



GARY BRINK & ASSOCIATES
ARCHITECTS
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



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REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fourrier Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 824-0532 Fax: (608) 824-0530

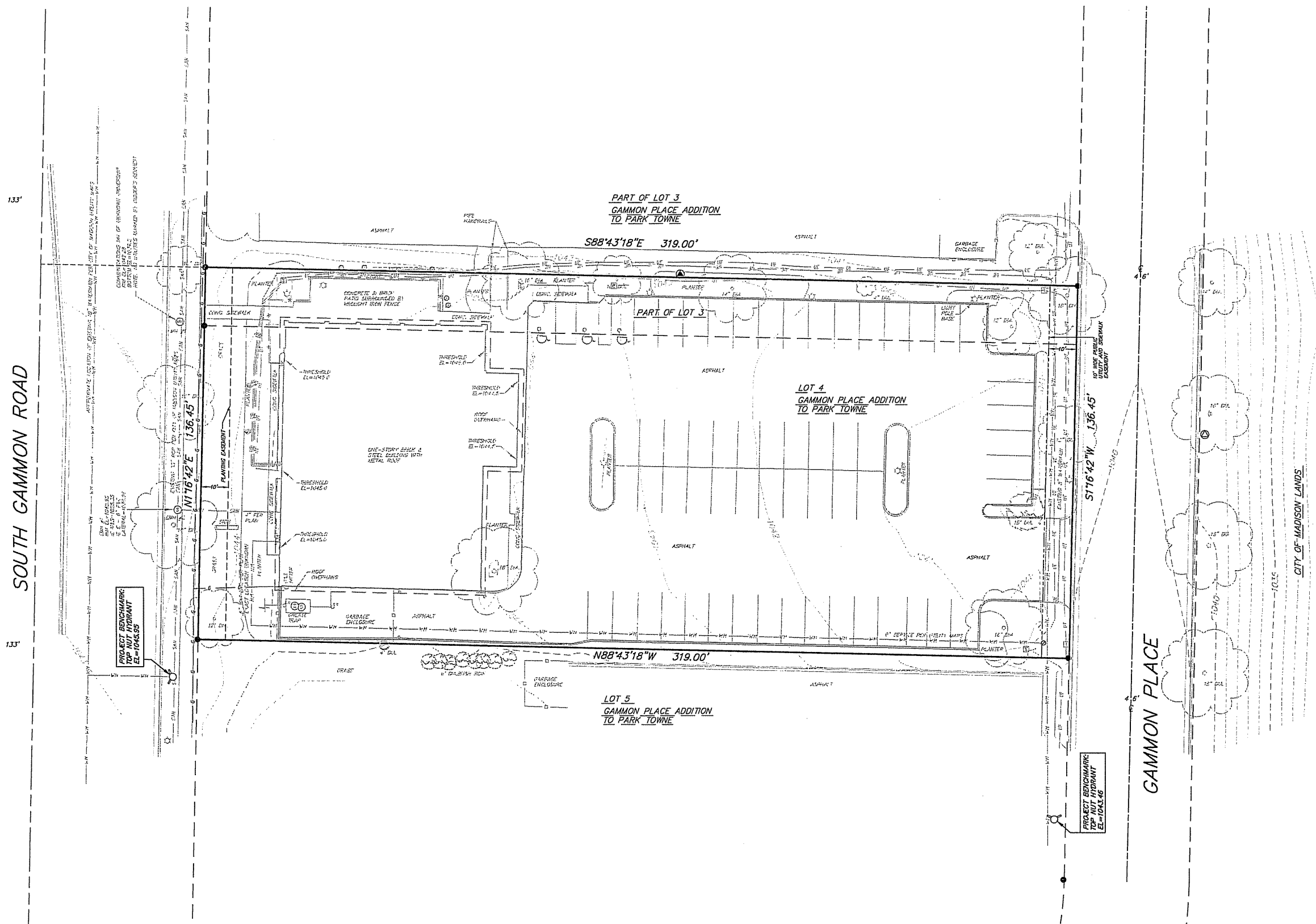
PROJECT:
420 GAMMON PLACE
MADISON, WI 53719

CLIENT:
PARK TOWNE DEVELOPMENT
402 GAMMON PLACE, SUITE 300
MADISON, WI 53719

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PROJECT: 201211
DRAWN BY: DEHL
DATE:
SCALE: AS NOTED

PRELIMINARY 06.05.2013



TOPOGRAPHIC LINEWORK LEGEND

—UT—	—UT—	EXISTING UNDERGROUND CABLE TV
—FO—	—FO—	EXISTING FIBER OPTIC LINE
—UT—	—UT—	EXISTING UNDERGROUND TELEPHONE
—W—	—W—	EXISTING GENERAL FENCE
—O—	—O—	EXISTING WOOD FENCE
—G—	—G—	EXISTING GAS LINE
—E—	—E—	EXISTING UNDERGROUND ELECTRIC LINE
—OE—	—OE—	EXISTING OVERHEAD ELECTRIC LINE
—SAS—	—SAS—	EXISTING SANITARY SEWER LINE (SIZE NOTED)
—W—	—W—	EXISTING WATER MAIN (SIZE NOTED)
—520—	—520—	EXISTING MAJOR CONTOUR
—550—	—550—	EXISTING MINOR CONTOUR

TOPOGRAPHIC SYMBOL LEGEND

○	EXISTING BOLLARD	⊠	EXISTING TRANSFORMER
⊠	EXISTING SIGN (TYPE NOTED)	⊠	EXISTING GUY POLE
⊠	EXISTING SANITARY CLEANOUT	⊠	EXISTING LIGHT POLE
⊠	EXISTING SANITARY MANHOLE	⊠	EXISTING GENERIC LIGHT
⊠	EXISTING FIRE HYDRANT	⊠	EXISTING UTILITY POLE
⊠	EXISTING STANDPIPE	⊠	EXISTING TV PEDESTAL
⊠	EXISTING WATER MAIN VALVE	⊠	EXISTING TELEPHONE PEDESTAL
⊠	EXISTING CURB STOP	⊠	EXISTING UNIDENTIFIED MANHOLE
⊠	EXISTING GAS VALVE	⊠	EXISTING HANDICAP PARKING
⊠	EXISTING AIR CONDITIONING PEDESTAL	⊠	EXISTING SHRUB
⊠	EXISTING DOWN GUY	⊠	EXISTING CONIFEROUS TREE
⊠	EXISTING ELECTRIC MANHOLE	⊠	EXISTING DECIDUOUS TREE
⊠	EXISTING ELECTRIC PEDESTAL		



NOTES:

- 1) THIS TOPOGRAPHIC MAP IS NOT INTENDED TO BE A BOUNDARY SURVEY AS DEFINED BY CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE. A CERTIFIED SURVEY MAP OF THIS SITE IS REQUIRED FOR APPROVAL WITH THE CITY OF MADISON.
- 2) THIS MAP WAS COMPILED FROM DATA USING GPS AND ROBOTIC TOTAL STATION. IT IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY PROJECTION. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) 88 AS PER CITY OF MADISON 1-1/4" REBAR MONUMENT #708128 LOCATED IN THE NORTHBOUND LANE OF SOUTH GAMMON ROAD JUST NORTH OF THE BELLEVUE HWY. ELEV=1075.95
- 3) ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED PER MARKINGS PLACED ON THE GROUND OR MAPS PROVIDED BY THE UTILITIES (OWNERS) AND OR THEIR AUTHORIZED REPRESENTATIVES. MARKINGS ARE AS PER LOCOS'S HOTLINE TICKET NO. 20131913071 AND 20131600533. VIERBICHER DOES NOT WARRANT THESE LOCATIONS MARKED OR MAPPED BY OTHERS.
- 4) FIELD WORK FOR THIS MAP WAS COMPLETED BY 5-15-13. ANY CHANGES AFTER THIS DATE ARE NOT REFLECTED ON THIS MAP.

