



City of Madison

Conditional Use

Location
5235 High Crossing Boulevard

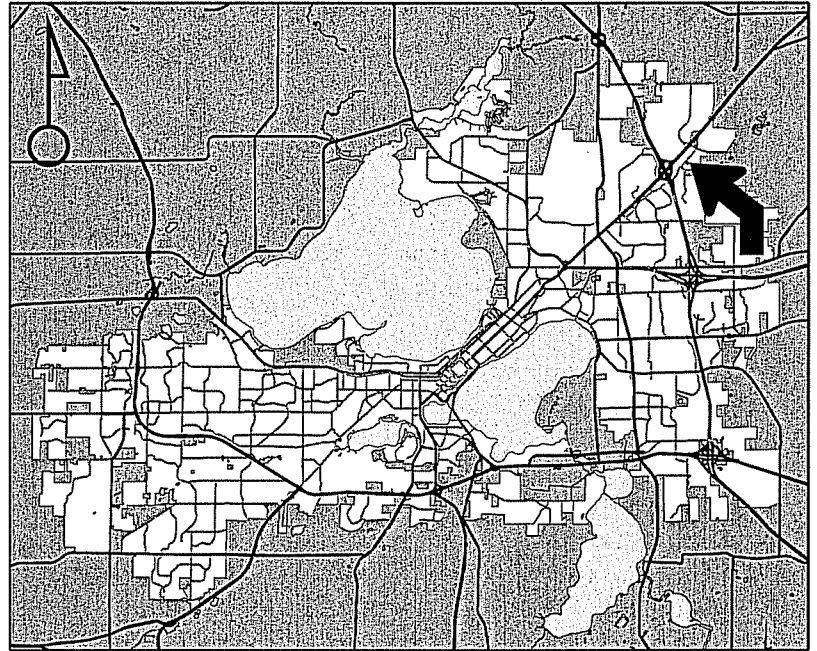
Project Name
Commercial Outlot Development

Applicant
David Walsh & John Lancaster/
Justin Frahm-JSD Professional Services

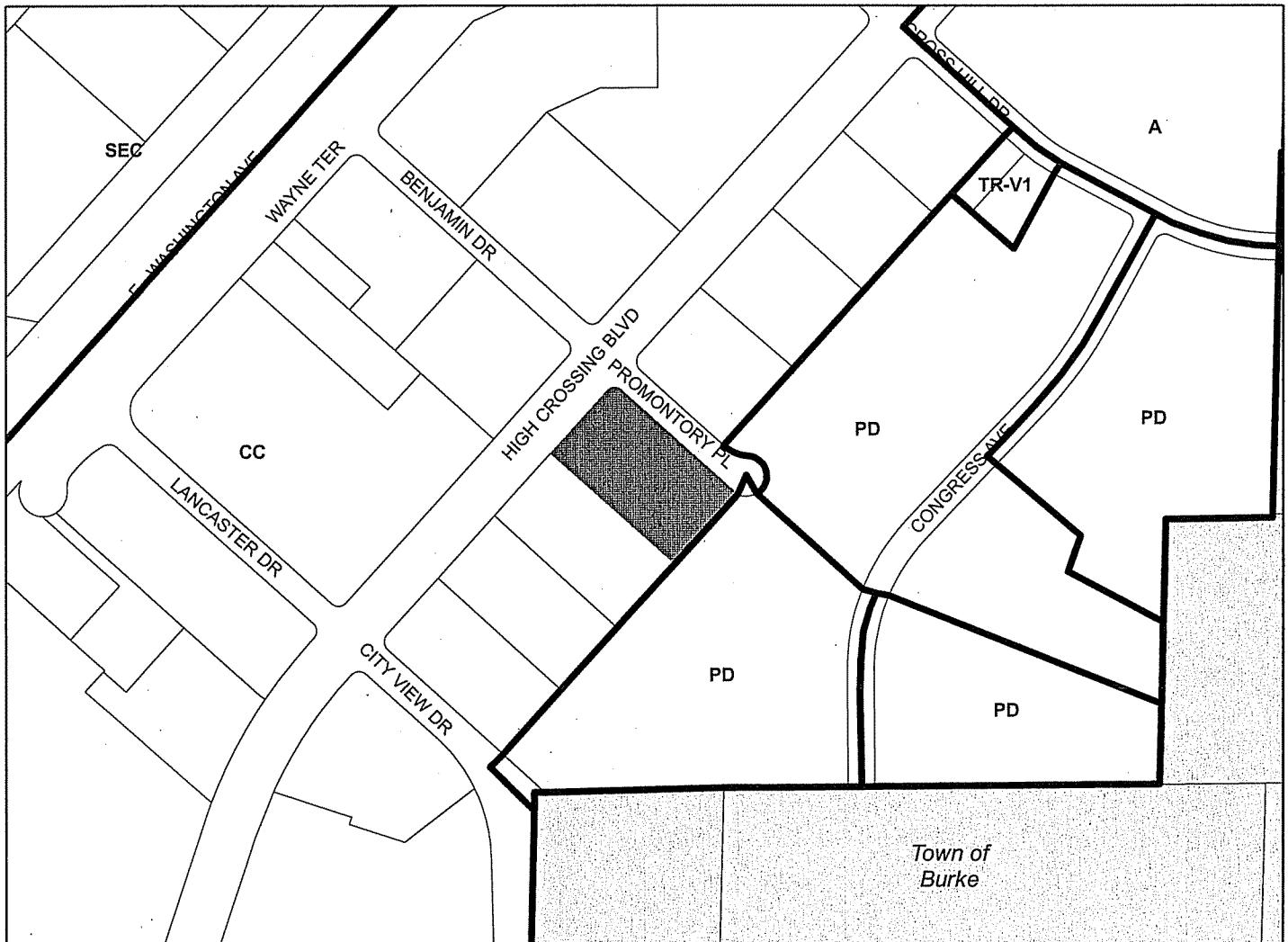
Existing Use
Single-family residence

Proposed Use
Construct 10,030 sq. ft. multi-tenant
retail building

Public Hearing Date
Plan Commission
24 August 2015

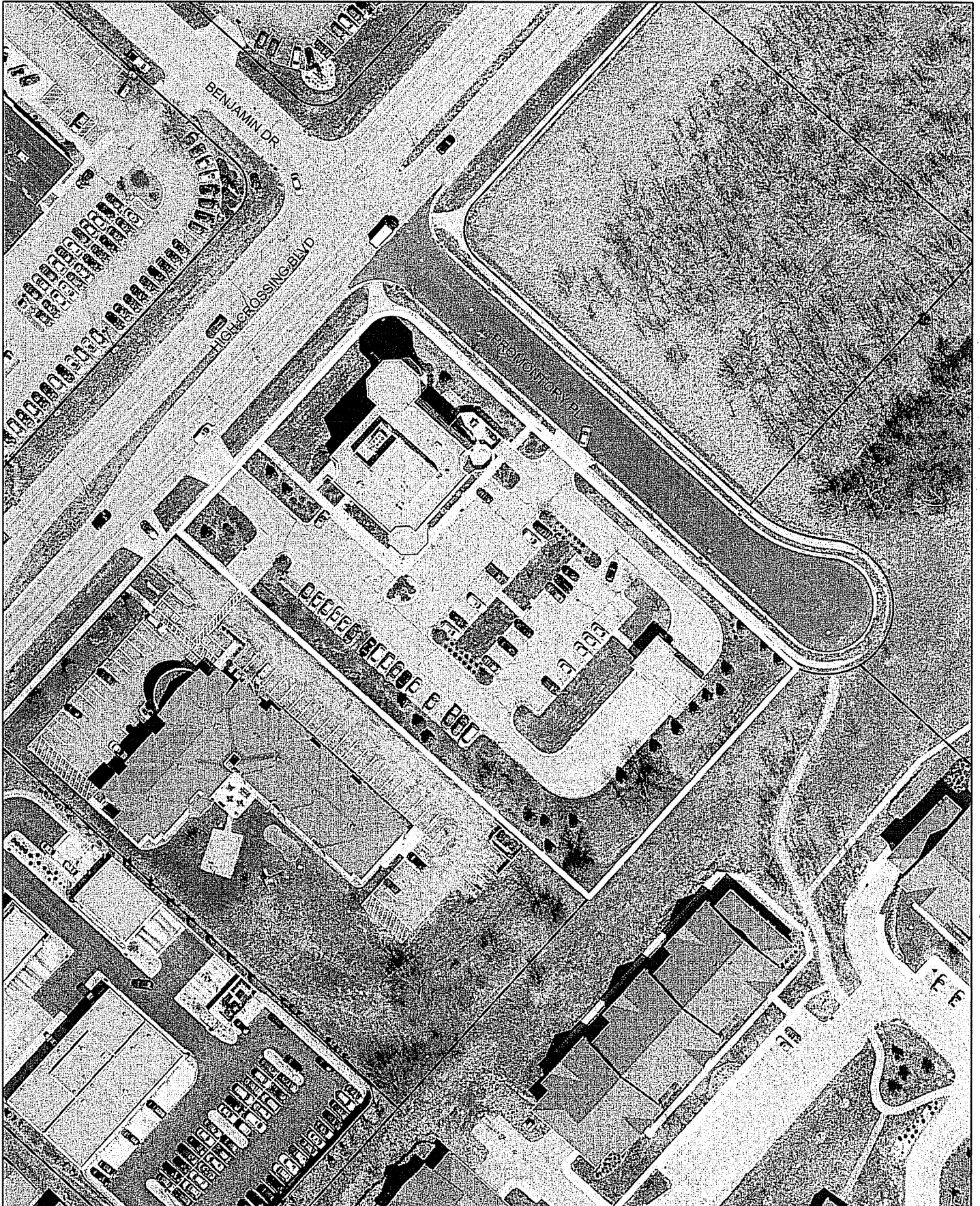


For Questions Contact: Heather Stouder at: 266-5974 or hstouder@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 13 August 2015





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. Project Address: 5235 High Crossing Blvd. Madison, WI
Project Title (if any): Walsh Properties, LLC - Commercial Outlot Development

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: David Walsh & Jon Lancaster Company: Walsh Properties, LLC
 Street Address: P.O. Box 1497 City/State: Madison, WI Zip: 53701
 Telephone: (608) 258-4269 Fax: () Email: DWalsh@foley.com; jonelancaster@gmail.com

Project Contact Person: Justin Frahm, ASLA Company: JSD Professional Services, Inc.
 Street Address: 161 Horizon Drive Suite 101 City/State: Verona, WI Zip: 53593
 Telephone: (608) 848-5060 ext. 226 Fax: () Email: justin.frahm@jsdinc.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Proposed Commercial Center (CC) zoned outlot development with commercial uses consistent with permitted and conditional zoned uses and existing corridor land use.

