

LANDMARKS COMMISSION APPLICATION

LC

Complete all sections of this application, making sure to note the requirements on the accompanying checklist (reverse).

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call (608) 266-4635

City of Madison
Planning Division
126 S Hamilton St
PO Box 2985
Madison, WI 53701-2985
(608) 266-4635



1. LOCATION

Project Address: 2015 ADAMS ST. Aldermanic District: _____

2. PROJECT

Project Title/Description: Demo of non functional / dilapidated 1 car garage / garage *Construction of 2-car garage*

This is an application for: (check all that apply)

- Alteration/Addition to a building in a Local Historic District or Designated Landmark (specify)**:
 - Mansion Hill
 - Third Lake Ridge
 - First Settlement
 - University Heights
 - Marquette Bungalows
 - Landmark
- Land Division/Combination in a Local Historic District or to Designated Landmark Site (specify)**:
 - Mansion Hill
 - Third Lake Ridge
 - First Settlement
 - University Heights
 - Marquette Bungalows
 - Landmark
- Demolition
- Alteration/Addition to a building adjacent to a Designated Landmark
- Variance from the Historic Preservation Ordinance (Chapter 41)
- Landmark Nomination/Rescission of Historic District Nomination/Amendment
(Please contact the Historic Preservation Planner for specific Submission Requirements.)
- Other (specify): _____

DPCED USE ONLY	Registrar #:
	DATE STAMP
	Preliminary Zoning Review Zoning Staff Initial: _____ Date: / /

3. APPLICANT

Applicant's Name: JEFFREY FORD Company: _____

Address: 2015 ADAMS ST MADISON WI 53711
Street City State Zip

Telephone: 608 520-7170 Email: fordjrf@gmail.com

Property Owner (if not applicant): same as above

Address: same as above
Street City State Zip

Property Owner's Signature: Jeff Ford Date: _____

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

4. APPLICATION SUBMISSION REQUIREMENTS (see checklist on reverse)

All applications must be filed by 12:00pm on the submission date with the Preservation Planner, the Department of Planning & Community & Economic Development, Planning Division, located at 126 S Hamilton Street. Applications submitted after the submission date or incomplete applications will be postponed to the next scheduled filing time. Submission deadlines can be viewed here: https://www.cityofmadison.com/dpced/planning/documents/LC_Meeting_Schedule_Dates.pdf

APPLICATION SUBMISSION REQUIREMENTS CHECKLIST:

In order to be considered complete, every application submission shall include at least the following information unless otherwise waived by the Preservation Planner.

- Landmarks Commission Application w/signature of the property owner (1 copy only).
- Twelve (12) collated paper copies 11" x 17" or smaller (via mail or drop-off) of submission materials (see below).
- Electronic files (via email) of submission materials (see below).
- Narrative Description/Letter of Intent addressed to the Landmarks Commission, describing the location of the property and the scope of the proposed project.
 - Photographs of existing conditions;
 - Photographs of existing context;
- Architectural drawings reduced to 11" x 17" or smaller pages which may include:
 - Dimensioned site plans showing siting of structures, grading, landscaping, pedestrian and vehicular access, lighting, signage, and other features;
 - Elevations of all sides showing exterior features and finishes, subsurface construction, floor and roof;
 - Floor Plan views of levels and roof;
 - For proposals of more than two (2) commercial or residential or combination thereof units, a minimum of two (2) accurate street-view normal perspectives shown from a viewpoint of no more than five (5) feet above existing grade.
- **Landmarks Commission staff will preliminarily review projects related to the construction of additions and/or new construction with Zoning staff in order to determine the completeness of the submission materials. Applicants are encouraged to contact Zoning staff to discuss projects early in the process;
- Any other information requested by the Preservation Planner to convey the aspects of the project which may include:
 - Perspective drawing
 - Photographs of examples on another historic resource
 - Manufacturer's product information showing dimensions and materials;
 - Other _____

CONTACT THE PRESERVATION PLANNER:

Please contact the Preservation Planner with any questions.

Amy Scanlon, Registered Architect
 City of Madison Planning Division
 126 S Hamilton St
 P.O. Box 2985 (mailing address)
 Madison, WI 53701-2985
ascanlon@cityofmadison.com
 (608) 266-6552

To: Landmarks Commission, City of Madison

From: Jeff Ford, property owner, 2015 Adams Street, Madison, WI

Subject: Demolition of Existing 1 car garage, construction of 24' x24' 2 car garage

2015 Adams Street, parcel# 0709-223-4204-6, was constructed in 1915 and the 1 car garage was added around 1930 at the back end of the lot, accessible by a long driveway. The garage was not done in the craftsman style of the house--different roof pitch, different materials. Sometime after the garage was built, an alley was added, about 4' behind the garage. About 10 years ago we landscaped the back yard and removed most of the driveway. Since then the garage has functioned as a shed. It is not a structure that can be rehabilitated. There are several large offset cracks in the foundation, and even if the garage door could be moved to the alley side, the approach is too short to allow a car to turn into it. Therefore, we would like to demo this nonfunctional garage and construct a 24' x 24' garage that would be both functional and more consistent with the style of the house. All other properties except ours have access to the alley from their garages. When our street was reconstructed several years ago, we agreed, with all our neighbors, to pay the assessment to have the alley paved. We would like to be able to use it.

The proposed garage would overlap the footprint of the existing garage, as shown in the enclosed site plan.

Enclosures:

Application

Site plan, showing position of house, existing garage and proposed garage on the lot

Side view of lot elevation, with existing and proposed garages

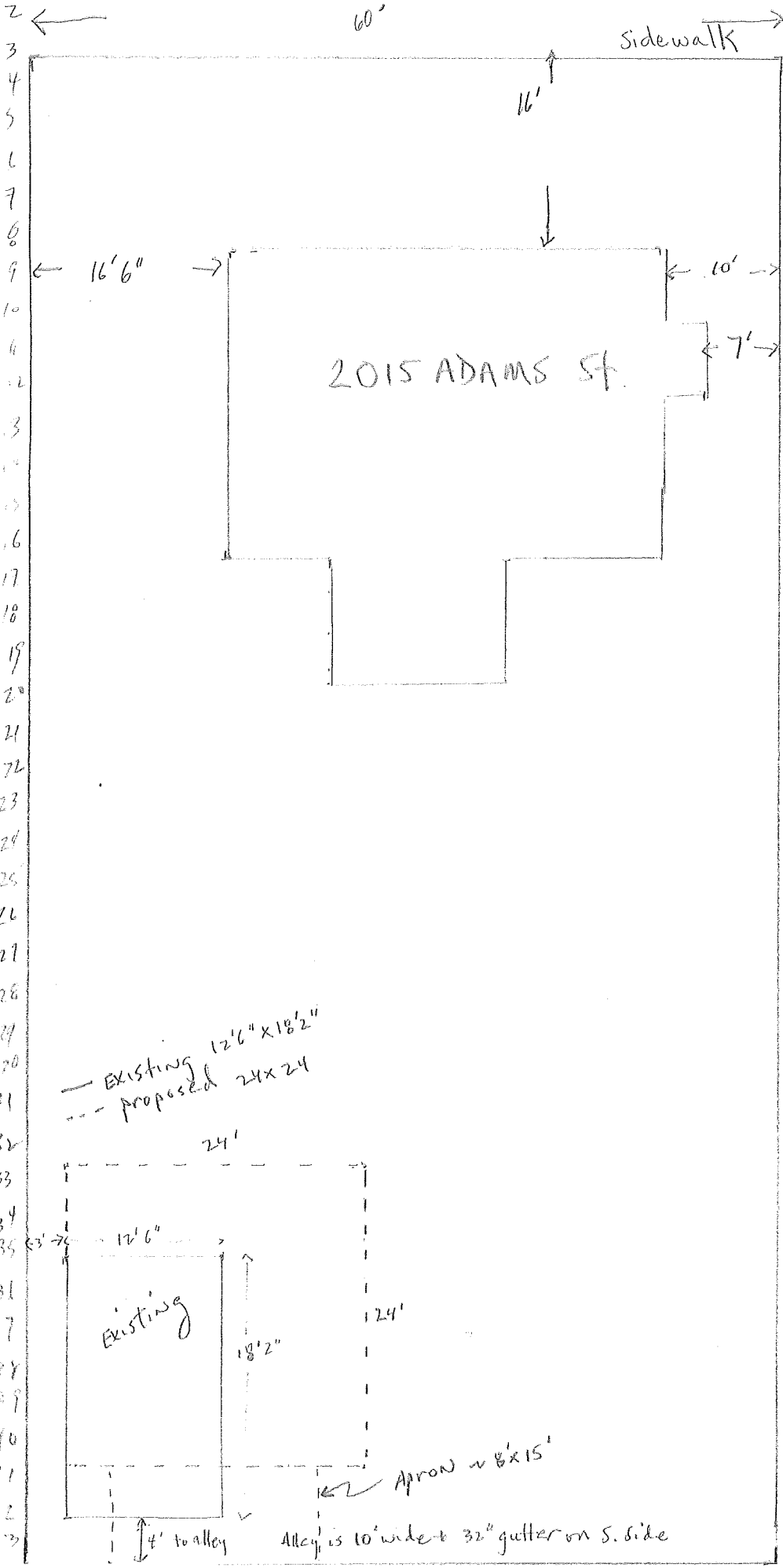
Proposed changes to the plan

Proposed garage plan

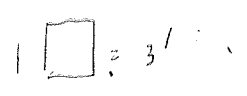
Photographs of house, garage, materials, and neighboring garages

Proposed garage siding, shake materials, windows, side door and garage door

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32



Position of
House, GARAGE
Proposed GARAGE
ON LOT.



1 □ = 4'

SIDEVIEW of 2015 ADAMS St Elevation
with existing and proposed garages

A
D
A
M
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S
t.

sidewalk level
~ 5 1/2' above alley level

3
2
1

8" higher
than alley

Proposed

Existing

A
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v
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l



Building Materials List for Behm Design Plan # 576-14

www.behmdesign.net 1-800-210-6776

- Local building code approved substitutions may be made to this list - Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

- Rough Framing**
 2 x 4 x 103-1/2" HF/DF exterior "stud" wall framing — 93 pcs.
 2 x 4 x 96" HF/DF exterior "stud" r/o wall framing — 30 pcs.
 2 x 4 HF/DF No. 2 wall top plate material — 304 ft
 2 x 4 HF/DF No. 2 pressure-treated bottom plate — 56 ft
 2 x 6 DF No. 1 Header — 5' length — 4 pcs.
 2 x 10 DF No. 1 Header — 10' length — 4 pcs.
 2 x 4 x 22-1/2" Roof Eave Blocking with screened vent hole — 24 pcs.
 2 x 4 HF/DF No. 2 wall blocking material — 64 ft
 2 x 4 x 18' length HF/DF No. 2 rafters for top of rake walls — 4 pcs.
 Trusses: 8 in 12 slope, 24' span, attic storage (no end trusses req'd) — 11 trusses
 2 x 4 x 18' length HF/DF No. 2 Subrajoce rafters — 4 pcs.
 4 x 4 x 8' length HF/DF No. 2 Roof Bracket Material — 6 pcs.