EXISTING
CONDITIONS
PLAN

C1.0



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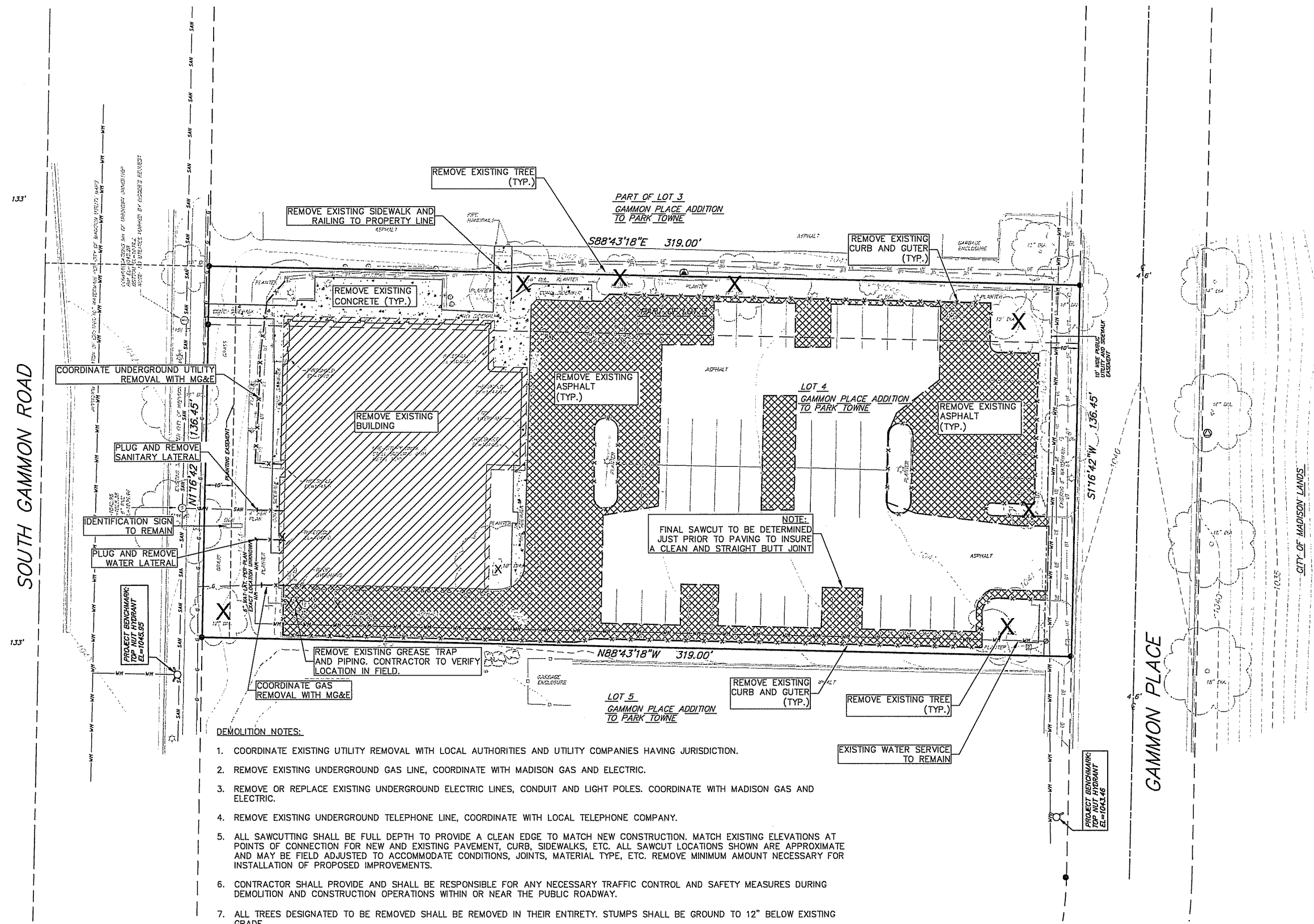
vierbicher
planners | engineers | advisors
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Foulter Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 829-6022 Fax: (608) 829-6020

PROJECT: 420 GAMMON PLACE
420 GAMMON PLACE
MADISON, WI 53719
CLIENT: PARK TOWNE DEVELOPMENT
402 GAMMON PLACE, SUITE 300
MADISON, WI 53719

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PROJECT: 201211
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SCALE: AS NOTED
PRELIMINARY 06.05.2013
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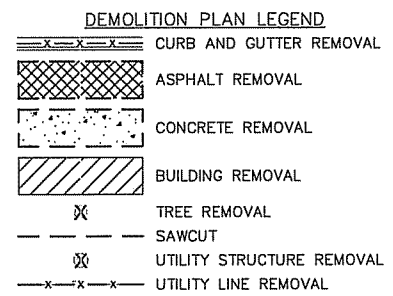
DEMOLITION PLAN

C2.0



DEMOLITION NOTES:

1. COORDINATE EXISTING UTILITY REMOVAL WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
2. REMOVE EXISTING UNDERGROUND GAS LINE, COORDINATE WITH MADISON GAS AND ELECTRIC.
3. REMOVE OR REPLACE EXISTING UNDERGROUND ELECTRIC LINES, CONDUIT AND LIGHT POLES. COORDINATE WITH MADISON GAS AND ELECTRIC.
4. REMOVE EXISTING UNDERGROUND TELEPHONE LINE, COORDINATE WITH LOCAL TELEPHONE COMPANY.
5. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
6. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
7. ALL TREES DESIGNATED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE GROUND TO 12" BELOW EXISTING GRADE.
8. PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
9. ALL DEMOLISHED MATERIAL TO BE REMOVED FROM SITE UNLESS NOTED AS SALVAGE OR AS DIRECTED BY OWNER.
10. ASPHALT AND CONCRETE DEMOLITION TO INCLUDE CURB AND GUTTER DEMOLITION WITHIN PROPERTY BOUNDARY. SEE SAWCUT FOR ASPHALT REMOVAL LIMITS.
11. CONCRETE DEMOLITION TO INCLUDE STOOP DEMOLITION
12. REMOVE ALL EXISTING BOLLARDS WITHIN PROPERTY BOUNDARY.
13. REMOVE ALL EXISTING LIGHT POLES AND CONCRETE BASES WITHIN PROPERTY BOUNDARY.
14. REMOVE EXISTING BUILDINGS AND ATTACHMENTS, INCLUDING FOUNDATIONS.
15. REMOVE PLANTERS
16. PLUG AND ABANDON EXISTING WATER SERVICE AT LOCATION SHOWN AND REMOVE REMAINDER OF PIPE ON SITE. CONTACT WATER UTILITY PRIOR TO REMOVING WATER METER.
17. OBTAIN SANITARY PLUG PERMIT AND COORDINATE WITH CITY ENGINEERING PRIOR TO SEWER LATERAL PIPE REMOVAL.



- PROPOSED LEGEND**
- PROPERTY BOUNDARY
 - ▬ 18" CURB AND GUTTER (ALL REVERSE)
 - ▬ 18" RIBBON CURB
 - PROPOSED FENCE
 - ▨ PROPOSED CONCRETE
 - ▨ PROPOSED LIGHT-DUTY ASPHALT
 - ⊕ PROPOSED SIGN
 - ⊙ PROPOSED LIGHT POLE
 - ⊙ PROPOSED BOLLARD
 - ▨ PROPOSED ADA DETECTABLE WARNING FIELD
 - ⊕ PROPOSED HANDICAP PARKING
 - ▨ PROPOSED PIPE INSULATION
 - SANITARY SEWER LATERAL PIPE
 - WATER SERVICE LATERAL PIPE
 - <<— ROOF DRAIN

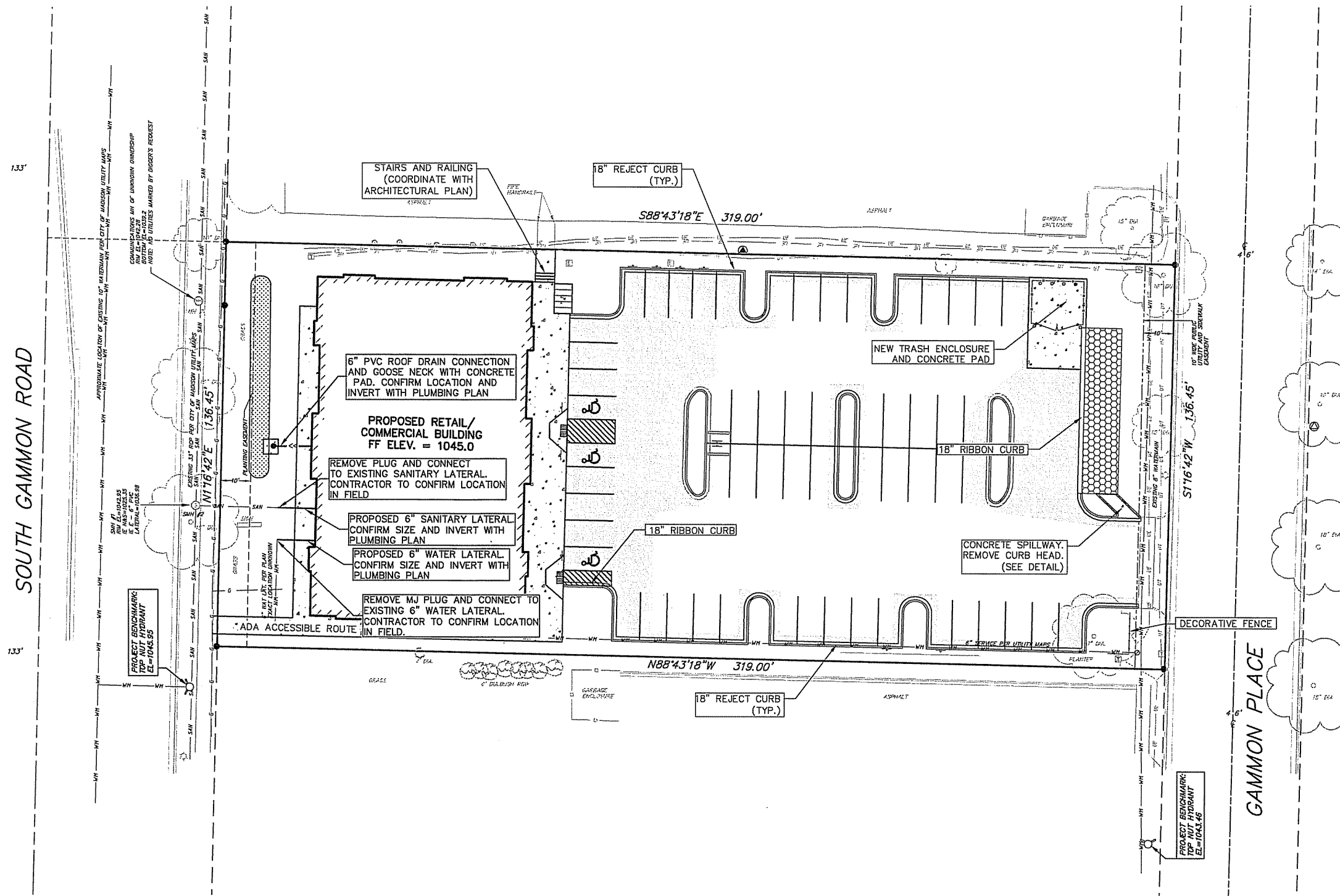
- ABBREVIATIONS**
- STMH - STORM MANHOLE
 - FI - FIELD INLET
 - CI - CURB INLET
 - CB - CATCH BASIN
 - EW - ENDWALL
 - SMH - SANITARY MANHOLE



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 1-800-242-8511
 TOLL FREE
 TELEFAX: 1-800-338-3860
 TDC (FOR HEARING IMPAIRED):
 1-800-542-2289
 WIS. STATUTE 182.0175 (1979)
 REQUIRES MINIMUM OF 3 WORKING DAYS
 NOTICE BEFORE YOU EXCAVATE.