Development Schedule: Commencement Fall 2015 Completion Spring 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

Alder Samba Baldeh, MCC - District 17, Meeting May 20, 2015, Confirmation and Waiver from Alder attached

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: DAT Date: 04-09-15 Zoning Staff: Heather Stouder Date: 04-09-15 & 05-15-15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Justin Frahm, JSD Professional Services, Inc. Relationship to Property: Consultant to Owners

Authorizing Signature of Property Owner Jon Jarveth Date May 26, 2015

Madison Regional Office

161 Horizon Drive, Suite 101
Verona, WI 53593

p 608.848.5060 f 608.848.2255

Milwaukee Regional Office

N22 W22931 Nancys Court, Suite 3
Waukesha, WI 53186

p 262.513.0666 f 262.513.1232

Kenosha Regional Office

6520 67th Street
Kenosha, WI 53142

p 262.925.8367 f 262.925.8362

Fox Valley Regional Office

2801 E. Enterprise Ave., Ste. 201
Appleton, WI 54913

p 920-733-2800 f 920-733-2801

Memo/Letter of Intent

www.jsdinc.com

To: Attn: Plan Commission & Urban Design Commission
City of Madison Zoning & Development
215 Martin Luther King Jr. Blvd.
Madison, WI

cc: David Walsh, Jon Lancaster, Owners, Walsh Properties, LLC
Dan Bertler, Supreme Structures

From: Justin L. Frahm, JSD, Project Consultant

Date: June 24, 2015

Re: 5235 High Crossing Blvd. – Walsh Properties, LLC

On behalf of David Walsh, Owner and Jon Lancaster, Owner, Walsh Properties, LLC, JSD Professional Services, Inc. is formally requesting review of a combined Conditional Use/Urban Design Commission Application for purposes of reviewing a proposed commercial outlot development at 5235 High Crossing Blvd.

On April 9th, 2015 project team representatives including myself and Dan Bertler, Owner's Representative, Supreme Structures attended an initial Development Assistance Team review (DAT) meeting at the City of Madison for initial concept review of a proposed 12,000 SF commercial outlot development.

On May 20th, 2015, Dan Bertler had met with Alder Samba Baldeh of Madison Aldermanic District 17. The project was presented and discussed and well received by the Alder. Alder Baldeh has subsequently provided support and a waiver of the 30 day notice to submit Land Use documentation for the project to the City.

The original site plan has been revised to feature a 10,030 SF commercial outlot footprint. Walsh Properties, LLC is requesting approval of a conditional use which features a multi-tenant commercial building with a proposed drive-thru serving the south end cap and an outdoor patio serving the north endcap. The building is proposing flexible floorplan space to accommodate multiple commercial tenants.

Walsh Properties, LLC proposes a land division by CSM for Lot 1, CSM No. 7285, 2.610 acres (113,678 SF) to create two Commercial Center (CC) zoned parcels to support the legal site administration for a commercial outlot development. Lot 1 will total 39,511 SF or 0.907 acres. Lot 2 which includes the existing building will total 74,167 SF or 1.703 acres.

The existing parcel includes a 24,743 SF building with 85 total parking stalls served by full access from the west via High Crossing Boulevard and to the north via City View Drive. The site includes cross access serving the existing inline commercial building on the adjacent parcel to the south and loading dock access via City View Drive. Mature landscaping and open space is incorporated within the frontage facing High Crossing Boulevard and City View Drive.

The proposed commercial outlot building will feature 4-5 tenants with a divisible floorplan to accommodate flexible commercial spaces ranging in size from 1,500 SF to 4,000 SF. Existing parking areas will be utilized to better serve the proposed commercial use including a total of 37 large car parking spaces and 2 accessible parking spaces for proposed Lot 1 of the land division by CSM. The remainder of the existing parcel (proposed Lot 2) will feature a 24,743 SF building with a total of 38 large car parking and 2 accessible parking spaces. There is also an additional 29 large car parking spaces and 2 accessible parking spaces that are utilized via a shared parking agreement with the lot adjacent to the south. 6 bike stalls will be incorporated on the proposed commercial outlot site. Hours of operation will be determined by future tenants however will operate within appropriate hours based on proposed use.

Currently the proposed finished floor elevation and grade at the existing surface of the site and the ROW location at the corner of High Crossing Boulevard and City View Drive proposes a severe constraint (6-8' of total grade transition) in providing entry stair access to the proposed building to the frontage sidewalk at High Crossing Boulevard. An accessible public ROW sidewalk connection has been made to the proposed commercial outlot building adjacent to the location serving the existing Madison Metro bus stop location on City View Drive.

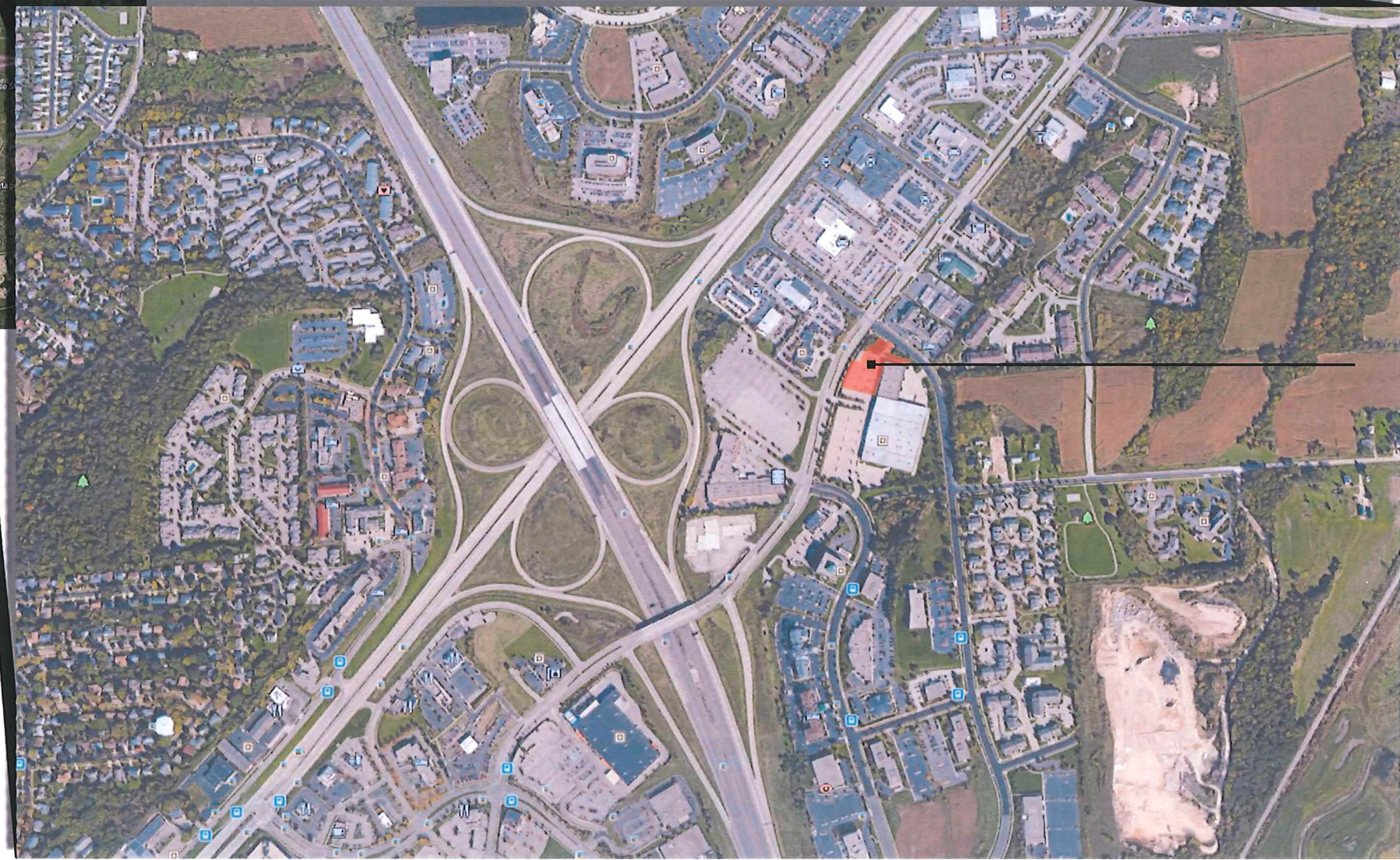
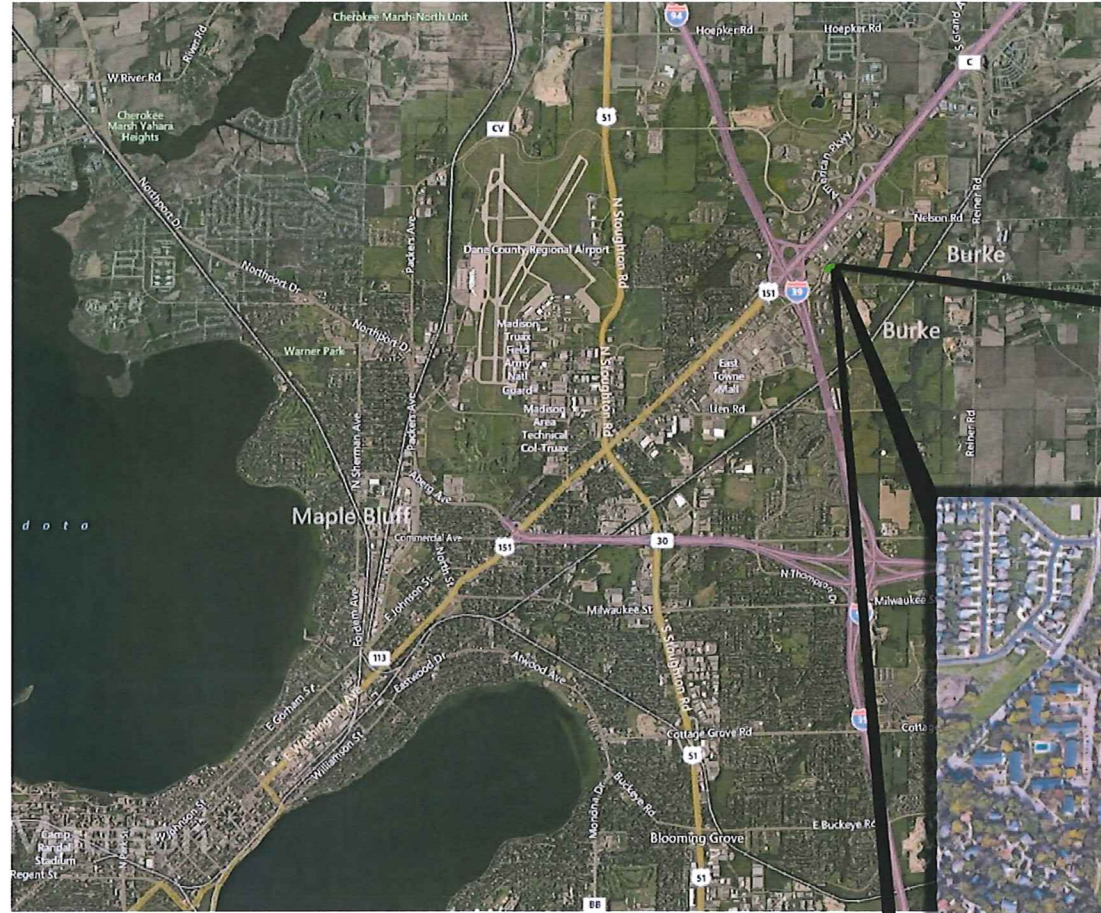
Naturalized landscaping will provide transitional design from the ROW and the proposed building foundation. Improved parking lot landscape treatment including parking islands, canopy trees, adjacent to retaining walls and open space is proposed to bring the site in conformance with the current City of Madison zoning code. Lot coverage (impervious area) for proposed lot 1 totals 33,088 SF or 83.7%. Lot coverage (impervious area) for proposed lot 2 totals 63,372 SF or 85.0%.