- Sheathing Materials**
 7/16" o.s.b. wall sheathing — 4 x 8 sheet — 34 sheets
 1/2" 3/4" C-P A-D Plywood, ext. glue — 4 x 8 sheet — 32 sheets

- Vapor Barrier**
 Roof 15# bituminous felt paper in 36" wide roll — 390 lf
 Wall 7# bituminous felt paper in 40" wide roll — 360 lf
 Floor 60# black polyethylene membrane — 676 sf

- Sliding Materials**
 8" factory o.s.b. sliding boards with 1" lap — 788 sf siding area
 cedar shingles for front rake wall siding — 96 sf siding area
 Truss 5/4 x 3 — 9' length — 4 pcs.
 Truss 5/4 x 4 — 9' length — 11 pcs.
 Truss 5/4 x 4 — 10' length — 4 pcs.
 5/4 x 4 paining trim @ front wall — 24' length — 1 pc.
 5/4 x 4 raked trim @ front rake wall — 14' length — 2 pcs.
 Fascia: 1 x 6 — 18' length — 4 pcs.
 Rafters: 2 x 6 — 18' length — 4 pcs.

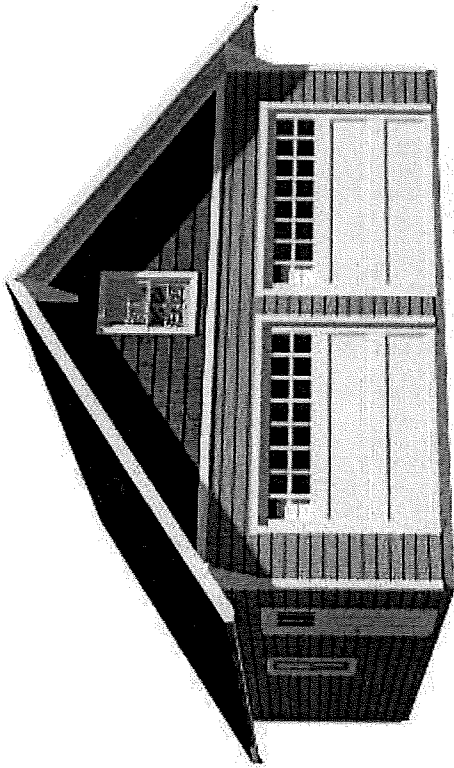
- Roofing Materials**
 Composition Roofing Shingles — 942 sf roof area
 Ridge vent material — 24 lf

- Window and Door Assemblies**
 2436 single hung window(s) — 3 ea.
 9'-0" x 7'-0" sectional garage door — 2 ea.
 3068 exterior door — 1 ea.

- Metal Parts & Misc.**
 Anchor bolts: 1/2" dia. x 10" ASTM A-307 w/ hexnuts — 20 pcs.
 Flat washer: 2" x 2" square x 3/16" thick st. pl. — 20 pcs.
 Simpson H10 connectors (or equal) — 22 pcs.
 Simpson STD10 hold-down straps (or equal) — 4 pcs.
 16d sinker nails — 60 lbs.
 8d common nails @ 145 nails / lb. — 30 lbs.
 Drip flashing for window/door heads — 26 lf

(note: finish materials and electrical components not included in this list)

- To advise corrections, call 1-800-210-6776. Thank you -



*Craftsman Style Two Car Garage Plan #576-14
24' x 24'*

Truss Requirements

Truss design drawings: Truss connection details shall be provided by a registered design professional and shall be provided to the building official and the contractor. Truss design drawings shall include, at a minimum, the information specified below. Truss design drawings shall be provided with the alignment of trusses delivered to the job site.

1. Shape or depth, span and spacing;
2. Location of joints;
3. Required bearing width;
4. Design loads as applicable;
5. Top chord line load (including snow load);
6. Bottom chord line load;
7. Bottom chord line height;
8. Connections and fasteners;
9. Connections and fasteners for bracing;
10. Connections and fasteners for bracing; and
11. Adjustments to lumber size, connector plate design, and fasteners for conditions of use;
12. Each reaction force and direction;
13. Metal connector plate type, size, thickness or grade, and the dimensional location of each metal connector plate, and the location of each metal connector plate relative to the joint interface;
14. Lumber size, species and grade for each member;
15. Connection requirements for:
 - 15.1. Truss to truss girders;
 - 15.2. Truss to pty. and
 - 15.3. Truss to pty.
16. Maximum deflection limits or maximum deflection limits for live and dead load;
17. Maximum axial compression forces in the truss members to design the axial connections, and a percentage of the permanent continuous lateral bracing for each member; and
18. Required permanent truss member bracing location.

Building Code Compliance

This plan was prepared to comply with the requirements of the International Residential Code (IRC)

Building Categories and Data

Occupancy Classification: "U"
 Grade-To-Ridge Height: 18'-2"
 Gross Building Area: 576 sq. ft.
CONVENTIONAL LIGHT WOOD FRAME CONSTRUCTION

Parameters For Design

Wind Speed: 115 mph
 Wind Exposure: C
 Seismic Category: A, B, C
 Snow Load: 30# / sq. ft.

Behm Design Building Plans

QUESTIONS? CALL
 1-800-210-6776
 www.behmdesign.com

PLAN NO. **576-14**

DESIGN BY: _____
 JOB _____
 DATE: 03/18/10
 updated

SHEET CONTENTS:
 Pictorial View Of Design
 Project Data
 Building Materials List

1 OF **7**

2015 ADAMS - Proposed changes to the plan

Front

recycle*
windows from
previous 2015
Remodel

Roof Pitch:

7/12
to match
house

Cedar
shakes

lap
siding

door similar
to this
metal or
fiberglass

* for better renderings
of windows see
picture of back
of 2015 ADAMS

see 2nd floor front sketch
for dormer

2nd floor back porch
for side and back
windows

Roof
pitch

*
Recycled windows
from 2015 remodel

Back

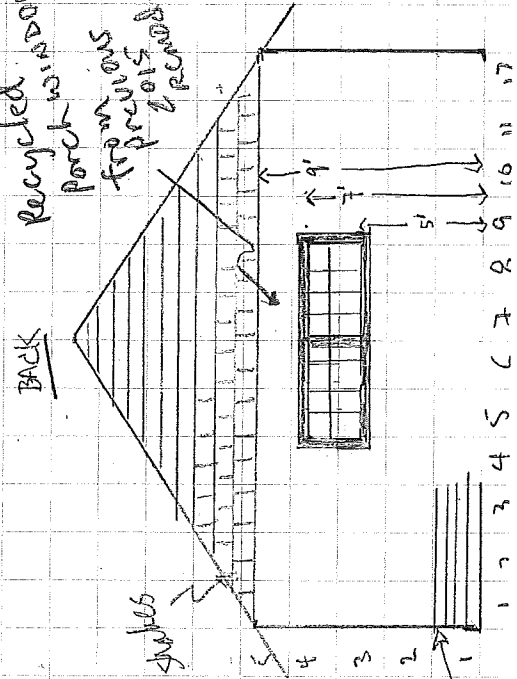
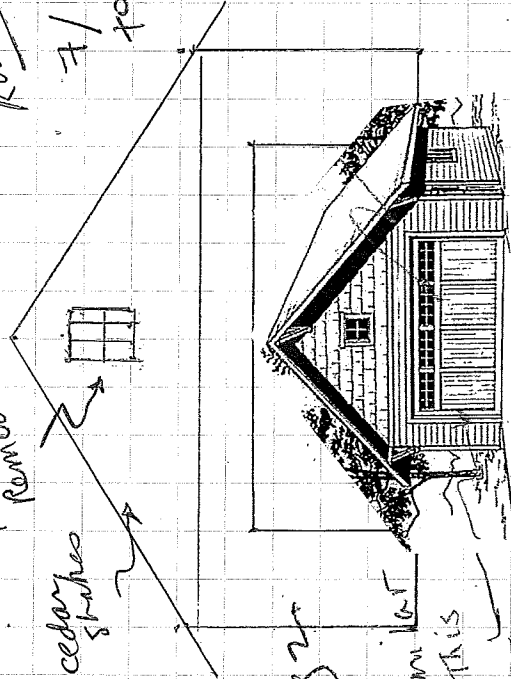
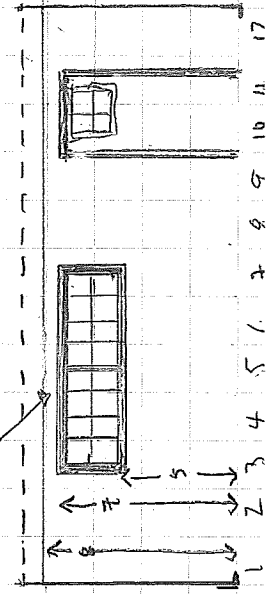
Cedar
shakes

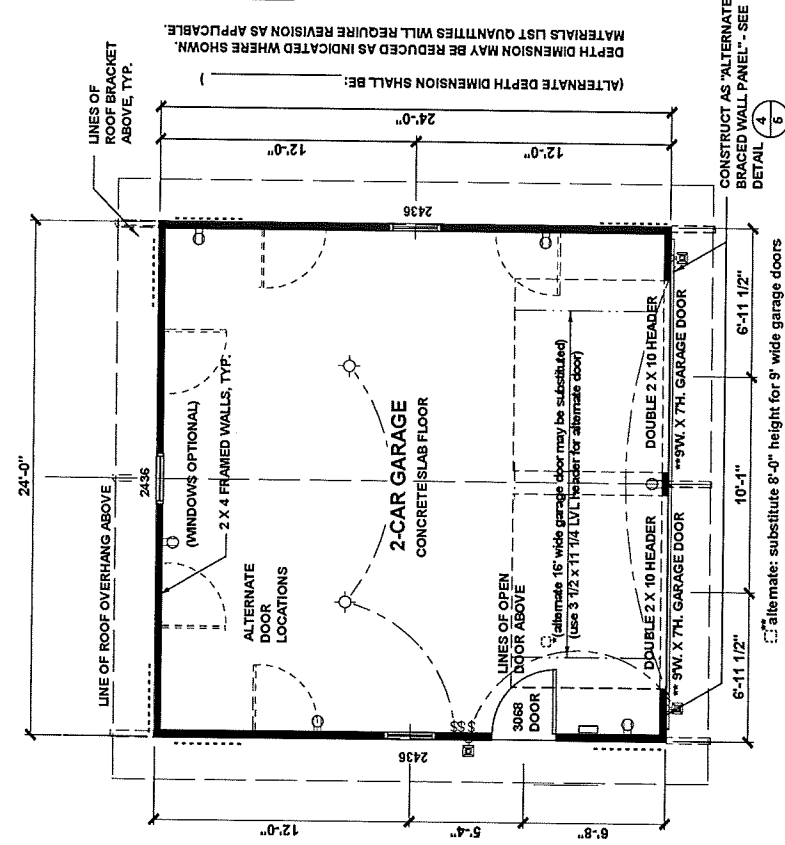
lap
siding

1
□ = 2

Roof
pitch

Side





FLOOR PLAN
SCALE: 1/4" = 1'-0"

