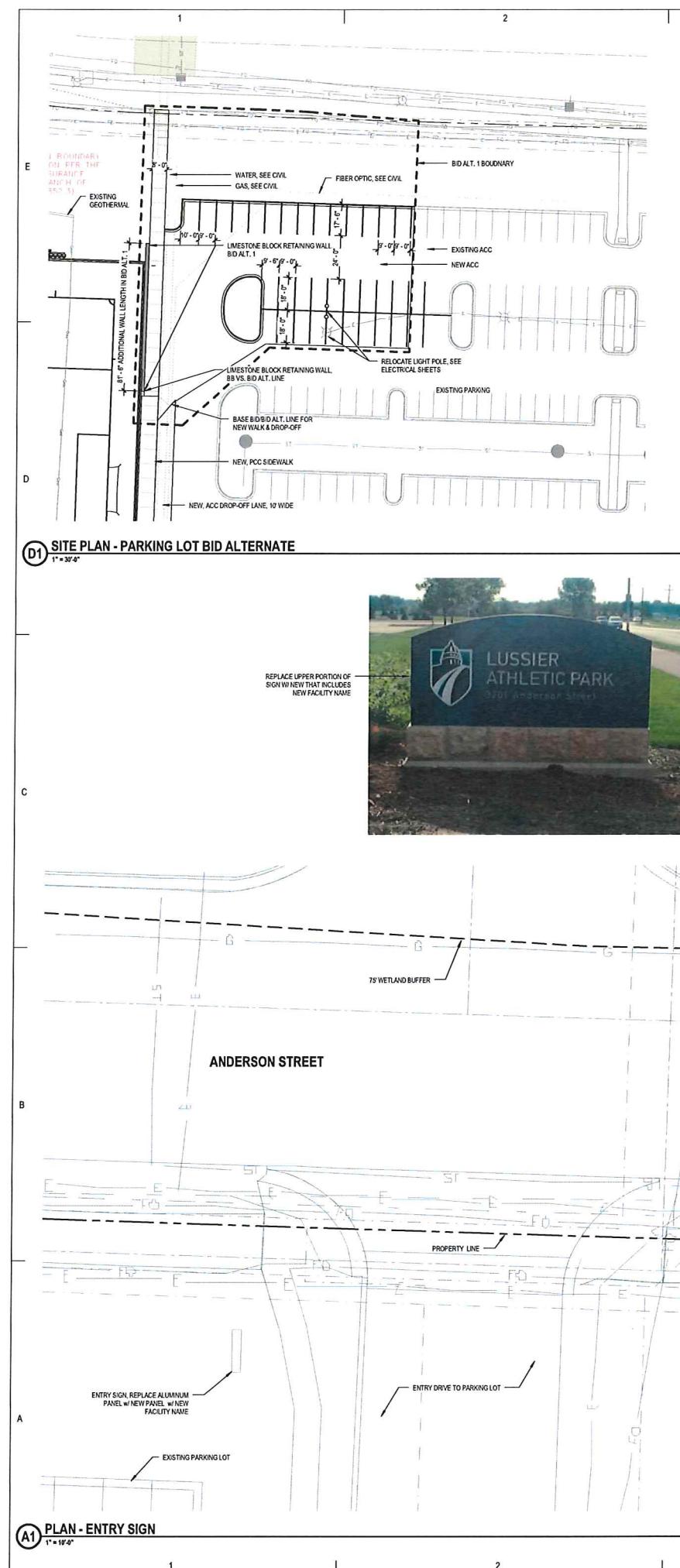
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PROJECT NO.		2014-014-02

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1701 Wright Street, Madison, WI 53704
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DSC 204-211-0001-0001
DSC 204-211-0002-0002
DSC 204-211-0003-0003
DSC 204-211-0004-0004
DSC 204-211-0005-0005