The existing parcel has a current assessed value of \$1,510,000. Proposed construction would take place in fall of 2015 following municipal entitlement review and finish in spring of 2016.

Regards,



Justin Lee Frahm, ASLA
Project Consultant
JSD Professional Services, Inc.

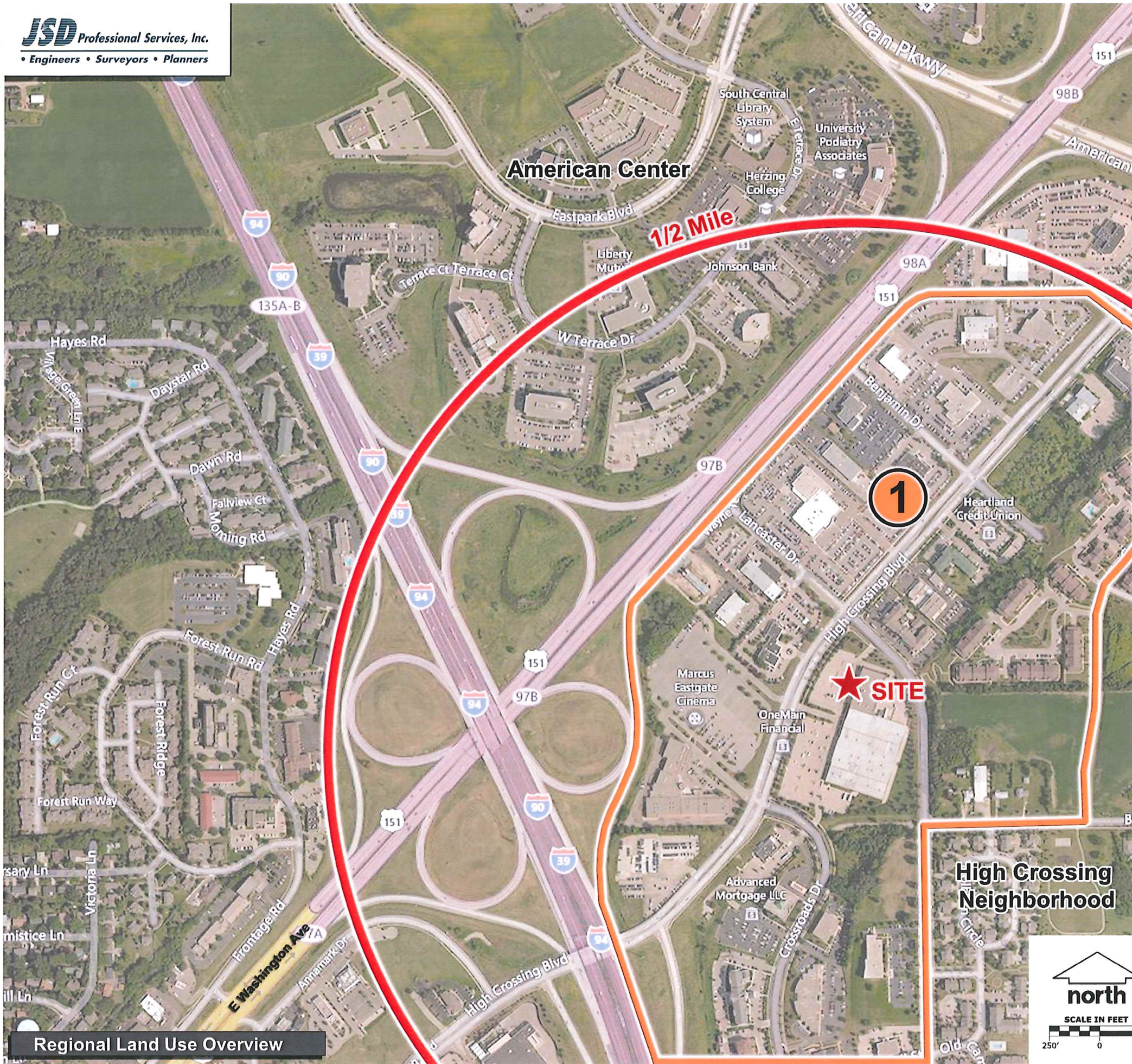


**PROJECT
AREA**

SITE LOCATOR MAP

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

SERVICES PROVIDED TO:
LANCASTER PROPERTIES, INC.

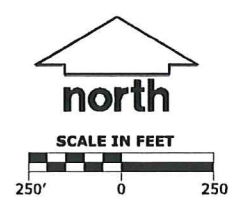


LEGEND

- ①
- Marcus Eastgate Cinema
 - Uno Chicago Grill
 - Russ Darrow: Chrysler Dodge Jeep Ram
 - Russ Darrow: Mazda of Madison
 - Jon Lancaster Toyota
 - Zimbrick Nissan
 - Don Miller Subaru East
 - Zimbrick Buick GMC Eastside
 - Heartland Credit Union
 - GrandStay Residential Suites Hotel
 - Staybridge Suites Madison- East
 - Fairfield Inn & Suites Madison East
 - Courtyard Madison East
 - University of Phoenix – Madison Campus
 - Pooley's Sports Bar and Event Center
 - Zimbrick Hyundai East
 - Metro Ford of Madison

Regional Land Use Overview

High Crossing Neighborhood





CONTEXT PHOTOS

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

SERVICES PROVIDED TO:
LANCASTER PROPERTIES, INC.

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENTS' EXPECTATIONS THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORDON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.9566 PHONE | 608.848.2355 FAX
 MADISON | MILWAUKEE
 KENOSHA | APPLETON
 www.jsdinc.com

SERVICES PROVIDED TO:

WALSH PROPERTIES, LLC.
 P.O. BOX 1497
 MADISON, WI 53701

PROJECT:
5235 HIGH CROSSING BLVD

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792



ALTHOUGH EVERY EFFORT HAS BEEN MADE BY PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DATE: 05-04-13
 APPROVED: TJB 05-13-13

PLAN MODIFICATIONS:
 LOC: NITAL-FWV 05-27-13

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 1800 W. Main Street, Suite 200
 Healy, WI 53120
 www.DiggerHotline.com

SHEET TITLE:
BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY
 MAP NO: E-237
 SHEET NUMBER:
CO.0

STORM SEWER INLETS

INLET ID	R/W ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
CB-1	944.82	NW 938.12	14"	PVC
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-
PA-2	-	-	-	-

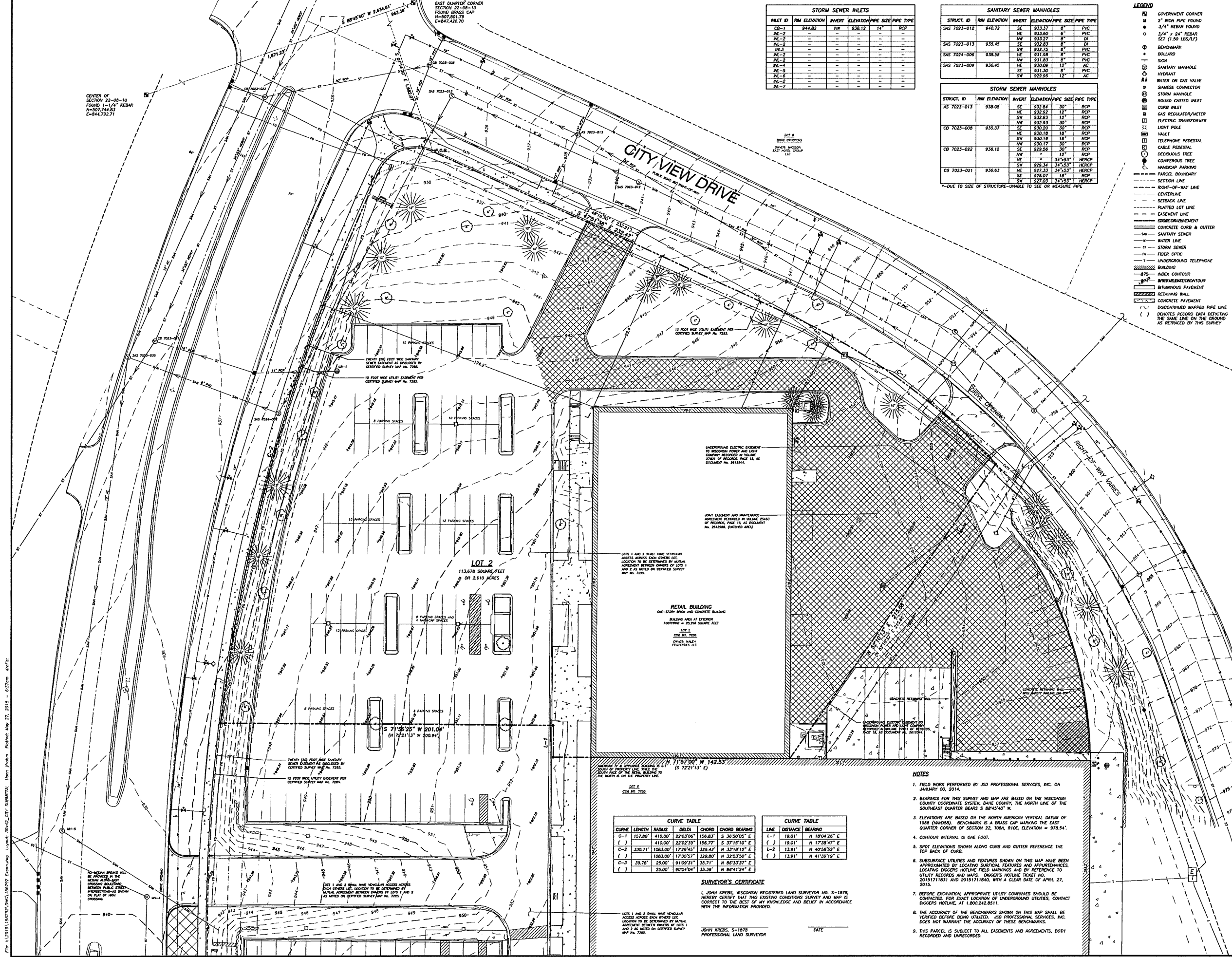
SANITARY SEWER MANHOLES

STRUCT. ID	R/W ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
SAS 7023-012	940.72	SE 933.37	8"	PVC
SE 933.60	6"	PVC		
NE 933.27	6"	DI		
SE 932.83	6"	DI		
SAS 7023-013	935.45	SE 932.83	8"	PVC
SW 932.75	6"	PVC		
NE 931.88	6"	PVC		
NW 931.83	6"	PVC		
SAS 7024-006	938.58	NE 930.09	12"	AC
SE 931.30	6"	PVC		
SW 928.55	12"	AC		
SAS 7023-009	936.45	NE 930.09	12"	AC
SE 931.30	6"	PVC		
SW 928.55	12"	AC		

