

The Bella Apartments

121 N Butler St.
Madison, WI 53703



UNIT MATRIX						
	FL 1	FL 2	FL 3	FL 4	FL 5	TOT.
STUDIO 346 SF	0	1	1	1	1	4
1 BR 522 SF	11	13	13	13	13	63
2 BR 760 SF	1	1	1	1	1	5
TOTAL	12	15	15	15	15	72

7,993 RENTABLE SF FIFTH FLOOR
3,997 AFFORDABLE SF REQUIRED

AFFORDABLE UNIT QUANTITIES:
STUDIO 2 692 SF
1 BR 5 2,610 SF
2 BR 1 760 SF
4,062 SF

PARKING INFORMATION	
TOTAL GARAGE PARKING SPACES = 14	
TOTAL PARKING SPACES = 14	
TOTAL BIKE PARKING SPACES = 80	
(72 LONG-TERM IN BASEMENT + 8 SHORT-TERM AT GRADE)	

EXTERIOR WALL OPENING PERCENTAGE CALCULATIONS	
NORTH ELEVATION	
TOTAL AREA:	5,305.38 SQ FT
OPENING AREA:	1,771.81 SQ FT
PERCENT OPEN:	33%
EAST ELEVATION	
TOTAL AREA:	4,294.29 SQ FT
OPENING AREA:	312.59 SQ FT
PERCENT OPEN:	7.3%
SOUTH ELEVATION	
TOTAL AREA:	4,697.09 SQ FT
OPENING AREA:	1,848.48 SQ FT
PERCENT OPEN:	39%
WEST ELEVATION	
TOTAL AREA:	4,525.76 SQ FT
OPENING AREA:	191.13 SQ FT
PERCENT OPEN:	4.2%

CODE INFORMATION SUMMARY	
APPLICABLE CODE 2015 INTERNATIONAL BUILDING CODE WITH WI AMMENDMENTS 2009 AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A117.1	
OCCUPANCY CLASSIFICATION - IBC 2015-CHAPTER 3 R-2 - RESIDENTIAL (MULTI-FAMILY, CONVENTS, DORMITORIES) S-2 - STORAGE - LOW HAZARD (IBC 2015 - § 311.3)	
FIRE SPRINKLER - IBC 2015 - CHAPTER 9 BUILDING IS FULLY SPRINKLERED PER NFPA 13	
CONSTRUCTION TYPE & FIRE RESISTANCE RATINGS - IBC 2015-CHAPTER 6 PODIUM CONSTRUCTION PER SECTION 510 TYPE-IA - FIRE RESISTIVE NON-COMBUSTIBLE TYPE-IIIB - UNPROTECTED COMBUSTIBLE - 5 STORIES	
ALLOWABLE HEIGHTS & AREAS - IBC 2015-CHAPTER 5	
TYPE-IA:	ALLOWABLE HEIGHT = UNLIMITED ACTUAL MAX. HEIGHT = UNLIMITED ALLOWABLE BUILDING AREA = UNLIMITED TOTAL IA BUILDING AREA = 8,809 SQ. FT.
TYPE-IIIB:	ALLOWABLE HEIGHT = 75' MAX. ABOVE GRADE PLANE ACTUAL MAX HEIGHT = 49' - 2" ALLOWABLE FLOOR AREA FOR A SINGLE STORY = 48,000 SQ. FT. ACTUAL MAX. FLOOR AREA = 8,881 SQ. FT. ALLOWABLE BUILDING AREA = 144,000 SQ. FT. TOTAL IIIB BUILDING AREA = Aa = [48,000 + (16,000)] x 3 = 43,955 SQ. FT.
TOTAL BUILDING AREA	
BASEMENT AREA	8,388 SQ. FT.
FIRST FLOOR AREA	8,296 SQ. FT.
SECOND FLOOR AREA	8,796 SQ. FT.
THIRD FLOOR AREA	8,796 SQ. FT.
FOURTH FLOOR AREA	8,796 SQ. FT.
FIFTH FLOOR AREA	8,796 SQ. FT.
TOTAL BUILDING AREA =	51,868 SQ. FT.
SEE PROJECT/BUILDING DATA FOR ADDITIONAL AREA INFO.	
FIRE RESISTANCE RATING REQUIREMENTS - IBC 2015-CHAPTER 6	
TYPE-IA:	STRUCTURAL FRAME = 3 HOURS EXTERIOR BEARING WALLS = 3 HOURS EXTERIOR NON-BEARING WALLS = 3 HOURS <30' TO LOT LINE = 1 HOUR >30' TO LOT LINE = 0 HOUR INTERIOR BEARING WALLS = 3 HOURS FLOOR ASSEMBLIES = 2 HOURS ROOF ASSEMBLIES = 1 1/2 HOURS
TYPE-IIIB:	STRUCTURAL FRAME = 0 HOUR EXTERIOR BEARING WALLS = 0 HOUR EXTERIOR NON-BEARING WALLS = 2 HOUR <30' TO LOT LINE = 1 HOUR >30' TO LOT LINE = 0 HOUR INTERIOR BEARING WALLS = 0 HOUR FLOOR ASSEMBLIES = 0 HOUR ROOF ASSEMBLIES = 0 HOUR
FIRE & SMOKE PROTECTION FIRE RATINGS - CHAPTER 7	
CORRIDOR WALL =	1 HOUR
DWELLING UNIT SEPARATION =	1 HOUR
SHAFT ENCLOSURE =	2 HOURS
STAIR ENCLOSURE, 4 FLOORS OR GREATER =	2 HOURS