SITE LAYOUT PLAN





Irwin A. & Robert D. Goodman Sports Complex at Madison College

LAND USE - UDC INITIAL/FINAL SUBMITTAL

Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

**SITE LAYOUT
PLAN
RENDERING**

L2.03



PROJECT TEAM

ARCHITECT

RDG Planning & Design

1701 Wright Street

Madison, WI 53704

515-226-0621

PLANNING & DESIGN

RDG Planning & Design

1701 Wright Street

Madison, WI 53704

515-226-0621

LANDSCAPE ARCHITECT

RDG Planning & Design

1701 Wright Street

Madison, WI 53704

515-226-0621

STRUCTURAL

RDG Planning & Design

1701 Wright Street

Madison, WI 53704

515-226-0621

CIVIL

RDG Planning & Design

1701 Wright Street

Madison, WI 53704

507-246-2255

MECHANICAL/PLUMB

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Madison, WI 53704

515-226-0621

KEY PLAN

Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

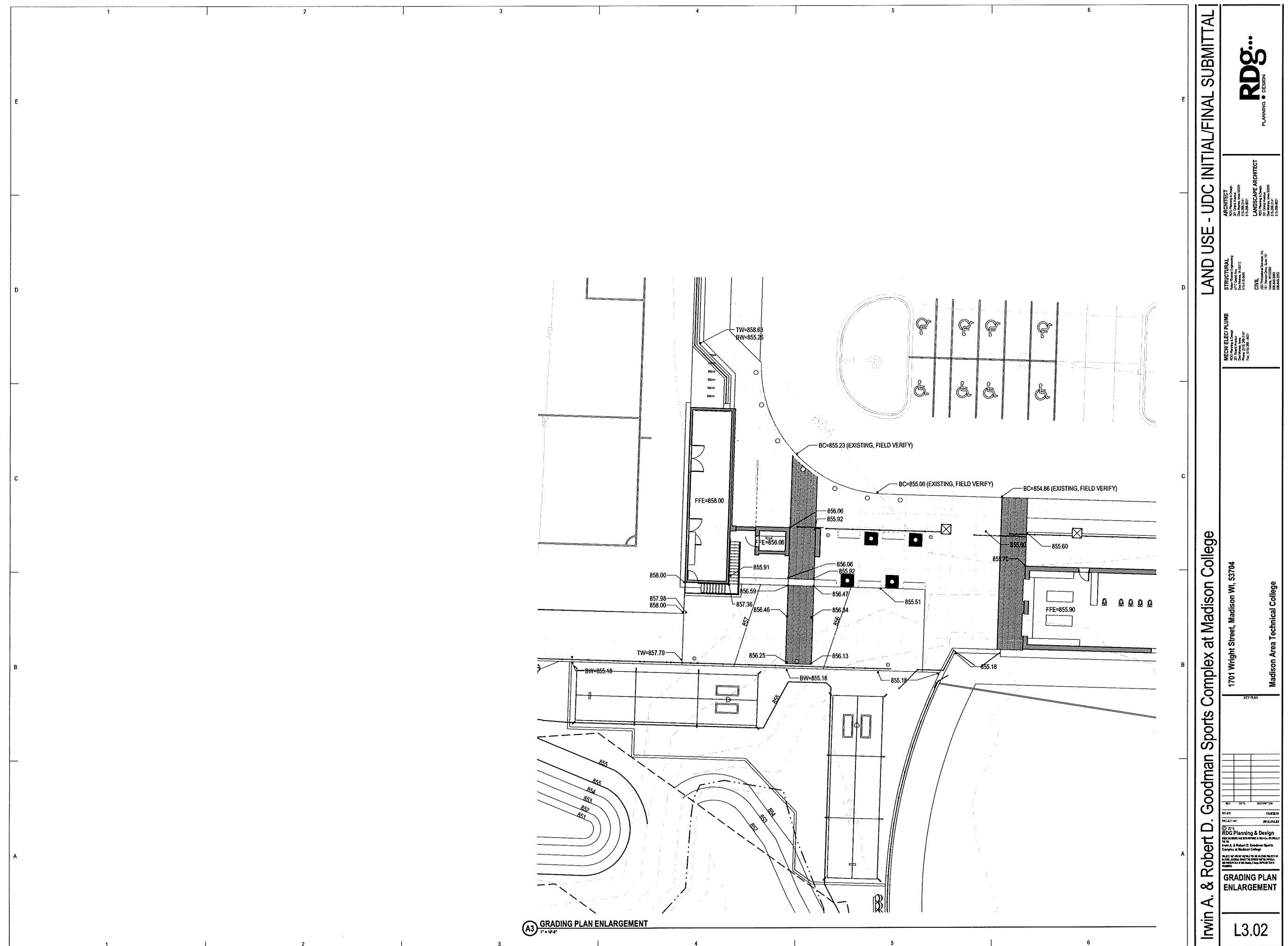
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REV	DATE	DESCRIPTION
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PROJECT NO. 2014-414-02

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NO SCALE OR DIMENSIONS ARE PROVIDED
Parks A. & Robert D. Goodman Sports
Complex at Madison College

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LAND USE - UDC INITIAL/FINAL SUBMITTAL

Madison Area Technical College

1701 Wright Street, Madison WI, 53704

L4.01

Irwin A. & Robert D. Goodman Sports Complex at Madison College

SITE PLANTING PLAN

KEY PLAN

1701 Wright Street, Madison WI, 53704

KEY PLAN

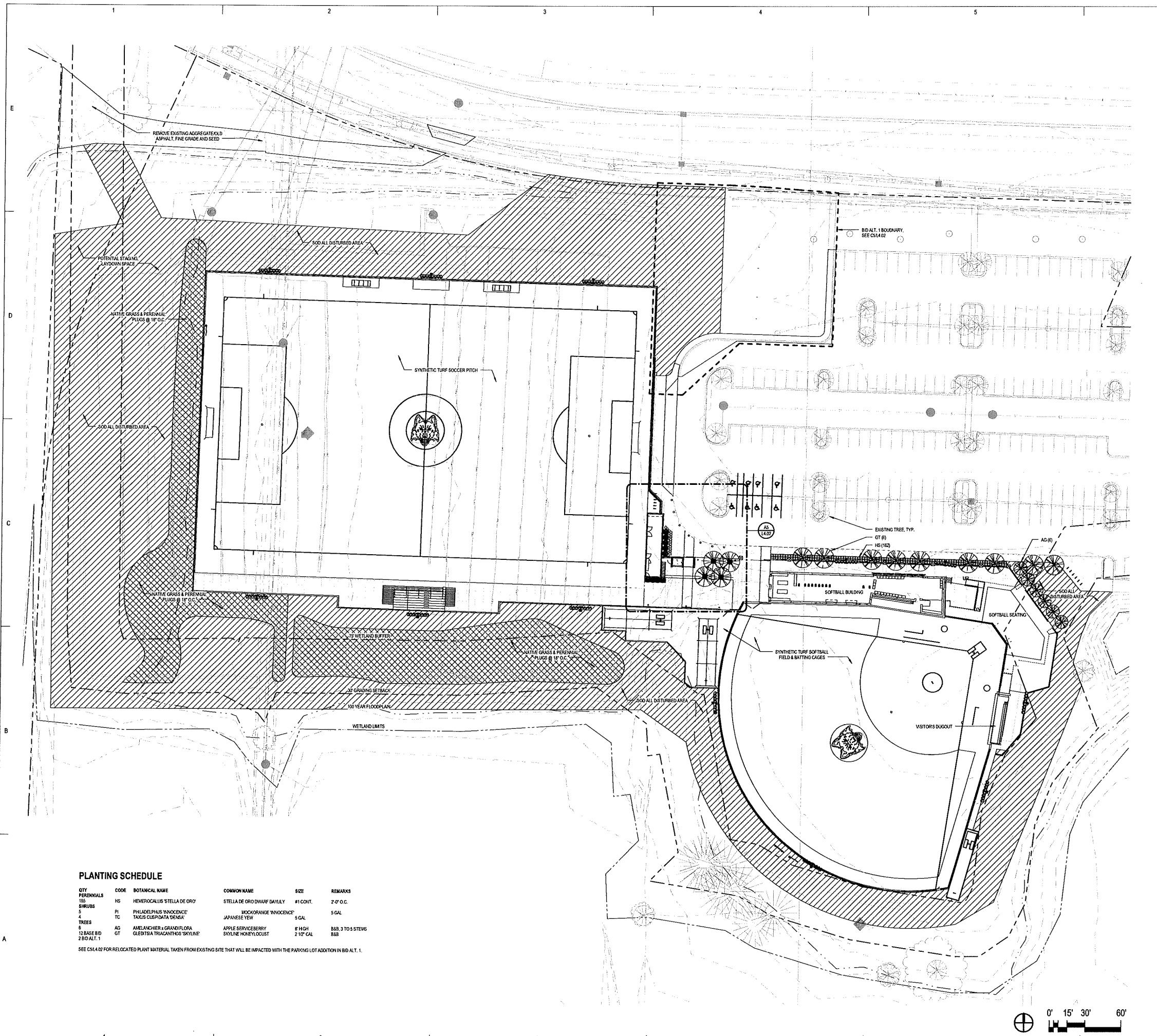
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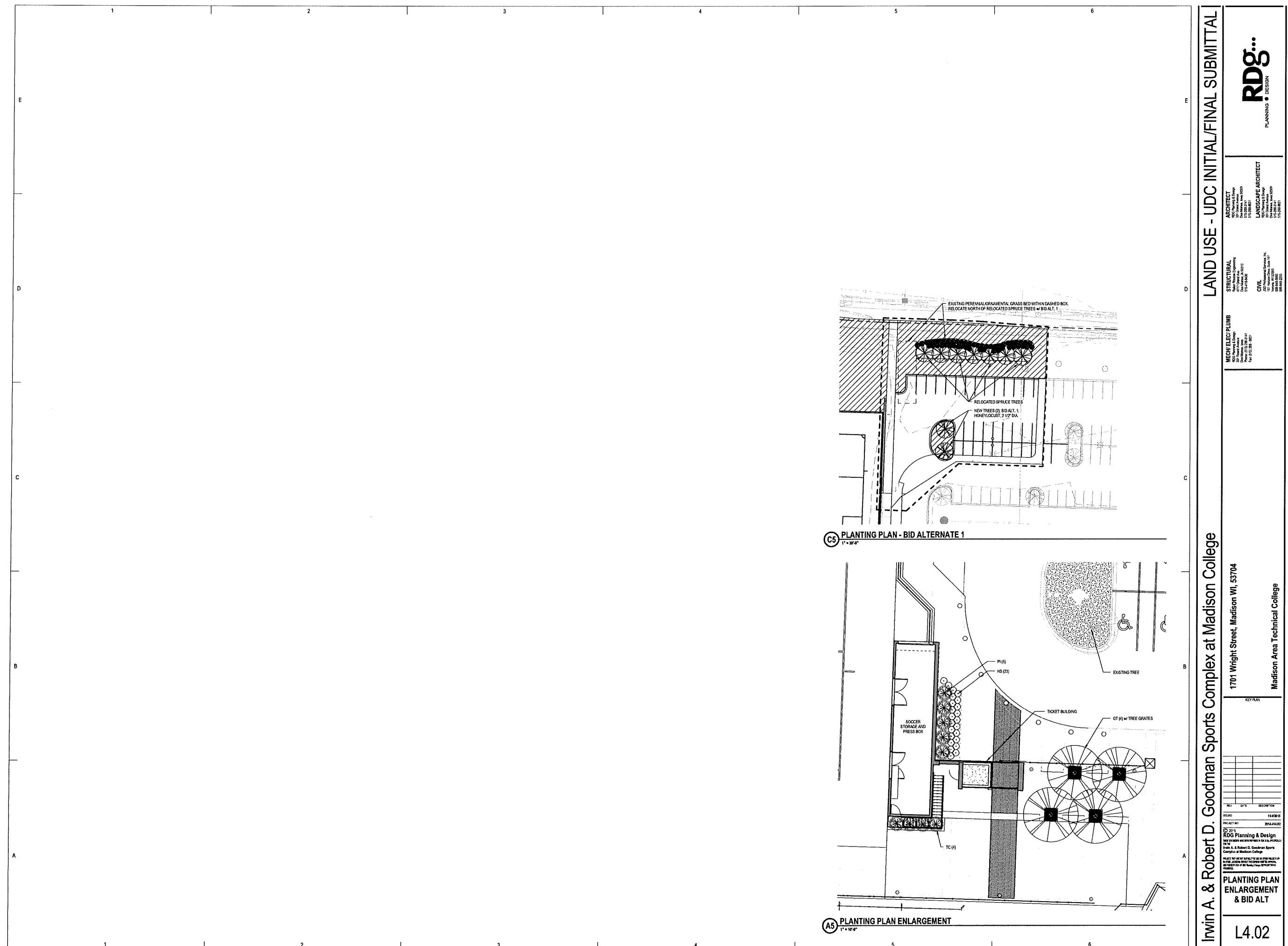
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Madison, WI 53704
(608) 243-4482