STORM SEWER MANHOLES

STRUCT. ID	R/W ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE
AS 7023-013	938.08	SE 932.84	30"	RCP
NE 932.52	12"	RCP		
SW 932.83	12"	RCP		
NW 932.83	30"	RCP		
CB 7023-008	935.37	SE 930.20	30"	RCP
NE 930.18	18"	RCP		
NW 930.17	30"	RCP		
CB 7023-022	936.12	SE 929.56	30"	RCP
NW 929.56	12"	RCP		
NE 929.56	34" x 53"	HERCP		
SW 929.56	34" x 53"	HERCP		
CB 7023-021	936.63	NE 927.33	34" x 53"	HERCP
SE 927.07	18"	RCP		
SW 927.03	34" x 53"	HERCP		

- LEGEND**
- GOVERNMENT CORNER
 - 2" IRON PIPE FOUND
 - 3/4" REBAR FOUND
 - 3/4" x 24" REBAR SET (1.50 LBS/LF)
 - BENCHMARK
 - BOLLARD
 - SION
 - SANITARY MANHOLE
 - HYDRANT
 - WATER OR GAS VALVE
 - SEWER CONNECTOR
 - STORM MANHOLE
 - ROUND CASTED INLET
 - CURB INLET
 - GAS REGULATOR/WATER
 - ELECTRIC TRANSFORMER
 - LIGHT POLE
 - VAULT
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - HANDICAP PARKING
 - PARCEL BOUNDARY
 - SECTION LINE
 - RIGHT-OF-WAY LINE
 - CENTERLINE
 - SETBACK LINE
 - PLATTED LOT LINE
 - EASEMENT LINE
 - GEOREFERENCING
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - DISCONTINUED MAPPED PIPE LINE
 - DEMOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY



CURVE TABLE

CURVE	LENGTH	BEARING	DELTA	CHORD	CHORD BEARING
C-1	157.80'	410.00'	2703'06"	156.83'	S 36°50'05" E
()	410.00'	2702'38"	156.77'	S 37°15'10" E	
C-2	330.71'	1063.00'	1729'45"	329.42'	N 33°18'12" E
()	1063.00'	1729'57"	329.80'	N 32°53'50" E	
C-3	39.78'	23.00'	9109'31"	35.71'	N 65°33'37" E
()	23.00'	9204'04"	35.38'	N 65°41'24" E	

CURVE TABLE

LINE	DISTANCE	BEARING
L-1	19.01'	N 18°04'26" E
()	19.01'	N 17°38'47" E
L-2	13.91'	N 40°58'52" E
()	13.91'	N 41°25'19" E

SURVEYOR'S CERTIFICATE

I, JOHN KRIS, WISCONSIN REGISTERED LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

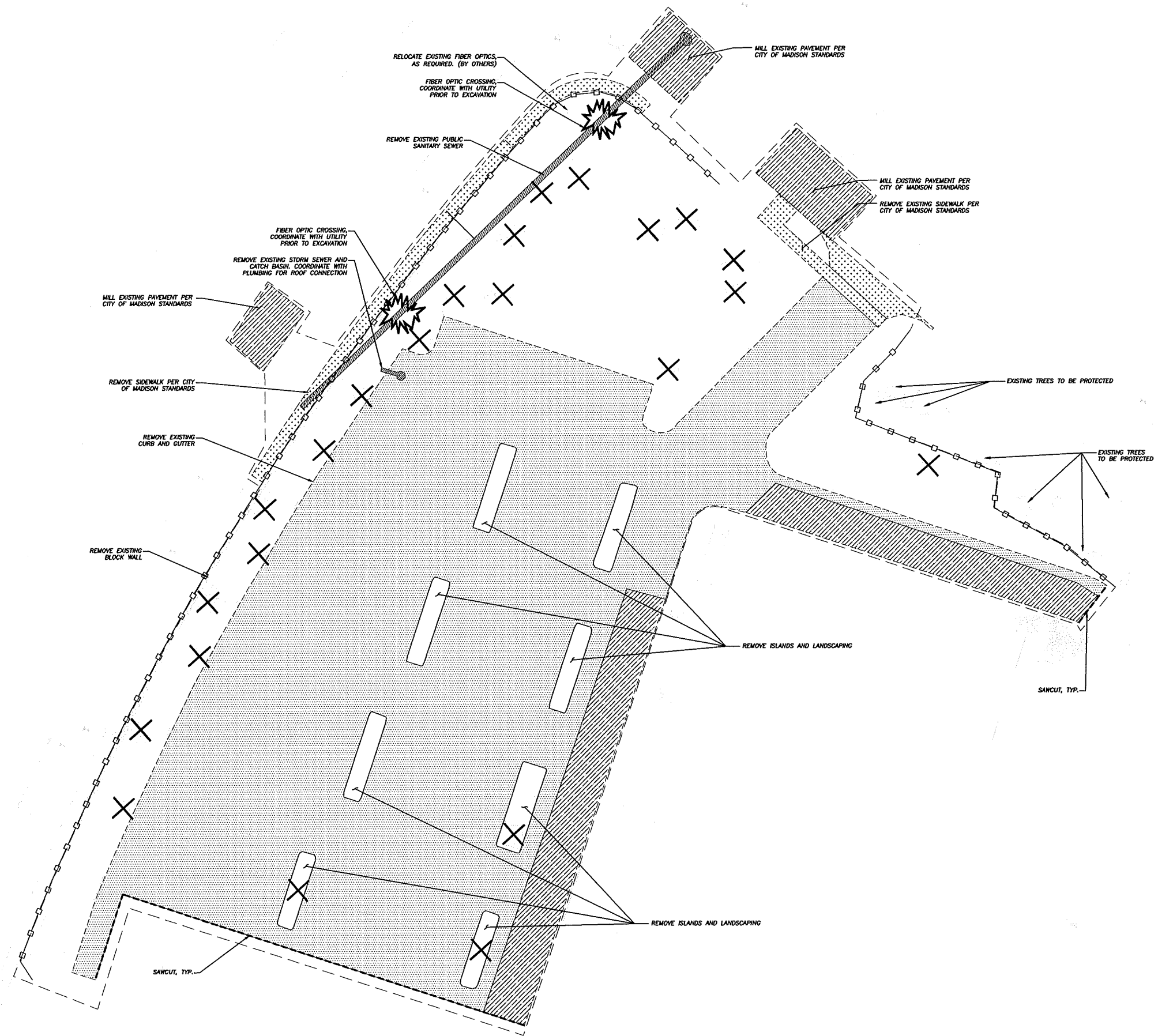
JOHN KRIS, S-1878
 PROFESSIONAL LAND SURVEYOR

DATE

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JANUARY 02, 2014.
 - BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE NORTH LINE OF THE SOUTHEAST QUARTER BEARS S 88°45'40" W.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS A BRASS CAP MARKING THE EAST QUARTER CORNER OF SECTION 22, T8N, R10E, ELEVATION = 928.24'.
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20151711831 AND 20151711840, WITH A CLEAR DATE OF APRIL 27, 2015.
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED, FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE AT 1.800.242.8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

File: G:\2015\156792\Draw\156792_Existing.dwg User: jkriss Date: 05/13/2015 10:53:00 AM Plot: May 27, 2015 10:53:00 AM

File: I:\2015\156792\DWG\15-6792 Construction Documents.dwg Layout: C0.1 - Demo Plan User: pbaiker Plotted: Jun 23, 2015 - 4:36pm Xref's:



LEGEND (PROPOSED)

---	PROPERTY LINE
- - - -	LIMITS OF DISTURBANCE
---	SAWCUT
.....	ASPHALT/BASE REMOVAL
.....	CONCRETE/BASE REMOVAL
.....	MILLING ASPHALT
.....	UTILITY REMOVAL
X	REMOVE / RELOCATE TREE

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, CONDUCTED ON APRIL 27TH & 28TH 2015, BY JSD FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF MADISON REQUIREMENTS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE HDNR WRAPP PERMIT APPLICATION STANDARDS.

- DEMOLITION NOTES**
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY, RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
 - ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
 - BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS. THE OWNER WILL PROVIDE ENVIRONMENTAL DOCUMENTATION AVAILABLE. THIS CONTRACTOR SHALL SUBMIT THE RECYCLING PLAN PER CITY OF MADISON REQUIREMENTS.
 - ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
 - CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MOWING.
 - GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
 - THIS SITE IS PART OF A PARCEL THAT WAS IDENTIFIED IN THE BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) 03-13-55397S. SEE ENVIRONMENTAL DOCUMENTS PROVIDED BY THE OWNER FOR SPECIFIC REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE UTILITY RELOCATES WITH AFFECTED UTILITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A REUSE AND RECYCLING PLAN IN ACCORDANCE WITH THE CITY OF MADISON ORDINANCES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SANITARY SEWER BY-PASS PUMPING WHILE THE PUBLIC SANITARY SEWER IS BEING REROUTED.

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SERVICES PROVIDED TO:
WALSH PROPERTIES, LLC.