- LEGEND**
- ⊕ SWITCH LOCATION
 - ⊕ CEILING MOUNTED LIGHT FIXTURE
 - ⊕ 110 VOLT DUPLEX OUTLET
 - ⊕ EXTERIOR WALL-MTD. LIGHT FIXTURE
 - ELECTRIC PANEL OR SUB-PANEL LOCATION, INSTALL PER LOCAL CODES

NOTE:
FOUNDATION PLAN DIMENSIONS ARE TO FACE OF FRAMING OR CENTERLINE OF BEARING, TYP. AS SHOWN

NOTE:
FOUNDATION PLAN DIMENSIONS ARE TO FACE OF CONCRETE OR CENTERLINE OF BEARING, AS SHOWN

NOTE:
SEE EXTERIOR ELEVATIONS FOR SIZES AND FUNCTION

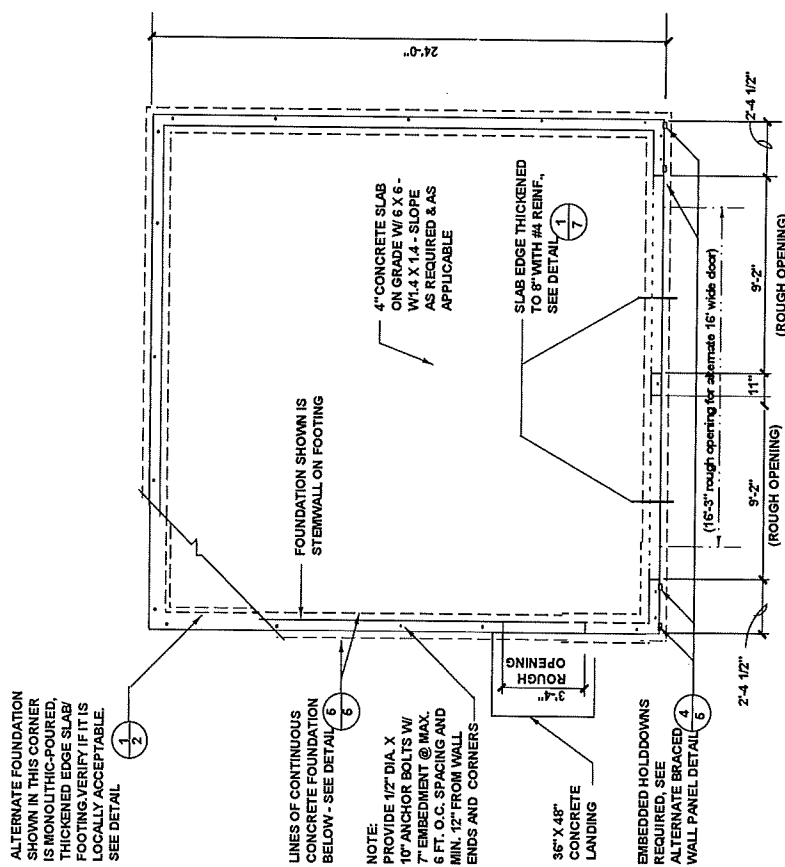
NOTE:
DOOR AND WINDOW HEADERS SHALL BE 2 X 6 UNLESS OTHERWISE NOTED

BRACED WALLS AS PER IRC R602.10 AS APPLICABLE FOR LOCAL CODES

EFFECTIVE BRACED WALLS PANELS - (SHOWN:-----)

NAIL SIDING PANELS OR SHEATHING W/ 8d @ 6" o.c. EDGES AND @ 12" o.c. FIELD TO WALL FRAMING (MIN. LENGTH 64" / 3 STUD SPACES)

METHOD: CS-WSP



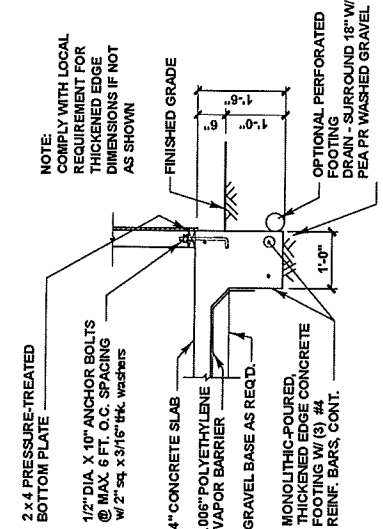
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

ALTERNATE FOUNDATION SHOWN IN THIS CORNER IS MONOLITHIC-POURED, THICKENED EDGE SLAB/FOOTING. VERIFY IF IT IS LOCALLY ACCEPTABLE. SEE DETAIL 1

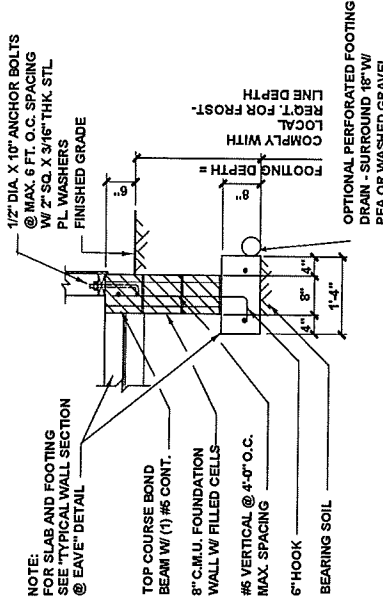
NOTE:
PROVIDE 1/2" DIA. X 10" ANCHOR BOLTS W/ 7" EMBEDMENT @ MAX. 6 FT. O.C. SPACING AND MIN. 12" FROM WALL ENDS AND CORNERS

NOTE:
4" CONCRETE SLAB ON GRADE W/ 6 X 6 W/ 1.4 X 1.4 - SLOPE AS REQUIRED & AS APPLICABLE

SLAB EDGE THICKENED TO 8" WITH #4 REIN. SEE DETAIL 7



1 MONOLITHIC-POURED, THICKENED EDGE FOUNDATION DETAIL (ALTERNATE)



2 CONCRETE BLOCK FOUNDATION WALL DETAIL (ALTERNATE)

NOTE:
FOR SLAB AND FOOTING SEE TYPICAL WALL SECTION @ EAVE-DETAIL

1/2" DIA. X 10" ANCHOR BOLTS @ MAX. 6 FT. O.C. SPACING W/ 2" SQ. X 3/16" THK. STL. PL WASHERS

TOP COURSE BOND BEAM W/ (1) #6 CONT.

8" C.M.U. FOUNDATION WALL W/ FILLED CELLS

#6 VERTICAL @ 4'-0" O.C. MAX. SPACING

6" HOOK

BEARING SOIL

OPTIONAL PERFORATED FOOTING DRAIN - SURROUND 16" W/ PEA OR WASHED GRAVEL

FINISHED GRADE

GRAVEL BASE AS REQD.

MONOLITHIC-POURED, THICKENED EDGE CONCRETE FOOTING W/ (3) #4 REIN. BARS. CONT.

OPTIONAL PERFORATED FOOTING DRAIN - SURROUND 16" W/ PEA OR WASHED GRAVEL

BEARING SOIL

NOTE:
COMPLY WITH LOCAL REQUIREMENT FOR THICKENED EDGE DIMENSIONS IF NOT AS SHOWN

2 X 4 PRESSURE-TREATED BOTTOM PLATE

1/2" DIA. X 10" ANCHOR BOLTS @ MAX. 6 FT. O.C. SPACING W/ 2" SQ. X 3/16" THK. WASHERS

4" CONCRETE SLAB

600# POLYETHYLENE VAPOR BARRIER

FINISHED GRADE

OPTIONAL PERFORATED FOOTING DRAIN - SURROUND 16" W/ PEA OR WASHED GRAVEL

BEARING SOIL

2 X 6 RAKEBOARDS OVER 2 X 4 SUBRAKES
ROOF BRACKETS, (6) PLACES - SEE DETAIL 1

2436 SH ATTIC WINDOW

16' x 7' SINGLE DOOR

64 X 4 RAKE TRIM
SHINGLE SIDING OPTIONAL
DRIP EDGE FLASHING OVER TRIM
64 X 4 PARTING TRIM

SIDING:
8" X 7 1/2" TEXTURED O.S.B. SIDING BOARDS OVER 7/8" FELT VAPOR BARRIER OVER SHEATHING (APPROVED ALTERNATE SIDING MATERIALS MAY BE SUBSTITUTED)

64 X 4 / 64 X 3 CORNER BOARDS - BUTT SIDING
64 X 4 WRAP TRIM - BUTT SIDE MEMBERS TO TOP AND BOTTOM PAST SIDE TRIM MEMBERS

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LINES OF FOUNDATION

see proposed changes SIDE FASCIA SIDE BRACKETS

2436 SINGLE HUNG

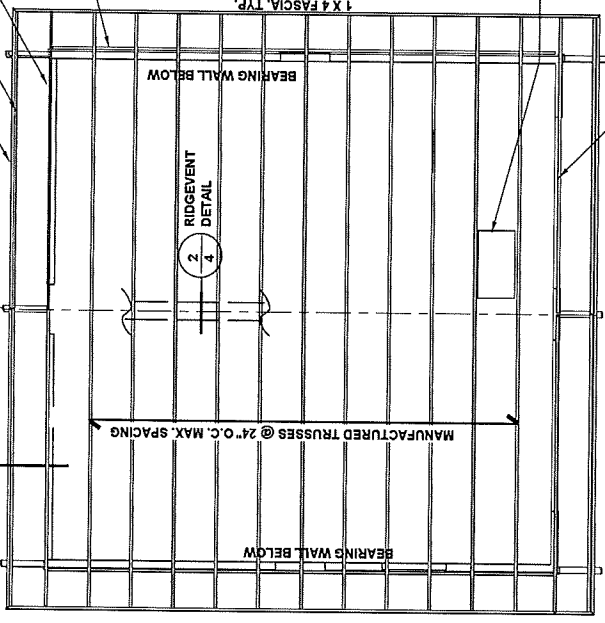
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

no window SIDE BRACKETS

2436 SINGLE HUNG

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

TYPICAL WALL SECTION @ GABLE



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

ALTERNATE SLOPE SHALL BE: *8/12*

1 X 4 FASCIA, TYP.

2 X 6 RAKEBOARD
2 X 4 SUBRAKE, NOTCH @ SUPPORT BRACKETS
2 X 4 RAFTER ON TOP OF FRAMED RAKE WALL

VENTED 2 X BLOCKING BETWEEN TRUSSES @ TOP OF WALL DOUBLE TOP PLATE, SEE TYPICAL WALL SECTION @ EAVE 5

NOTE:
ARROW LINE INDICATES EXTENT OF SPANNING MEMBERS, NOT THE DIRECTION OF SPAN

NOTE:
ALL CONNECTORS SPECIFIED SHALL BE SIMPSON STRONG-TIE OR EQUAL

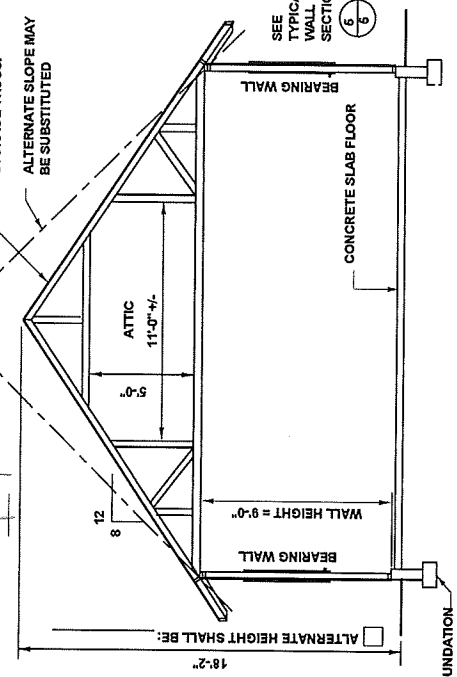
FOR CLOSED CEILINGS: PROVIDE MINIMUM OF 22" X 30" ATTIC ACCESS OPENING, WITH 30" VERTICAL CLEARANCE ABOVE WITH G.W.B. REMOVEABLE PANEL