SITE AND UTILITY NOTES:

1. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF DSPS AND OTHER LOCAL INSPECTORS.
2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO SPS 384.
3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.
4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.
5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO.
6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
12. ALL DIMENSIONS GIVEN ARE TO FACE OF CURB OR EDGE OF ASPHALT WHEN CURB IS ABSENT.
13. CONTRACTOR TO SUBMIT CONCRETE JOINT PATTERNS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.



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vierbicher
 planners | engineers | advisors
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SITE UTILITY
 PLAN

C3.0



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8401 EXCELSIOR DRIVE
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vierbicher | engineers | advisors
planners | architects | landscape architects
REEDSBURG - MADISON - PRAIRIE DU CHIEN
999 Fautler Drive, Suite 201 Madison, Wisconsin 53717
Phone: (608) 826-0552 Fax: (608) 826-0550

PROJECT: **420 GAMMON PLACE**
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MADISON, WI 53719
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GRADING AND
EROSION
CONTROL

C4.0

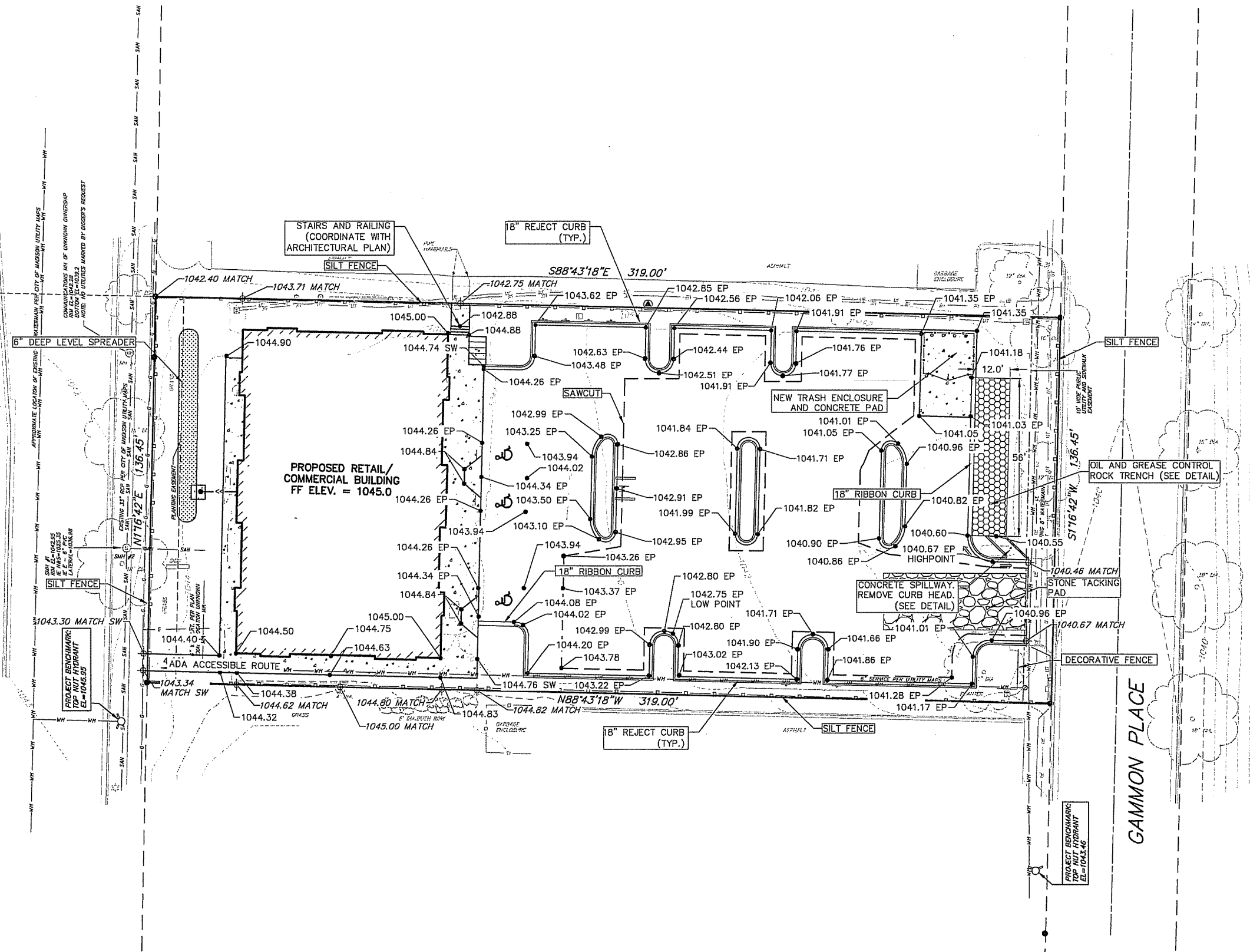
- GRADING LEGEND**
- 820--- EXISTING MAJOR CONTOURS
 - 515--- EXISTING MINOR CONTOURS
 - (820)--- PROPOSED MAJOR CONTOURS
 - (618)--- PROPOSED MINOR CONTOURS
 - SILT FENCE
 - DISTURBED LIMITS
 - ⇒ DRAINAGE DIRECTION
 - 2.92% PROPOSED SLOPE ARROWS
 - ⊕1048.61 EXISTING SPOT ELEVATIONS
 - ⊕1048.61 PROPOSED SPOT ELEVATIONS
 - ⊕ INLET PROTECTION
 - TRACKING PAD

- ABBREVIATIONS**
- TC - TOP OF CURB
 - FF - FINISHED FLOOR
 - EP - EDGE OF PAVEMENT
 - SW - TOP OF WALK
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL



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TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WIS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

SOUTH GAMMON ROAD



GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS.
2. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX.
3. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING.
4. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
5. SEE CONSTRUCTION DETAIL SHEET FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE



EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 7-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- LAWN AREAS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY CITY OF MADISON ENGINEERING.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE/SILT SOCK AND TRACKING PAD
- DEMOLITION OF EXISTING BUILDING, SIDEWALK, AND PARKING AREA PER DEMOLITION PLAN.
- ROUGH GRADE DISTURBED AREA
- SEED AND EROSION MAT THE DISTURBED PROPOSED LAWN AREAS
- CONSTRUCT UNDERGROUND UTILITIES
- CONSTRUCT PARKING AREAS (STONE BASE, CURB & GUTTER, AND SIDEWALK).
- CONSTRUCT OIL AND GREASE CONTROL ROCK TRENCH (PER DETAIL).
- REMOVE TRACKING PAD AND SILT FENCE/SILT SOCK

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

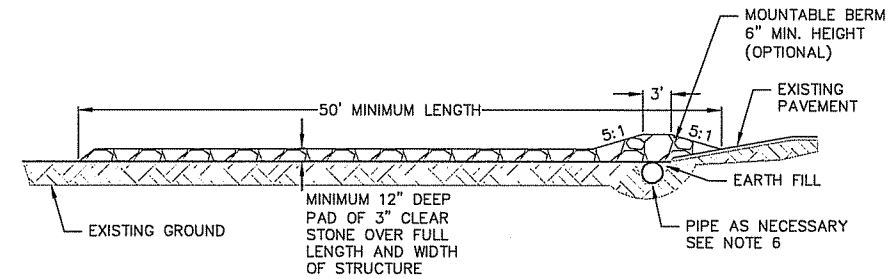
TEMPORARY AND PERMANENT:

- USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

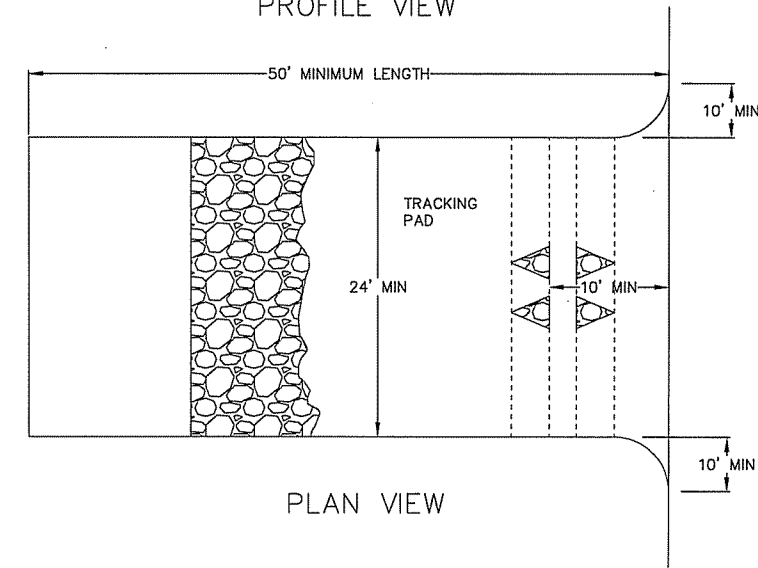
MULCHING RATES:

TEMPORARY AND PERMANENT:

- USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

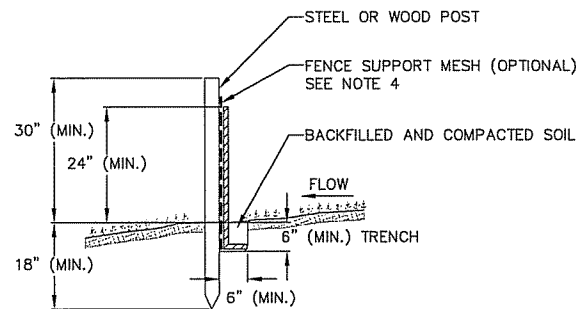


PROFILE VIEW



PLAN VIEW

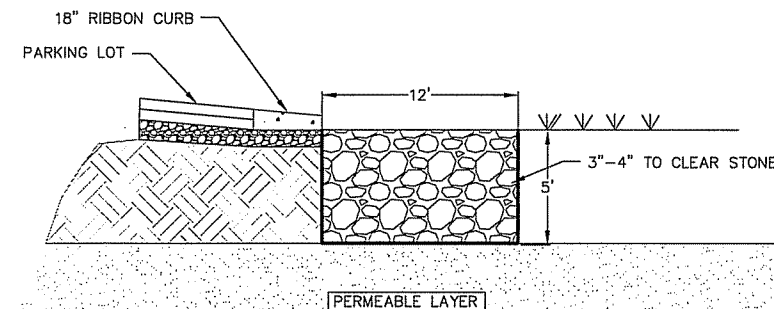
- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.



NOTES:

- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

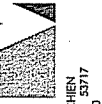
1 SILT FENCE
1 NOT TO SCALE



1 ROCK TRENCH
1 NOT TO SCALE



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ARCHITECTS
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Phone: (608) 824-0342 Fax: (608) 824-0320

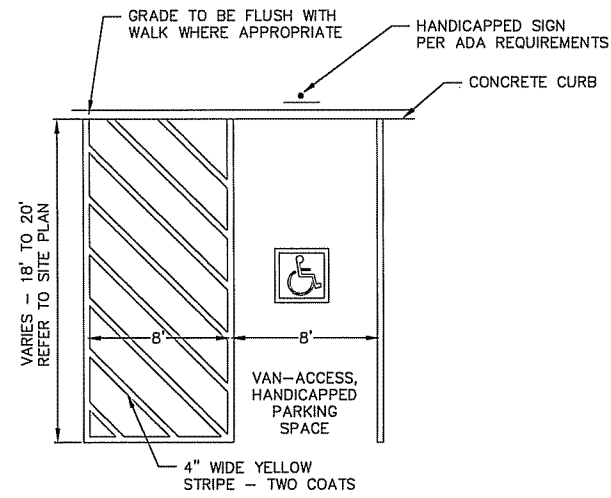
PROJECT: 420 GAMMON PLACE
420 GAMMON PLACE
MADISON, WI 53719
CLIENT: PARK TOWNE DEVELOPMENT
402 GAMMON PLACE, SUITE 300
MADISON, WI 53719

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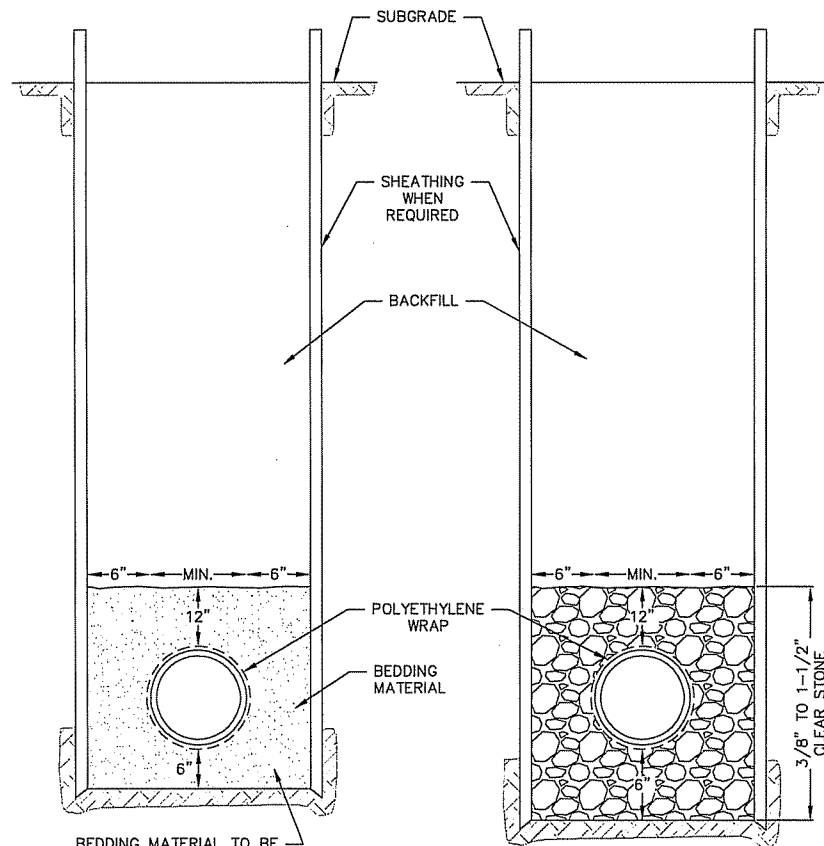
PROJECT: 201211
DRAWN BY: DEHL
DATE:
SCALE: AS NOTED
PRELIMINARY 06.05.2013

CONSTRUCTION
DETAILS

C5.0



1
1 **HANDICAP STRIPING**
NOT TO SCALE



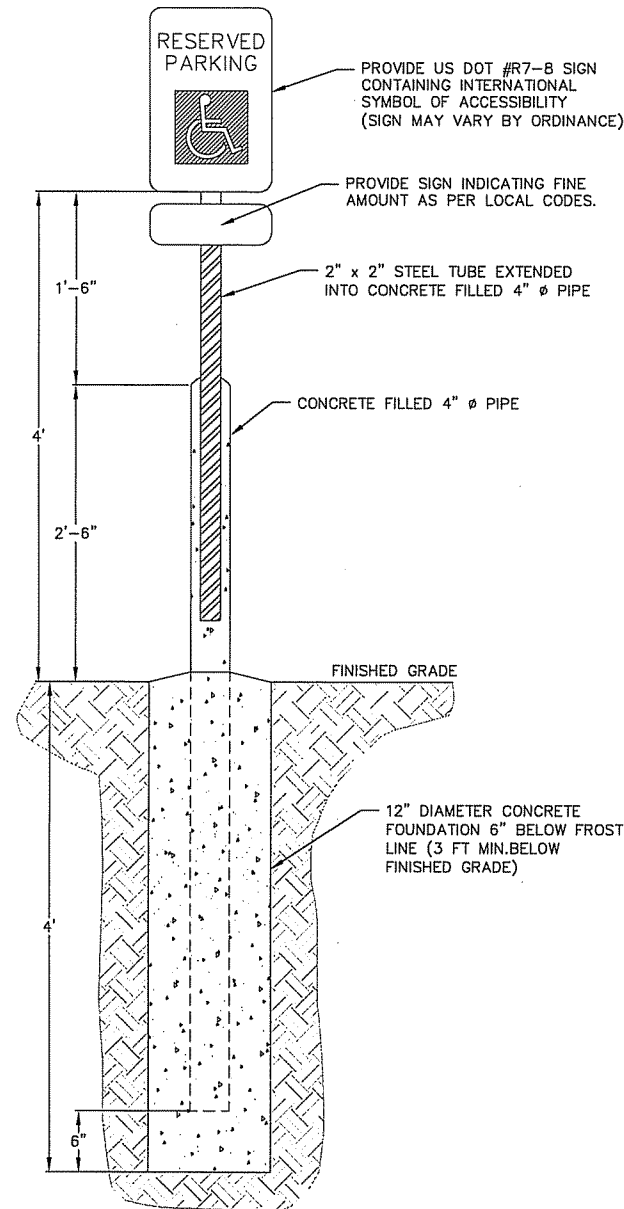
BEDDING MATERIAL TO BE PLACED BEFORE SETTING PIPE - 6" MINIMUM UNDER BARREL WITH 5" UNDER BELL

DRY TRENCH CONDITION

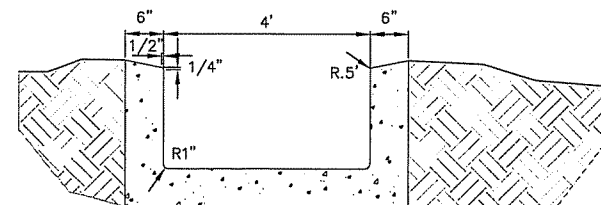
WATERMAIN:
3/8" TO 1/2" CRUSHED STONE, OR SAND
SANITARY SEWER:
3/8" TO 1-1/2" CLEAR STONE
STORM SEWER:
3/4" TO 1-1/2" CRUSHED STONE

