



**CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION**

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 1429 Monroe Street

Name of Owner: _____

Address of Owner (if different than above): _____

Daytime Phone: _____ Evening Phone: _____

Email Address: _____

Name of Applicant (Owner's Representative): Gary Brown

Address of Applicant: 30 N. Mills Street, 4th Floor Madison, Wisconsin 53715

Daytime Phone: 608-263-3023 Evening Phone: _____

Email Address: gary.brown@wisc.edu

Description of Requested Variance:
See attached narrative.

(See reverse side for more instructions)

FOR OFFICE USE ONLY	
Amount Paid: _____	Hearing Date: <u>8/25/16</u>
Receipt: _____	Published Date: <u>8/18/16</u>
Filing Date: <u>7/23/16</u>	Appeal Number: _____
Received By: <u>PMA/mwt</u>	GQ: _____
Parcel Number: <u>0709-221-1206-9</u>	Code Section(s): <u>28.060 (2) (b)</u>
Zoning District: <u>CC-T</u>	<u>28.060 (2) (d)</u>
Alder District: <u>S - Bidar</u>	_____

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

Although a police station is a public use, this facility is also an institutional building within the UW Campus development boundary and includes a covered parking garage. The nature of that use and programming of the UWPD create a unique condition which must place safety and security in the highest regard. This stretch of Monroe Street is much different than its extension south of Regent Street and as such takes on a street frontage with lower story buildings that do not have a commercial function.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The project has been reviewed by both the city of Madison staff (submitted February 22, 2016) and the Joint West Campus Area Committee on December 9, 2015. It is anticipated that the JWCAC will recommend this project to the Plan Commission on August 24, 2016. The ground level facade (parking entry/exit) is set back 15'-7" from the property line to ensure an adequate vision triangle is maintained with pedestrians on the sidewalk. This type of building, institutional/civic is more typical to this stretch of Monroe Street than the existing retail establishment in the ground floor of Varsity Quarters and a commercial/office component to the UW Credit Union building.

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

This project is creating an infill between two existing UW-Madison (Board of Regents) properties. To create an efficient and useful parking facility on the ground level a width of +/-68' is required. It would be inappropriate to design this infill for a retail storefront purpose as the ground level is a parking garage. The required amount of storefront glass is a major concern to the safety and security of the users of this building.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

In February of 2009, the university along with a consulting firm prepared a master plan for this parcel that included a Joint ROTC and UWPD facility. The study went as far as determining programming needs of the occupants along with placement of any proposed structures on the site. This study is important in understanding that the university has owned the parcel and has planned an institutional use on the site prior to the City of Madison rezoning of the property to a Commercial Corridor-Transitional District (CC-T) in 2013. The rezone allows for the use, but doesn't accommodate what we have been planning for the site since early 2009.

5. The proposed variance shall not create substantial detriment to adjacent property.

All properties along this stretch of Monroe Street are within the UW-Madison Campus Development Plan Boundary. Proposed buildings in this area have been designated in campus master plans dating back to 1995 as having service/support/administrative functions. The addition is infilling an existing surface parking lot between two currently owned UW-Madison buildings and creating a more desirable street wall frontage. There is currently 1-retail use and 1-commercial office space use along this block. The remaining buildings are institutional and the Madison Fire Station #4. The commercial viability of the area will not be diminished with this project.

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

This stretch of Monroe Street is a land use island. It varies considerably from uses and aesthetics of Regent Street and areas east of N. Randall Street. Camp Randall Stadium and the Sports Center across the street are also unique campus neighbors which relate best to the university campus yet very little to the greater commercial/residential neighborhood. The uses along this stretch are primarily administrative (UWPD, ROTC, UW Credit Union, City Fire Station #4) and do not lend themselves well to the current Commercial and Mixed Use code designations. The character is appropriate to its context.

Application Requirements

Please provide the following Information (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

<input checked="" type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
<input checked="" type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"> <input type="checkbox"/> Lot lines <input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines <input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance <input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features <input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred) <input type="checkbox"/> North arrow
<input checked="" type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input checked="" type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature: Gary A. Brown (owner's rep.) Date: 08/10/16

----- (Do not write below this line/For Office Use Only) -----

<u>DECISION</u>		
The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ (is) (is not) in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.		
The Zoning Board of Appeals: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Conditionally Approved		
Zoning Board of Appeals Chair:		
Date:		

Figure 1: Door and/or Window Openings (Sec. 28.060(2)(d))

Façade Orientation	Façade Area*	Ground Level Transparent - (%) Spandrel - (%)	2 nd Story Transparent - (%) Spandrel - (%)
North Façade	4,133sf	610sf - (15%) 0sf - (0%)	423sf - (10%) 326sf - (13%)
South Façade	4,162sf	578sf - (14%) 0sf - (0%)	162sf - (4%) 72sf - (2%)
East Façade	3,633sf	278sf - (8%) 0sf - (0%)	100sf - (2%) 24sf - (1%)
West Façade	2,702sf	0sf - (0%) 0sf - (0%)	222sf - (8%) 132sf - (5%)

*Includes both existing façade and proposed addition facades. The west façade does not include the Air Force ROTC area. Reference submittal package exhibits 'A400' and 'A401'

Project Description:

Currently, the site is comprised of a surface parking lot and 1,500 square foot storage structure used by the UWPD. It is bordered on the west by the UW-Madison Air Force ROTC building, on the south by the Southwest Path, on the west by the Varsity Quarters mixed-use building and directly across Monroe Street is Camp Randall Memorial Park.

This project will construct an addition to augment the capacity of the existing UWPD facility capabilities. The building will be located on UW-Madison property adjacent to the UWPD facility to the southeast and southwest sides of the existing building. This area is currently part of UW-Madison Parking Lot 16 which has a capacity of 142 vehicles. The project will construct a 16,230 ASF/24,840 GSF addition to the UWPD building located at 1429 Monroe Street. The intent of the project is to provide additional office, training, meeting, and related support spaces for the UWPD along with covered parking for the police vehicles.

The primary exterior wall materials will include masonry and aluminum storefront windows. The overall material usage will contain a mix of two brick colors, one matching the existing UWPD facility and the other a shade darker. The overall project follows the 2005 and 2015 UW-Madison Campus Master Plans that suggests an increase in street frontage density along this portion of Monroe Street.

Project Schedule:

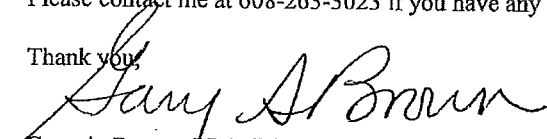
Start Construction: Fall 2016
Substantial completion: August 2017
Occupancy: August 2017

Estimated Project Cost:

The project is estimated to cost \$4,800,000 from UW-Madison campus operating budget dollars as the fund source. University staff met with the City Zoning Administrator and Planning staff on July 22, 2016 for direction on this zoning variance request. On December 9, 2015 an informational presentation was given to the Joint West Campus Area Committee. The project will be seeking a recommendation to city staff from this committee on August 24, 2016.

Please contact me at 608-263-3023 if you have any questions or need further information.

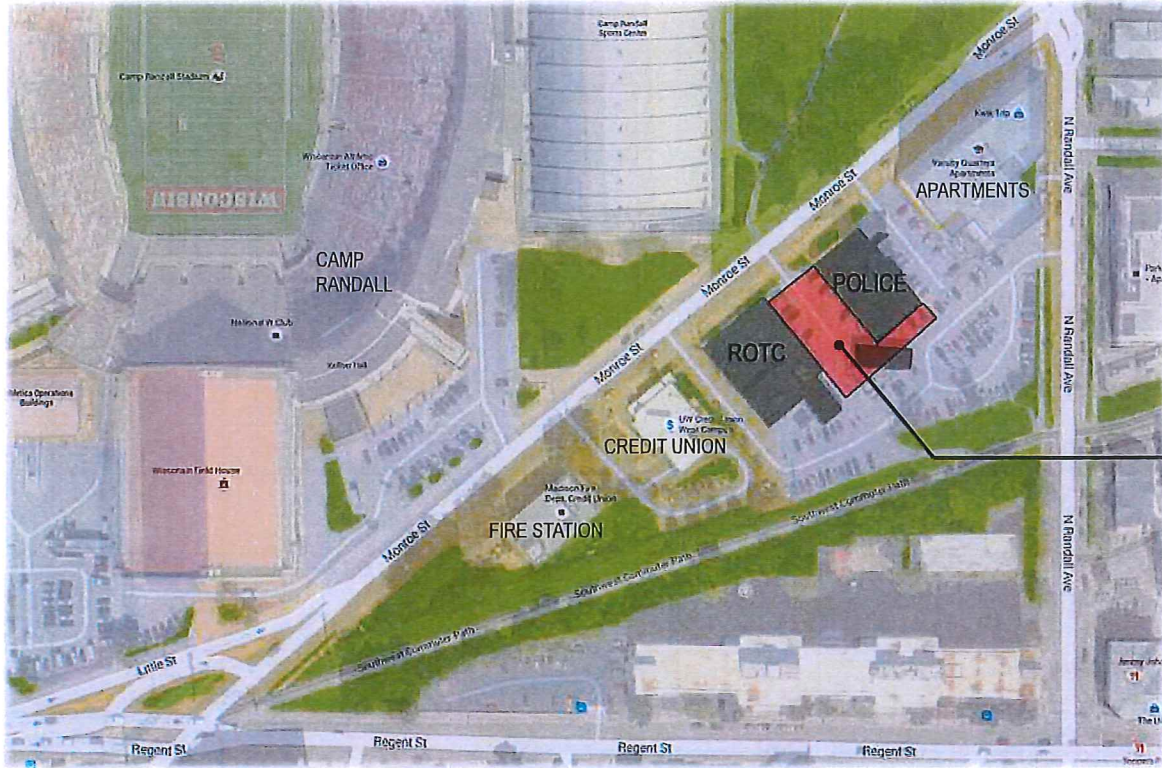
Thank you,



Gary A. Brown, PLA, FASLA
Director, Campus Planning & Landscape Architecture
Facilities Planning & Management, University of Wisconsin-Madison