2 X 4 RAFTER ON TOP OF FRAMED RAKE WALL

MANUFACTURED ATTIC STORAGE TRUSS.
ALTERNATE SLOPE MAY BE SUBSTITUTED

ALTERNATE SLOPE SHALL BE: *8/12*

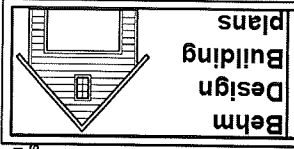
** note: significant structural 8/12 slope*



CROSS-SECTION
SCALE: 1/4" = 1'-0"

FOR CLOSED CEILINGS: PROVIDE MINIMUM 20" X 30" ATTIC ACCESS OPENING W/ REMOVEABLE PANEL OR: INSTALL PULL-DOWN ATTIC ACCESS LADDER, INSTALL PER MFR'S. REQUIREMENTS

NOTE:
FOOTING/STENWALL FOUNDATION SHOWN FOR ALTERNATIVE THICKENED-EDGE FOUNDATION SEE DETAIL 1



Behm Design Building Plans

QUESTIONS? CALL 1-800-210-6776
www.behmdesign.com

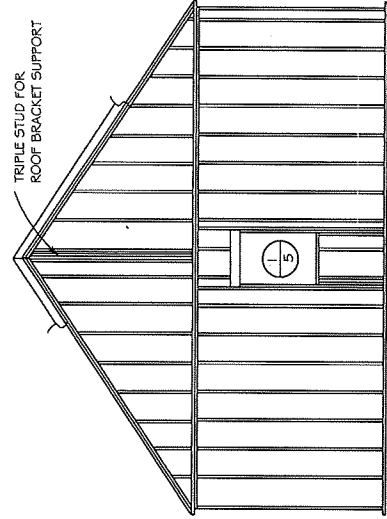
576-14

DATE: 04/08
BY: JB
DESIGN

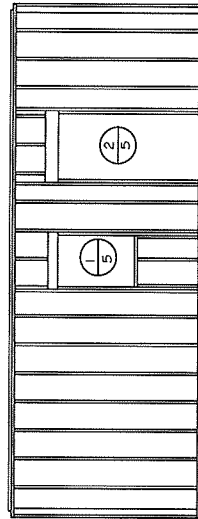
PLAN NO.
CONTENTS:
ROOF FRAMING PLAN
EXTERIOR ELEVATIONS

1 SHEET
3 OF 7

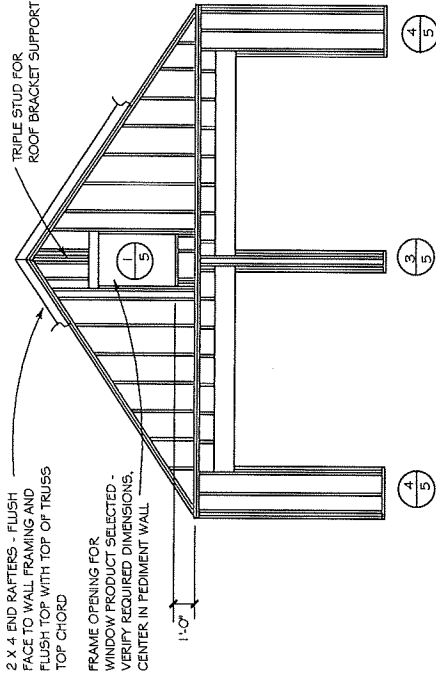
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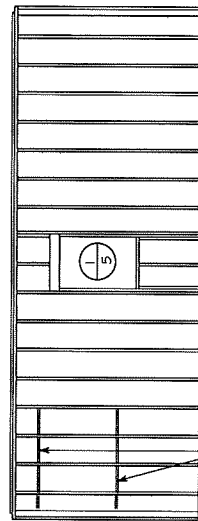
REAR WALL FRAMING ELEVATION



LEFT SIDE WALL FRAMING ELEVATION

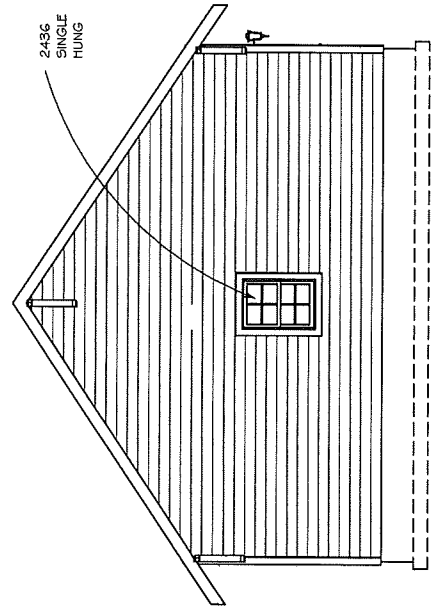


FRONT WALL FRAMING ELEVATION

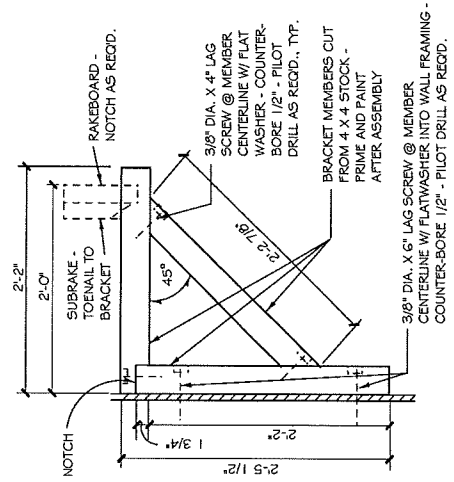


RIGHT SIDE WALL FRAMING ELEVATION

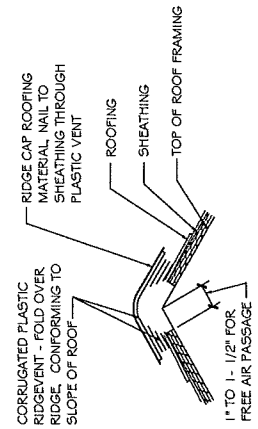
NOTE: WALL BLOCKING IS REQUIRED AT SHEATHING PANEL JOINTS BETWEEN STUDS - IN BRACED WALL AREAS ONLY. SEE FLOOR PLAN FOR LOCATIONS



REAR ELEVATION

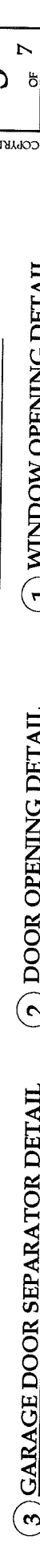
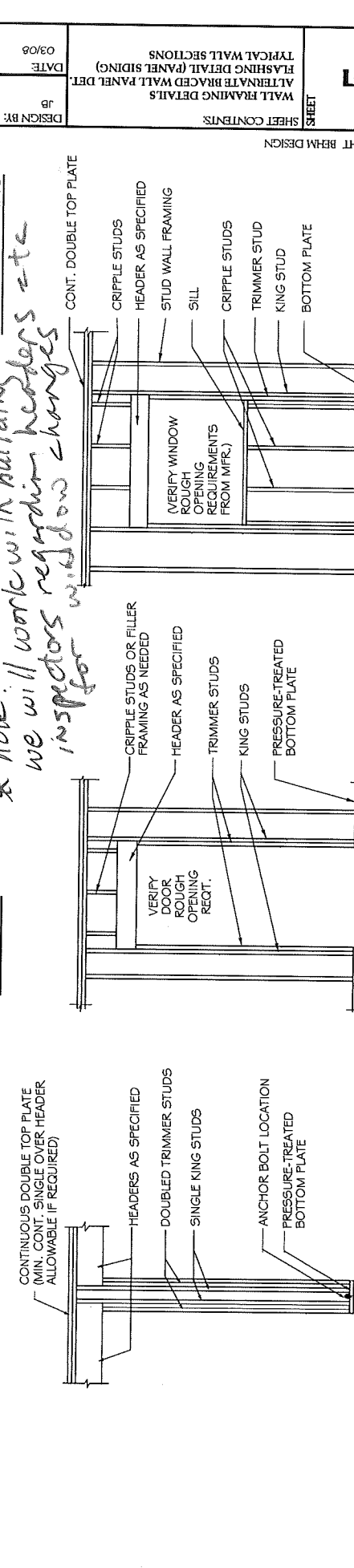
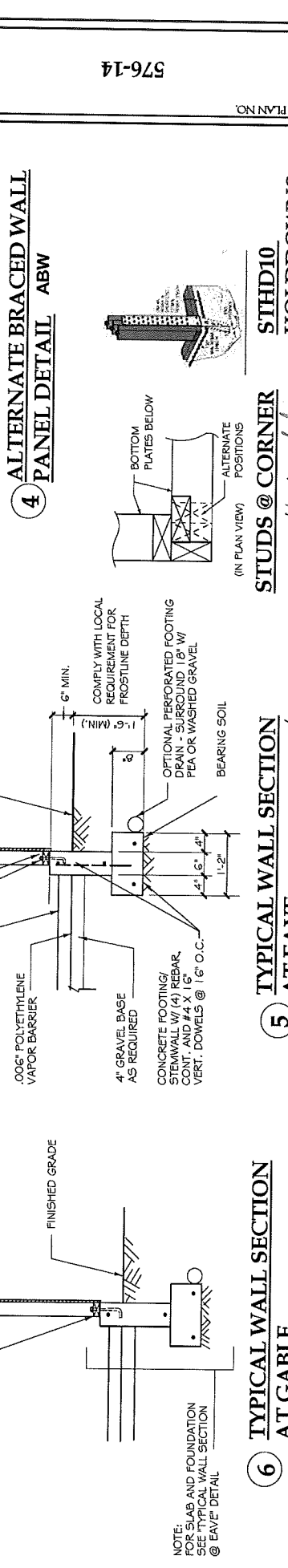
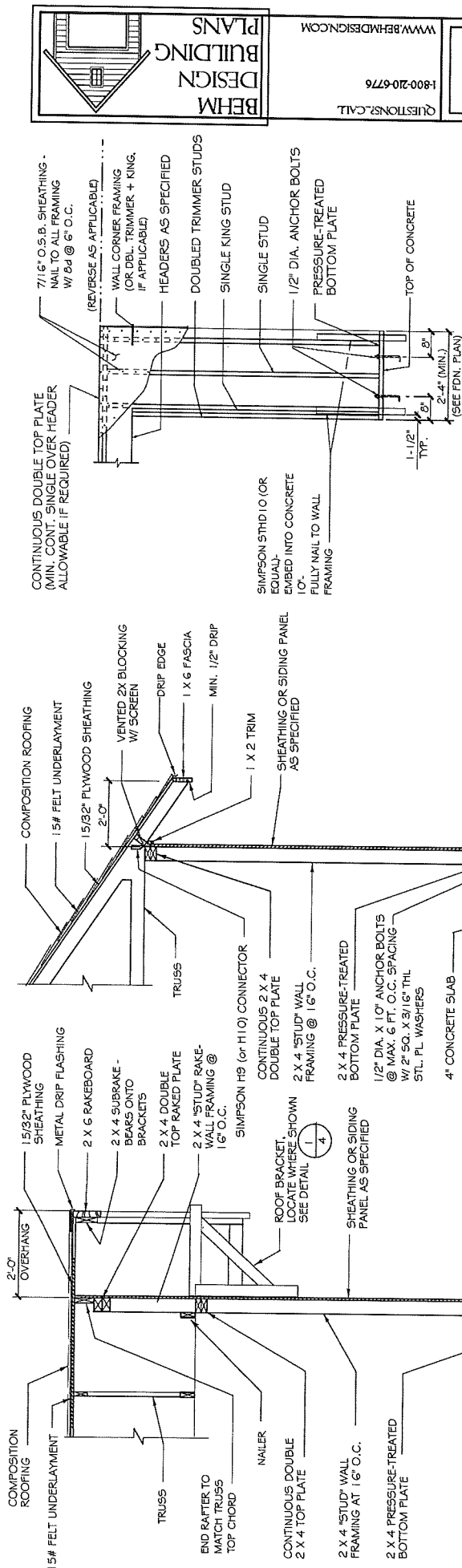