WET OR UNSTABLE CONDITION

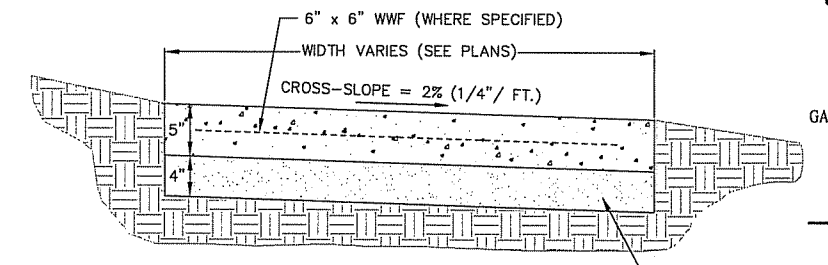
1
1 **STANDARD TRENCH SECTION**
NOT TO SCALE



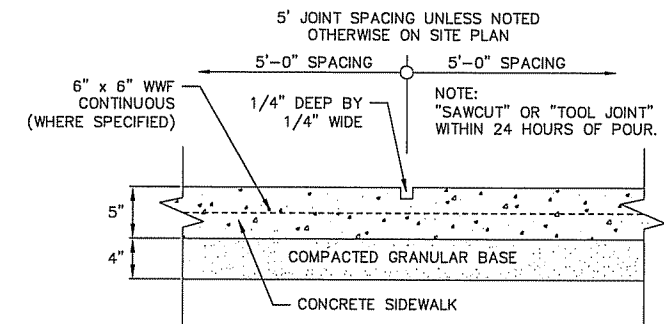
1
1 **HANDICAP PARKING SIGN**
NOT TO SCALE



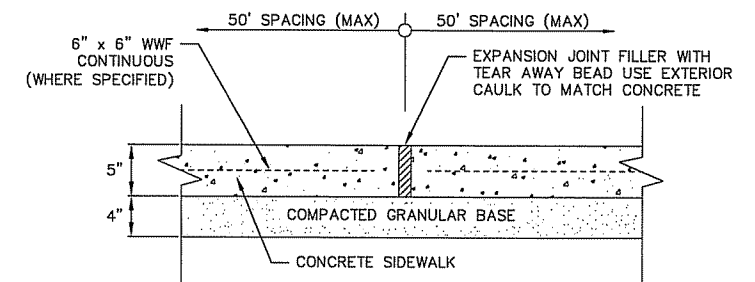
1
1 **CONCRETE SPILLWAY/CURB CUT**
NOT TO SCALE



5" SITE SIDEWALK



SIDEWALK CONTROL JOINT



SIDEWALK EXPANSION JOINT

1
1 **5" SIDEWALK**
NOT TO SCALE



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608-829-1750
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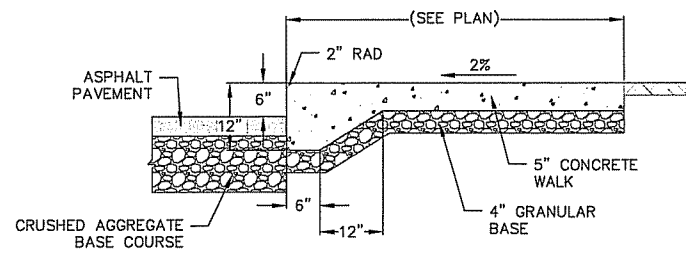
PROJECT: **420 GAMMON PLACE**
420 GAMMON PLACE
MADISON, WI 53719
CLIENT: **PARK TOWNE DEVELOPMENT**
402 GAMMON PLACE, SUITE 300
MADISON, WI 53719

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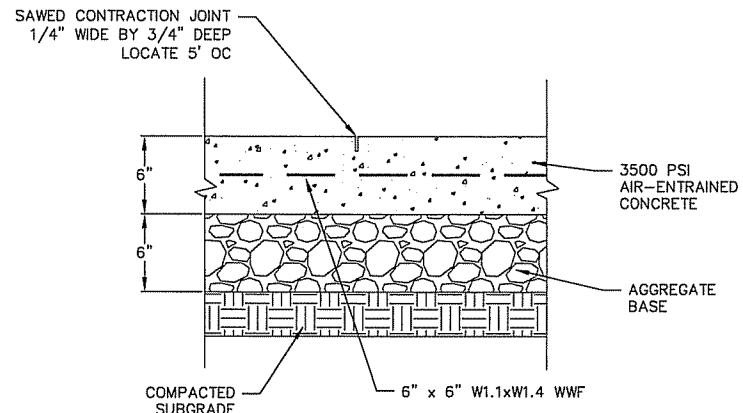
PROJECT: 201211
DRAWN BY: DEHL
DATE:
SCALE: AS NOTED
PRELIMINARY 06.05.2013

CONSTRUCTION DETAILS

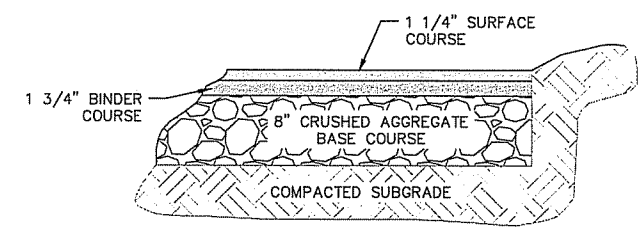
C6.0



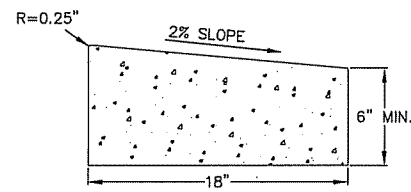
1 CURBED SIDEWALK SITE DETAIL
1 NOT TO SCALE



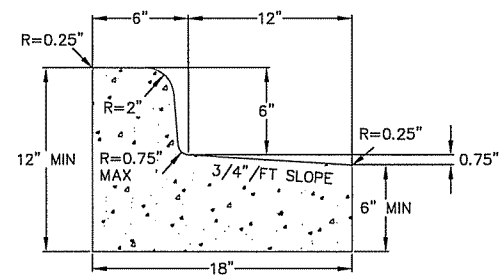
1 CONCRETE PAD
1 NOT TO SCALE



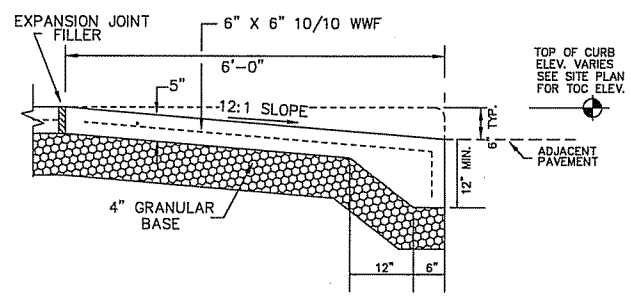
1 SITE PAVEMENT
1 NOT TO SCALE



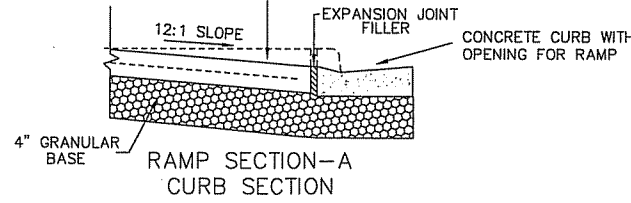
RIBBON CURB



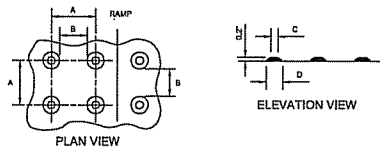
CURB AND GUTTER REJECT SECTION



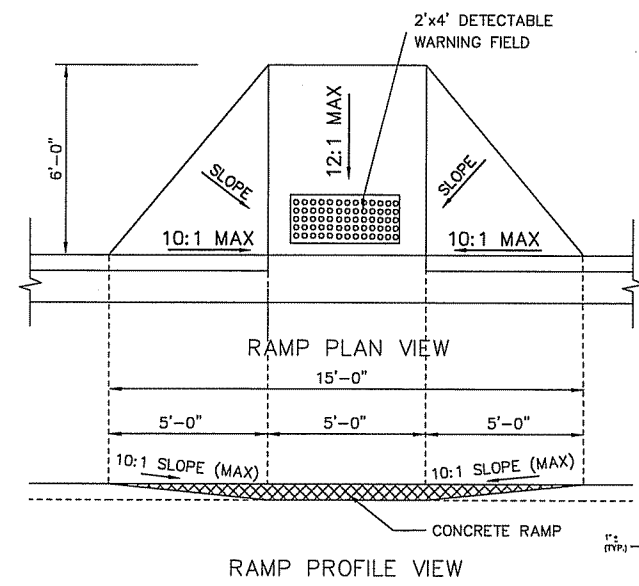
RAMP SECTION-A SIDEWALK / CURB COMBINATION



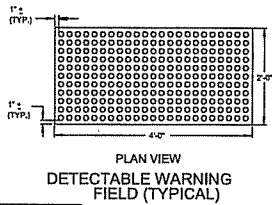
RAMP SECTION-A CURB SECTION



NOTE: 1) MATERIALS AND METHOD OF CONSTRUCTION FOR TRUNCATED DOMES SHALL BE SPECIFIED IN SPECIAL PROVISIONS OR AS REQUIRED BY THE VILLAGE ENGINEER
2) COLOR SHALL BE A DISSIMILAR COLOR FROM THE ADJACENT PAVED SURFACE AND APPROVED BY THE OWNER AND ENGINEER



GENERAL NOTES
RAMPS SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

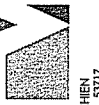


1 CURB RAMP DETAIL
1 NOT TO SCALE

1 18" CONCRETE CURB AND GUTTER
1 NOT TO SCALE



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608-829-1750
608-829-3056 (FAX)