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Civil Engineering

Burse Surveying & Engineering, Inc.
2801 International Lane, Suite 101, Madison, WI 53704
p: 608.250.9263 www.bursesurveyengr.com

Landscape Architecture

Paul Skidmore
13 Red Maple Trail, Madison, WI
p: 608.826.0032

Structural Engineering:

Tune Structural Engineering
S Main St, Verona, WI 53593
p: 209.404.8315 www.tunestructural.com

LIST OF DRAWINGS

SHEET NO.	SHEET NAME
GENERAL	
G0.1	COVER SHEET
G0.1-1	EXISTING SITE PHOTOS
CIVIL	
C001	CIVIL DETAILS
C100	EXISTING CONDITIONS PLAN
C200	DEMOLITION PLAN
C300	SITE PLAN
C400	EROSION CONTROL PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C700	FIRE ACCESS PLAN
LANDSCAPE	
L100	LANDSCAPE PLAN

LIST OF DRAWINGS

SHEET NO.	SHEET NAME
ARCHITECTURAL	
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	FIFTH FLOOR PLAN
A1.6	ROOF PLAN
A1.7	BICYCLE PARKING STALL DETAILS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A4.0	PERSPECTIVE VIEW
A5.0	EXTERIOR MATERIAL AND COLOR PALETTE

LIST OF DRAWINGS

SHEET NO.	SHEET NAME
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VICINITY MAP