1 ROOF BRACKET DETAIL



2 RIDGE VENT DETAIL

	WWW.BEHMDESIGN.COM 1-800-210-6776 QUESTIONS? CALL	576-14 PLAN NO.	DATE: 03/08 DESIGN BY: JB	SHEET CONTENTS: REAR WALL FRAMING ELEVATION WALL BRACKET DETAILS ROOF BRACKET DETAIL RIDGE VENT DETAIL	SHEET 4 OF 7
	COPYRIGHT BEHM DESIGN				



3 GARAGE DOOR SEPARATOR DETAIL

2 DOOR OPENING DETAIL

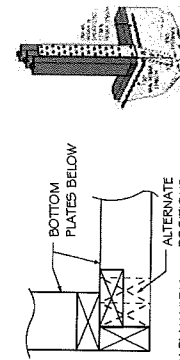
1 WINDOW OPENING DETAIL

6 TYPICAL WALL SECTION AT GABLE

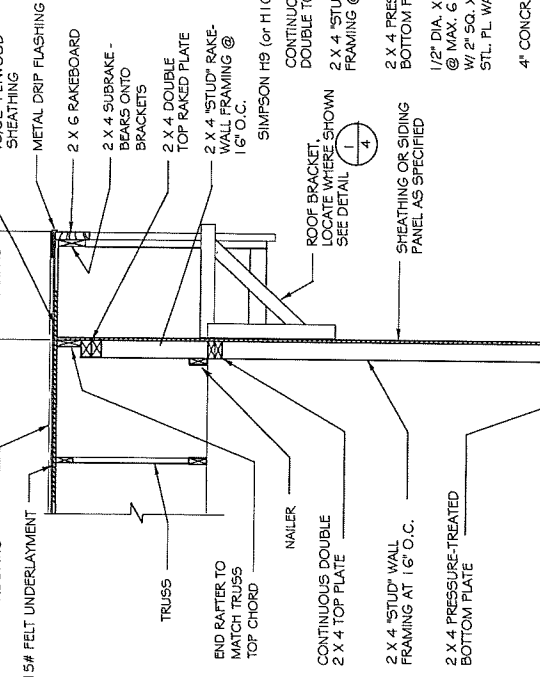
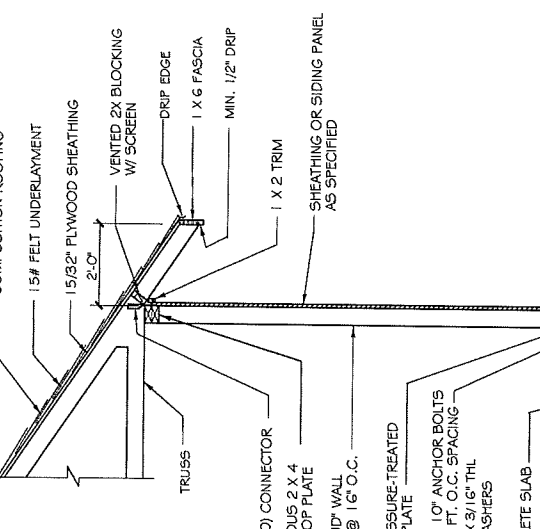
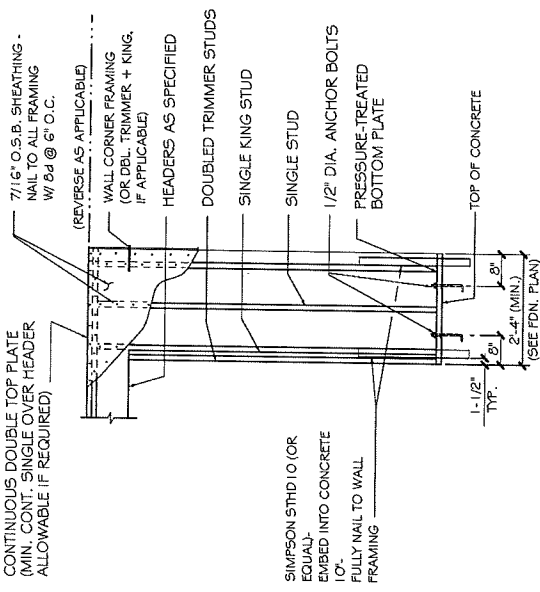
5 TYPICAL WALL SECTION AT EAVE

STUDS @ CORNER
SITHD10
HOLDDOWNS

4 ALTERNATE BRACED WALL PANEL DETAIL ABW



* Note: we will work with buildings inspectors regarding headers etc for window changes



4 ALTERNATE BRACED WALL PANEL DETAIL ABW

DATE 03/06	DESIGN BY JB	PLAN NO. 576-14	QUESTIONS CALL 1-800-210-6776	WWW.BEHMDESIGN.COM	BEHM DESIGN BUILDING PLANS
SHEET CONTENTS WALL FRAMING DETAILS ALTERNATE BRACED WALL PANEL DET.					5
COPRIGHT BEHM DESIGN					7

STRUCTURAL/GENERAL NOTES & SPECIFICATIONS

A. General

The following notes shall clarify and supplement the working drawings.

B. Codes & Standards
International Residential Code (IRC)
/ACI-318; ACI SP-15 / IBC, I.A. Manual
(and comply with all local applicable codes as required by Building Official)

C. Live Loads
Roof.....30 lbs/sf
Floors.....40 lbs/sf
Stairs & Exit..... 100 lbs/sf

Earth Pressure30lbs/ft² eq. v. Fluid pressure

D. Soil & Foundation Data

- Soil bearing data not available. Assumed soil bearing capacity = 1600 lbs/sf.
- Extend all footings down to undisturbed soil of the specified strength with a minimum depth of 1'-6" below adjacent grade, or as required by local building official, based on local frost line depth.
- Center all footings on columns and walls unless specifically dimensioned otherwise.
- Compacted fill to be well graded and granular with not more than 6% passing a 200 sieve. Place in 8-inch loose lifts and compact to 95% modified AASHO density at optimum moisture.

E. Cast-In-Place Concrete and Reinforcing Steel

- Concrete of the following 28-day strength: 6 sack cement/ty (min. 2600 psi); max. 6 gal water/sack for all structural concrete, including foundations and slabs on grade. Maximum sized aggregate 3/4". Maximum slump 4". Add Master Builders P-2000 per manufacturer's recommendations to all concrete except footings. Concrete for exterior walls to be air entrained (6% air).
- Reinforcing steel ASTM A-616 grade 40/50. Use grade 40 for temperature steel, stirrups and dowels. Detail, fabricate and place in accordance with the latest edition of A.C.I. "Manual Of Standard Practice".
- Concrete cover on reinforcing steel (clear dimensions):
Beams & columns (to ties).....1 1/2"
Non-exposed vertical faces.....1"
Vertical faces exposed to earth or weather.....2"
Bottom of footings.....3"
Slabs-on-grade (from top).....1 1/2"
4. Lap all field splices 24 diameters with minimum of 12". Bend outer wall footings 12 inches or use corner bars at all corners and wall intersections.
5. Provide min. one continuous #4 bar at top and bottom of foundation walls w/ #4 at 12" o.c. where wall height exceeds two feet. Provide min. two continuous #4 bars in footings. Down foundation walls to footings w/ #4 X 1'-6" long @ 16" o.c. Embedded 6" into footing. (No shear keys required)
- Reinforce around wall and slab openings, with sides of 12" or greater, with two #6 bars extending 24" beyond corners on all four sides. Provide one extra #6 diagonal bar, 4'-0" long, at each corner.
- Slabs-on-grade: Roll sub grade and moisten before pour. Saw cut crack control joints within 24 hours of pour or install Zip-Slip, with maximum of 12'-0" for 4" non-reinforced slabs and 40'-0" for reinforced slabs. (min. reinforcing: W6 x 6 - w/ 1.4 x 1.4, supports)
- Vibrate all concrete. Segregation of materials to be prevented. Test cylinders not required.
- Place no fill against foundation or basement walls until floors are in place or walls have been adequately shored to resist lateral earth pressures.