Irwin A. & Robert D. Goodman Sports Complex at Madison College
1000 University Drive
Madison, WI 53704
(608) 243-4482

SITE PLANTING PLAN

L4.01





LAND USE - UDC INITIAL/FINAL SUBMITTAL

STRUCTURAL ARCHITECT

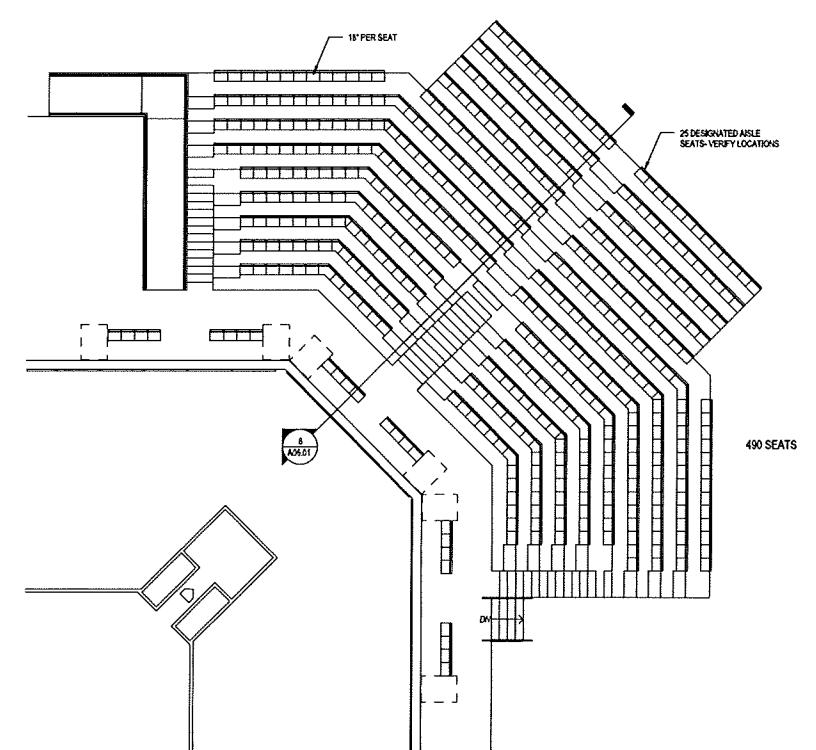
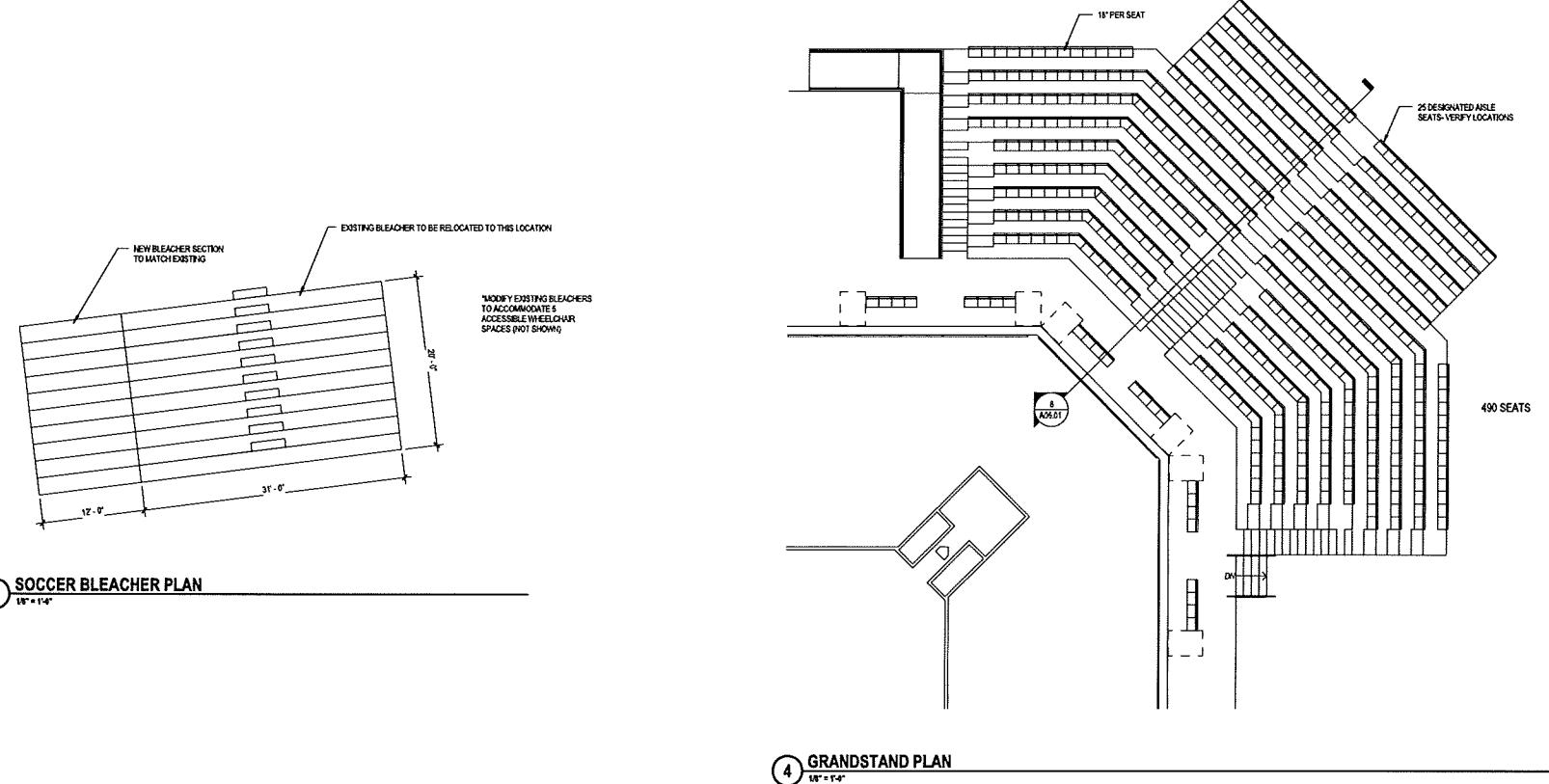
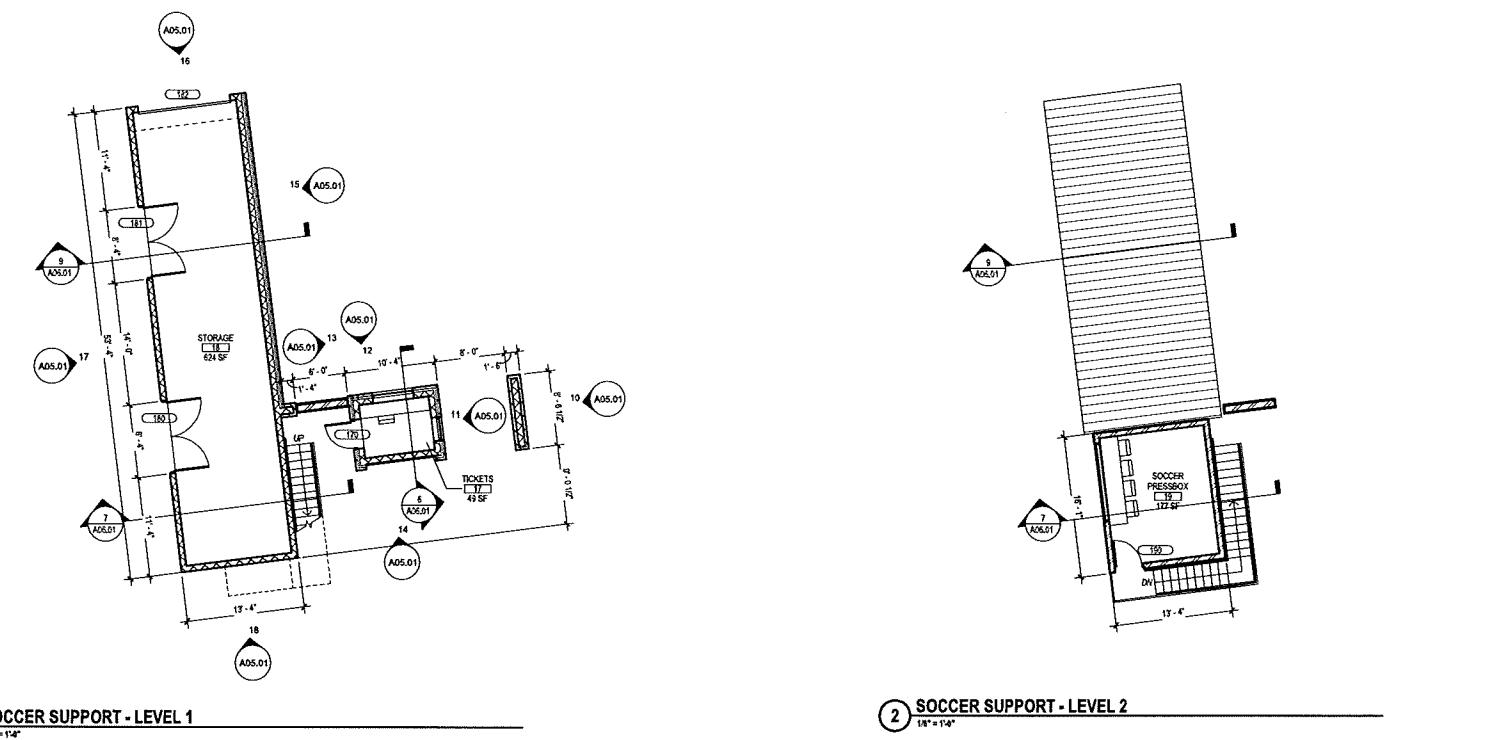
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PLANNING & DESIGN

