

CHASE BANK EAST TOWNE 4520 East Towne Boulevard

Exterior Building Modifications to an Existing Building in Urban Design District 5

PROPOSED LOCATION



CLIENT:



ARCHITECT OF RECORD:



CIVIL ENGINEER:



LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:

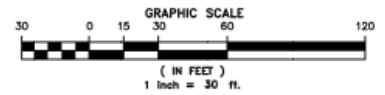
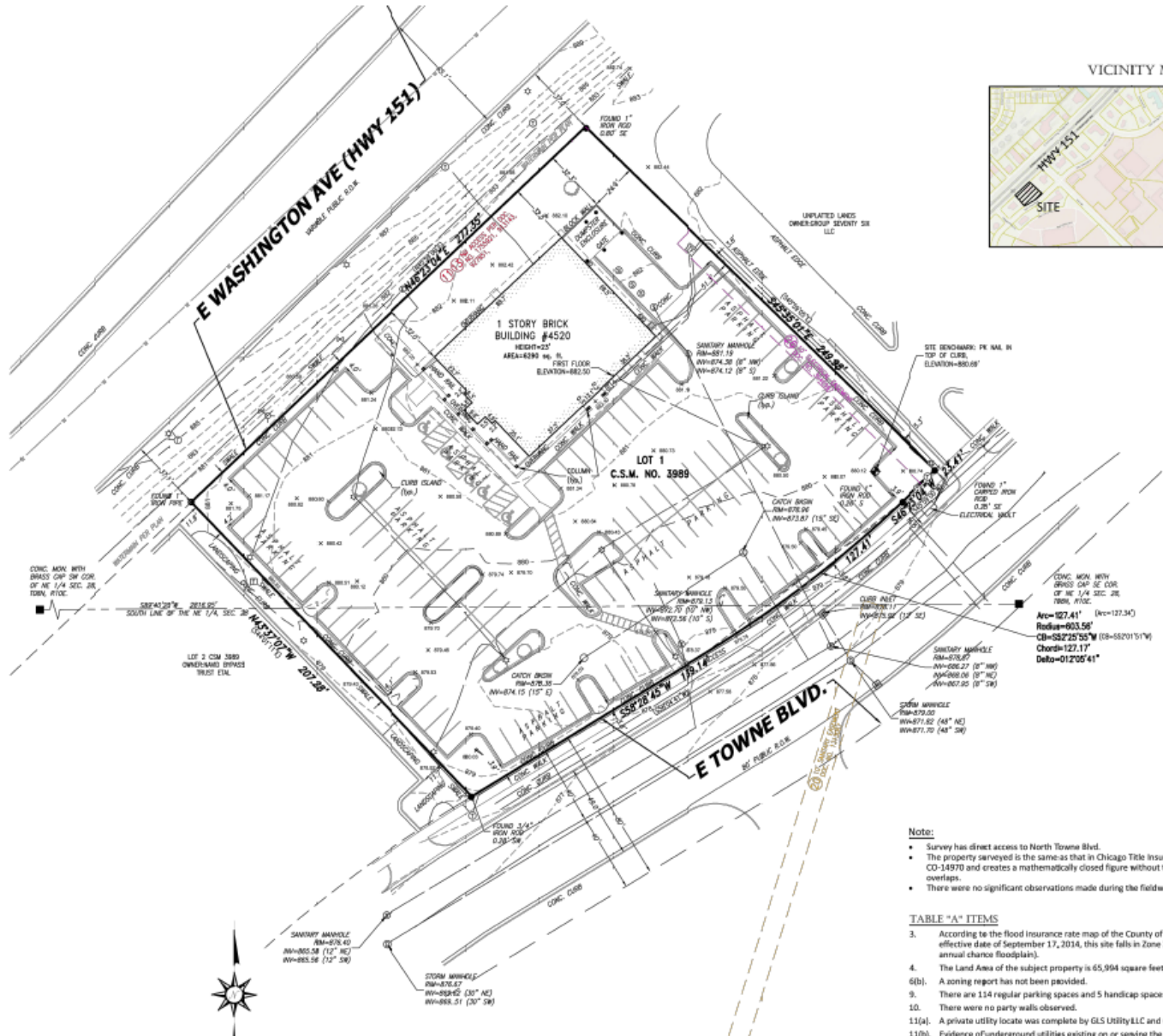
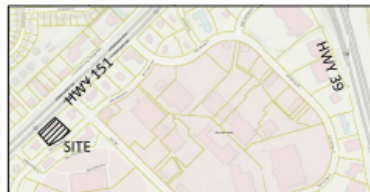


ALTA SURVEY

ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS

VICINITY MAP



- Note:**
- Survey has direct access to North Towne Blvd.
 - The property surveyed is the same as that in Chicago Title Insurance Company Commitment No. CO-14970 and creates a mathematically closed figure without the presence of any gaps, gores or overlaps.
 - There were no significant observations made during the fieldwork.
- TABLE "A" ITEMS**
- According to the flood insurance rate map of the County of Dane, Community Panel No. 55025CD268H, effective date of September 17, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
 - The Land Area of the subject property is 65,994 square feet or 1.5150 acres.
 - A zoning report has not been provided.
 - There are 114 regular parking spaces and 5 handicap spaces marked on this site.
 - There were no party walls observed.
 - (a) A private utility locate was completed by GLS Utility LLC and was completed on April 12, 2024.
 - (b) Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number: 20241411323 and 20241411327. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
 - There is no visible evidence of earth moving, building construction or building additions within recent months.
 - There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
 - There are off-site easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

CLIENT
The Architect Partnership, Ltd.

SITE ADDRESS
4520 East Towne Boulevard, City of Madison, Dane County, Wisconsin

LEGAL DESCRIPTION
Lot 1, Certified Survey Map No. 3989 recorded in the Office of the Register of Deeds for Dane County, Wisconsin on October 21, 1982, in Volume 16 of Certified Survey Maps, Page 288, as Document No. 1755921, located in the City of Madison, Dane County, Wisconsin.

BASIS OF BEARINGS
Bearings are referenced to the Dane County Coordinate System, in which the South line of the NE 1/4 bears S89°40'10"W.

VERTICAL DATUM
Elevations are based on NAVD 1988 with a reference benchmark of NGS monument FID 80F803, a concrete monument with a brass cap, with an elevation of 869.65'.

TITLE COMMITMENT
This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-14970 REVISION A, effective dated April 4, 2024 which lists the following easements and/or restrictions from schedule B-II:

- 6, 7, 8, & 10 visible evidence shown, if any.
- 3, 4, 5, 9, 11, 23, 24, & 27-29 not survey related.
11. Recitals as shown on Certified Survey Map No. 3989 recorded on October 21, 1982, as Document No. 1755921. Reference is hereby made to said document for full particulars. Affects property by location, shown.
12. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on July 5, 1956, as Document No. 921354. Affects property by location, general in nature cannot be plotted.
13. Limitations imposed on ingress and egress recorded February 24, 1956 as Document No. 913143 and in Award of Damages recorded October 19, 1956 as Document No. 927851. Affects property by location, shown.
14. Agreement re-street dedication and utility line installations recorded July 18, 1969 as Document No. 124607. Amendment recorded March 17, 1970 as Document No. 126540. Does not affect property, not shown, (intentionally deleted)
15. Road Agreement recorded March 17, 1970 as Document No. 126543. Does not affect property, not shown
16. Covenants, conditions and restrictions contained in an instrument recorded January 28, 1970 as Document No. 125141. Affects property by location, (intentionally deleted)
17. Restrictions contained in an instrument recorded January 30, 1970 as Document No. 1158195. Affects property by location, cannot be plotted.
18. Easement, Restrictions and Operating Agreement recorded March 27, 1970 as Document No. 126050. First Amendment recorded June 22, 1973 as Document No. 1338664. Second Amendment recorded October 25, 1973 as Document No. 1381349. Fourth Amendment recorded in Volume 1761 of Records, Page 19, as Document No. 1460342. Fifth Amendment recorded March 1, 1983 as Document No. 1769658. Sixth Amendment recorded October 16, 1986 as Document No. 18971321. Seventh Amendment June 16, 1997, as Document No. 2862573. Assignment and Assumption of Operating Agreements recorded October 4, 2005, as Document No. 4116209. Affects property by location cannot be plotted.
19. Revocation of Authorization for Access recorded December 17, 1971 as Document No. 1311572. Does not affect property, not shown, (intentionally deleted)
20. Sanitary Sewer Easement recorded December 22, 1971 as Document No. 1313067. Does not affect property by location, shown, (intentionally deleted)
21. Easement to the City of Madison recorded June 23, 1975 as Document No. 1432746. Amendment recorded September 30, 1993 as Document No. 2522538. Release of Utility Easement recorded December 1, 1994 as Document No. 2648006. Does not affect property, not shown, (intentionally deleted)
22. Construction and Operating Agreement recorded December 3, 1982 as Document No. 1760418. Amendment recorded December 6, 1982 as Document No. 176634. Assignment and Assumption of Operating Agreements recorded October 4, 2005, as Document No. 4116209. Affects property by location, cannot be plotted.
25. Declaration of Conditions, Covenants and Restrictions recorded October 14, 2003, as Document No. 382727. Affects property by location, general in nature cannot be plotted.
26. Right of Way Grant for Underground Electric recorded July 27, 2004, as Document No. 3946967. Affects property by location, shown.

To: JPMorgan Chase Bank, N.A.
Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(B), 7(A), 7(B)(1), 7(B), 8, 9, 10, 11(A), 11(B), 12, 13, 14, 16, 17, 18, and 19 of Table A thereof. The field work was completed on April 21, 2024.

Date of Map: May 16, 2024

Allen J. Schneider
Professional Land Surveyor
Registration Number S-2194

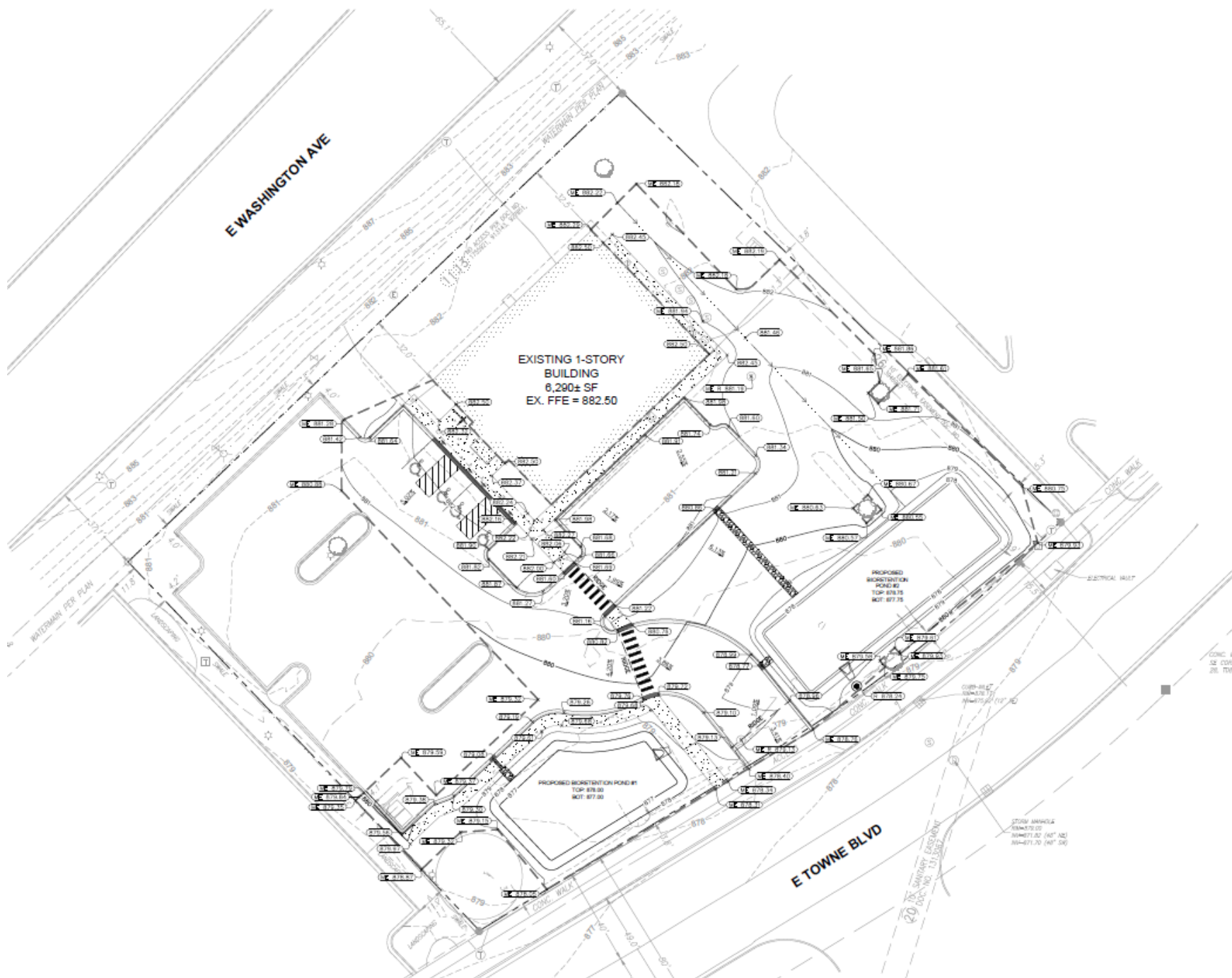
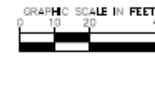
CHAPUT LAND SURVEYS

Date	Revision	Description	BY
06/05/2024	REVISED TITLE		JWD
07/12/2024	UPDATED PER COMMENTS		JPM

184 W. Florida Street Milwaukee, WI 53204 414-224-8089 www.chaputlandsurvey.com

284710 BY: JWD Drawing No. 5597.00

GRADING PLAN



GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND INDICATELY WITH THE ELEVATION OF ANY UNDESIRABLES PRIOR TO STARTING WORK.
- ALL PAVED/PAVEMENT SPOT GRADE ELEVATIONS AND FIN ELEVATIONS WITHIN OR ALONG CURBS AND GUTTERS REFER TO FIN ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN HEREIN FINISH GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVED SURFACING TRADES REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVED/PAVEMENT SPOTS TO PROTECT FINISH GRADE AND TO PROPERLY ENSURE ADEQUATE CURE TO EXISTING SURFACE ELEVATIONS.
- NO EXISTING SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND EXPOSED CURBS.
- THE NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB. CONTRACTOR TO INSTALL AS PER GUTTER WITH.
- WITH EXISTING ELEVATIONS AT THE PROPERTY UNITS.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DEGRADE OR IN ANY MANNER AFFECT THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE WITHIN A BUFFER ZONE TO NOT DAMAGE THE CANOPIES OF THE STREET TREES. THIS MAY REQUIRE TO SHIELD EQUIPMENT AND MATERIALS AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE PROPERTY. THE ANY DAMAGE OR INJURY TO STREET TREES SHALL BE REPORTED IMMEDIATELY TO THE CITY FORESTRY AT (508) 296-4816. REPAIRS AND REPLANTING SHALL BE REQUIRED.
- AS REQUIRED BY THE SECTION 107.13 OF CITY OF WAREHOSE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND EXCAVATION IS REQUIRED WITHIN 10 FEET OF THE TRUNK OF THE STREET TREE AND WITHIN 10 FEET OF THE CANOPIES OF STREET TREES. IF NECESSARY, THE CONTRACTOR SHALL CONTACT WAREHOSE CITY FORESTRY AT (508) 296-4816 PRIOR TO EXCAVATION. CITY OF WAREHOSE FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING.