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PROJECT: 420 GAMMON PLACE
420 GAMMON PLACE
MADISON, WI 53719
CLIENT: PARK TOWNE DEVELOPMENT
402 GAMMON PLACE, SUITE 300
MADISON, WI 53719

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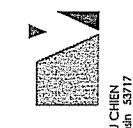
PROJECT: 201211
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CONSTRUCTION DETAILS

C7.0

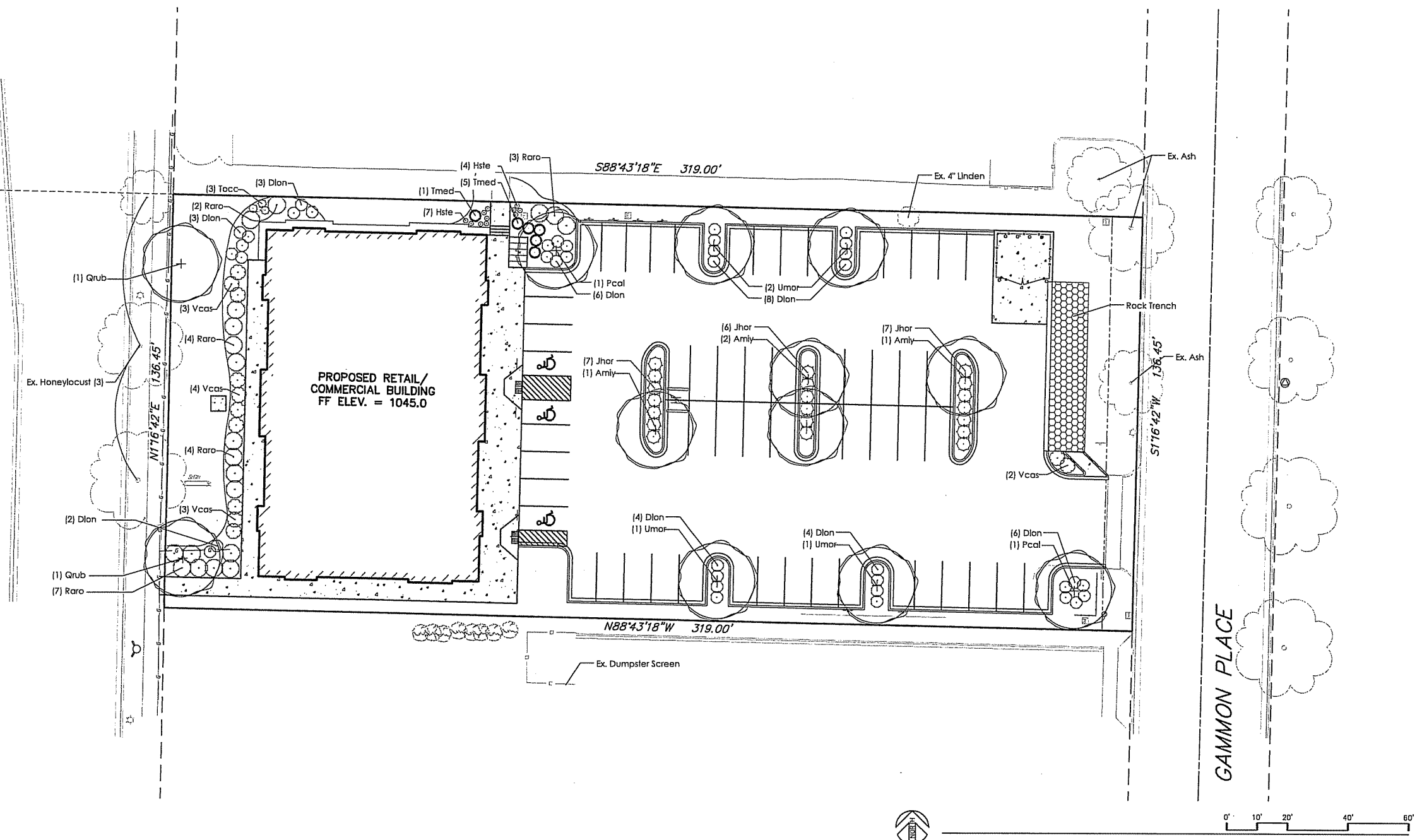


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ARCHITECTS
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



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planners | engineers | architects | advisors
RESEDA, CA | MADISON, WI
999 Fairview Drive, Suite 201 | Madison, Wisconsin 53717
Phone: (608) 652-0332 Fax: (608) 624-0530

SOUTH GAMMON ROAD



GAMMON PLACE



Plant List						
key	qty.	botanical name	common name	planting size	root cond.	mature size
shade trees						
Amly	4	<i>Acer miyabei</i> 'Morton'	State Street Maple	2.5" cal.	B&B	50' x 40'
Pcal	2	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Pear	2.5" cal.	B&B	35' x 15'
Grub	2	<i>Quercus rubra</i>	Red Oak	2.5" cal.	B&B	w/ native
Umar	4	<i>Ulmus</i> 'Morton Glassy'	Triumph Elm	2.5" cal.	B&B	55' x 45'
deciduous shrubs						
Dlon	36	<i>Diervilla lonicera</i>	Dwarf Bush-Honeysuckle	#5	cont.	3' x 4'
Rara	20	<i>Rhus aromatica</i> 'Gro-low'	Gro-low Sumac	#5	cont.	30" x 6'
Vcas	12	<i>Viburnum cassinoides</i>	Wilherod Viburnum	#5	cont.	4' x 5'
evergreen shrubs						
Jhor	20	<i>Juniperus horizontalis</i> 'Wisconsin'	Wisconsin Juniper	#5	cont.	8" x 5'
Tmed	6	<i>Taxus x media</i> 'Everlow'	Everlow Yew	#5	cont.	30" x 4'
Tocc	3	<i>Thuja occidentalis</i> 'Halmstrup'	Halmstrup Arb	5' ht.	cont.	14' x 3'
perennials						
Hste	11	<i>Hemerocallis</i> 'Stella d'Oro'	Stella D'Oro Daylily	#1	cont.	18" x 18"

LANDSCAPING REQUIREMENTS: CITY OF MADISON

Total Developed Area: 43,527.6 SF
Developed Area / 300 SF= 145.1 Landscape Units
Landscape Units x 5 landscape points = 725.5 Total Points Required

Credit for Existing Landscape: 105 Points
Overstory Deciduous Tree: 3 x 35 points = 105

Total for Proposed Landscape: 665 Points
Overstory Deciduous Tree: 12 x 35 points = 420
Ornamental Tree: 0 x 15 points = 0
Evergreen Tree: 0 x 15 points = 0
Deciduous Shrub: 68 x 2 points = 136
Evergreen Shrub: 29 x 3 points = 87
Perennial: 11 x 2 points = 22

Total Points Provided: 770 Points

GENERAL NOTES:

- All plantings shall conform to quality requirements as per ANSI Z60.1.
- All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
- Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
- All disturbed areas, unless otherwise noted, to be seeded with Madison Parks Mix by Olds Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
- All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
- Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
- Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.
- Landscape beds to be edged with black vinyl edging, Black Diamond or equal.
- Protect existing trees from damage due to construction activity.

PROJECT: 420 GAMMON PLACE
420 GAMMON PLACE
MADISON, WI 53719
CLIENT: PARK TOWNE DEVELOPMENT
402 GAMMON PLACE, SUITE 300
MADISON, WI 53719

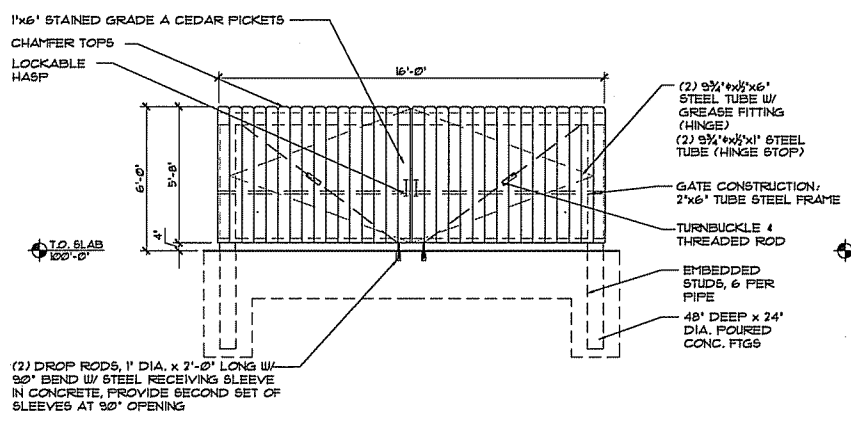
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REV. #1 06.24.2013