cc: Anne Hayes, UW-Madison FP&M Project Manager
Aaron Williams, UW-Madison FP&M Zoning Coordinator
Erik Sande, DOA/DFD Project Manager
Alder Shiva Bidar-Sielaff, District 5

NEIGHBORHOOD CONTEXT



SITE PLAN (URBAN CAMPUS - WEST)

PROPOSED NEW BUILDING SITE



VARSITY QUARTERS APARTMENTS



KELLNER HALL



UW CREDIT UNION



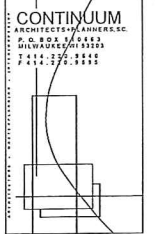
MADISON FIRE DEPT.



LOOKING AT SITE



ACROSS MONROE STREET



Continuum
ARCHITECTS & ENGINEERS
P.C.
1200 H. MARSHALL DRIVE • DOWNSHALL, WI 53711
Phone: (608) 771-3300 Fax: (608) 771-4400

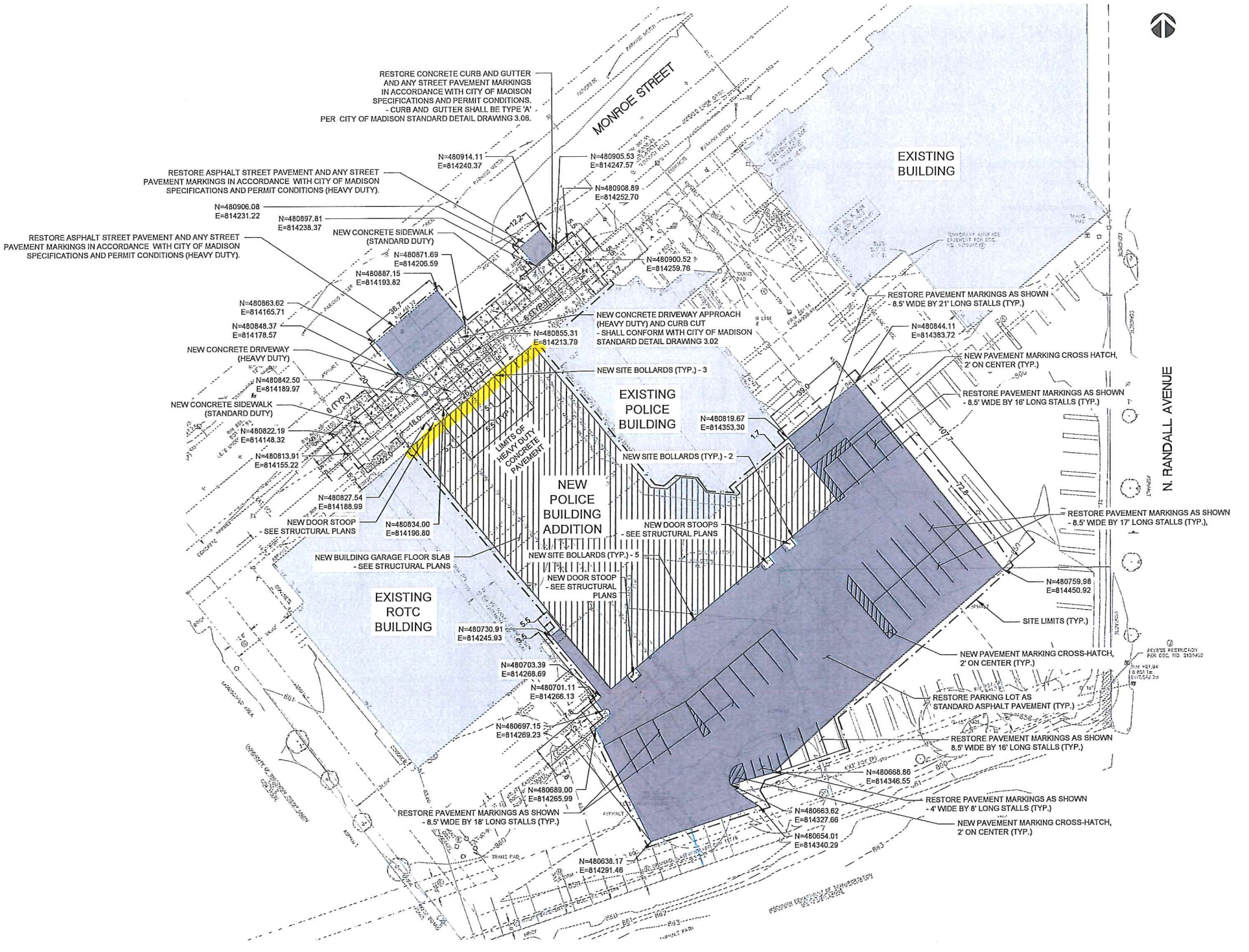
Consultant
BLOOM
COMPANIES, LLC
Infrastructure Development & Property
1200 H. MARSHALL DRIVE • DOWNSHALL, WI 53711
Phone: (608) 771-3300 Fax: (608) 771-4400

State of Wisconsin
Department of Administration
Division of Facilities Development
 1429 MONROE STREET
MADISON, WI 53711

POLICE AND SECURITY FACILITY ADDITION
UNIVERSITY OF WISCONSIN - MADISON
1429 MONROE STREET
MADISON, WI 53711
Sheet Title:
SITE PLAN