GRADING LEGEND

—	TI = TOP OF PAVED/PAVEMENT
—	FI = FINISH OF PAVED/PAVEMENT
—	FL = FINISH LINE
—	TC = TOP OF CURB
—	ME = MATH ELEVATION
—	FE = FIN ELEVATION
—	FG = FINISH GRADE
—XXX—	PROPOSED CONTOUR
---XXX---	EXISTING CONTOUR
—H—H—H—	MINUTE LINE
—S—S—S—	SLOPE AND FLOW DIRECTION
←	100-YEAR OVERLAND OVERFLOW ROUTE
—	PROPOSED SWALE
—	PROPOSED FINISH CURB AND GUTTER
—	ACCESSIBLE ROUTE
—	HP MAP (SEE DETAIL)
—	LIMITS OF DISTURBANCE

STORMWATER MANAGEMENT NOTES

TOTAL WET AREA:	65,699 SF
WETLANDS AREA:	38,145 SF
EXISTING IMPERVIOUS COVERAGE:	52,885 SF
PROPOSED IMPERVIOUS COVERAGE:	17,792 SF
PROPOSED DECREASE IN IMPERVIOUS COVERAGE:	35,093 SF

THE PROJECT IS SUBJECT TO THE CITY OF WAREHOSE STORMWATER MANAGEMENT REQUIREMENTS AS SET FORTH IN CHAPTER 107 OF THE CODE OF ORDINANCES. THE PROJECT IS REQUIRED TO PROVIDE A 2D HYDROLOGIC MODEL AND DRAINAGE REPORT TO BE PROVIDED IN FINAL ENGINEERING.

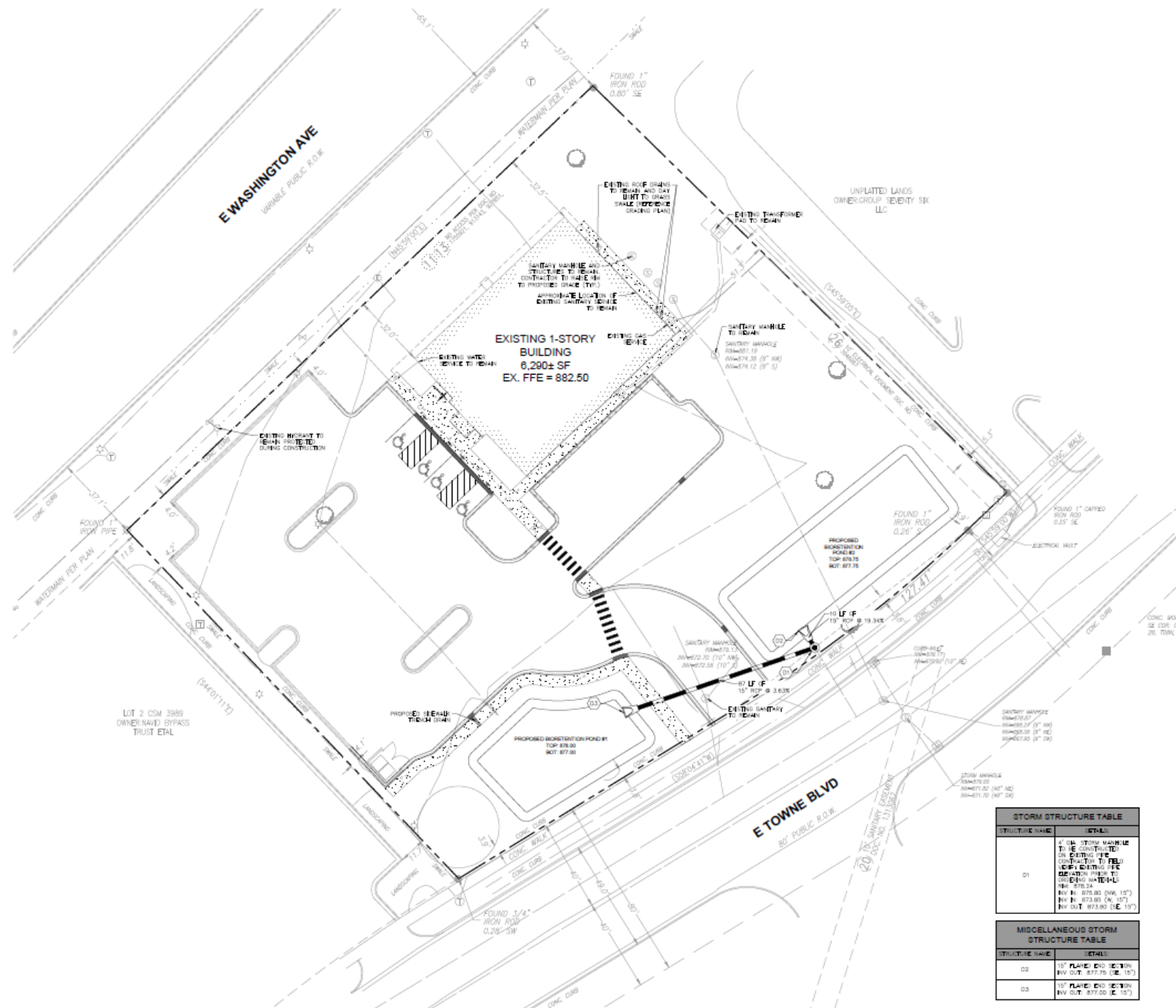
RETENTION POND #1 VOLUME:	2,281 CF
RETENTION POND #2 VOLUME:	3,552 CF