F. Masonry (as applicable)

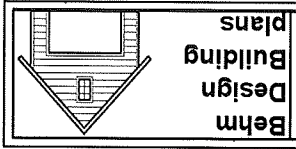
- Hollow masonry units: F190 (half & half c.m.u.)
Mortar type S: 1 pt. 1/2 lime putty, 4 sand
Grout: 2000 psi pea gravel concrete (7 sack)
- Reinforcing steel: ASTM A-616, grade 40.
- Place grout in lifts no greater than 4'-0" height.
.....8" walls: #4 vertical @ 48" o.c. w/ #9 horiz. joint reinf. @ 8' o.c.
.....8" walls: #6 vertical @ 48" o.c. w/ 3/16" dia. wire horiz. joint reinf. @ 8' o.c.
Install two bars in corners, wall intersections, wall endings and around openings. Lap all bars 20 inches and joint reinforcing, 12 inches. Use corner bars for outer bars in bond beams and at intersecting walls.
5. Anchor brick veneer to wood framed wall as detailed with 22 ga. X 7/8" x 7" galvanized corrugated wall ties @ 16" o.c. ea. W/oy with one Simpson m20a nail.

- Timber and Wood Framing
1. Substitution of wood species identified herein may be as approved by local Building Official and material strength and capacities shall equal or exceed that of the species identified herein.
- All Lumber to be graded per book 16 of the West Coast Lumber Inspection Bureau.
HFDF no. 2 for joists, rafters, light framing, plates and bracing
DF no. 1 for posts and beams
HFDF "stud" for stud wall framing
4. Joists and rafters (lumber) shall have 2" nominal thick solid blocking at supports.
3. Comply with the latest edition of the NFPA National Design Specification" as modified by the applicable code for all structural timber requirements.
5. Spike laminated members together w/ 10d nails @ 12" o.c., staggered. Splice limitations as supports only.
6. Provide cut washers for all bolts bearing on wood.
7. All nails shall be common wire nails.
8. Glue-laminated timbers, Douglas Fir, A.I.T.C. grading; combination 24F-V3 for simple spans; 24F-V6 for cantilevered spans. Dry conditions of use. Architectural appearance grade where exposed to view. Fabrication plant A.I.T.C. inspected/ W/ope indicated on drawings.
9. Ply. Deck Roof sheathing to be 1/2" CD int-epsa plywood with exterior glue, P.L. 2410 (Use 6-ply for paneled roofs) Nailing 8d @ 6" o.c. at panel edges and 8d @ 12" o.c. at intermediate supports. Sub-flooring to be 7/8" C-Deck plywood with exterior glue, P.L. 32716. Use T&G if no underlayment. Glue and nail with 10d @ 6" o.c. at panel edges and @ 16" at intermediate supports.
10. Pre-fabricated trussed members to be designed by applicable state licensed engineer in accordance with requirements shown in the drawings. Contractor shall verify as-famed dimensions and conditions prior to truss fabrication and concrete as required. All engineering data shall be made available for submittal to the Building Official as required.

- Structural Steel
1. All steel, except tubing: ASTM A-36. Pipe: ASTM A-53, Type E or S, grade B. Tubular section: ASTM A500, grade B. All bolts: ASTM A-307
2. All fabrication, erection and detailing shall be in accordance with the latest edition of the "Manual Of Steel Construction" of the American Institute Of Steel Construction.
3. All welding by WABO certified welders in accordance with the "Welding Handbook" by the American Welding Society.
4. All welds 3/16" min. continuous fillet welds using ASMAW, E70XX electrodes.
5. Provide washers on all bolted connections.
6. All steel not embedded in concrete or masonry shall receive one shop coat of an approved primer paint. Apply two coats of heavy asphaltic paint to all steel exposed to earth.
7. Furnish complete shop drawings prior to fabrication.

I. Miscellaneous

- Contractor shall verify all site conditions and dimensions in field and temporary bracing as required until all permanent connections and shoring have been installed.
- Verify size and locations of all openings in floor, roof and walls and coordinate with electrical and mechanical work.
- Pre-fabricated items shall be fabricated and installed in accordance with manufacturers' recommendations. Pre-fabricated assemblies shall be coordinated with any as-built conditions by the contractor regarding dimensions, clearance and applicable building code requirements.
- All HVAC equipment shall be determined by owner and/or contractor specific to this project and comply with all applicable codes. Performance data and distribution layout shall be provided by mechanical subcontractor. Submittals shall be coordinated by the contractor as required by the Building Official.
- It is the intent of these drawings and specifications to comply with the requirements of the applicable Building Code and all other relevant codes and ordinances. Any discrepancies, omissions or errors shall be brought to the attention of the designer for clarification or correction before beginning the work. It is the responsibility of the general contractor to seek clarification or correction if needed.



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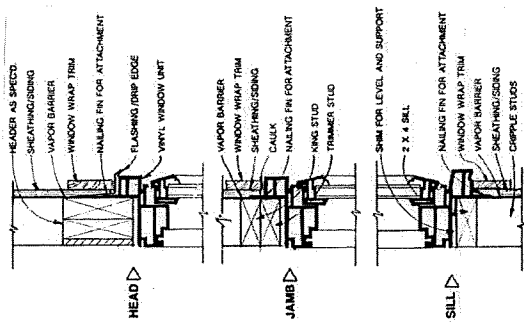
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576-14

DESIGN
DATE:

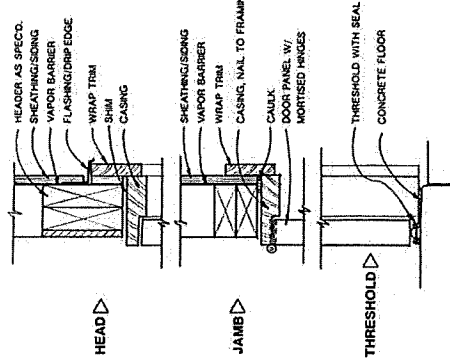
1 SHEET
CONTENTS
WINDOW DETAILS
DOOR DETAILS
STRUCTURAL/GENERAL NOTES

6 OF 7

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WINDOW DETAILS (NOT TO SCALE)

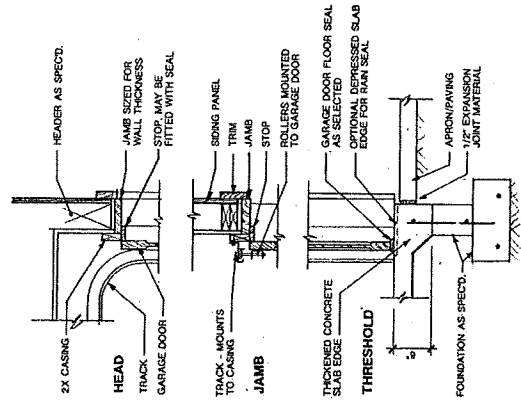


DOOR DETAILS (NOT TO SCALE)

- FASTENING REQUIREMENTS -

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1 GARAGE DOOR DETAILS



- 1. Nail in a general direction and may be T-shaped, modified round head or round head.
2. Staple shall have a minimum crown width of 1/4" such as diameter except as noted.
3. Fasteners shall be placed in a grid pattern throughout the body of the panel.
4. Fasteners shall be placed in a grid pattern throughout the body of the panel.
5. Headboard underlayment shall conform to ANSI/WA 1324.

Table with columns: NORMAL MATERIAL THICKNESS, ALTERNATE ATTACHMENTS, SPACING OF FASTENERS (inches), and NUMBER OF FASTENERS PER SQUARE FOOT (sq. ft.). Rows include wood structural panels, sheathing, and framing.

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, FASTENERS AND TYPE OF FASTENING, and SPACING OF FASTENERS. Rows include blocking, ceiling joists, collar joists, and various framing members.

Table with columns: ITEM, DESCRIPTION OF BUILDING ELEMENTS, FASTENERS AND TYPE OF FASTENING, and SPACING OF FASTENERS. Rows include exterior sheathing, gable roof sheathing, and various framing members.

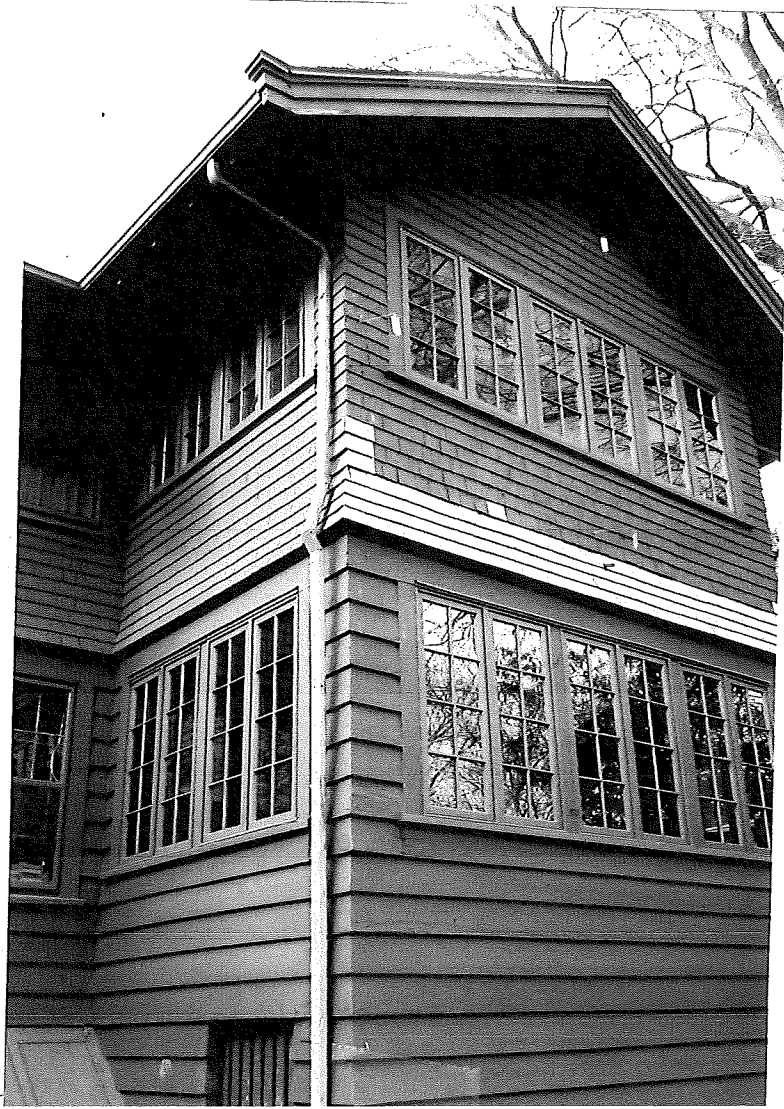
Table with columns: MEMBER SIZE, SPACING, FASTENERS, and MAXIMUM WIND SPEED. Includes a sub-table for ALLOWABLE SPANS FOR PARTICULATED WALL SHEATHING with rows for 3/8", 1/2", and 5/8" thicknesses.