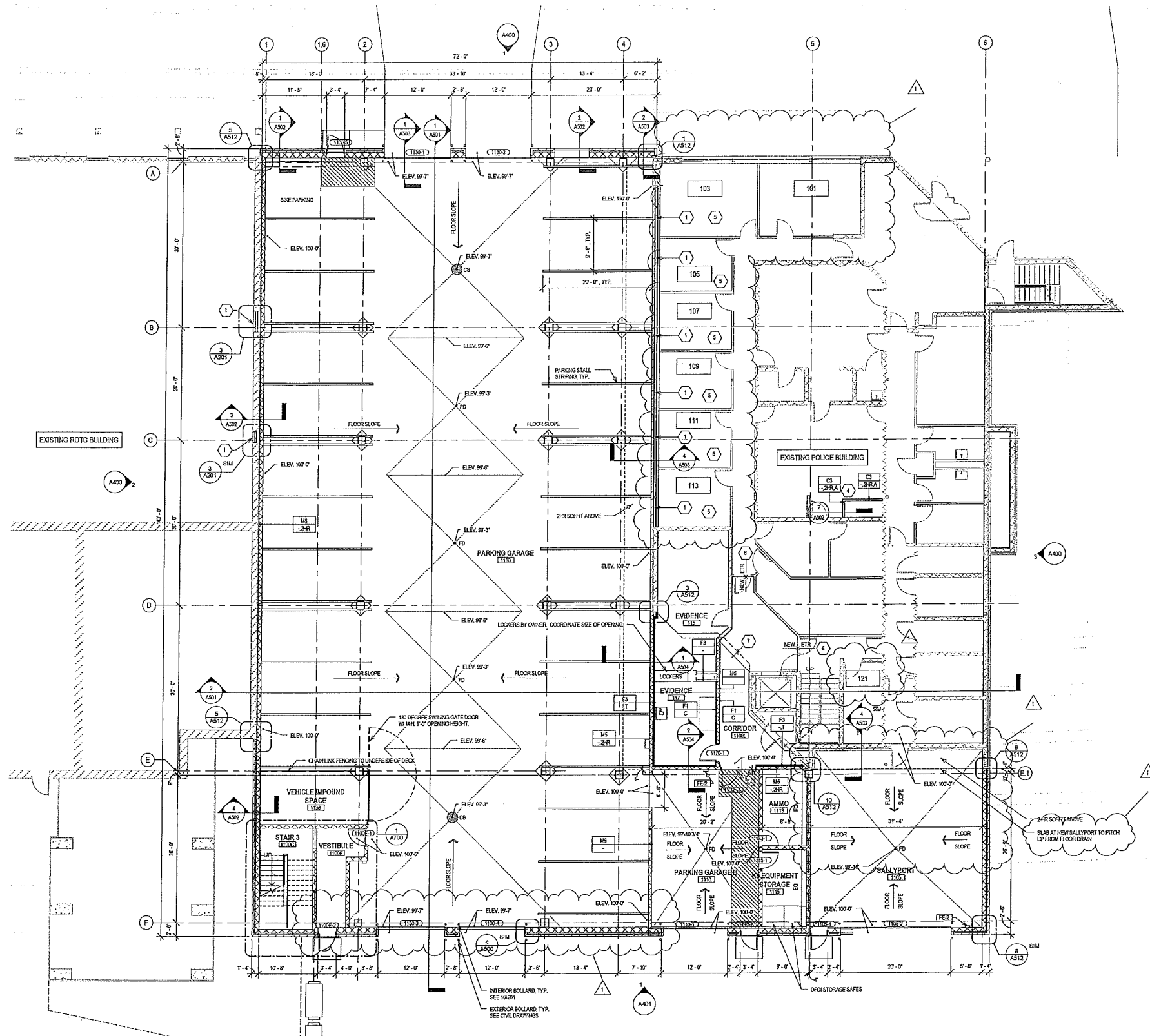
Revisions		
No.	Date	Description

Graphic Scale	
DFD Number	14J1X
Set Type	BD
Date Issued	05/11/2016
Sheet Number	C200



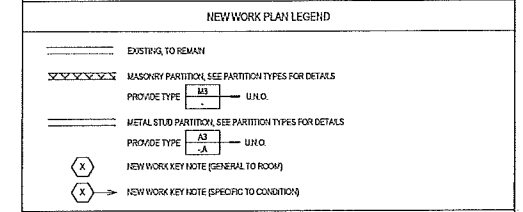
- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDINGS, OR PROJECT WORK LIMITS LINE.
 - ALL PARTIAL REMOVAL OF PAVEMENTS SHALL BE SAW CUT TO FULL DEPTH AT REMOVAL LIMITS AND SAW CUTS SHALL BE AT THE NEAREST EXISTING PAVEMENT JOINT.
 - GENERAL PRIME CONTRACTOR SHALL ADJUST ALL EXISTING AND PROPOSED UTILITY STRUCTURE CASTINGS WITHIN PROPOSED PAVING AREAS TO PROPOSED GRADE.
 - ALL WORK SHALL COMPLY WITH UNIVERSITY OF WISCONSIN TECHNICAL GUIDELINES.
 - ALL WORK IN CITY OF MADISON RIGHT-OF-WAY SHALL CONFORM TO CITY OF MADISON STANDARDS, SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
 - PAVEMENT MARKINGS SHALL BE 4" WIDE AND YELLOW UNLESS SPECIFICALLY NOTED OTHERWISE.
 - FOR NEW PAVEMENT MARKINGS INSIDE NEW BUILDING GARAGE, SEE ARCHITECTURAL DRAWINGS.
 - FOR LOCATION OF NEW BOLLARDS INSIDE NWE BUILDING GARAGE, SEE ARCHITECTURAL DRAWINGS.
 - SEE SHEET C210 FOR SITE DETAILS.

C:\Users\daniel.jayata\Documents\150101 UW Police.RVT15 New.daniel.jayata.rvt
6/28/2016 2:43:37 PM

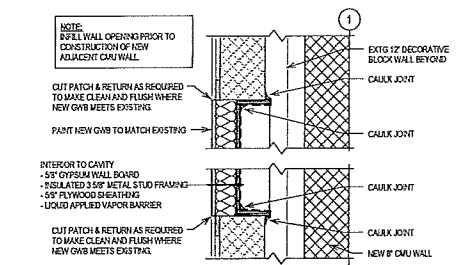


1 NEW WORK PLAN - LEVEL 01
Scale: 1/8" = 1'-0"

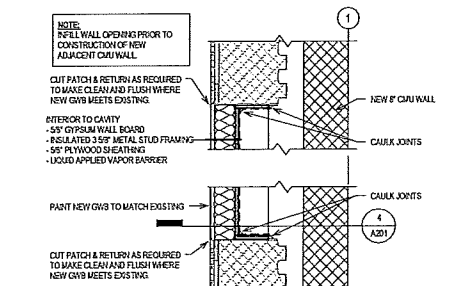
- GENERAL FLOOR PLAN NOTES TO CONTRACTOR
- THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE SPECIFICATION MANUAL.
 - THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AUDIO VISUAL, AND SECURITY DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
 - DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING CONSTRUCTION.
 - FRESH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL, UNLESS OTHERWISE NOTED.
 - CONTRACTORS SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACKETS, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKET IS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK NOTED OR DERIVED BY ALL TRADES.
 - SEE SHEET A002 FOR PARTITION TYPES AND DETAILS.
 - SEE SHEET A003 FOR DOOR AND FRAME SCHEDULE.
 - DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES. DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES.
 - SEE A004 FOR ROOM FINISH SCHEDULE.
 - ALL FURNITURE AND EQUIPMENT DISPLAYED WITH A MULTIPLE LINE HEIGHT IS TO BE FURNISHED AND INSTALLED BY THE OWNER.



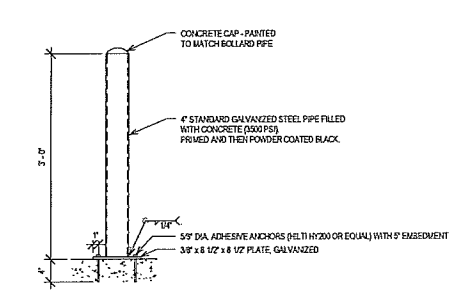
- NEW WORK PLAN KEY NOTES
- SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.
- NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON ANY SHEET.
- REMOVE EXISTING WOODEN OPENING. SEE DETAILS 6A102 & 6A103.
 - REMOVE PARTITION WITH JAMB OF WINDOW.
 - REMOVE PARTITION.
 - NEW SHAFTS TO BE CONSTRUCTED IN EXISTING BUILDING. FLOORING, WALL BASES, AND CEILING TO BE SELECTIVELY DEMOLISHED TO ACCOMMODATE NEW SHAFTS CONSTRUCTION. EXISTING FINISHES TO BE PATCHED AFTER SHAFTS CONSTRUCTION. PAINT WALLS TO MATCH EXISTING.
 - PAINT ALL WALLS IN ENTIRE ROOM WITH FINISH.
 - CUT, PATCH & RETURN EXISTING FLOOR, WALL & CEILING FINISHES INTO NEW CONSTRUCTION.
 - CONTINUE NEW FLOOR & WALL FINISH FROM NEW CORRIDOR INTO EXISTING REPROGRAMMED VESTIBULE.



4 ROTC WINDOW INFILL SECTION DETAIL
Scale: 1" = 1'-0"



3 ROTC WINDOW INFILL PLAN DETAIL
Scale: 1" = 1'-0"



2 INTERIOR PIPE BOLLARD DETAIL
Scale: 1" = 1'-0"

CONTINUUM ARCHITECTURE

Consultants:

State of Wisconsin
Department of Administration
Division of Facilities Development