UTILITY PLAN

GRAPHIC SCALE IN FEET
0 10 20 30

NORTH

DIGGERS HOTLINE
Dial 800 or (800) 242-8511
www.DiggerHotline.com



UTILITY LEGEND

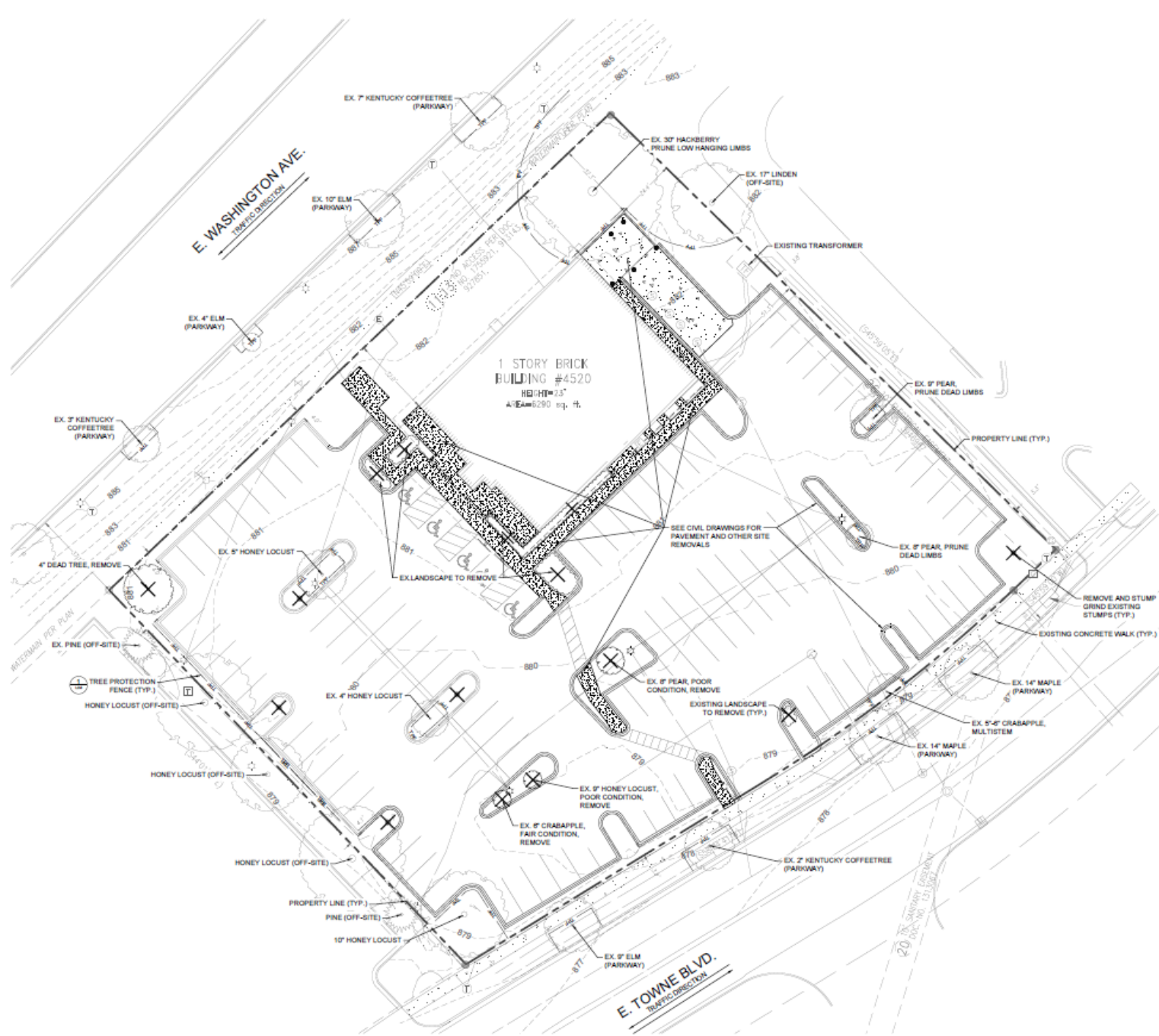
	EW WATER LINE
	EH HYDRANT
	EW WATER VALVE
	ES SANITARY SEWER LINE
	ES SANITARY SEWER MANHOLE
	ES SANITARY SEWER CLEANOUT
	ES STORM DRAIN LINE
	ES STORM MANHOLE
	ES STORM STRUCTURE INLET
	EG GAS LINE
	EG GAS METER
	EE UNDERGROUND ELECTRIC LINE
	ET UNDERGROUND TELEPHONE LINE
	EL LIGHT POLE
	PROPOSED UNDERGROUND ELECTRIC LINE
	GAS LINE (BY GAS COMPANY)
	PROPOSED STORM LINE
	PROPOSED STORM LEVEL USE
	PROPOSED OPEN UP STORM STRUCTURE (SANITARY SEWER) (S-240)
	PROPOSED OPEN UP STORM STRUCTURE (STORM) (S-240)
	PROPOSED OPEN UP STORM STRUCTURE (SANITARY SEWER) (S-240)
	PROPOSED OPEN UP STORM STRUCTURE (STORM) (S-240)
	PROPOSED STORM STRUCTURE INLET (S-240)
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED VALVE VAULT
	PROPOSED VALVE BOX
	PROPOSED FIRE HYDRANT
	PROPOSED LIGHT POLE

- ### UTILITY NOTES
- ALL WATER LINES 4" IT SHALL BE DOUBLE RIVETED (CLASS 50).
 - ALL SANITARY SEWER LINES SHALL BE PIPED USING ASTM (D-3034) 300 200 EXCEPT FOR SANITARY SEWER WHICH SHALL BE PIPED USING (D-3034) 300 200. ALL SANITARY SEWER LINES SHALL BE 40' MINIMUM COVER.
 - CONTRACTOR SHALL COORDINATE ANY DEVIATIONS TO EXISTING UTILITY LINES WITH ALL AFFECTED PROPERTY OWNERS.
 - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONTRACTED TO THE APPROPRIATE UTILITY COMPANY. THE EXISTING UTILITY DEVIATIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES.
 - CONTRACTOR SHALL NOT START ON ANY PUBLIC UTILITY LINES UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER. PRIOR TO THE APPROPRIATE SIGNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - CONTRACTOR TO CALL "BEFORE DIGGER" (1-800-485-8881) TO COORDINATE ALL EXISTING UNDERGROUND UTILITIES. BEFORE DIGGER WILL PROVIDE A CONSTRUCTION NOTIFICATION SERVICE IF ANY TELEPHONE INTERFERENCE IS REQUIRED.
 - BEFORE THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITY, THE CONTRACTOR SHALL OBTAIN A COPY AND CALCULATE ALL PERMITS FOR CONNECTION AND ALL UTILITIES (OWNERS AND IF NOT OWNED BY THE ENGINEER) AND THE OWNER'S NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE KEPT ADVISED IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE ENGINEER SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE UTILITY PLANS.
 - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF DRAINAGE (DRAINAGE) OR ANY OTHER APPLICABLE JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL PROVIDE SUPPORT, SHIELDING, BRACING AND OTHER MEANS OF PROTECTING ALL UTILITIES TO BE EXCAVATED OR NOTIFIED FOR WORK. THE CONTRACTOR SHALL OBTAIN AND FOLLOW ALL APPLICABLE PERMITS AS REQUIRED BY DWA.
 - CONTRACTOR TO AVOID EXCAVATION IF ANY ADJACENT TOWNSHIP OPERATIONS DURING INSTALLATION OF UTILITIES.
 - ALL OPERATIONS ARE TO BE CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
 - LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE THE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
 - SEE DETAILS FOR LOCATING STORM STRUCTURES WITH THE CURB LINE.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT VIOLATE, SOAK OR IMPAIR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE.
 - AS REQUIRED BY THE SECTION 107.03 OF CITY OF WARREN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE HEALTH OF ANY EXISTING TREE.