P.O. BOX 1497
 MADISON, WI 53701

PROJECT:
5235 HIGH CROSSING BLVD

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEAL SIGNATURE:

DESIGN:	PGB	06/22/2015
DRAWN:	PGB	06/22/2015
APPROVED:	BHD	06/23/2015

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PLAN MODIFICATIONS:	DATE:
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UDC INITIAL - FINAL RESUBMITTAL	06/24/2015

DIGGERS HOTLINE

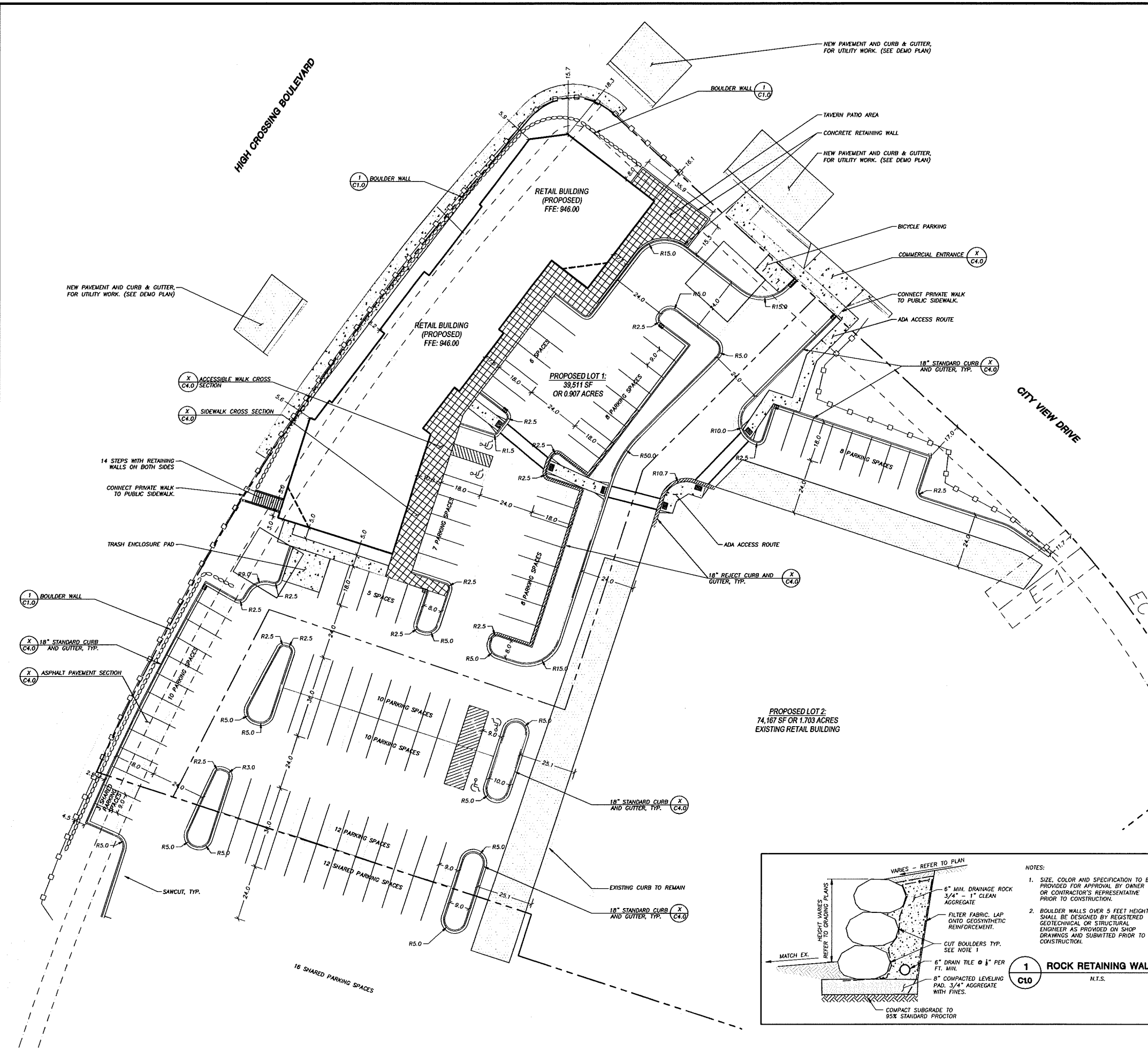
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SHEET TITLE:
DEMOLITION PLAN

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LEGEND (PROPOSED)

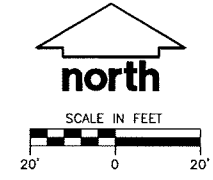
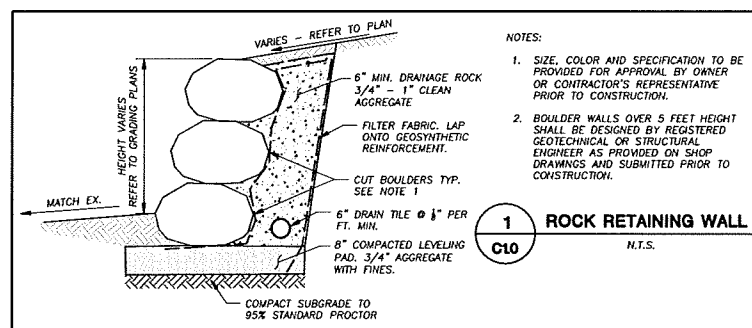
---	PROPERTY LINE
---	LOT LINE
---	EASEMENT LINE
---	PROPOSED BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	NEW ASPHALT SURFACE AT MILLED AREA
---	18" STANDARD CURB AND GUTTER
---	18" REJECT CURB AND GUTTER
---	STONE RETAINING WALL
---	MODULAR BLOCK/ LIVINGSTONE ROCK RETAINING WALL

- GENERAL NOTES**
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- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PRIVATE CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF VERONA.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
 - BIKE RACKS SHALL BE LOCATED ON A 4" THICK CONCRETE PAD OVER 4" OF AGGREGATE BASE. EACH BIKE PARKING STALL SHALL BE AT LEAST 2'x6'. BIKE RACK SHALL BE APPROVED BY OWNER AND INSTALLED INTEGRAL TO THE CONCRETE PAD.
 - DETAILS OF WALK LAYOUT WILL BE PROVIDED IN ELECTRONIC FORMAT FOR LAYOUT.
 - SEE LANDSCAPE PLANS FOR HARDSCAPE AND LANDSCAPE OF SPECIAL GARDEN AREAS AS NOTED.

SITE INFORMATION BLOCK

Site Location	Madison, WI
Existing Site Acreage (Total)	2.61 ACRES
Disturbed Area	74,220 S.F.
Existing Site Zoning:	CC
Proposed use of property: (Proposed Lot 1 & Lot 2)	COMMERCIAL - COMMERCIAL CENTER (CC)
Building Information:	
Number of stories (above grade)	1
Building height	16'
Total square footage of building	9,745 S.F.
Number of surface parking stalls:	
Large car	80
Accessible	4
Number of shared parking stalls: (per agreement with adjacent lot to south)	
Large car	29
Accessible	2
Number of bicycle stalls shown:	
Existing Impervious Surface Area (LOT 1)	22,268 S.F.
Existing Pervious Surface Area (LOT 1)	17,243 S.F.
Existing Impervious Surface Area Ratio (LOT 1)	0.564
Proposed Impervious Surface Area (LOT 1)	6,423 S.F.
Proposed Pervious Surface Area (LOT 1)	33,088 S.F.
Proposed Impervious Surface Area Ratio (LOT 1)	0.837
Usable Open Space (LOT 1)	6,423 S.F.
Existing Impervious Surface Area (LOT 2)	61,443 S.F.
Existing Pervious Surface Area (LOT 2)	12,724 S.F.
Existing Impervious Surface Area Ratio (LOT 2)	0.828
Proposed Impervious Surface Area (LOT 2)	63,372 S.F.
Proposed Pervious Surface Area (LOT 2)	10,795 S.F.
Proposed Impervious Surface Area Ratio (LOT 2)	0.850
Usable Open Space (LOT 2)	10,775 S.F.



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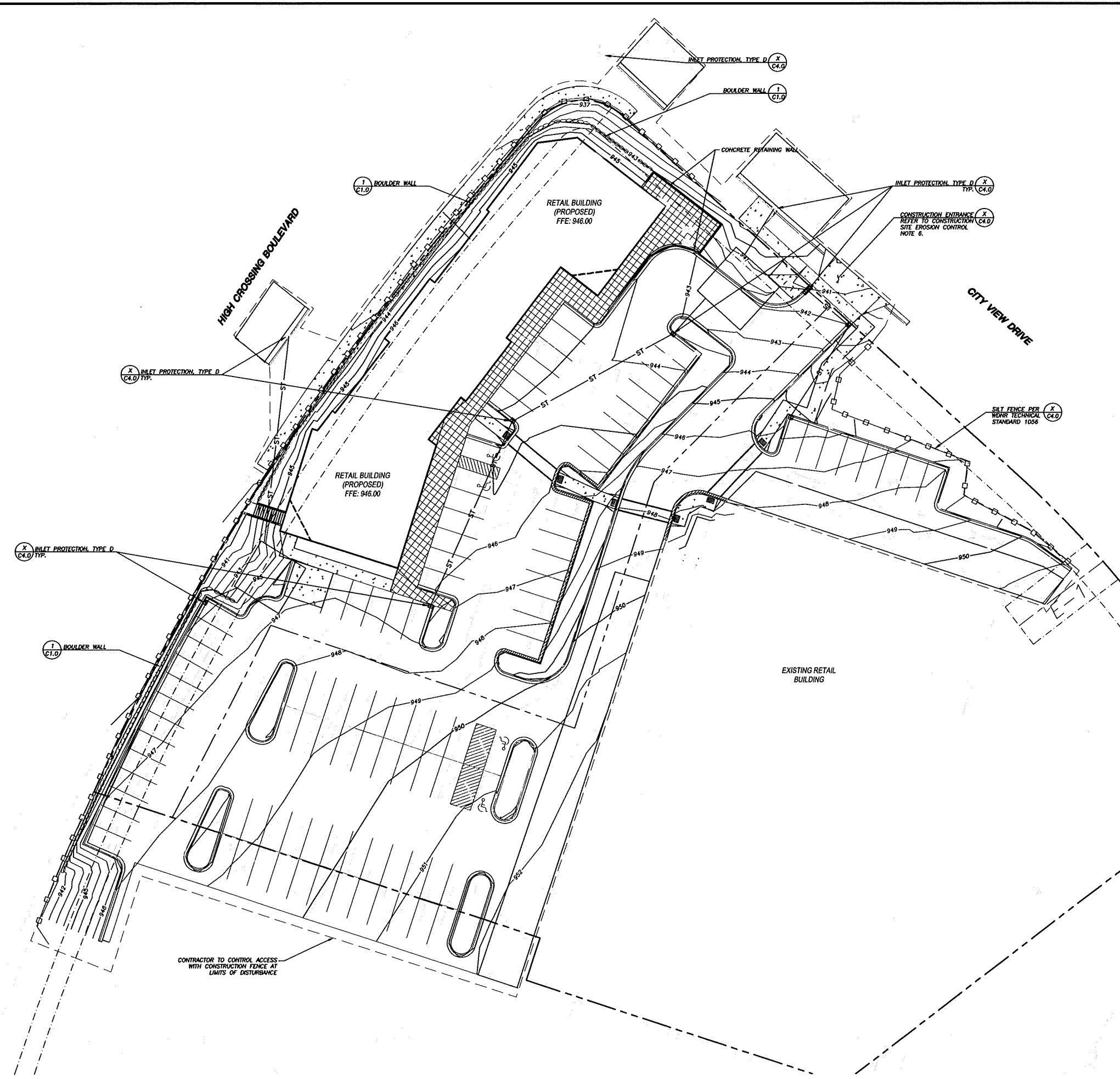
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LEGEND (PROPOSED)