LANDSCAPE PLAN

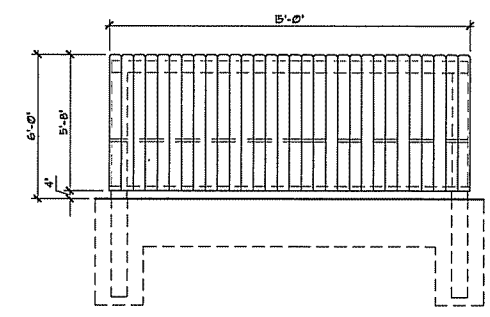
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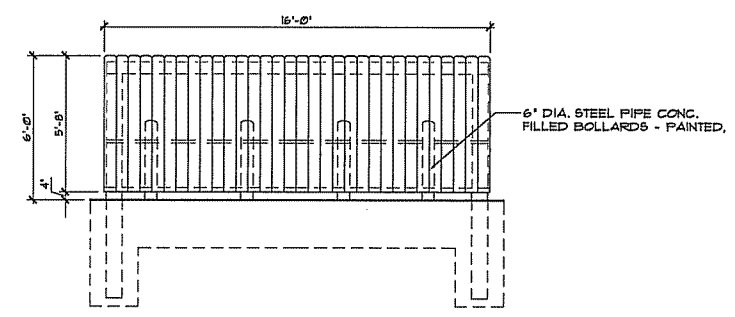
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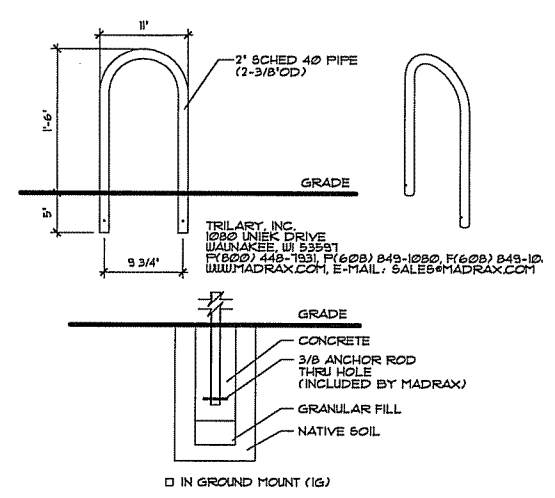
1 TRASH ENCLOSURE - FRONT ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"



2 TRASH ENCLOSURE
EAST & WEST ELEVATIONS
SCALE: 1/4"=1'-0"

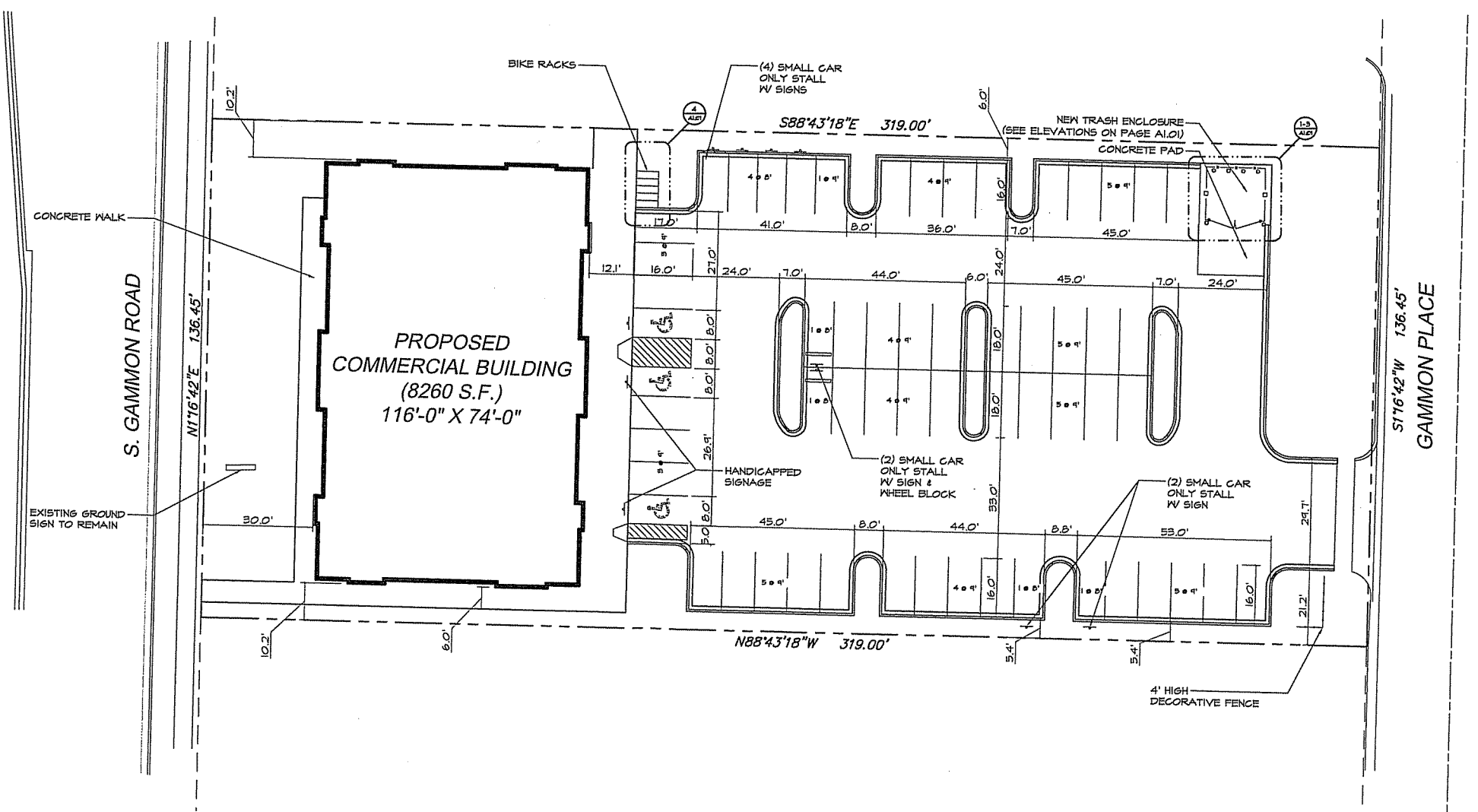


3 TRASH ENCLOSURE - BACK ELEVATION (NORTH)
SCALE: 1/4"=1'-0"

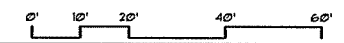


4 DETAIL - TYPICAL BIKE RACK
SCALE: NONE

SITE INFORMATION BLOCK	
Site Address	420 GAMMON PLACE
Site coverage (total)	SEE ARCHS. (ATTACH 22)
Number of building stories (above grade)	1
Building height	24
ENTER type of construction (new structure or addition)	24
Total square footage of building	8,250 SF
Lot coverage	78 %
Useable open space	24 %
Use of property	MULTI-TENANT RETAIL
Gross square feet of office	
Gross square feet of retail area	
Number of employees in workspace	
Number of employees in production	
Capacity of restaurant/office of assembly	
Number of bicycle stalls shown	5
Number of parking stalls	50/20/1
Small Car	50
Large Car	20
Accessories	1
Total	71
Number of trees shown (See Landscape Plan)	



SITE PLAN
SCALE: 1" = 20'

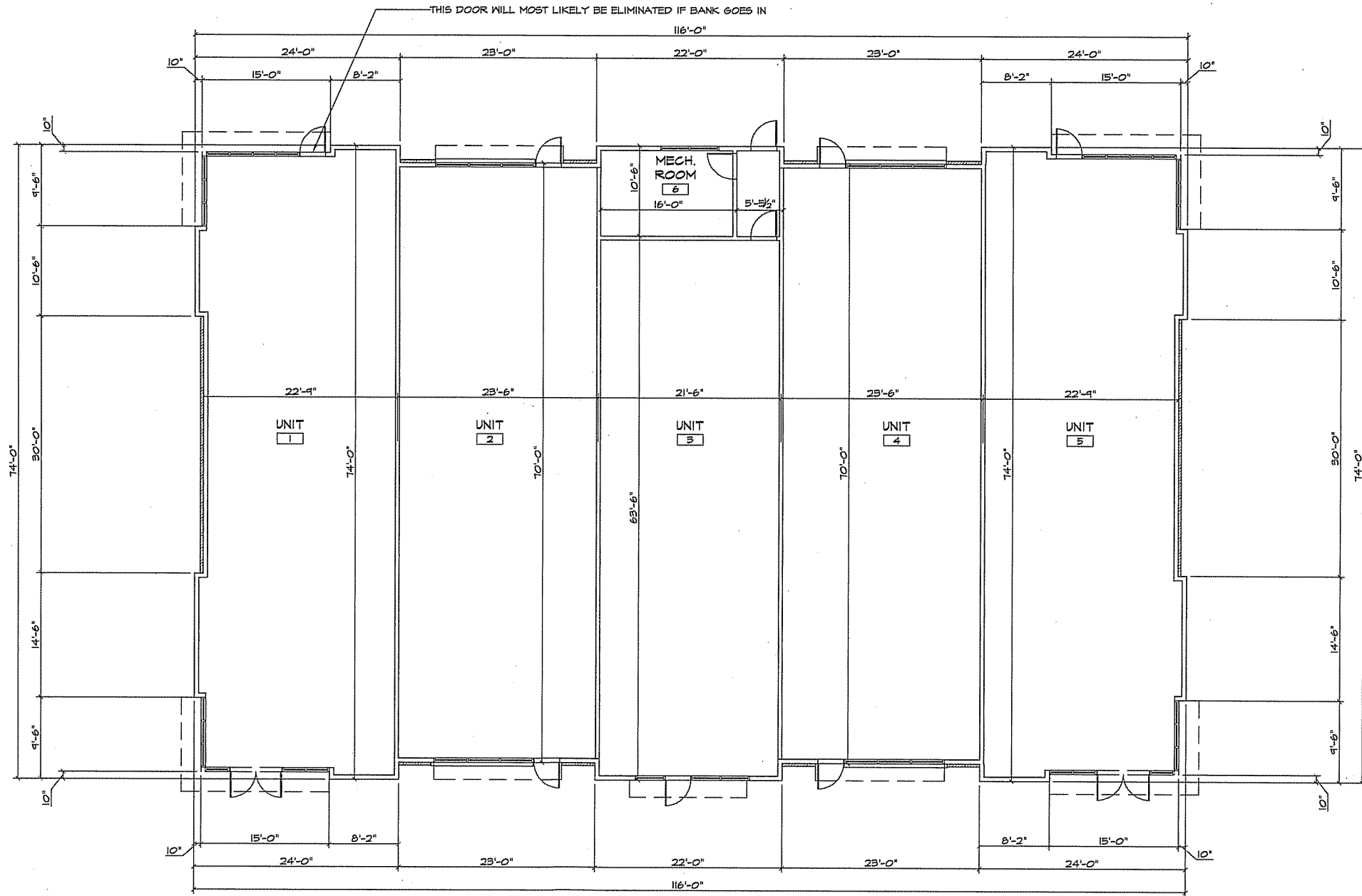


PROJECT: 420 GAMMON PLACE
8401 EXCELSIOR DRIVE
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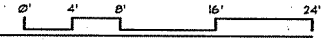
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SUBMITTAL 06.05.2013
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 FLOOR PLAN
1/8" = 1'-0"