STORM STRUCTURE TABLE	
STRUCTURE NAME	DETAIL
01	10' STORM MANHOLE TO BE CONSTRUCTED TO FIELD OF EXISTING PIPE TO EXISTING WATER LINE. INV. N. 875.80 (NA 15') INV. N. 873.80 (NA 15') INV. OUT. 873.80 (NA 15')

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME	DETAIL
02	10' FLARED END SECTION INV. OUT. 877.75 (E 15')
03	10' FLARED END SECTION INV. OUT. 877.00 (E 15')

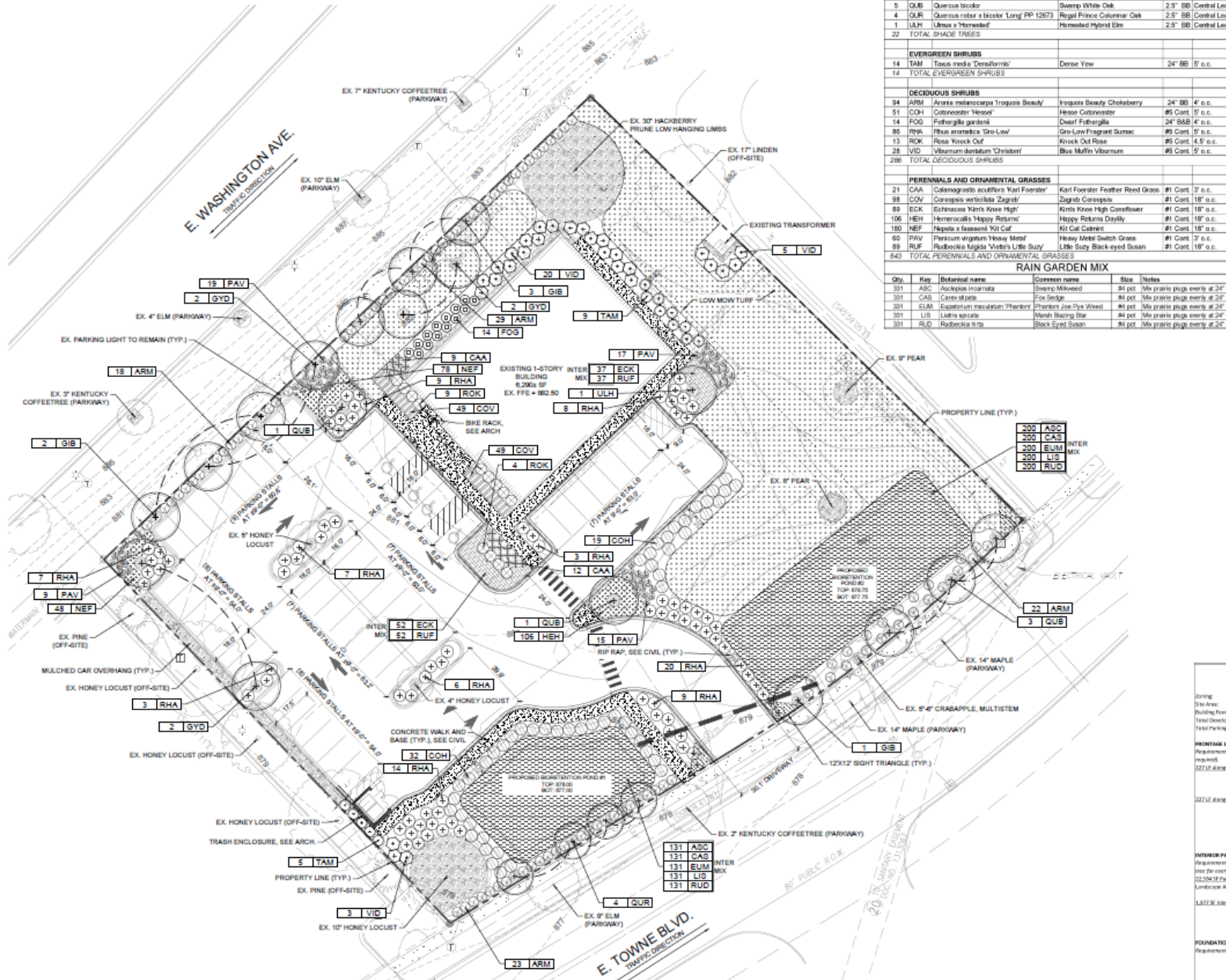
TREE PRESERVATION



- LEGEND:**
- PROPERTY LINE
 - [Hatched Box] EXISTING BUILDING
 - [Dotted Box] REMOVE CONCRETE PAVEMENT AND BASE
 - [Cross-hatched Box] REMOVE CONCRETE WALK AND BASE
 - [Circle with Dotted Area] EXISTING TREE TO REMAIN
 - [Circle with X] EXISTING TREE TO BE REMOVED
 - [Dotted Area] EXISTING LANDSCAPE TO REMAIN
 - [Cross-hatched Area] EXISTING LANDSCAPE TO BE REMOVED
 - [Circle with X] EXISTING TREE STUMP TO BE REMOVED
 - [Dotted Line] EXISTING CONCRETE WALK
 - [Line with Ticks] TREE PROTECTION FENCE

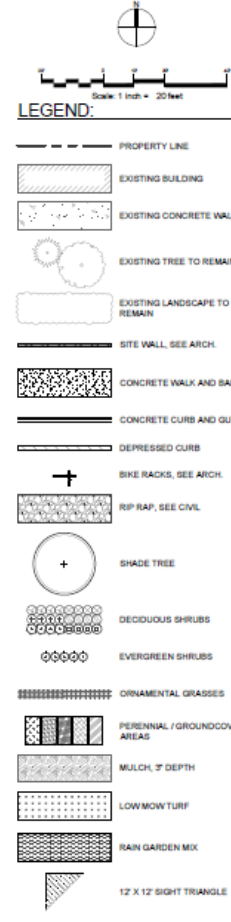
1 TREE PRESERVATION PLAN
 SCALE: 1" = 20'-0"

LANDSCAPE PLAN



PLANT SCHEDULE

Qty.	Key	Botanical name	Common name	Size at Planting	Notes
SHADE TREES					
6	GB	Quercus bicolor "Autumn Gold" (Male)	Autumn Gold Group	2.5' BB	Central Leader
6	QVD	Quercus dracunculata "Express"	Express Kentucky Coffeetree	2.5' BB	Central Leader
5	QUB	Quercus bicolor	Sweep White Oak	2.5' BB	Central Leader
4	QLR	Quercus robur x laevis "Long PP 12673"	Royal Prince Columnar Oak	2.5' BB	Central Leader
1	ULH	Ulmus x 'Horseshoe'	Horseshoe Hybrid Elm	2.5' BB	Central Leader
22	TOTAL SHADE TREES				
EVERGREEN SHRUBS					
14	TAM	Taxus media "Densaformis"	Dense Yew	24" BB	5' o.c.
14	TOTAL EVERGREEN SHRUBS				
DECIDUOUS SHRUBS					
94	ARM	Aronia melanocarpa "Fragaria Beauty"	Fragaria Beauty Chokeberry	24" BB	4' o.c.
51	COH	Cotoneaster "Hessels"	Hessels Cotoneaster	#5 Cont	5' o.c.
14	FOG	Fothergilla gardenii	White Fothergilla	24" S&B	4' o.c.
85	RVA	Rhus aromatica "Gro-Low"	Gro-Low Fragrant Sumac	#5 Cont	3' o.c.
13	ROK	Rosa Knock Out	Knock Out Rose	#5 Cont	4.5' o.c.
28	VID	Viburnum dentatum "Christina"	Blue Muffin Viburnum	#5 Cont	5' o.c.
296	TOTAL DECIDUOUS SHRUBS				
PERENNIALS AND ORNAMENTAL GRASSES					
21	CAA	Colanagrostis acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass	#1 Cont	3' o.c.
98	COV	Cortaderia verticillata "Zagari"	Zagari Cortaderia	#1 Cont	18" o.c.
82	ECK	Echinacea Yarns "Kiss Me"	Kiss Me High Coneflower	#1 Cont	18" o.c.
106	HEH	Hemerocallis "Happy Returns"	Happy Returns Daylily	#1 Cont	18" o.c.
180	NEF	Nepeta x fassenii "Kit Cat"	Kit Cat Catmint	#1 Cont	18" o.c.
60	PAV	Perovskia virginiana "Heavy Metal"	Heavy Metal Switch Grass	#1 Cont	3' o.c.
88	RUF	Rudbeckia hirta "Victor's Little Ruby"	Little Ruby Black-eyed Susan	#1 Cont	18" o.c.
643	TOTAL PERENNIALS AND ORNAMENTAL GRASSES				
RAIN GARDEN MIX					
Qty.	Key	Botanical name	Common name	Size	Notes
351	ASC	Asclepias incarnata	Swamp Milkweed	#4 pot	1/4" pruned plugs evenly at 24" o.c.
351	CAS	Carex flacca	Pine Sedge	#4 pot	1/4" pruned plugs evenly at 24" o.c.
351	ELM	Eupatorium maculatum "Phantom"	Phantom Joe Pye Weed	#4 pot	1/4" pruned plugs evenly at 24" o.c.
351	LIS	Liatris spicata	Marsh Bearing Star	#4 pot	1/4" pruned plugs evenly at 24" o.c.
351	RUD	Rudbeckia hirta	Black Eyed Susan	#4 pot	1/4" pruned plugs evenly at 24" o.c.