---	PROPERTY LINE
---	LOT LINE
---	PROPOSED BUILDING OUTLINE
---	LIMITS OF DISTURBANCE
---	944 PROPOSED 1 FOOT CONTOUR
---	945 PROPOSED 5 FOOT CONTOUR
---	EDGE OF PAVEMENT
---	SILT FENCE
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	18" STANDARD CURB AND GUTTER
---	18" RE-ECT CURB & GUTTER
---	STONE RETAINING WALL (SEE STRUCTURAL PLANS FOR DETAILS)

GENERAL NOTES

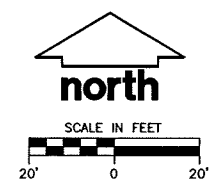
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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wis.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO MNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE MUNICIPALITY.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH MNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES EXCEEDING 5:1 (20%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I TYPE B EROSION MATTING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL. SLOPES 3:1 (33%) SHALL BE STABILIZED AS SOON AS PRACTICABLE FOLLOWING GRADING ACTIVITIES ARE COMPLETE.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WISCONSIN SAFETY AND PROFESSIONAL SERVICES REQUIREMENTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO MNR TECHNICAL STANDARD 1068.
- CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
- ALL APRON ENDWALLS SHALL BE PROVIDED WITH RIP RAP PER DETAILS.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETE AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SEEDING AND MULCHING TO PROMOTE INFILTRATION.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
- ALL SLOPES 20% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE. ALL SLOPES 33% OR GREATER SHALL BE TEMPORARILY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM AS SOON AS PRACTICABLE.
- WATER FLOWING DIRECTLY INTO BIORETENTION BASINS OR RAIN GARDENS SHALL BE TEMPORARILY DIVERTED FOR 60 DAYS TO ALLOW FOR PLANTING GROWTH.



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SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
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LEGEND (PROPOSED)

---	PROPERTY LINE
---	LOT LINE
---	BUILDING FIRST FLOOR
---	EDGE OF PAVEMENT
ST	STORM SEWER
SAN	SANITARY SEWER
---	WATER SERVICE
ST	STORM SEWER (BY OTHERS)
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	18" STANDARD CURB AND GUTTER
---	18" REJECT CURB & GUTTER
---	STONE RETAINING WALL (SEE LANDSCAPE PLANS FOR DETAILS)
---	STORMWATER MANAGEMENT AREA

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UTILITY NOTES

- ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MADISON STANDARD CONSTRUCTION SPECIFICATIONS (STANDARD SPECIFICATIONS).
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- PROMOTE DE-WATERING ACTIVITIES AND PERMITS AS NECESSARY PER WDMR REQUIREMENTS AND WDMR TECHNICAL STANDARD 1061.
- ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6" MINIMUM BURY.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISCONSIN, AND WDMR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- OPEN PICK HOLES IN SANITARY MANHOLE CASTING LIDS ARE PROHIBITED.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

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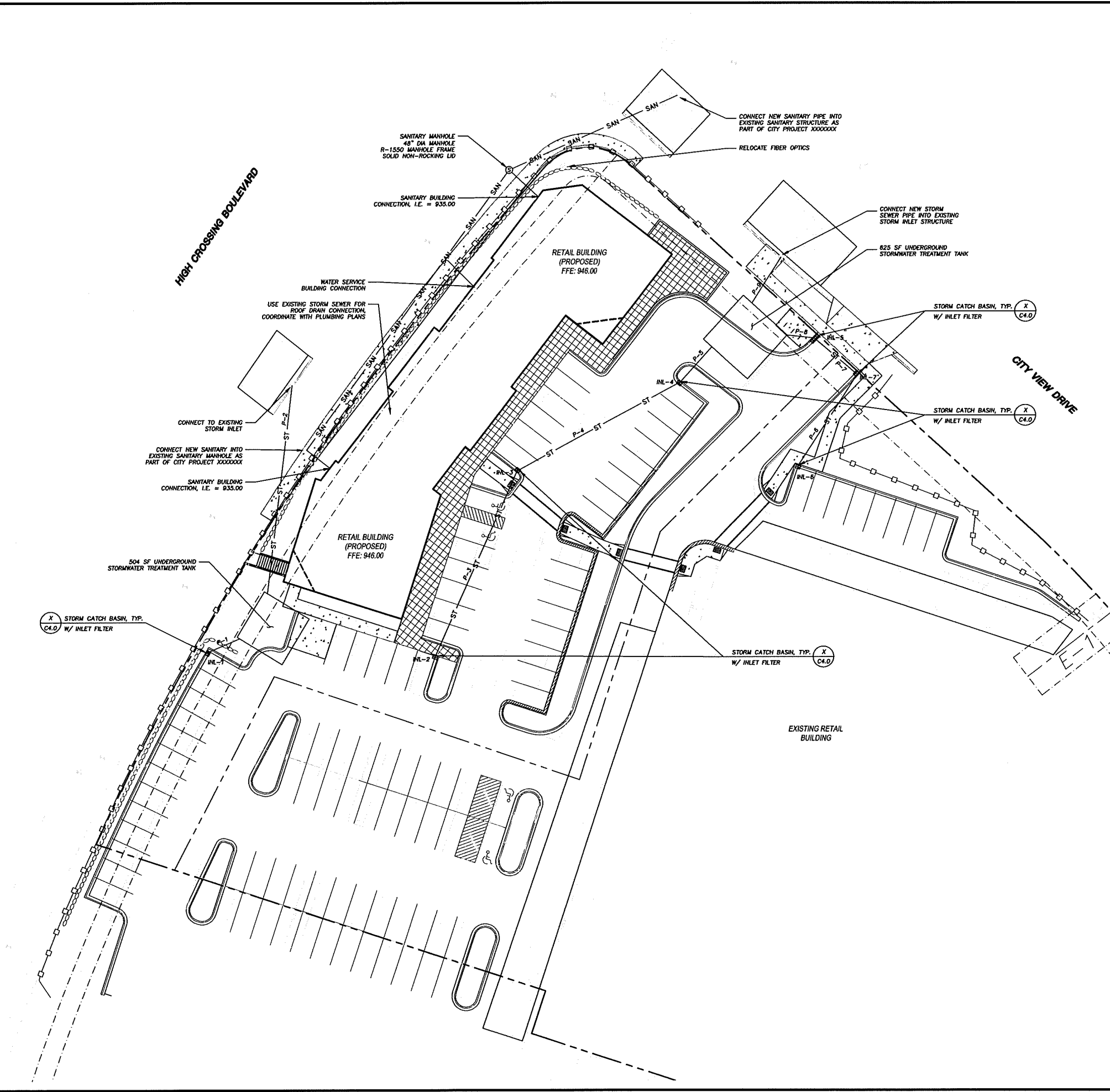
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SHEET TITLE:
UTILITY PLAN

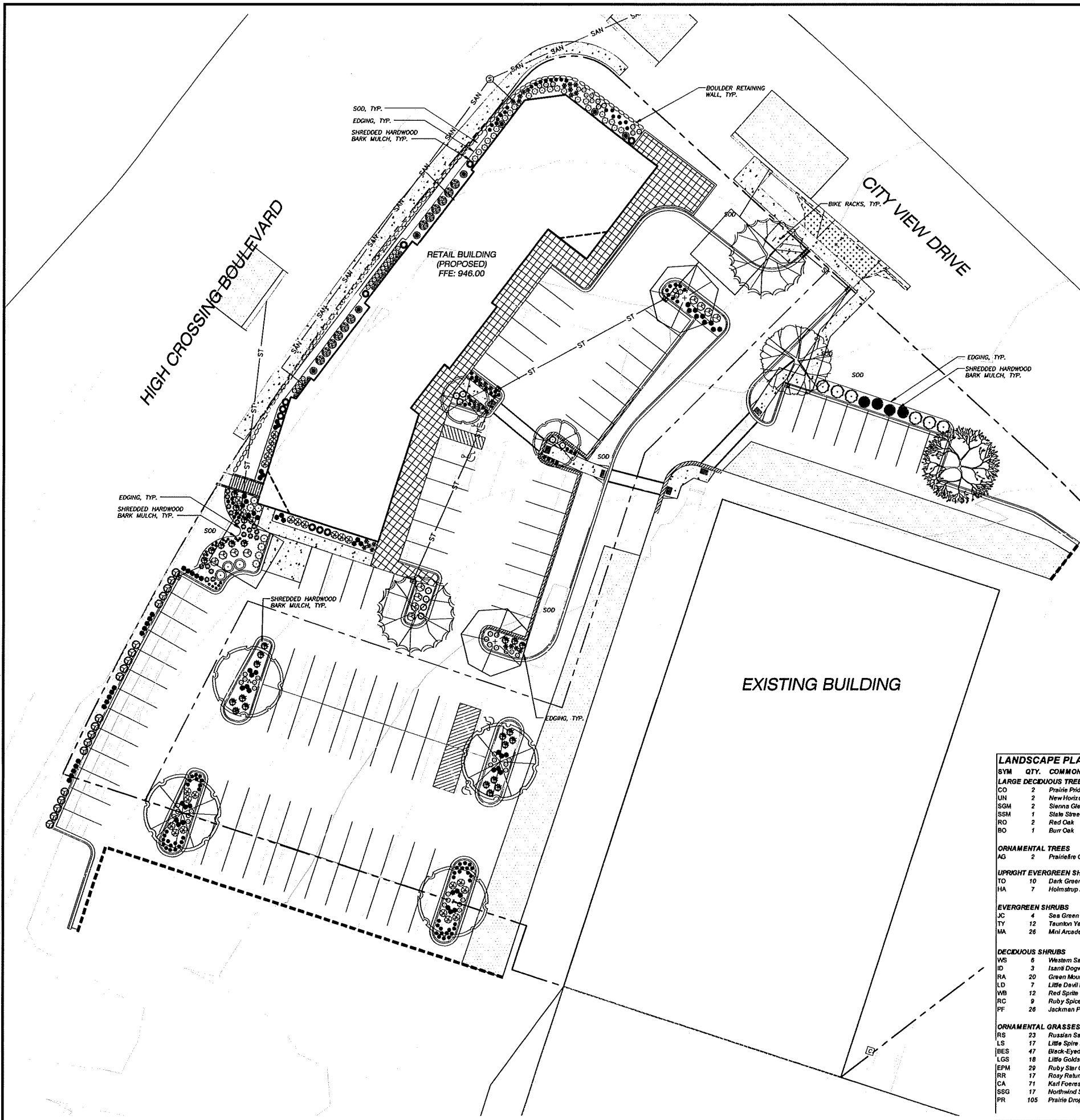
SHEET NUMBER:
C3.0

File: I:\2015\156792\DWG\15-6792_Construction Documents.dwg Layout: C3.0 - Utility Plan User: jpbaker Plotfile: Jun 23, 2015 - 5:16pm Xref's