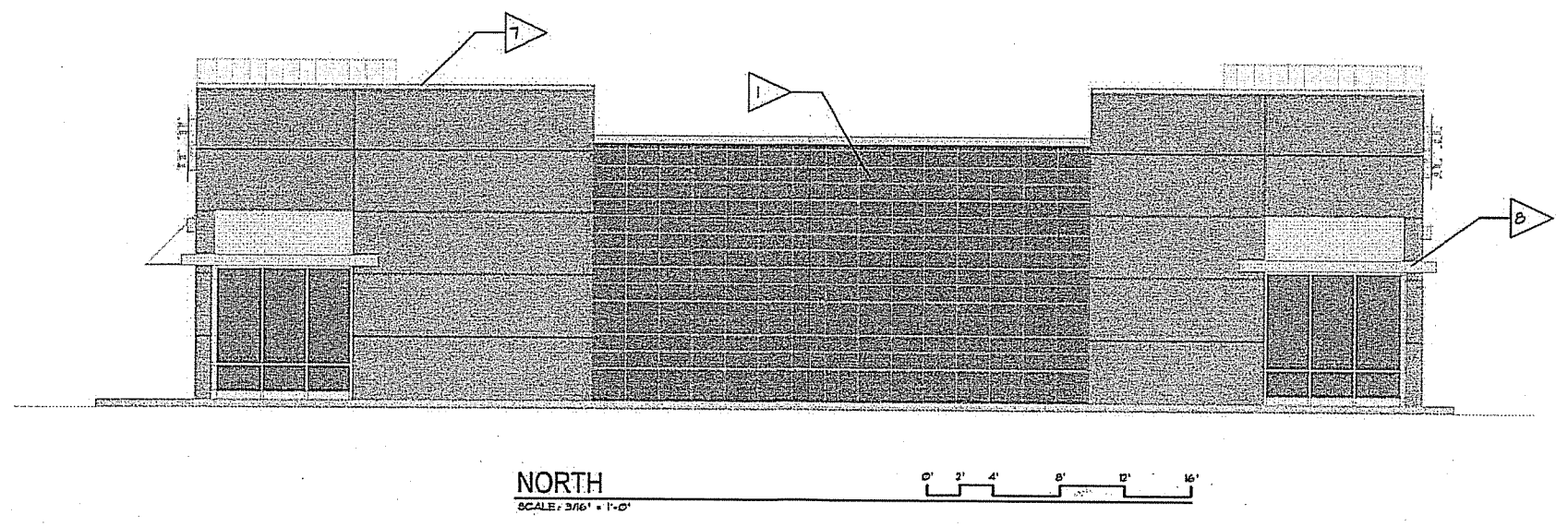
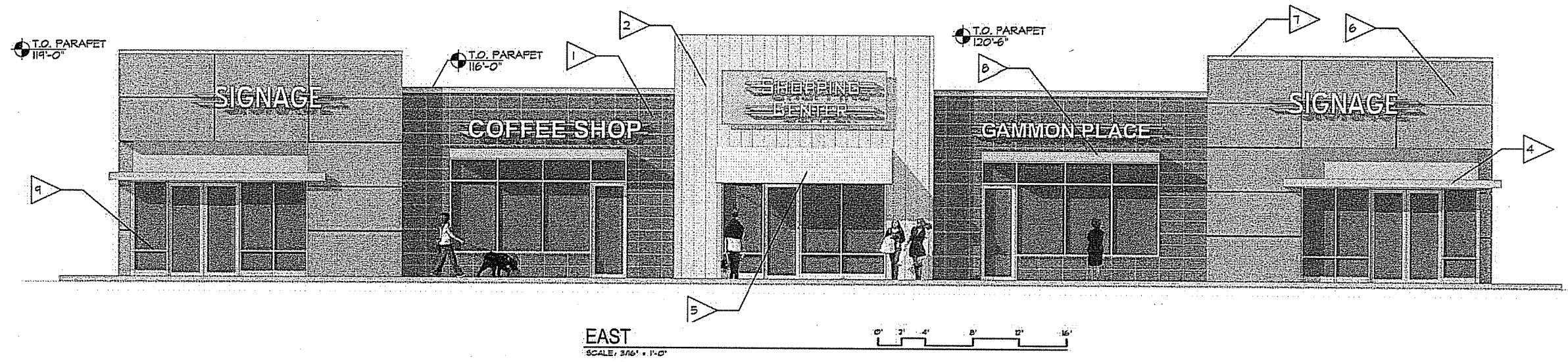
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CLIENT: PARK TOWNE DEVELOPMENT
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XX EXTERIOR ELEVATION KEY NOTES	
1	12' X 24' LARGE FORMAT, BURNISHED ARCHITECTURAL BLACK IN STACK BOND
2	8" WIDE FLAT FACE STEEL FLUSH PANELS IN SILVER FINISH
3	ALUMINUM COMPOSITE PANELS
4	24 GA. PRE-FINISHED STEEL FASCIA, SILVER FINISH
5	CANVAS LINING
6	PRE-FINISHED COMPOSITE PANEL, ROUTE AND REVEAL W/ 1-1/2" WIDE REVEAL
7	24 GA STEEL COPING, SILVER FINISH
8	24" PROJECTING METAL CLAD EYEBOUWS
9	ALUMINUM STOREFRONT IN CLEAR ANODIZED FINISH, ALL GLASS



PROJECT: 420 GAMMON PLACE
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SCALE: AS NOTED

PRELIMINARY: 05.23.2013
SUBMITTAL: 06.25.2013

EXTERIOR
ELEVATIONS

A6.01

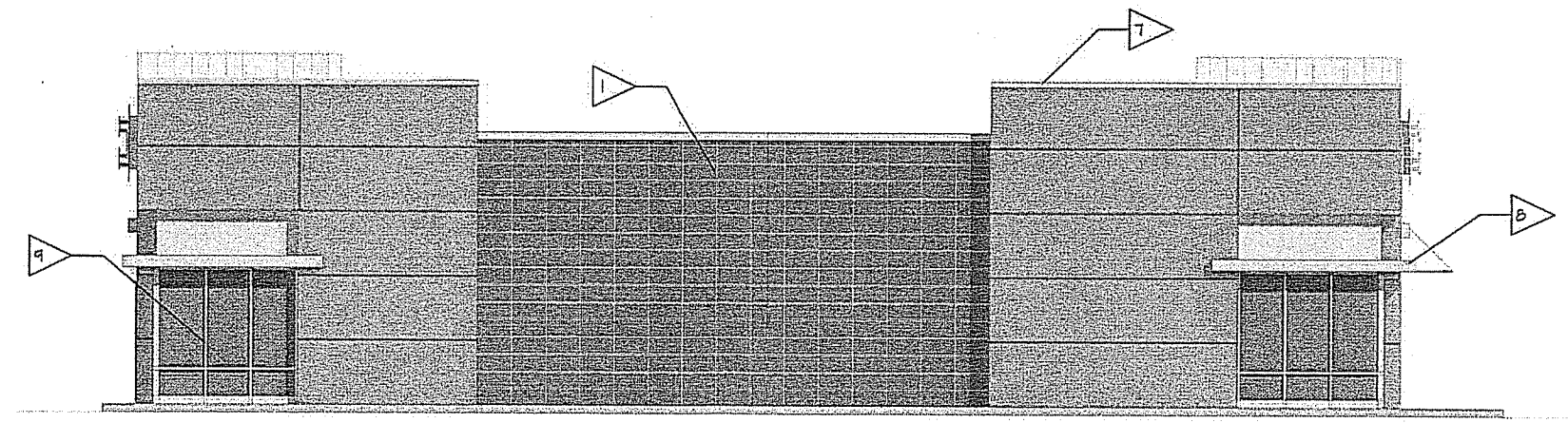


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XX EXTERIOR ELEVATION KEY NOTES	
1	12' X 24' LARGE FORMAT, BURNISHED ARCHITECTURAL BLACK IN STACK BOND
2	8" WIDE FLAT FACE STEEL FLUSH PANELS IN SILVER FINISH
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7	24 GA STEEL COPING, SILVER FINISH
8	24' PROJECTING METAL CLAD EYEBROWS
9	ALUMINUM STOREFRONT IN CLEAR ANODIZED FINISH, ALL GLASS



WEST
SCALE: 3/16" = 1'-0"



SOUTH
SCALE: 3/16" = 1'-0"

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