1429 MONROE STREET
MADISON, WI 53711

POLICE AND SECURITY FACILITY ADDITION
UNIVERSITY OF WISCONSIN - MADISON

1429 MONROE STREET
MADISON, WI 53711

Sheet Title: NEW WORK PLAN - LEVEL 01

Revisions:		
No.	Date	Description
1	8/30/16	ADDENDUM 1

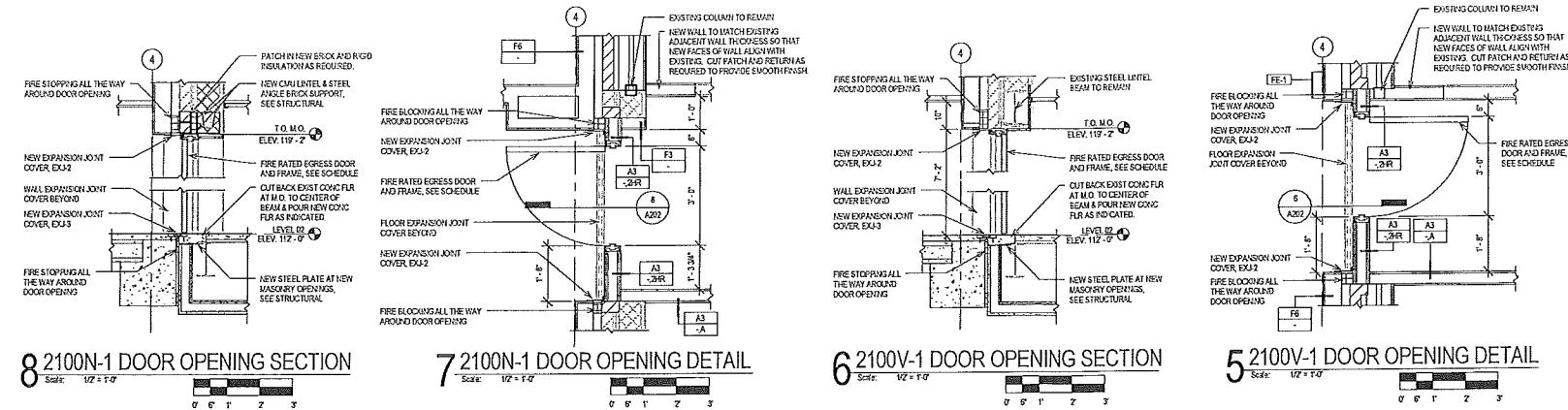
Graphic Scale: VARIES

DFD Number: 14J1X

Set Type: BD

Date Issued: 08/15/2016

Sheet Number: A201



8 2100N-1 DOOR OPENING SECTION Scale: 1/2" = 1'-0"
 7 2100N-1 DOOR OPENING DETAIL Scale: 1/2" = 1'-0"
 6 2100V-1 DOOR OPENING SECTION Scale: 1/2" = 1'-0"
 5 2100V-1 DOOR OPENING DETAIL Scale: 1/2" = 1'-0"

GENERAL FLOOR PLAN NOTES TO CONTRACTOR

- THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE SPECIFICATIONS MANUAL.
- THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AUDIOVISUAL, AND SECURITY OPERATIONS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
- DO NOT SCALE DIMENSIONS. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING CONSTRUCTION.
- FLOOR FINISH ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED.
- CONTRACTORS SHALL VERIFY AND INSTALL ALL STRIPPINGS, BRONZE BACKING PLATES, WALL BLOODINGS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
- SEE SHEET A005 FOR PARTITION TYPES AND DETAILS.
- SEE SHEET A006 FOR DOOR AND FRAME SCHEDULE.
- DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES. DIMENSIONS AT EXTERIOR WALLS ARE TO STRUCTURAL WALL ONLY AND DO NOT INCLUDE FINISHES.
- SEE A006 FOR ROOM FINISH SCHEDULE.
- ALL FURNITURE AND EQUIPMENT DISPLAYED WITH A HALF-TONE LINEWEIGHT IS TO BE FURNISHED AND INSTALLED BY THE OWNER.

NEW WORK PLAN LEGEND

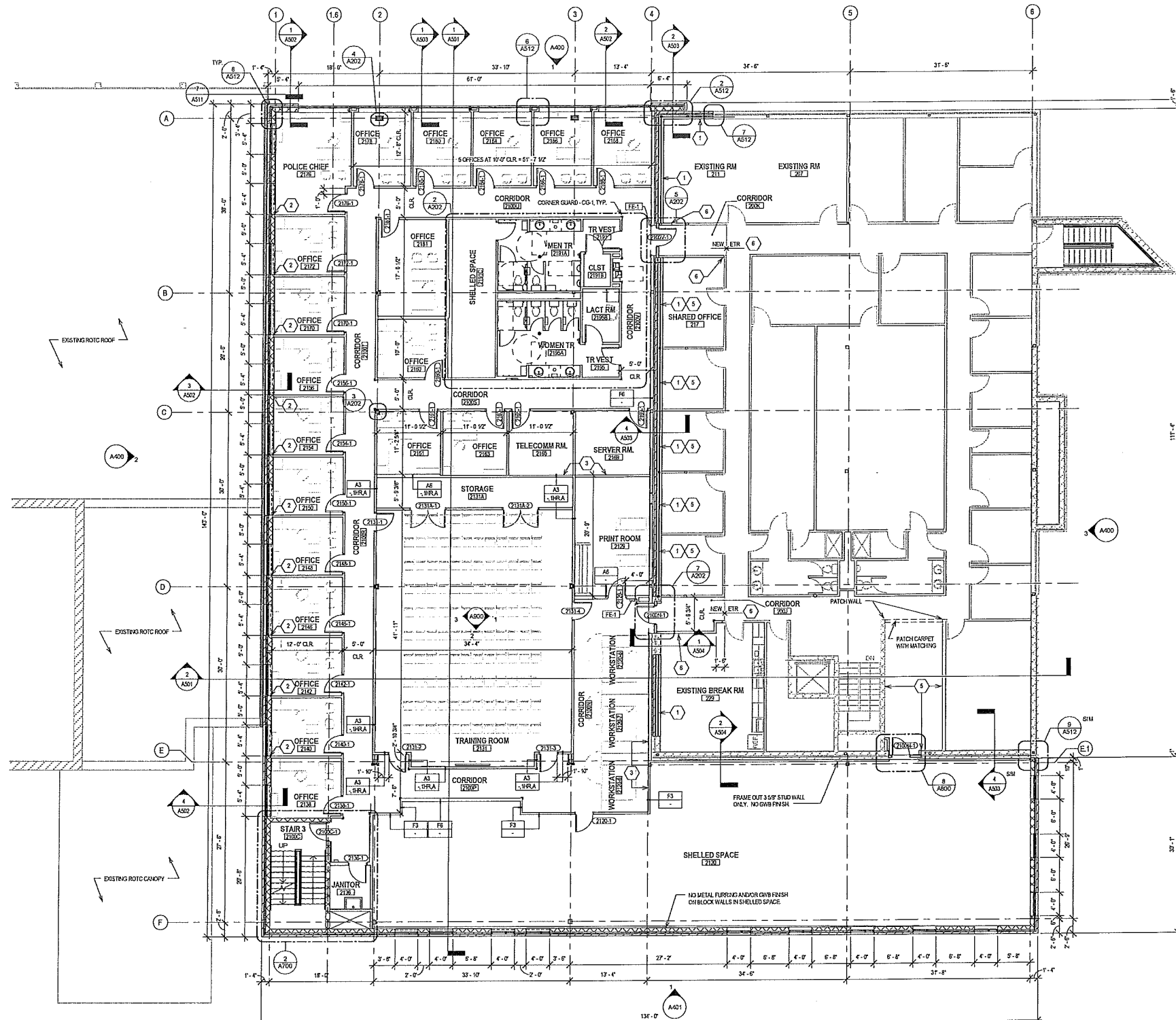
- EXISTING, TO REMAIN
- MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS
PROVIDE TYPE: UNO
- METAL STUD PARTITION, SEE PARTITION TYPES FOR DETAILS
PROVIDE TYPE: A3 - UNO
- NEW WORK KEY NOTE (GENERAL TO ROOM)
- NEW WORK KEY NOTE (SPECIFIC TO CONDITIONS)

NEW WORK PLAN KEY NOTES

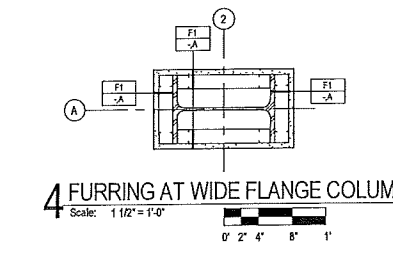
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE WORKS.

NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

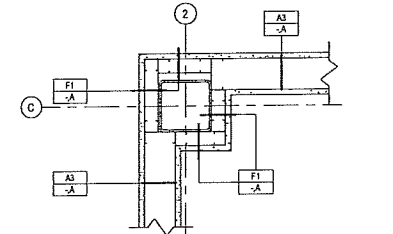
1. SUPPLY ENTIRE EXISTING WINDOW OPENING. SEE DETAILS A002 & A003.
2. ALUM PARTITION WITH JAMB OF WINDOW.
3. ALUM PARTITIONS.
4. NEW SHAFF WALL TO BE CONSTRUCTED IN EXISTING BUILDING. FLOORING, WALL BASES, AND CEILING TO BE SELECTIVELY DEMOLISHED TO ACCOMMODATE NEW SHAFF CONSTRUCTION. EXISTING FINISHES TO BE PATCHED AFTER SHAFF CONSTRUCTION. PAINT WALLS TO MATCH EXISTING.
5. PATCH ALL WALLS IN ENTIRE ROOM PT. 1.
6. CUT, PATCH & REFINISH EXISTING FLOOR WALL & CEILING FINISHES TO NEW CONSTRUCTION.
7. CONTRAINT NEW FLOOR & WALL FINISH FROM NEW CORRIDOR INTO EXISTING REPROGRAMMED VESTIBULE.