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File: I:\2015\156792\DWG\15-6792 Landscape Plan User: danielweiss Plot Date: Jun 23, 2015 4:40pm Xref:



LEGEND (PROPOSED)

- PROPERTY LINE
- - - EASEMENT LINE
- - - FUTURE BUILDING ADDITION
- ===== EDGE OF PAVEMENT
- ===== ASPHALT PAVEMENT
- ===== CONCRETE PAVEMENT
- ===== 18" STANDARD CURB AND GUTTER
- ===== 18" REJECT CURB AND GUTTER
- ===== STONE RETAINING WALL

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
6. REFER TO SHEET L2.0 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
7. ALL PATIOS ON PLAN TO BE INSTALLED BY OTHERS
8. ALL RETAINING WALL EXTENSIONS OF PATIOS TO BE INSTALLED BY OTHERS

LEGEND (PROPOSED)

LARGE DECIDUOUS TREES

- Prairie Pride Hackberry
- New Horizon Elm
- Sienna Glen Maple
- State Street Maple
- Red Oak
- Burr Oak

ORNAMENTAL TREES

- Prairie Fire Crabapple

UPRIGHT EVERGREEN SHRUB

- Dark Green Arborvitae
- Holmstrup Arborvitae

EVERGREEN SHRUBS

- Sea Green Juniper
- Taunton Yew
- Mini Arcade Juniper

DECIDUOUS SHRUBS

- Western Sandcherry
- Isanti Dogwood
- Green Mound Alpine Currant
- Little Devil Ninebark
- Red Sprite Winterberry
- Ruby Spice Clethra
- Jackman Potentilla

ORNAMENTAL GRASSES/PERENNIALS

- Russian Sage
- Little Spire Russian Sage
- Black-Eyed Susan
- Little Goldstar Black-Eyed Susan
- Ruby Star Coneflower Purple Coneflower
- Rosy Returns Daylily
- Karl Foerster Feather Reed Grass
- Northwind Switch Grass
- Prairie Dropseed

LANDSCAPE PLANT LIST

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
CO	2	Prairie Pride Hackberry	CELTIS occidentalis 'Prairie Pride'	2 1/2" Cal.	B&B	35	70
UN	2	New Horizon Elm	ULMUS x 'New Horizon'	2 1/2" Cal.	B&B	35	70
SGM	2	Sienna Glen Maple	ACER x 'Sienna Glen' (PP11322)	2 1/2" Cal.	B&B	35	70
SSM	1	State Street Maple	ACER 'State Street'	2 1/2" Cal.	B&B	35	35
RO	2	Red Oak	QUERCUS rubra	2 1/2" Cal.	B&B	35	70
BO	1	Burr Oak	QUERCUS macrocarpa	2 1/2" Cal.	B&B	35	35
ORNAMENTAL TREES							
AG	2	Prairie Fire Crabapple	MALUS 'Prairie Fire'	1 1/2" Cal.	B&B	15	30
UPRIGHT EVERGREEN SHRUB							
TO	10	Dark Green Arborvitae	THUJA occidentalis 'Smaragd'	3-4" Mn. HL	B&B	10	100
HA	7	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4" Mn. HL	B&B	10	70
EVERGREEN SHRUBS							
JC	4	Sea Green Juniper	JUNIPERUS chinensis 'Sea Green'	12-24" Mn HL	# 3 Cont.	4	16
TY	12	Taunton Yew	TAXUS x media 'Taunton'	12-24" Mn HL	# 3 Cont.	4	48
MA	26	Mini Arcade Juniper	JUNIPERUS sabina 'Mini Arcade'	12-24" Mn HL	# 3 Cont.	4	104
DECIDUOUS SHRUBS							
WS	6	Western Sandcherry	PRUNUS besseyi	12-24" Mn HL	# 3 Cont.	3	18
ID	3	Isanti Dogwood	CORNUS sericea 'Isanti'	12-24" Mn HL	# 3 Cont.	3	9
RA	20	Green Mound Alpine Currant	RIBES alpinum 'Green Mound'	12-24" Mn HL	# 3 Cont.	3	60
LD	7	Little Devil Ninebark	PHYSOCARPUS opulifolius 'Little Devil'	12-24" Mn HL	# 3 Cont.	3	21
WB	12	Red Sprite Winterberry	ILEX verticillata 'Nana' 'Red Sprite'	12-24" Mn HL	# 3 Cont.	3	36
RC	9	Ruby Spice Clethra	CLETHRA alnifolia 'Ruby Spice'	12-24" Mn HL	# 3 Cont.	3	27
PF	26	Jackman Potentilla	POTENTILLA fruticosa 'Jackmanii'	12-24" Mn HL	# 3 Cont.	3	78
ORNAMENTAL GRASSES/PERENNIALS							
RS	23	Russian Sage	PEROVSKIA 'bipartita'	10-12" HL	# 1 Cont.	2	46
LS	17	Little Spire Russian Sage	PEROVSKIA atropurpurea 'Little Spire'	10-12" HL	# 1 Cont.	2	34
BES	47	Black-Eyed Susan	RUDBECKIA hirta var. 'Goldstard'	10-12" HL	# 1 Cont.	2	94
LGS	18	Little Goldstar Black-Eyed Susan	RUDBECKIA hirta var. 'Little Goldstar'	1 Gal.	# 1 Cont.	2	36
EPM	29	Ruby Star Coneflower Purple Coneflower	ECHINACEA purpurea 'Ruby Star'	10-12" HL	# 1 Cont.	2	58
RR	17	Rosy Returns Daylily	HEMEROCALLIS 'Rosy Returns'	10-12" HL	# 1 Cont.	2	34
CA	71	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	10-12" HL	# 1 Cont.	2	142
SG	17	Northwind Switch Grass	PANICUM 'Northwind'	10-12" HL	# 1 Cont.	2	34
PR	105	Prairie Dropseed	SPOROBOLOUS heterolepis	10-12" HL	# 1 Cont.	2	210
TOTAL							1655

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- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

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SERVICES PROVIDED TO:
WALSH PROPERTIES, LLC.

P.O. BOX 1497
 MADISON, WI 53701

PROJECT:
5235 HIGH CROSSING BLVD

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI

JSD PROJECT NO.: 15-6792

SEALSIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: K.TY. ASK 06/23/2015
 DRAWN: K.TY. ASK 06/23/2015
 APPROVED: JLF 06/23/2015

PLAN MODIFICATIONS: DATE:
 UDC INITIAL - FINAL 05/27/2015
 UDC INITIAL - FINAL RESUBMITTAL 06/24/2015

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SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L1.0

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DESIGN: KFY, ABK 06/23/2015
 DRAWN: KFY, ABK 06/23/2015
 APPROVED: JLF 06/23/2015

PLAN MODIFICATIONS: DATE:
 UDC INITIAL - FINAL 05/27/2015
 UDC INITIAL - FINAL RESUBMITTAL 06/24/2015



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SHEET TITLE:

LANDSCAPE DETAILS, NOTES AND SPECIFICATIONS

SHEET NUMBER:

L2.0



**CITY OF MADISON
 LANDSCAPE WORKSHEET**
 Section 28.142 Madison General Ordinance

Project Location / Address: 2906 MARKETPLACE DRIVE MADISON, WI 53719
 Name of Project: 5235 HIGH CROSSING BLVD.
 Owner / Contact: WALSH PROPERTIES, LLC.
 Contact Phone: (608) 848-5060 Contact Email: JUSTIN.FRAHM@JSDINC.COM

** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten (10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped area shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and zoning district.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 49,993
 Total landscape points required 833

- (b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____
 Five (5) acres = 217,800 square feet
 First five (5) developed acres = 3,630 points
 Remainder of developed area _____
 Total landscape points required _____

- (c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____
 Total landscape points required _____

10/2015

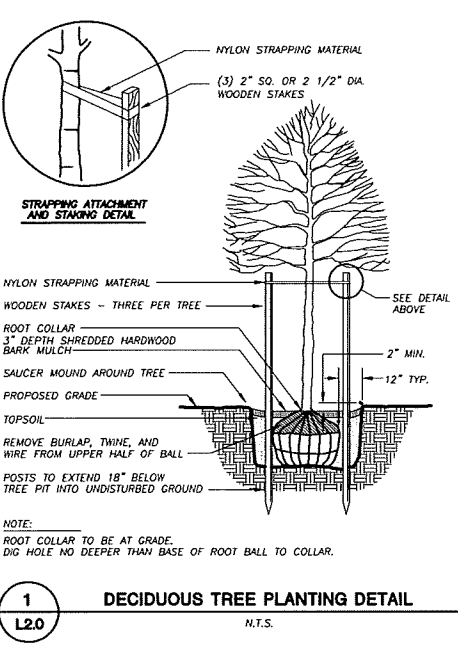
Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

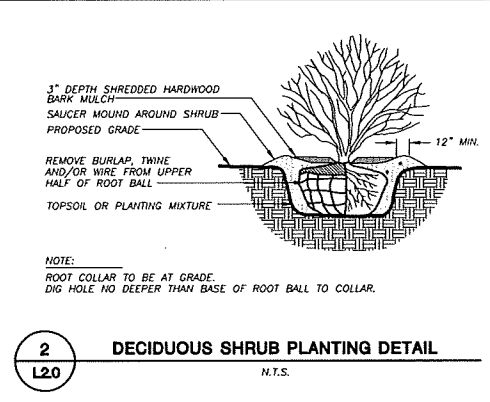
Plant Type/Element	Minimum Size at Installation	Points	Credits/Existing Landscaping		New/Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35			10	350
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			2	30
Upright evergreen shrub (i.e. arbovitae)	3-4 feet tall	10			17	170
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			83	249
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			42	168
Ornamental grasses/perennials	#1 gallon container size, Min. 8"-18"	2			344	688
Ornamental decorative fencing or wall	11'a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 1/2 inch caliper dbh * Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						1655

Total Number of Points Provided 1655

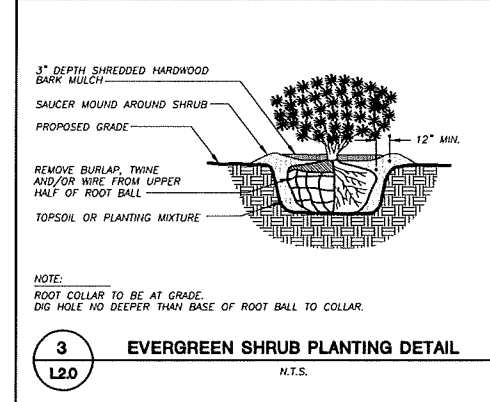
* As determined by ANSI ANLA-A American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.