LANDSCAPE REQUIREMENTS

Chase Bank - 4250 E. Towne Blvd, Madison WI

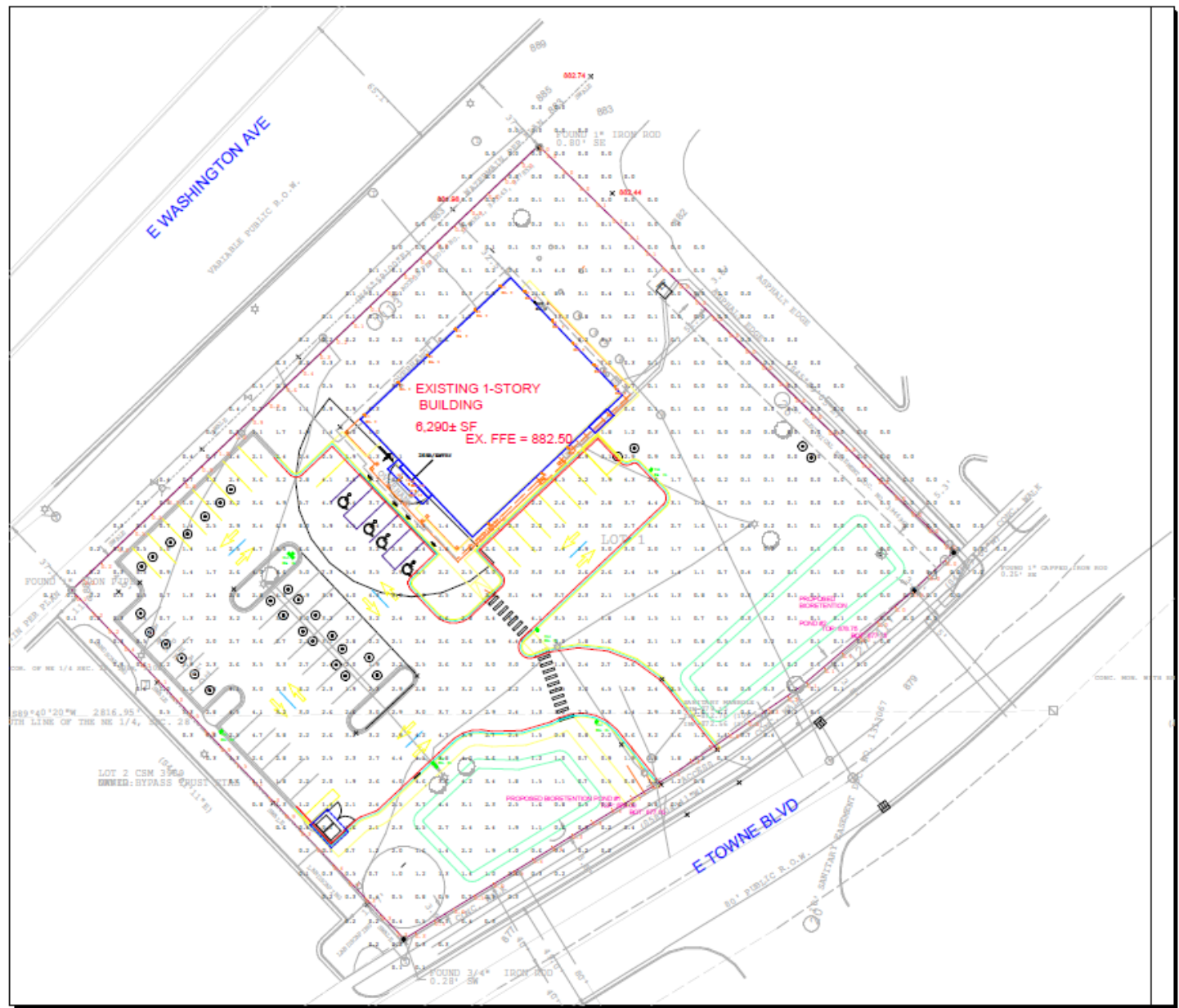
Planting	Plant	Quantity	Notes
Site Area:	66,000 SF (1.51 AC)		
Parking Footprint:	8,000 SF		
Total Developed Area:	39,000 SF		
Total Parking:	36	Stalls (Includes 4 ADA)	
PERIMETER LANDSCAPE			
Requirement:	1 Shade tree and 5 shrubs per 30' L of lot frontage (5 shade trees required, 25 shrubs required)		
227' Lf along E. Washington Ave. (includes 5.2 Trees and 85 Shrubs)	9	Total Trees Provided	9-2 Required Trees
227' Lf along E. Towne Blvd. (includes 3.3 Trees and 43 Shrubs)	46	Total Shrubs Provided	46- Required Shrubs
227' Lf along S. Towne Blvd. (includes 1.5 Trees and 15 Shrubs)	2	Total Trees Provided	2- Required Trees
227' Lf along S. Washington Ave. (includes 1.5 Trees and 15 Shrubs)	8	Total Shrubs Provided	8- Required Shrubs
227' Lf along S. Washington Ave. (includes 1.5 Trees and 15 Shrubs)	9	Total Trees Provided	9- Required Trees
227' Lf along S. Washington Ave. (includes 1.5 Trees and 15 Shrubs)	43	Total Shrubs Provided	43- Required Shrubs
INTERIOR PARKING LANDSCAPE			
Requirement:	Change to landscaped area required 5% of pavement area shall be landscaped. (1) Depth must be every 100' of required landscaped area.		
22,504 SF of Parking pavement requires 1,126 SF of Interior Landscaped Area	2,150	SP Provided	1,130 SF Required
1,177 SF of Interior Landscaped Area requires 8.8 Trees (100%)	3	Total Trees Provided	3- Required Trees
1,177 SF of Interior Landscaped Area requires 8.8 Trees (100%)	5	Total Trees Provided	5- Required Trees
1,177 SF of Interior Landscaped Area requires 8.8 Trees (100%)	7	Total Trees Provided	7-1 Trees Required
FOUNDATION LANDSCAPE			
Requirement:	Shrubs and perennials shall be provided along building footings.		
8' Perennial Foundation Shrubs	8	Total Shrubs Provided	8- Required Shrubs
42' Perennial Foundation Shrubs	42	Total Shrubs Provided	42- Required Shrubs
337' Perennial Foundation Shrubs	337	Total Shrubs Provided	337- Required Shrubs
SCREENING LANDSCAPE			
Requirement:	Screening shall consist of a solid wall, wall/boom, or hedge with a minimum height of 6 feet in height, except that within the three foot setback area, screening shall not exceed four (4) feet in height.		
3	Total Trees Provided		