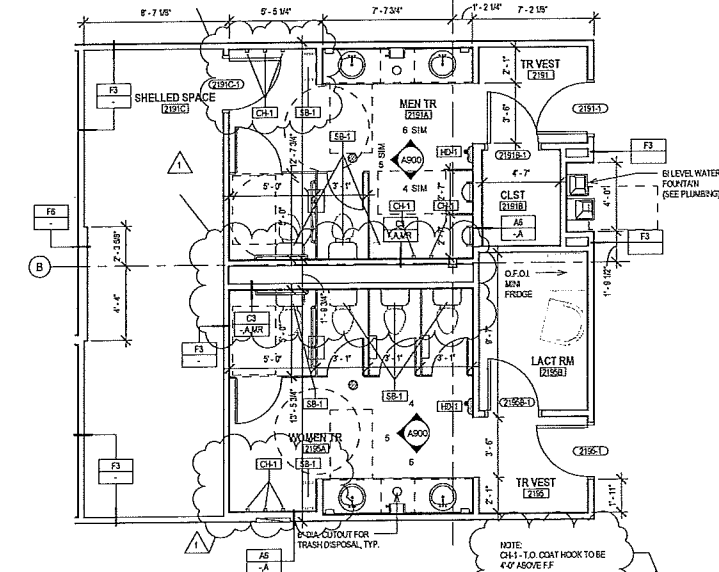
1 NEW WORK PLAN - LEVEL 02
 Scale: 1/8" = 1'-0"



4 FURRING AT WIDE FLANGE COLUMN
 Scale: 1/12" = 1'-0"



3 TYPICAL FURRING AT COLUMN
 Scale: 1/12" = 1'-0"



2 RESTROOMS ENLARGED
 Scale: 1/8" = 1'-0"

CONTINUUM
 ARCHITECTS PLANNERS
 1429 MONROE STREET
 MADISON, WI 53711
 608.261.1111

Consultants:

State of Wisconsin
 Department of Administration
 Division of Facilities Development

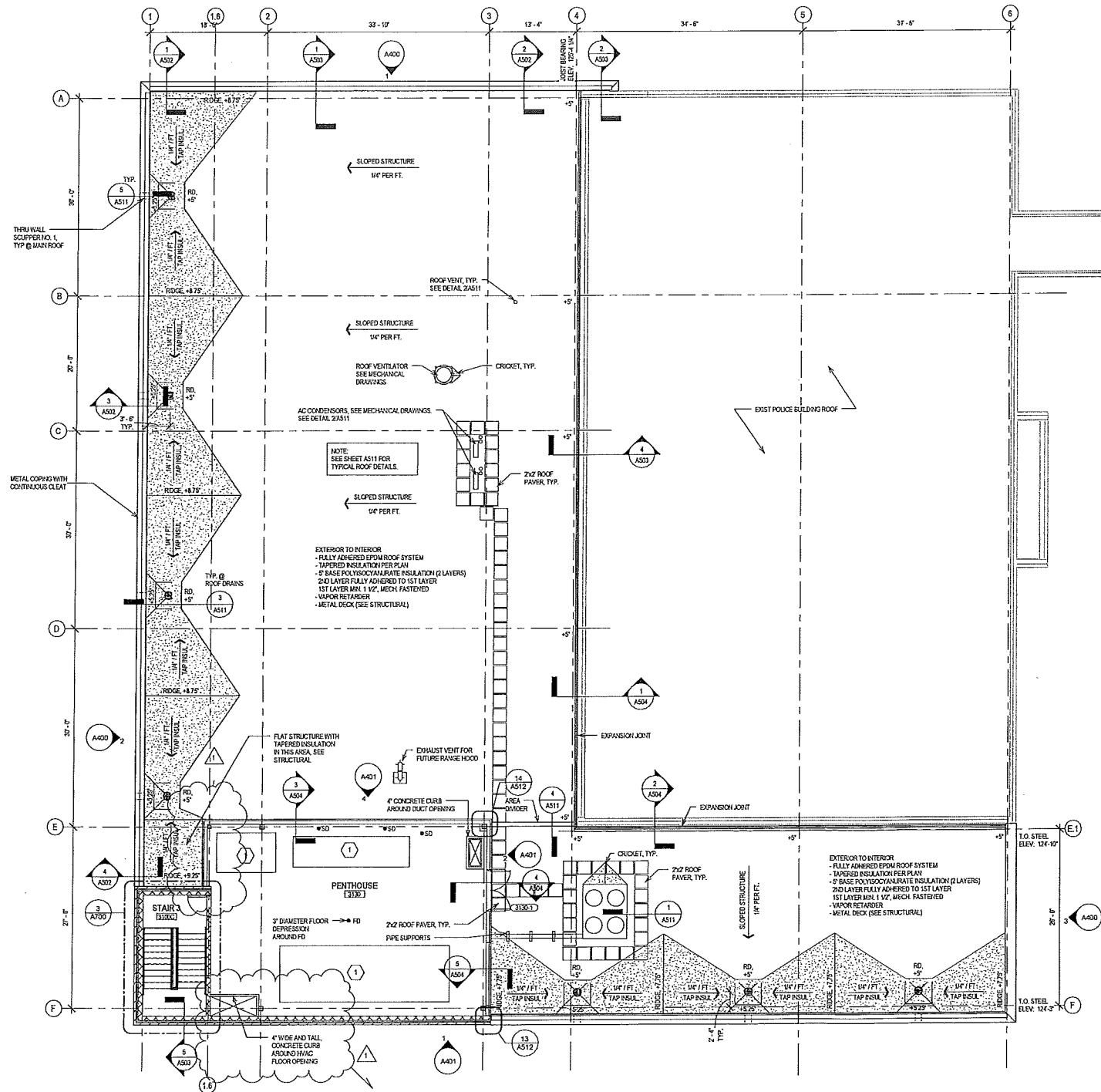
POLICE AND SECURITY FACILITY ADDITION
 UNIVERSITY OF WISCONSIN - MADISON
 1429 MONROE STREET
 MADISON, WI 53711
 NEW WORK PLAN - LEVEL 02

Revision	No.	Date	Description
1	6/30/16		ADDENDUM 1

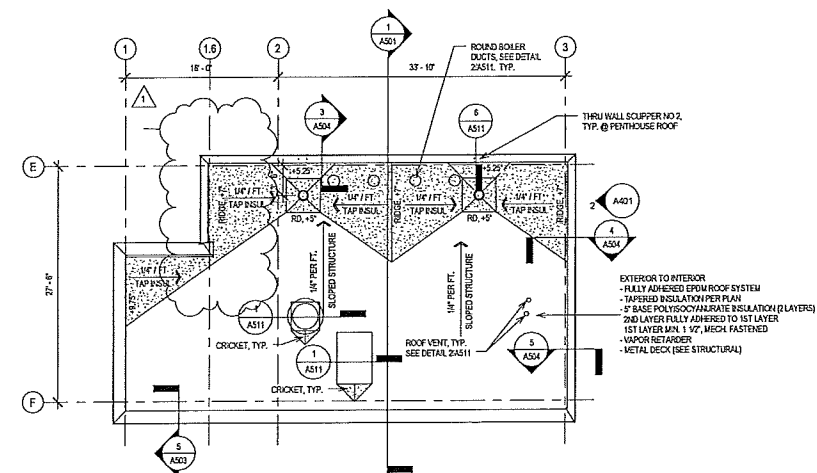
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 SFD Number: 14J1X
 Set Type: BD
 Date Issued: 08/15/2016
 Sheet Number: A202

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5/25/2016 2:15:15 PM



1 NEW WORK PLAN - ROOF
Scale: 1/8" = 1'-0"



2 NEW WORK PLAN - PENTHOUSE ROOF
Scale: 1/8" = 1'-0"



GENERAL ROOF PLAN NOTES TO CONTRACTOR

- ROOFING CONTRACTOR TO PROVIDE FLASHINGS AND CROCKETS AT ALL EXTERIOR EQUIPMENT PENETRATIONS AND SUPPORT POSTS, ETC. REFER TO MECHANICAL DRAWINGS FOR DETAILS AND EXTENTS.
- ROOFING CONTRACTOR TO PROVIDE MAINTENANCE WALK-OFF PADS AT ALL EXTERIOR EQUIPMENT LOCATIONS. REFER TO MECHANICAL DRAWINGS FOR EXTENTS.
- THE GENERAL CONTRACTOR IS TO CALL A MEETING BETWEEN THE ROOFING CONTRACTOR AND PLUMBING CONTRACTOR TO COORDINATE THE FINAL DRAIN LOCATIONS. TAPERED INSULATION DRAWINGS SHALL BE SUBMITTED TO THE AE AFTER DRAIN LOCATIONS ARE APPROVED BY ALL. IN WRITING. TAPERED INSULATION IS INSTALLED CONFORMARY TO THE LOW POINT OF THE DRAIN, OVERFLOW OR SCUPPER LOCATIONS SHALL BE CAUSE FOR REJECTION OF WORK.
- THE GENERAL CONTRACTOR IS TO CALL A MEETING BETWEEN THE ROOFING CONTRACTOR AND PLUMBING CONTRACTOR TO COORDINATE THE FINAL DRAIN LOCATION. TAPERED INSULATION DRAWINGS SHALL BE SUBMITTED TO THE AE AFTER DRAIN LOCATIONS ARE APPROVED BY ALL. IN WRITING. TAPERED INSULATION IS INSTALLED CONFORMARY TO THE LOW POINT OF THE DRAIN, OVERFLOW OR SCUPPER LOCATIONS SHALL BE CAUSE FOR REJECTION OF THE WORK.