1701 Wright Street, Madison WI, 53704

101 Wright Street, Madison WI, 53704

A01.02



LAND USE - UDC INITIAL/FINAL SUBMITTAL

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PCG Planning Group
301 Goodman Street
Madison, WI 53704
515-238-2111

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Madison, WI 53704
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FAX
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EMAIL
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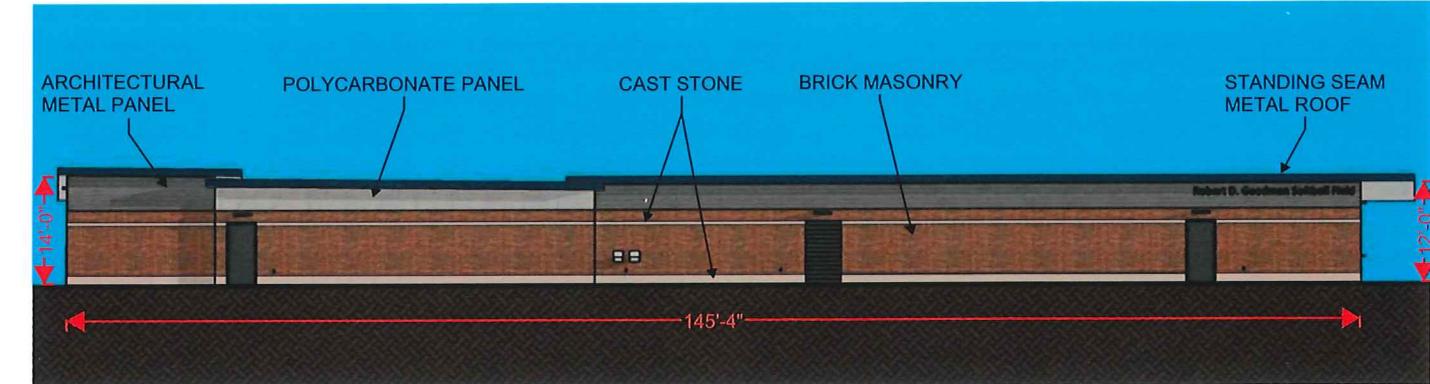
Irwin A. & Robert D. Goodman Sports Complex at Madison College
1701 Wright Street, Madison WI, 53704
Madison Area Technical College

KEY PLAN

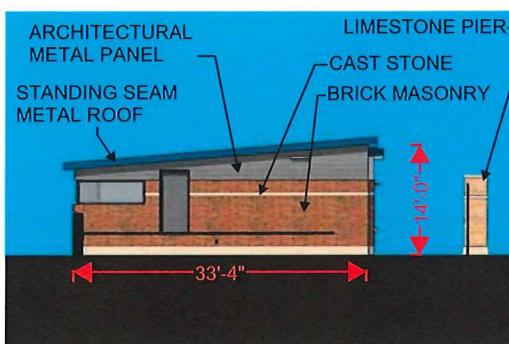
REV. 04/2015
SEAL NO. 1144182
PROJECT NO. 2014-414-02
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Irwin A. & Robert D. Goodman Sports Complex at Madison College
PLANNING AND DESIGN FOR THE RDG PLANNING & DESIGN
PROJECT NUMBER 2014-414-02

BUILDING ELEVATIONS

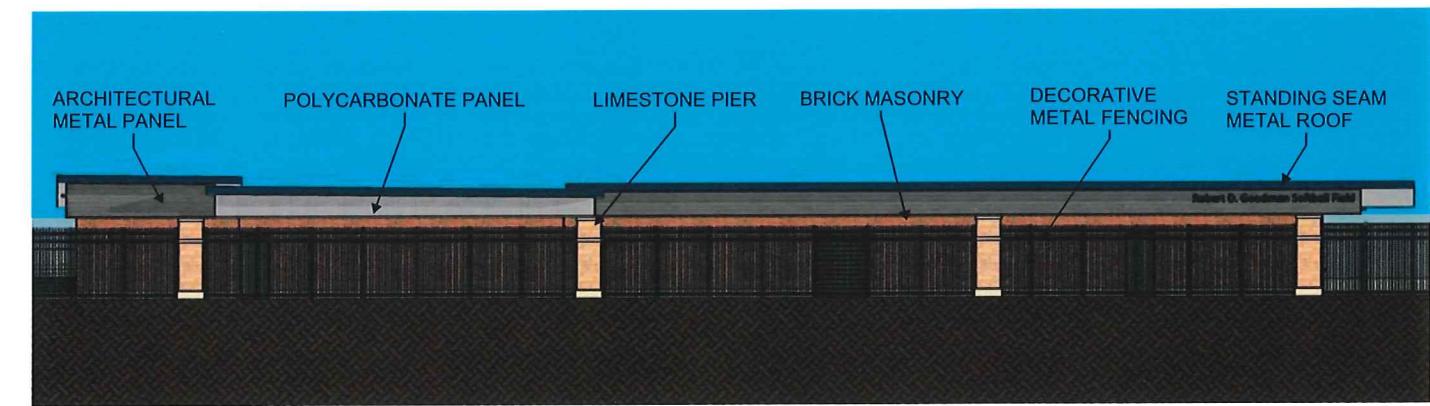
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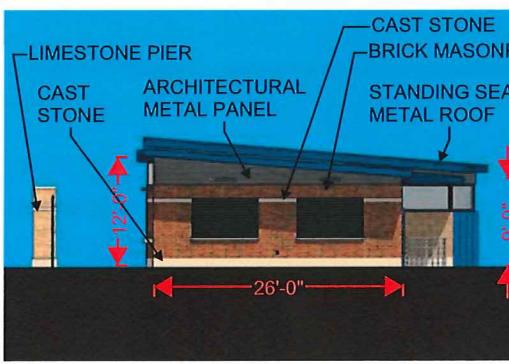
SOFTBALL BUILDING - NORTH ELEVATION WITHOUT FENCE