1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

PHOTOMETRIC PLAN

calculation summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
ENTRY 10'	Fc	25.12	92.9	1.4	17.94	66.29	FC TAKEN 10' FROM ENTRY @ 3'-0" AFF
ENTRY 50'	Fc	3.72	48.9	0.9	4.65	61.13	FC TAKEN 50' FROM ENTRY @ 3'-0" AFF
PROPERTY LINE	Fc	5.26	1.5	0.0	N.A.	N.A.	FC TAKEN @ GRADE
SITE	Fc	1.50	21.4	0.0	N.A.	N.A.	FC TAKEN @ GRADE

luminaire schedule				
symbol	Label	Qty	Part Number	Description
	SL1	4	8AC1010FA745-DIMMING- DI-FINISH- W/TS	FULL CUTOFF AREA LIGHT W/SHIELD
			8AC-ALL-SECK	
	L7	3	52442AT20L040	RECESSED DOWN LIGHT
	W1	14	9004-W1-SW-LED1090-W-SS-11-INV	WALL MOUNT DOWN LIGHT
	W21-R	1	XT08488L-Y	WALL MOUNT FULL CUTOFF WALLPACK
	SL2	1	8AC1010FA745-DIMMING- DI-FINISH	FULL CUTOFF AREA LIGHT
	SL3	1	8AC1010FA745-DIMMING- DI-FINISH	FULL CUTOFF AREA LIGHT

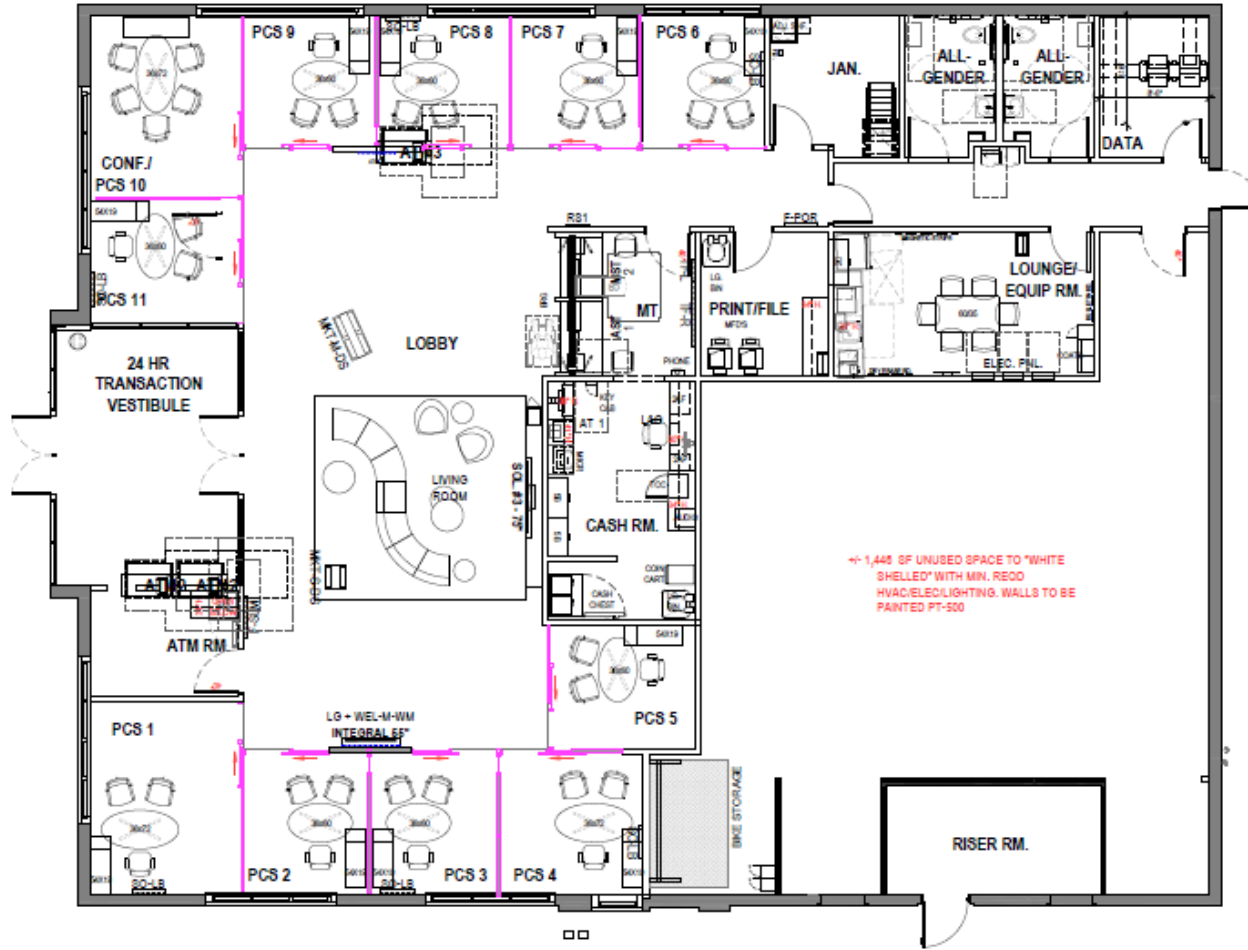


- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY
- MH IS AN OVERALL MOUNTING HEIGHT.