REQUIREMENTS FOR PARTICULATED WALL SHEATHING... WALL SHEATHING USED TO RESIST WIND PRESSURES... TABLE FLOOR JOIST AND CEILING JOIST... TABLE BEAM AND GIRDER... TABLE GIRDER AND BEAM... TABLE JOIST AND GIRDER... TABLE COLUMN AND POST... TABLE WALL BRACE...

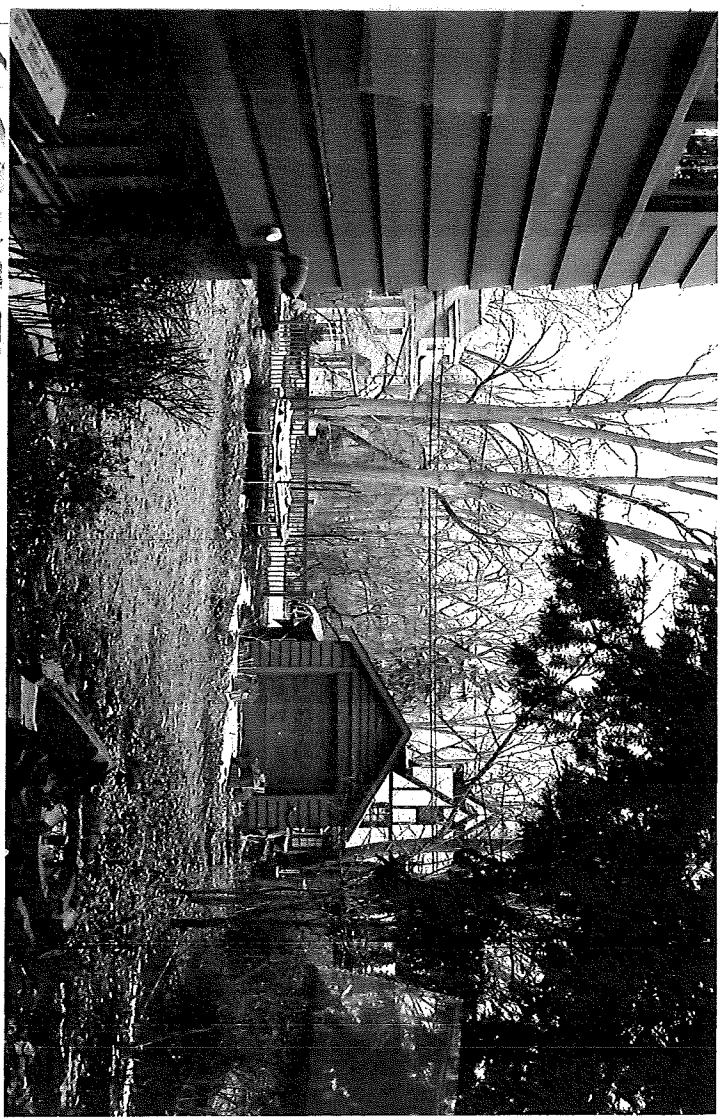
2015 ADAMS - FRONT



BACK



View of GARAGE

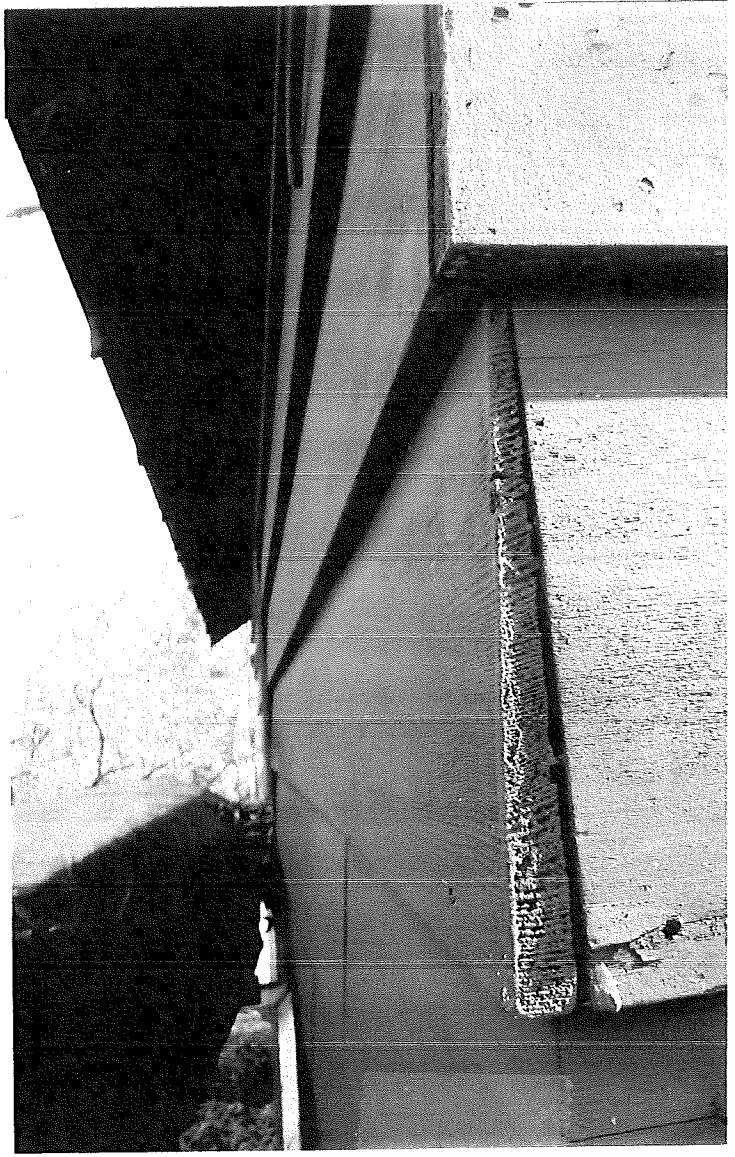
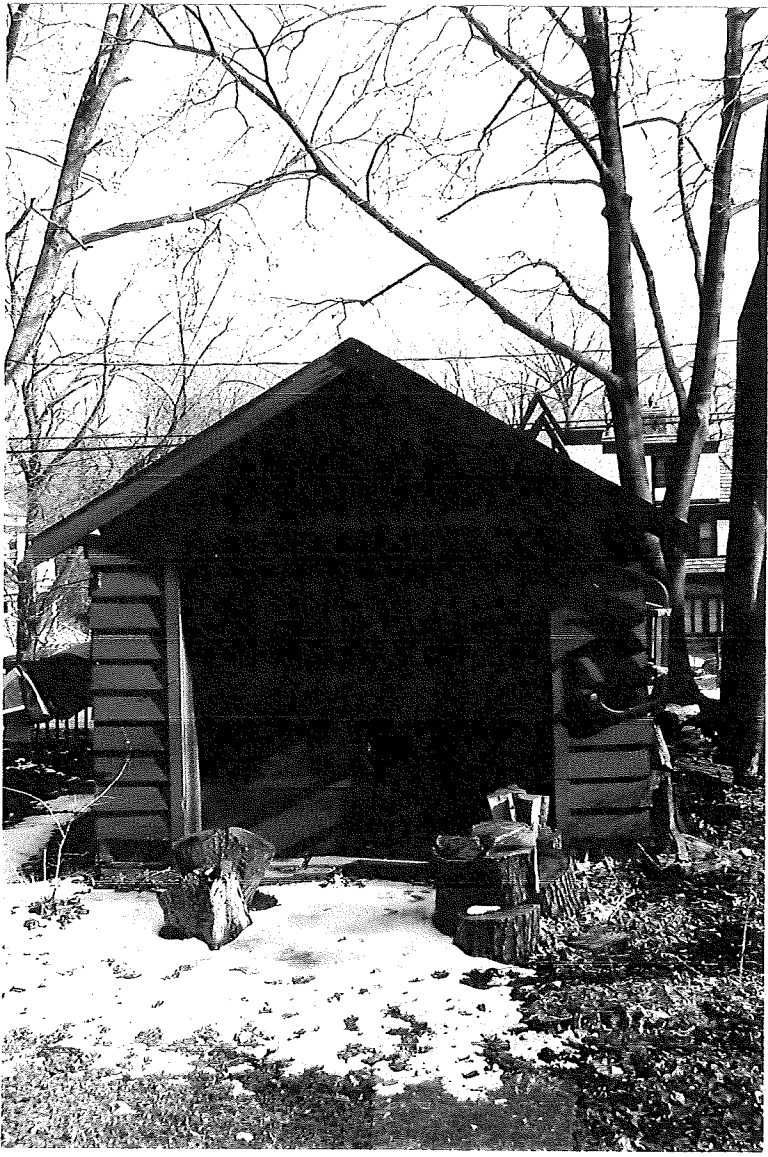