SOFTBALL BUILDING - EAST ELEVATION



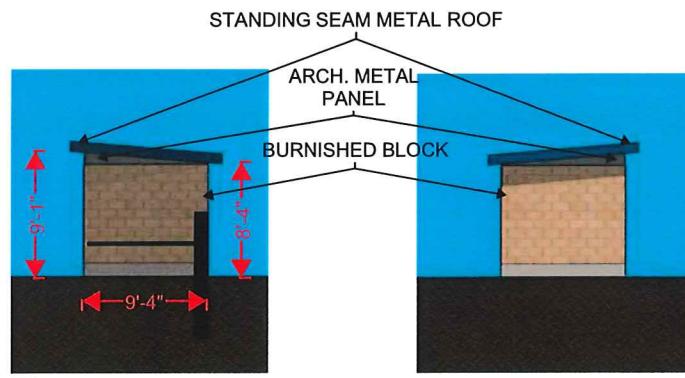
SOFTBALL BUILDING - NORTH ELEVATION WITH FENCE



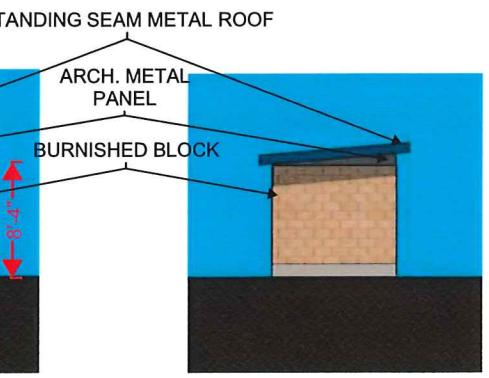
SOFTBALL BUILDING - WEST ELEVATION



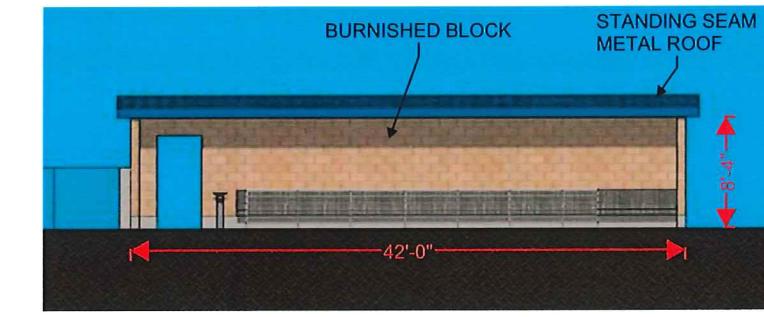
SOFTBALL BUILDING - SOUTH ELEVATION



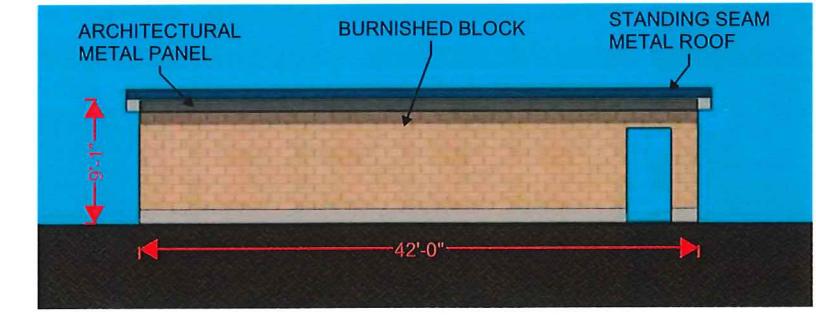
VISITOR DUGOUT - SOUTH ELEVATION



VISITOR DUGOUT - NORTH ELEVATION

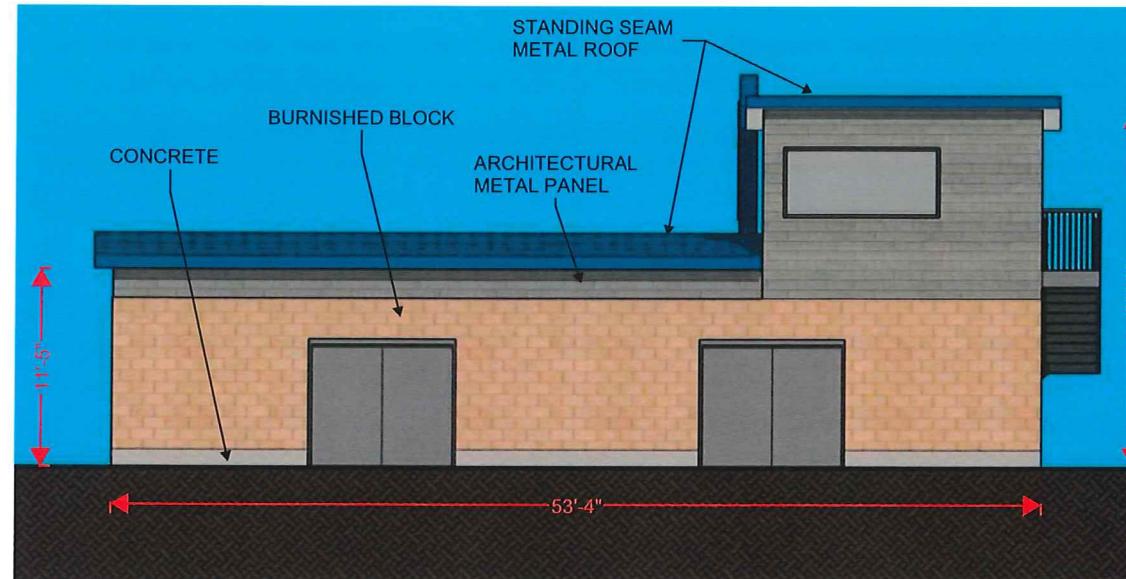


VISITOR DUGOUT - WEST ELEVATION

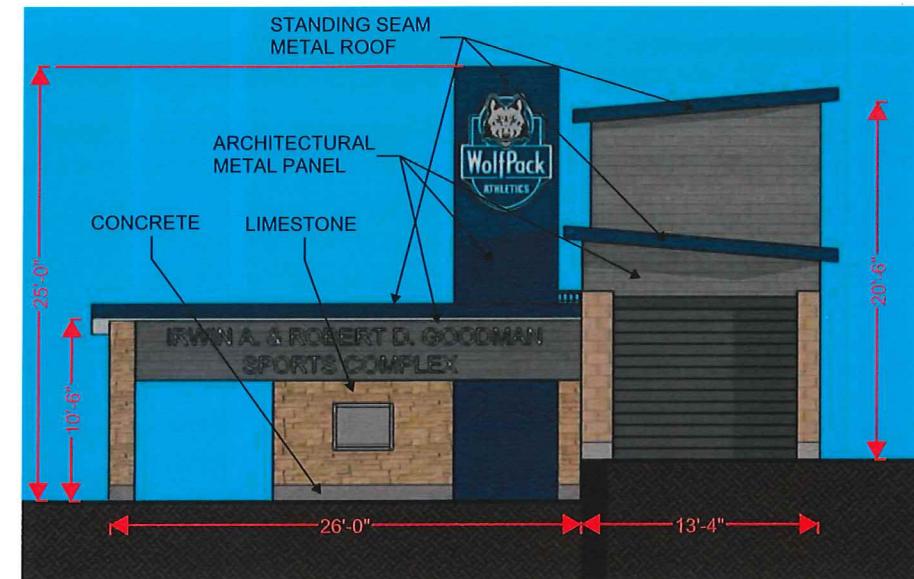


VISITOR DUGOUT - EAST ELEVATION

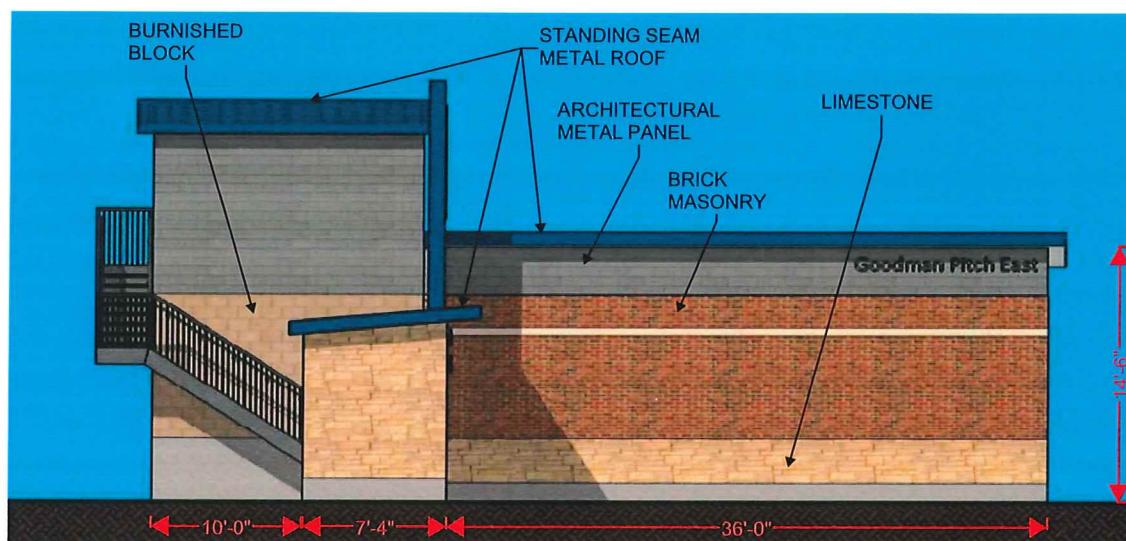
ARCHITECT	STRUCTURAL	MECH/ELEC/PLUMB	CIVIL	LANDSCAPE ARCHITECT
RDG Planning & Design 1701 Wright Street, Madison WI, 53704 Tel: (608) 252-4480 Fax: (608) 252-4481	Haas Structural Engineering 401 University Street, Suite 1017 Madison, WI 53705 Tel: (608) 252-4480 Fax: (608) 252-4481	RDG Planning & Design 1701 Wright Street, Suite 101 Madison, WI 53704 Tel: (608) 252-4480 Fax: (608) 252-4481	RDG Planning & Design 1701 Wright Street, Suite 101 Madison, WI 53704 Tel: (608) 252-4480 Fax: (608) 252-4481	RDG Planning & Design 1701 Wright Street, Madison WI, 53704 Tel: (608) 252-4480 Fax: (608) 252-4481