NEW WORK ROOF PLAN KEY NOTES

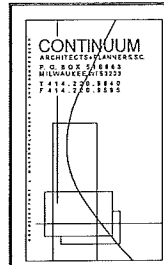
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A01 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.

NEW WORK ROOF PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

1 1/2" HIGH HOUSE KEEPING PAD - COORDINATE EXACT SIZE AND LOCATION REQUIREMENTS WITH CONTRACTORS PROVIDING EQUIPMENT, TYP.

NEW WORK ROOF PLAN LEGEND

- RD ROOF DRAIN
- OVERFLOW SCUPPER SEE DETAILS 2AS11 & 2AS11
- ARROW DIRECTION OF DOWNWARD DRAINAGE FLOW
- *X INDICATES INSULATION THICKNESS ABOVE ROOF DECK
- INSULATION TAPERED INSULATION OVER BASE LAYERS



Consultants:

State of Wisconsin
Department of Administration
Division of Facilities Development

1429 MONROE STREET
MADISON, WI 53711

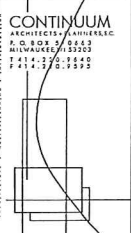
POLICE AND SECURITY FACILITY ADDITION
UNIVERSITY OF WISCONSIN - MADISON
1429 MONROE STREET
MADISON, WI 53711

Sheet Title:
NEW WORK PLAN - ROOF


Revisions:

No.	Date	Description
1	6/30/16	ADDENDUM 1

Graphic Scale	1/8" = 1'-0"
DFD Number	14J1X
Set Type	BD
Date Issued	08/15/2016
Sheet Number	A203



Consultants:

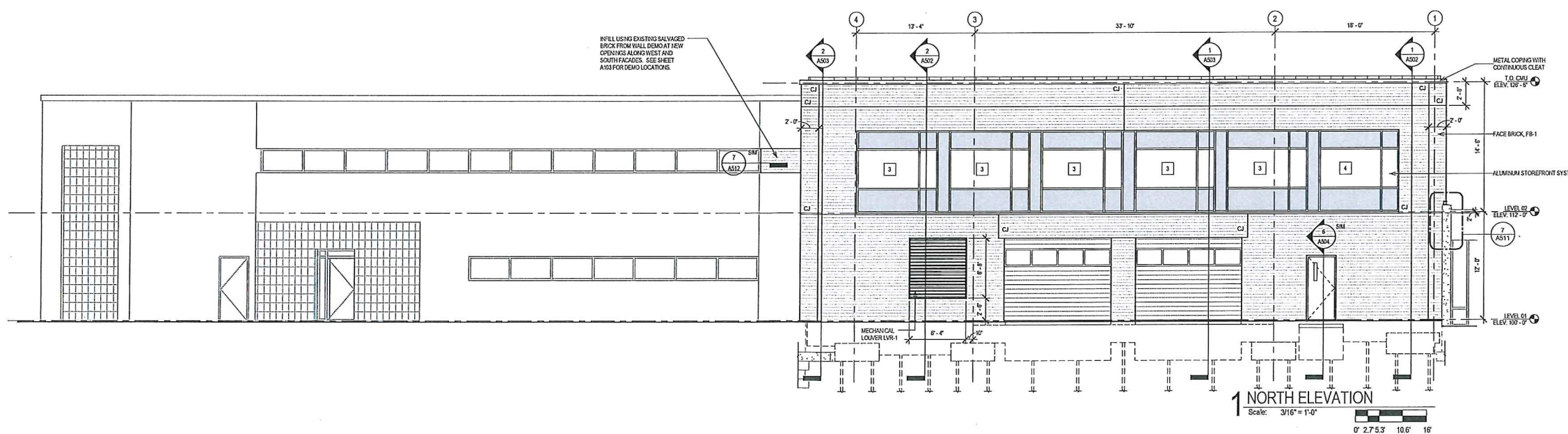
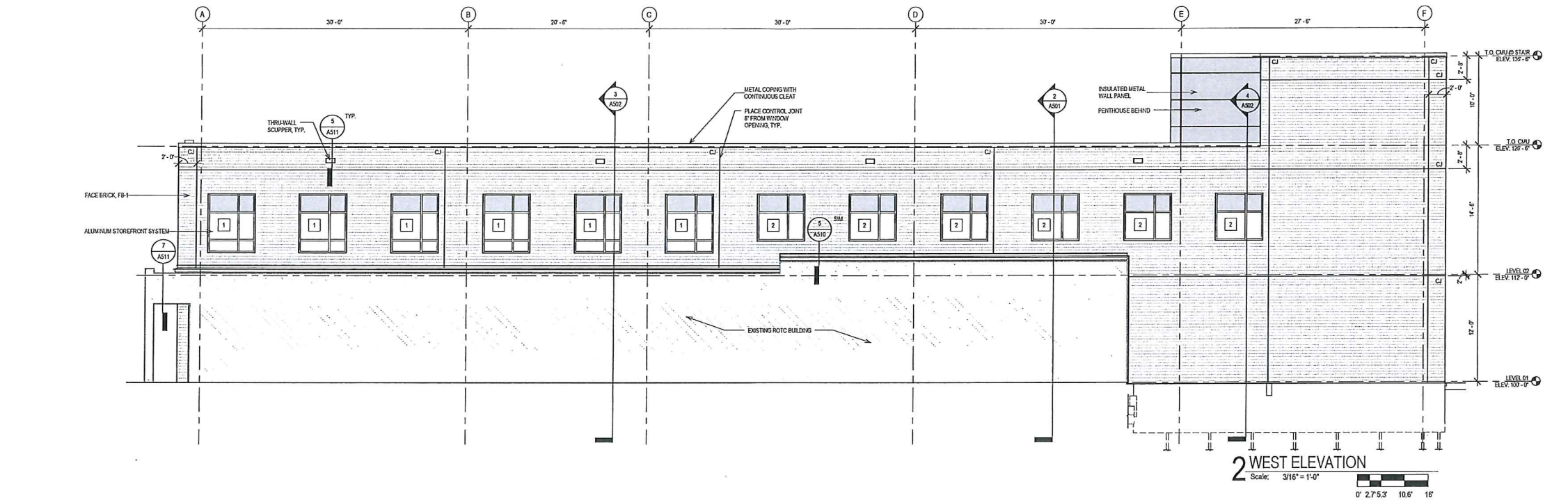
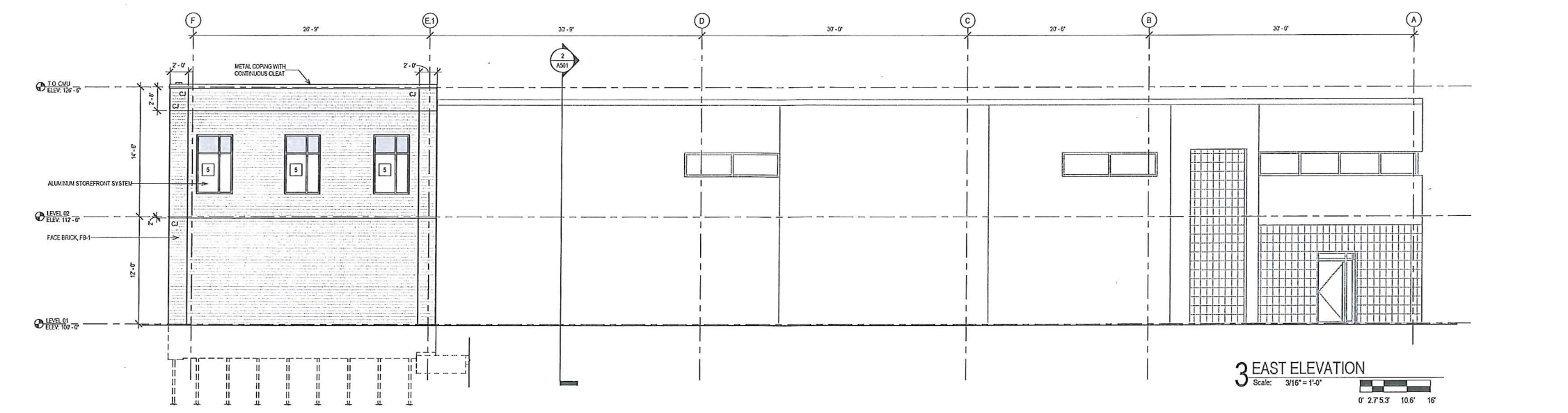
State of Wisconsin
 Department of Administration
 Division of Facilities Development