PROPOSED FLOOR PLAN

E. WASHINGTON AVE

PRIMARY PARKING

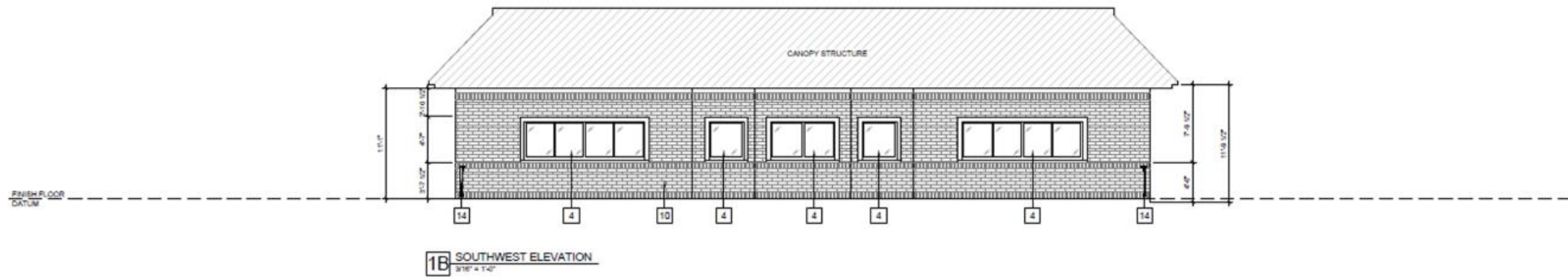
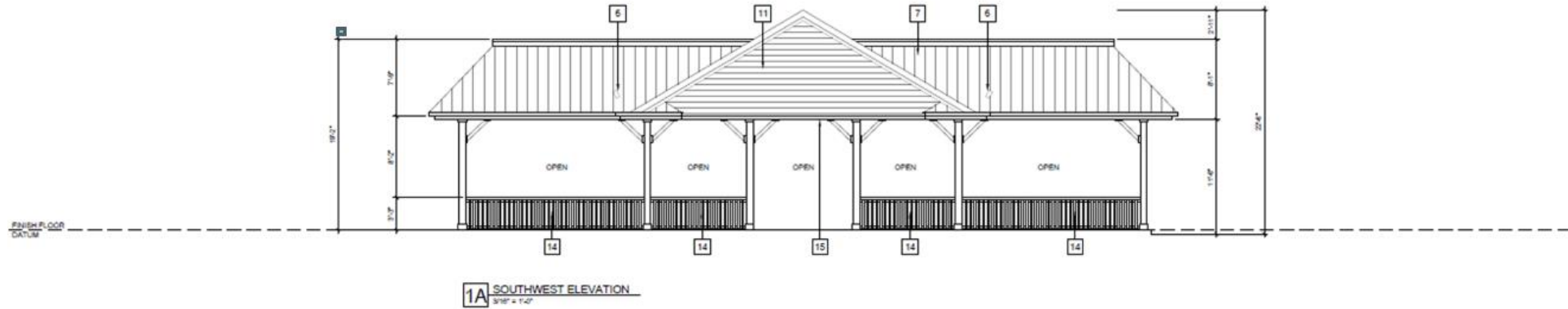


EAST TOWNE BLVD.



SCALE: 1/4" = 1'
0 5 10 15'

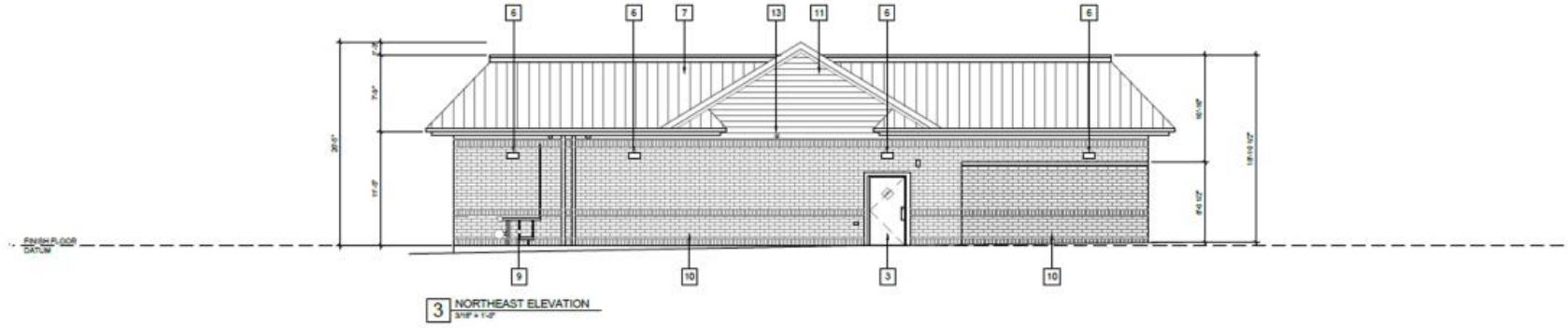
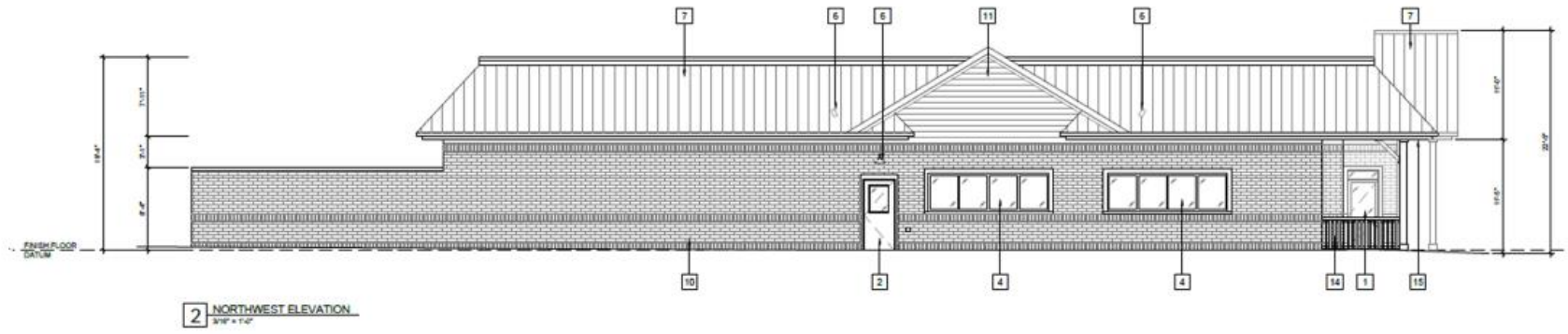
EXISTING ELEVATIONS



- | | | |
|----------------------|-------------------|---------------------|
| 1 ENTRY DOOR | 6 LIGHTING | 11 WOOD SIDING |
| 2 EXIT DOOR | 7 CORRUGATED ROOF | 12 ELECTRICAL METER |
| 3 SERVICE DOOR | 8 DOWNSPOUT | 13 CAMERA |
| 4 WINDOW | 9 GAS METER | 14 RAILING |
| 5 STOREFRONT GLAZING | 10 BRICK | 15 CANOPY |



EXISTING ELEVATIONS



- | | | |
|----------------------|-------------------|---------------------|
| 1 ENTRY DOOR | 6 LIGHTING | 11 WOOD SING |
| 2 EXIT DOOR | 7 CORRUGATED ROOF | 12 ELECTRICAL METER |
| 3 SERVICE DOOR | 8 DOWNSPOUT | 13 CAMERA |
| 4 WINDOW | 9 GAS METER | 14 RAILING |
| 5 STOREFRONT GLAZING | 10 BRICK | 15 CANOPY |



PROPOSED ELEVATIONS



- STORE FRONT
COLOR: BLACK ANODIZED ALUM.
- BRICK
COLOR: PLATINUM INTERSTATE BRICKS
- EIF'S
COLOR: TONY TAUPE SHERWIN WILLIAM
- METAL CANOPY & SUNSHADES
COLOR: BLACK ANODIZED ALUM.
- CLEAR GLASS
- CAST STONE
COLOR: TO MATCH EXIST'
- BRICK
COLOR: TO MATCH EXISTING



SCALE: 1/4" = 1'
0 5' 10' 15'

PROPOSED ELEVATIONS



EAST ELEVATION

- STORE FRONT
COLOR: BLACK ANODIZED ALUM.
- FIBER CEMENT
COLOR: ASH NICHHA
- EIP'S
COLOR: TONY TAUPE
SHERWIN WILLIAM
- METAL CANOPY & SUNSHADES
COLOR: BLACK ANODIZED ALUM.
- CLEAR GLASS
- CAST STONE
COLOR: TO MATCH EXISTI
- BRICK
COLOR: TO MATCH EXISTING



NORTH ELEVATION - EAST WASHINGTON AVENUE

PROPOSED ELEVATIONS



TRASH ENCLOSURE



BRICK
COLOR: TO MATCH EXISTING



DOORS
COLOR: ACCESSIBLE BEIGE
SW 7036



CAST STONE
COLOR: MILESTONE