1 DECIDUOUS TREE PLANTING DETAIL
 N.T.S.



2 DECIDUOUS SHRUB PLANTING DETAIL
 N.T.S.

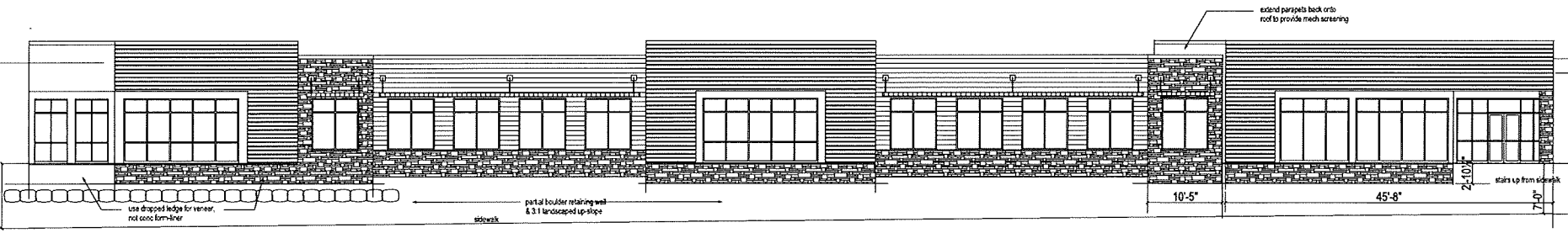
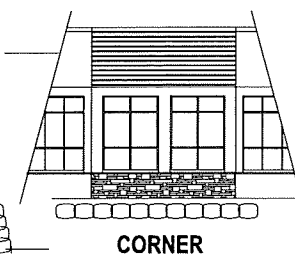
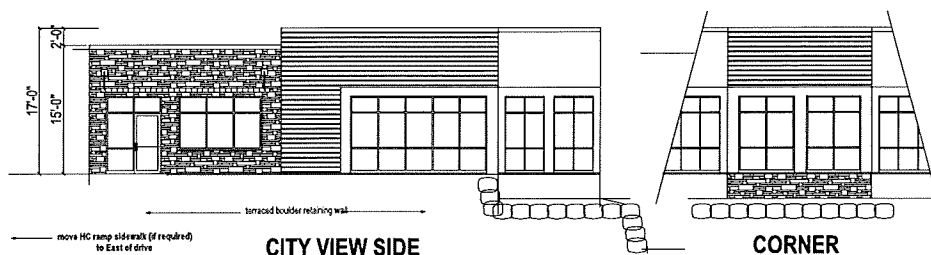
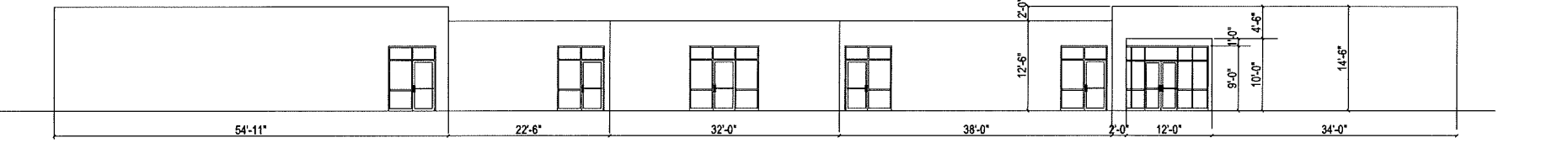
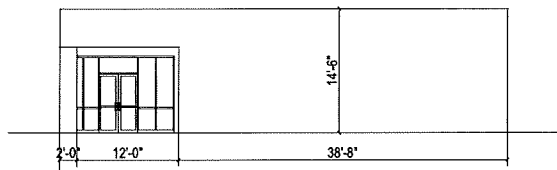
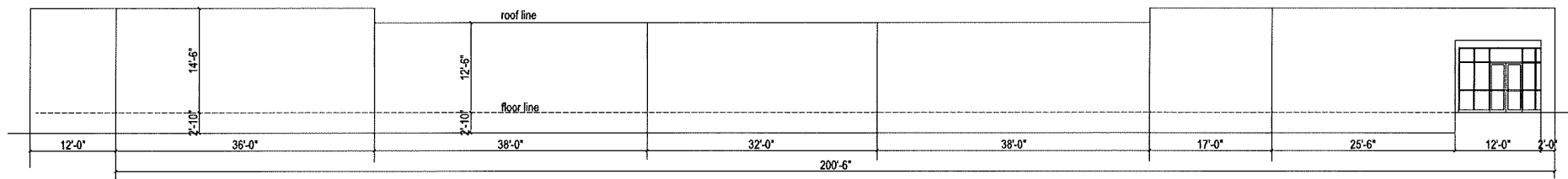
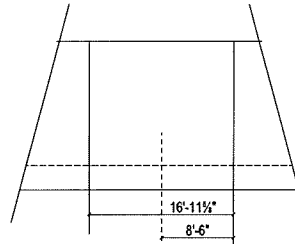
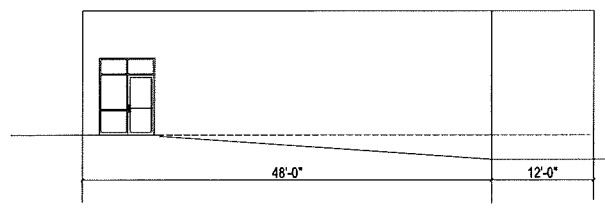
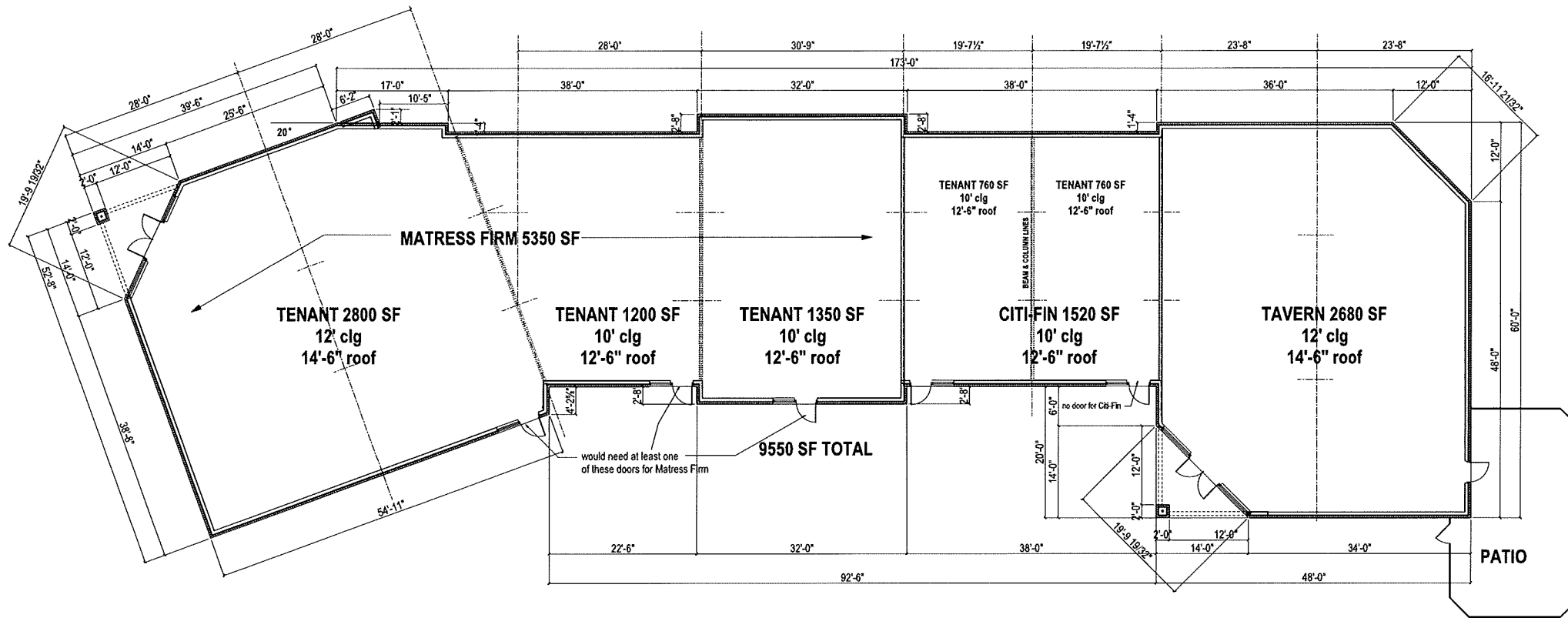


3 EVERGREEN SHRUB PLANTING DETAIL
 N.T.S.

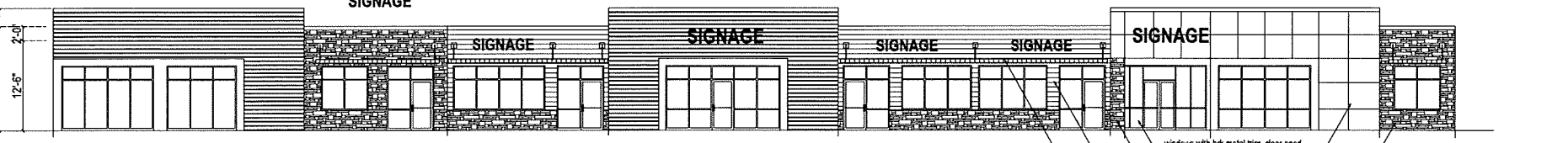
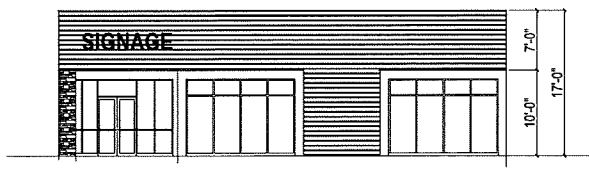
LANDSCAPE NOTES AND SPECIFICATIONS

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
4. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
5. MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. PLANTING AREAS - 24"
 2. TREE PITS - SEE DETAILS
6. PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRAGILE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
7. MATERIALS - ALL PLANTING AREAS SHALL RECEIVE FINELY SHREDDED, WEED FREE, HARDWOOD BARK MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
8. MATERIALS - TREE RINGS: ALL TREES PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF THREE INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULATE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
9. MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
10. MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
11. MATERIALS: SOO ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD, ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
12. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CANKER LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
13. CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
14. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, BUFFER AREAS AND SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
15. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

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wall length = 209'
wall area = 2815 sf
window length = 126' provided = 138'
length within 3' = 63' provided = 73'
window area = 1126 sf provided = 1128 sf



windows with brick metal trim, clear and ribbed metal panel or Aluplex panel—stone / block / brick / stone combination? cement bevel siding eyebrow sun screen



LOOKING NORTH

PERSPECTIVE RENDERINGS

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ENTRY TERRACE

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HIGH CROSSING BOULEVARD

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