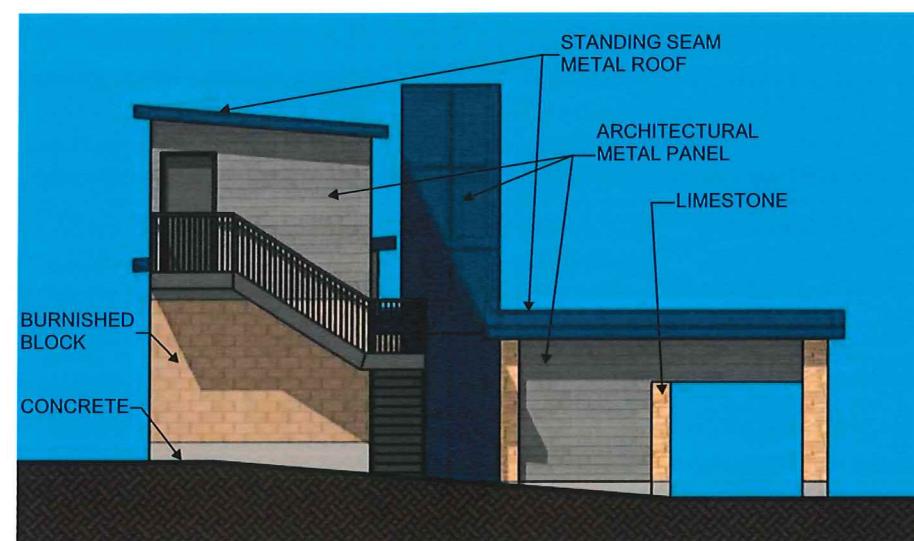
TICKET BUILDING/SOCCER STORAGE - WEST ELEVATION



TICKET BUILDING/SOCCER STORAGE - NORTH ELEVATION



TICKET BUILDING/SOCCER STORAGE - EAST ELEVATION



TICKET BUILDING/SOCCER STORAGE - SOUTH ELEVATION

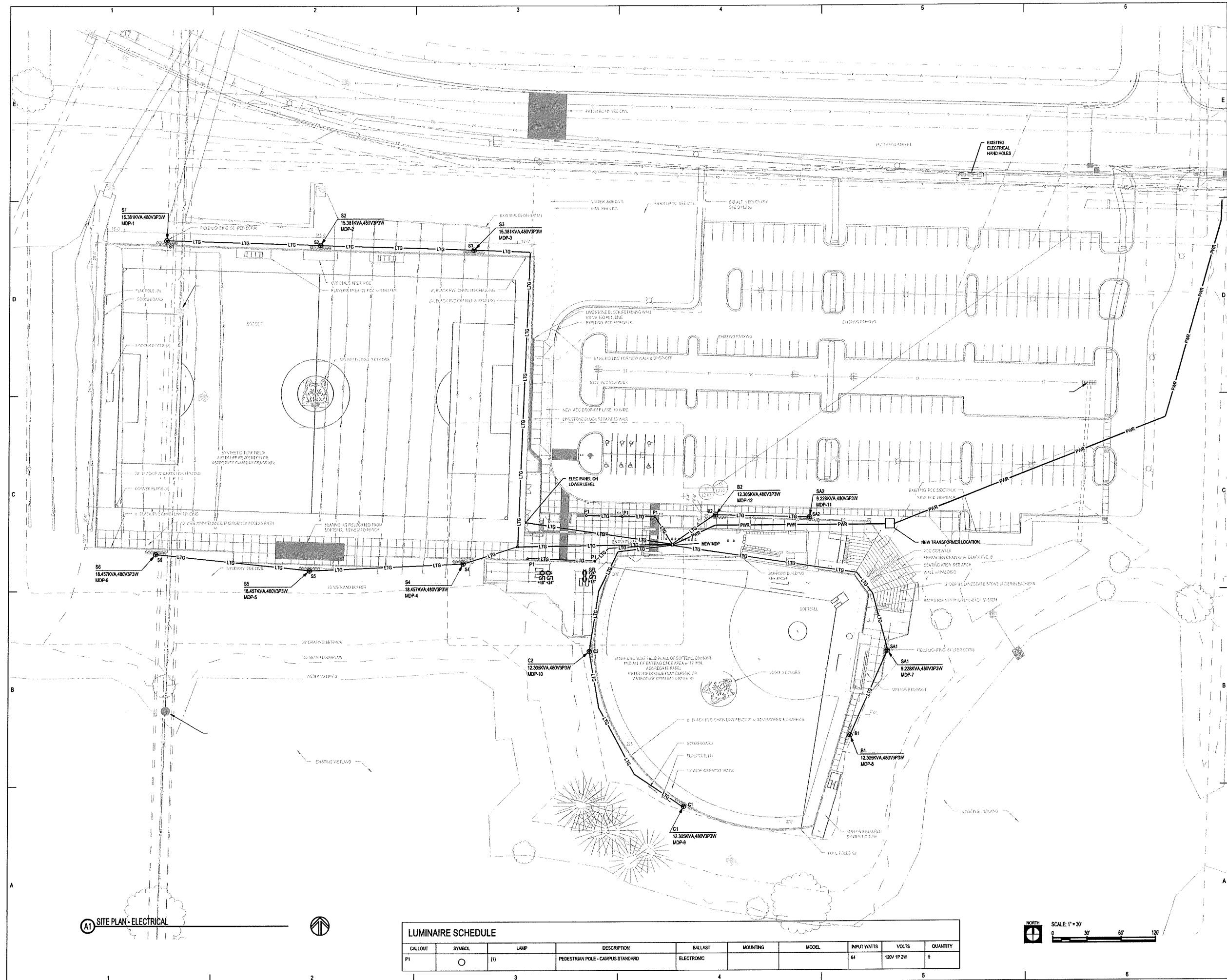
LAND USE - UDC INITIAL/FINAL SUBMITTAL

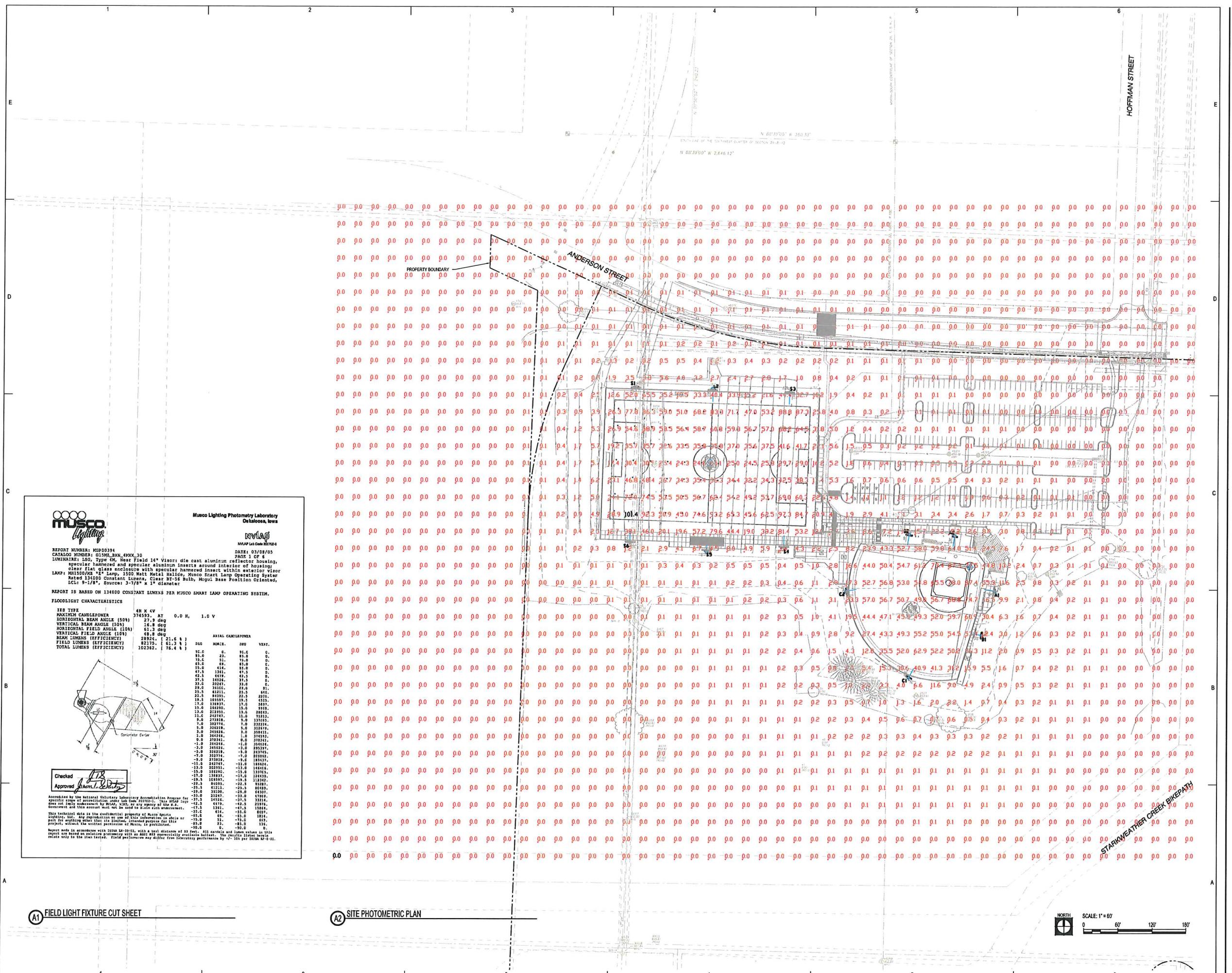
Irwin A. & Robert D. Goodman Sports Complex at Madison College

1701 Wright Street, Madison WI, 53704

Madison Area Technical College

ES1.01





Irwin A. & Robert D. Goodman Sports Complex at Madison College