 1429 MONROE STREET
 MADISON, WI 53711

POLICE AND SECURITY FACILITY ADDITION
 UNIVERSITY OF WISCONSIN - MADISON
 1429 MONROE STREET
 MADISON, WI 53711
 Sheet Title:
 EXTERIOR ELEVATIONS

Revisions:

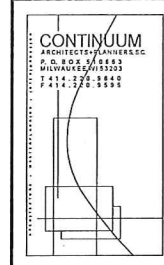
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Graphic Scale	3/16" = 1'-0"
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Set Type	BD
Date Issued	05/11/2016
Sheet Number	A400



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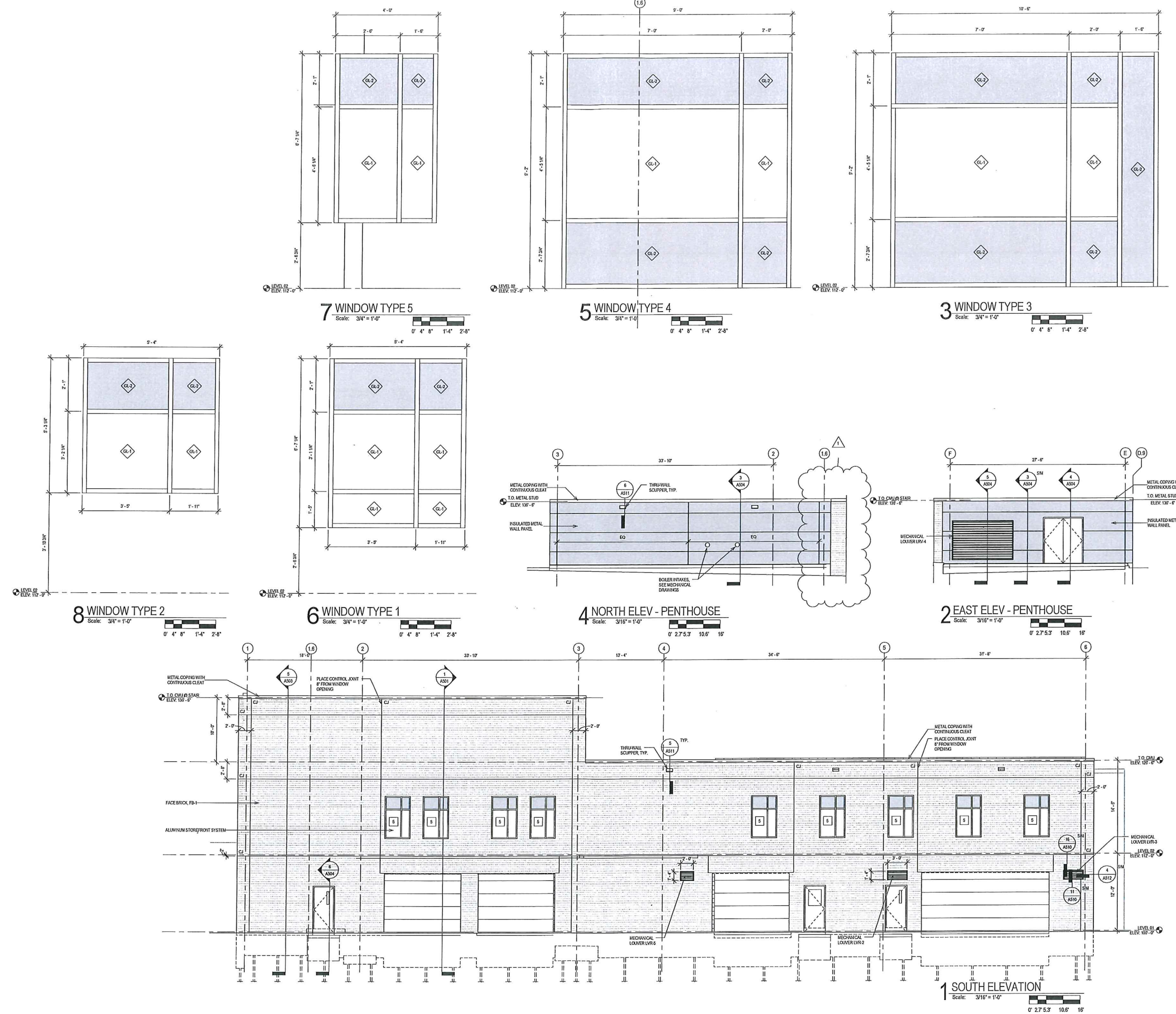
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Department of Administration
Division of Facilities Development
1429 MONROE STREET
MADISON, WI 53711

POLICE AND SECURITY FACILITY ADDITION
UNIVERSITY OF WISCONSIN - MADISON
1429 MONROE STREET
MADISON, WI 53711
Sheet Title:
EXTERIOR ELEVATIONS AND WINDOW TYPES

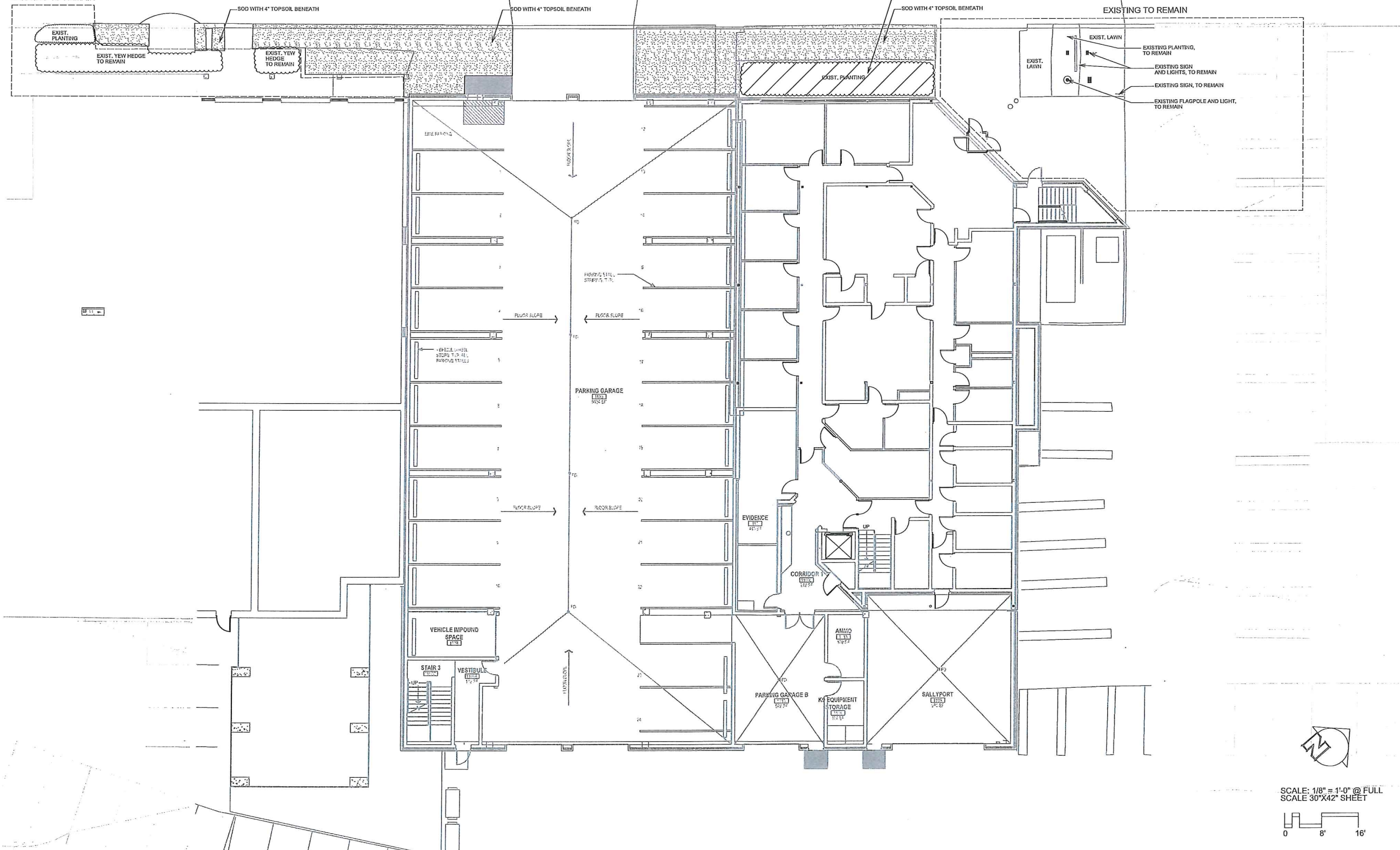
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	1	6/30/16	ADDENDUM 1

Graphic Scale	VARIABLE
DFD Number	14J1X
Set Type	BD
Date Issued	08/15/2016
Sheet Number	A401



MONROE ST.