2015 ADAMS — MATERIALS



2015 ADAMS ST GARAGE

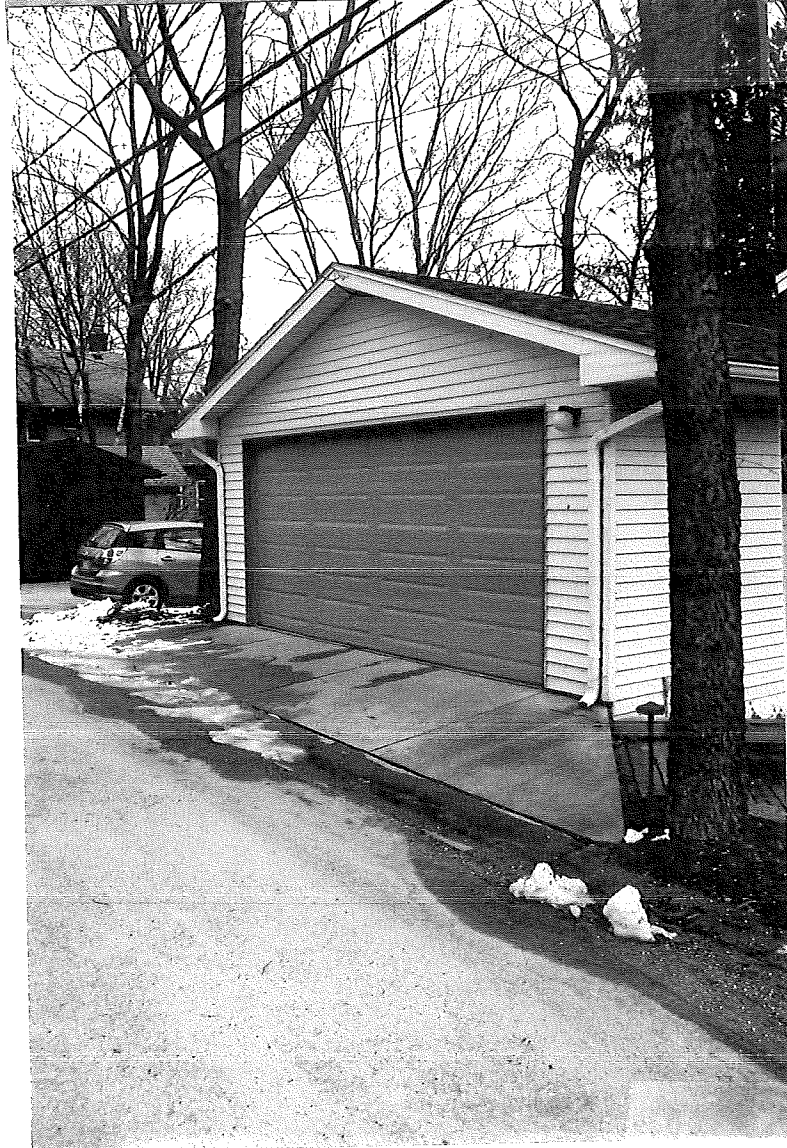
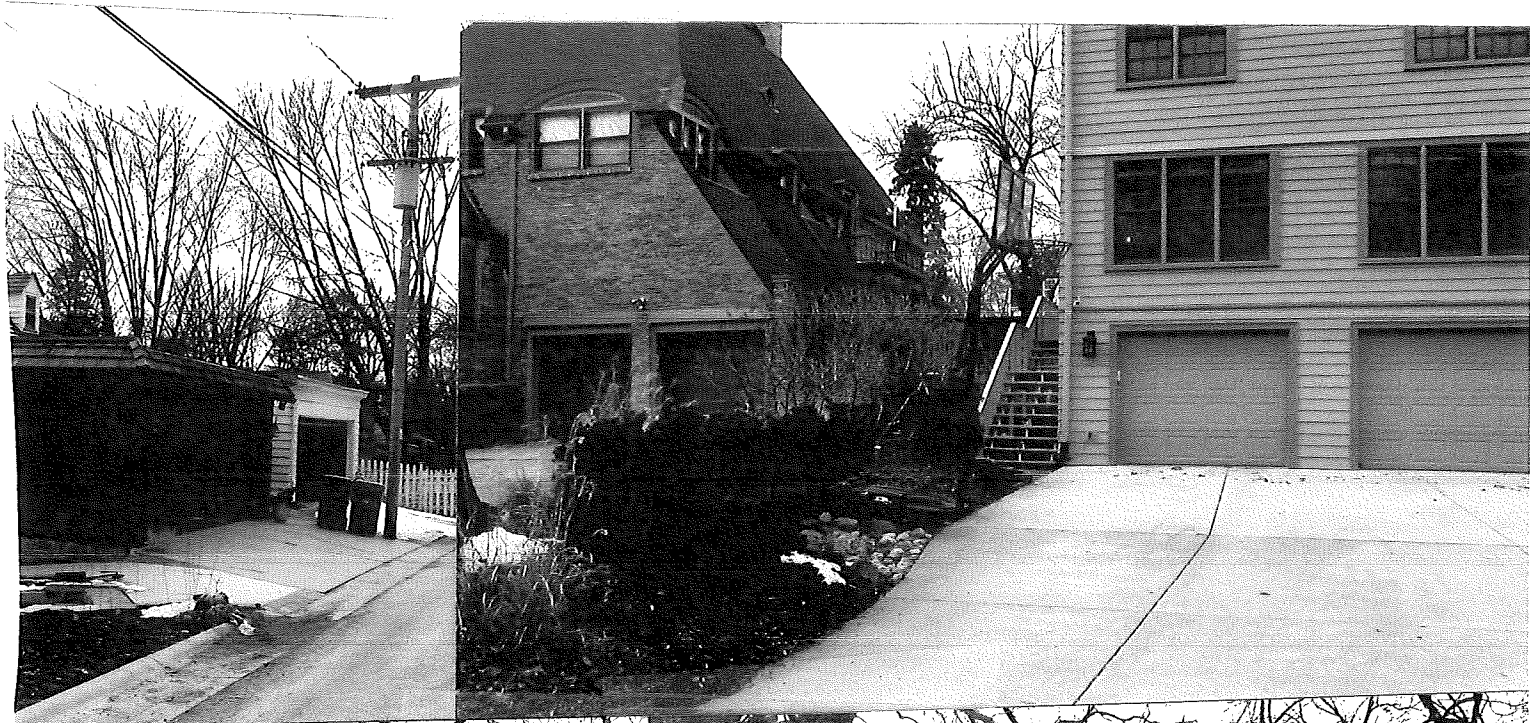
MATERIALS

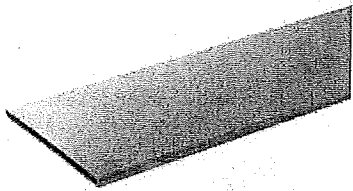


← CONDITIONS →



2015 ADAMS ST. Neighbor's GARAGES



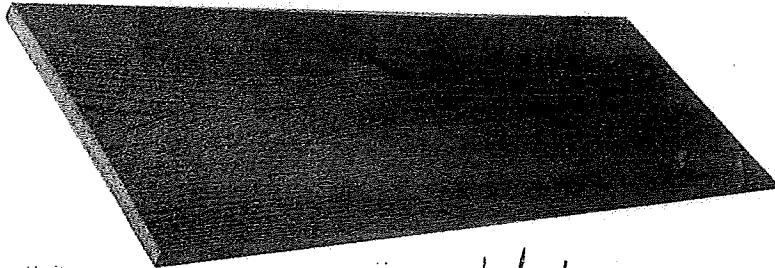


for sides.
painted to
match house

Kiln Dried Eastern White Cedar *for former ENDS* Shingle Siding

★★★★★ (48) [Write a Review](#)

- Ideal material for outside siding
- Can be easily nailed without cracking
- Stable and extremely long-lasting wood



painted to
match house.

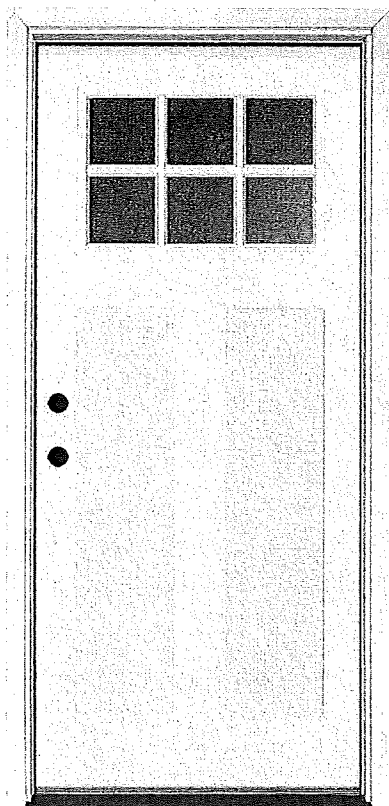
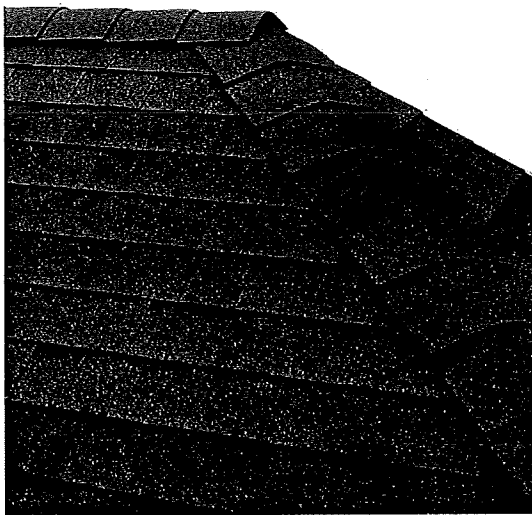
GAF >

Timbertex Weathered Wood Hip and Ridge Shingles (20 linear ft. per Bundle)

★★★★★ (16) [Write a Review](#) [Questions &](#)

- Double-layered design accentuates your roof & guard against leaks (10).
- Lifetime Ltd. Warranty when used with GAF Lifetime Roofing System
- Shop the Lifetime Roofing System

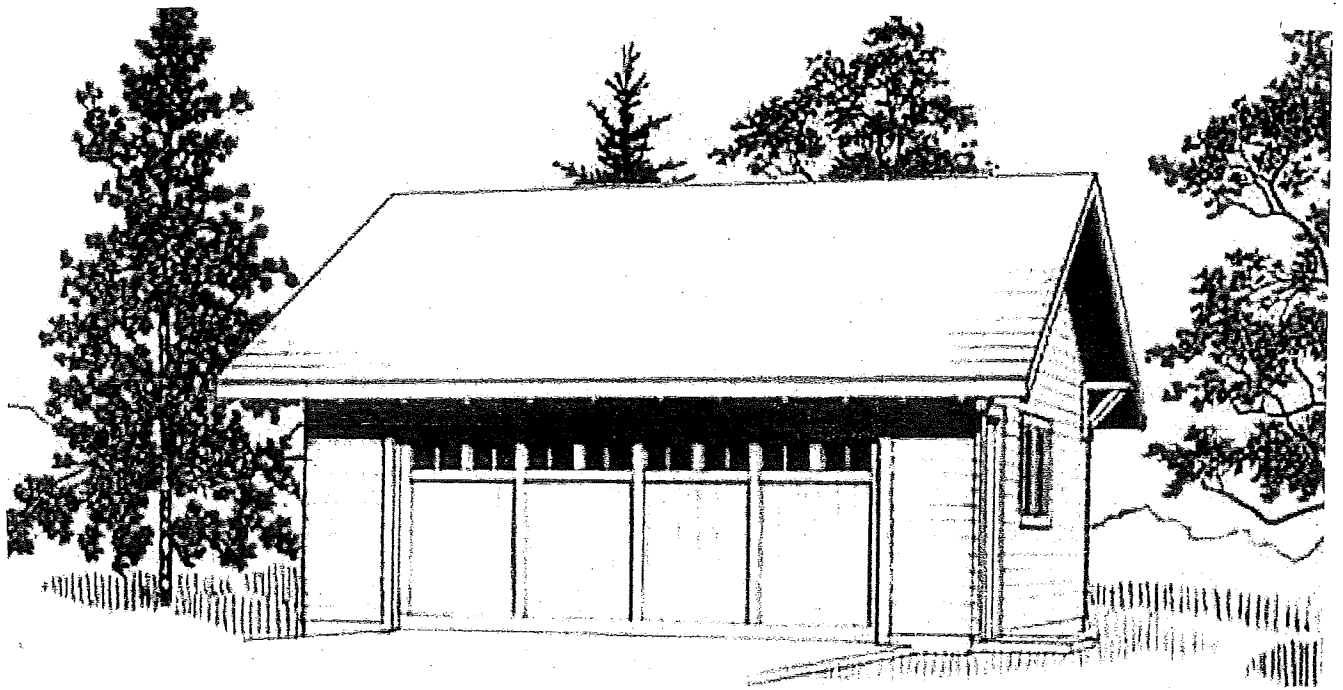
To match
House



36 in. x 80 in. 6 Lite Clear Craftsman Unfinished Smooth Right-Hand Inswing Fiberglass Prehung Front Door,

painted to match house.

see next page for garage door



Single 16' x 7' Garage Door
model To Be Determined, with window
treatment similar to proposed,
materials - metal, fiberglass,?