EXISTING TO REMAIN



CONTINUUM ARCHITECTS-PLANNERS S.C.
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Division of Facilities Development

1429 MONROE STREET
MADISON, WI 53711

POLICE AND SECURITY FACILITY ADDITION
UNIVERSITY OF WISCONSIN - MADISON

1429 MONROE STREET
MADISON, WI 53711

SCALE: 1/8" = 1'-0" @ FULL
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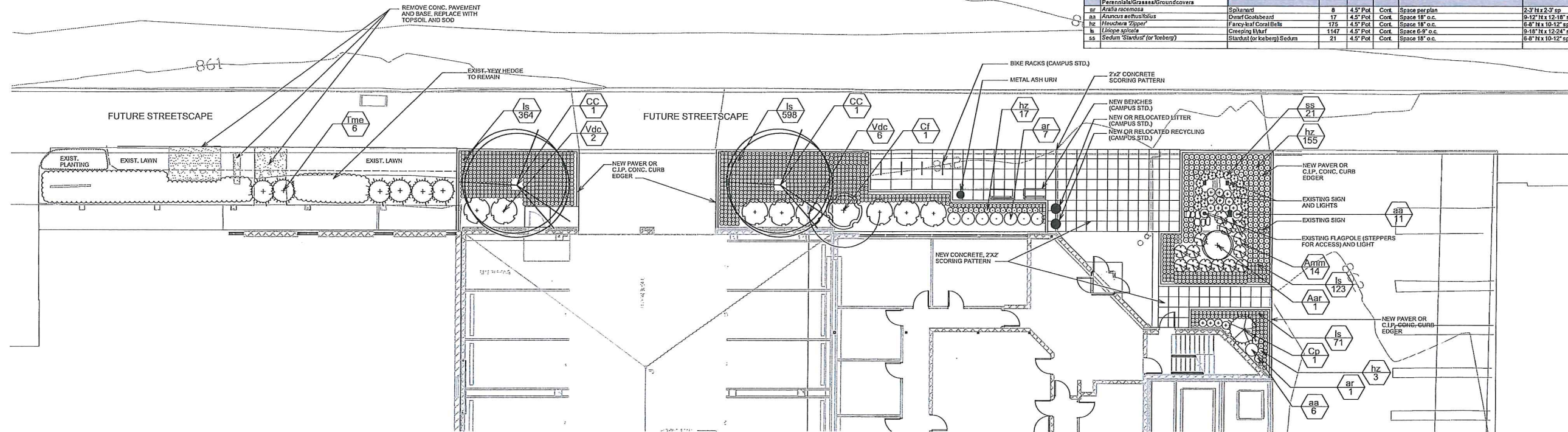
No.	Date	Description

Graphic Scale	VAPIES
DFD Number	14J1X
Set Type	BD
Date Issued	05/11/2016
Sheet Number	L100

MONROE ST.

66' PUBLIC R.O.W.

Plant List	Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments	Mature Size
Deciduous Trees								
CC		<i>Carpinus canadensis</i>	Hornwood	2	2.5' Cal.	B&B	Single, straight leader, match specimen; branching shall start at 9'-0" min.	25'-30' H x 25-30' sp
Deciduous Shrubs								
Aar		<i>Aralia nudicaulis</i> 'Ripcord'	Ripcord Spackelton Spiceberry	1	5 gal.	Cort.	Space per plan	4'-6" H x 4'-6" sp
Aam		<i>Aronia melanocarpa</i> 'Morton'	Hogusda Beauty Black Chokeberry	14	5 gal.	Cort.	Space per plan	2'-3" H x 4'-5" sp
Cf		<i>Calycanthus floridus</i>	Carolina Allspice	1	5 gal.	Cort.	Space per plan	5'-6" H x 6'-8" sp
Vdc		<i>Viburnum dentatum</i> 'Chickadee'	Blue Bluff Arrowwood Viburnum	8	5 gal.	Cort.	Space per plan	5'-7" H x 5'-7" sp
Evergreen Shrubs								
Cp		<i>Chamaecyparis platensis</i> 'Falkner Aurea'	Threadleaf Falsecypress	1	5 gal.	Cort.	Space per plan	8'-15" H x 3'-7" sp
Trn		<i>Taxus canadensis</i>	Redwood Tree	2	5 gal.	Cort.	Space per plan	2'-3" H x 4'-8" sp
Perennials/Grasses/Groundcovers								
sr		<i>Arisaema</i>	Schmand	8	4.5" Pot.	Cort.	Space per plan	2'-3" H x 2'-3" sp
aa		<i>Ananias</i>	Dwarf Goshawk	17	4.5" Pot.	Cort.	Space 18" o.c.	9'-12" H x 12'-18" sp
hz		<i>Heuchera</i>	Fancy Leaf Coral Bells	175	4.5" Pot.	Cort.	Space 18" o.c.	6'-8" H x 10'-12" sp
h		<i>Heuchera</i>	Celestial Heart	1147	4.5" Pot.	Cort.	Space 6-9" o.c.	9'-18" H x 12'-24" sp
ss		<i>Sedum</i>	Staked (or Iceberg) Sedum	21	4.5" Pot.	Cort.	Space 18" o.c.	6'-8" H x 10'-12" sp



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POLICE AND SECURITY FACILITY ADDITION
UNIVERSITY OF WISCONSIN MADISON, WISCONSIN
Sheet Title: LANDSCAPE PLAN

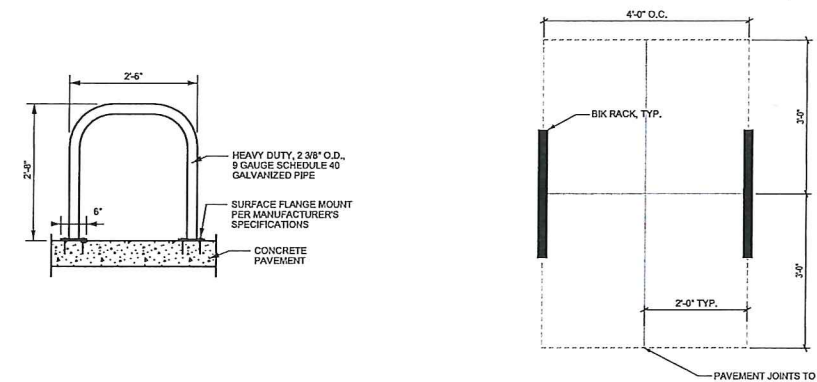
Revisions:	No.	Date:	Description:

Graphic Scale:	VAPIES
EFD Number:	14J1X
Set Type:	FR
Date Issued:	02/26/16
Sheet Number:	L001

1 LANDSCAPE PLAN
L001

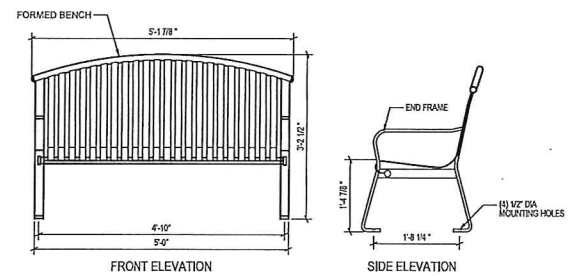
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2 CAMPUS STANDARD BIKE RACK
L001



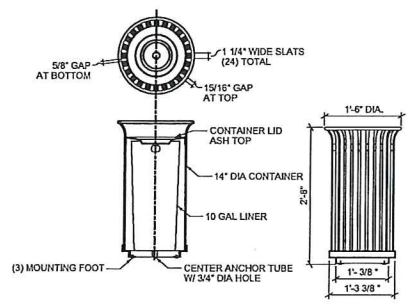
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3 CAMPUS STANDARD BENCH
L001



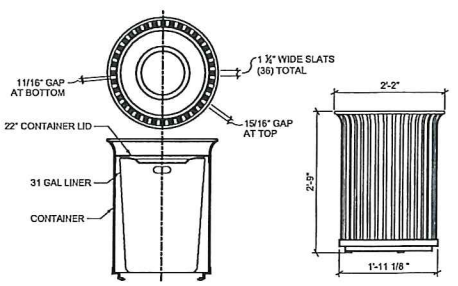
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4 CAMPUS STANDARD METAL ASH URN
L001



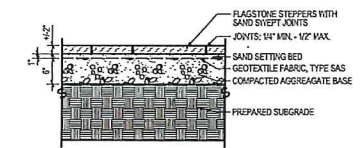
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5 CAMPUS STANDARD TRASH RECEPTACLE
L001



SCALE: 3/4" = 1'-0" @ FULL SCALE 30"x42" SHEET

5 FLAGSTONE STEPPERS
L001



SCALE: 3/4" = 1'-0" @ FULL SCALE 30"x42" SHEET