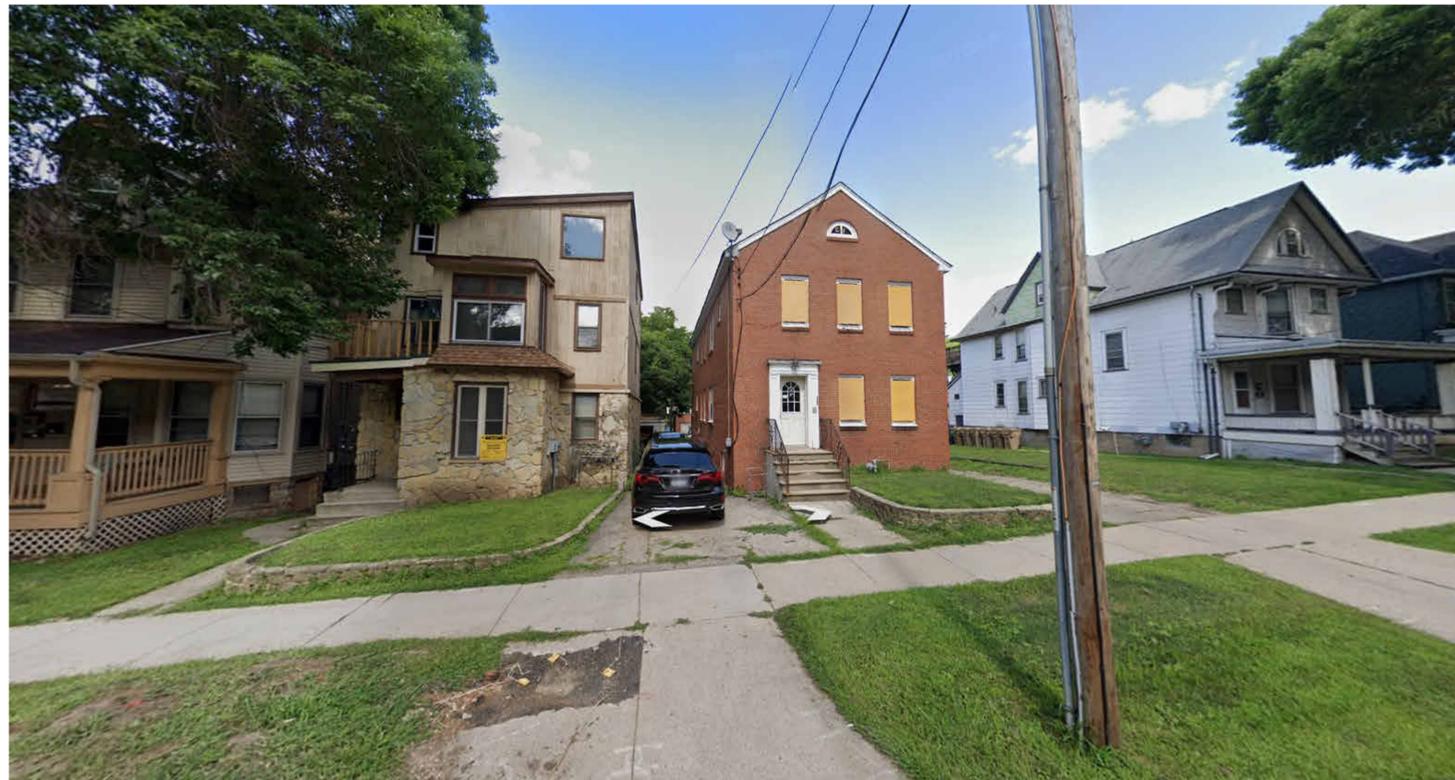
SITE MAP



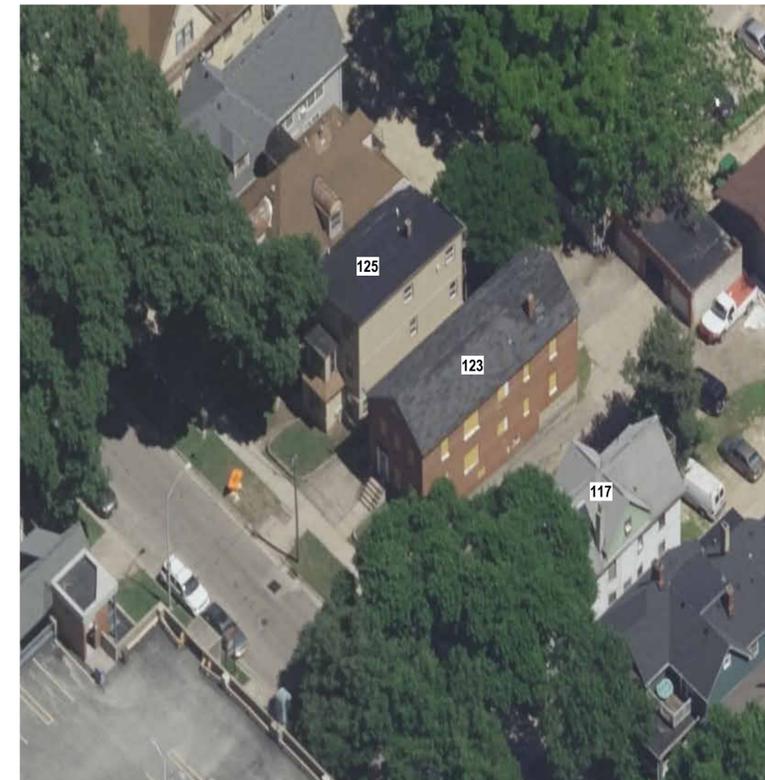
N BUTLER STREET VIEW



PARKING GARAGE ACROSS N BUTLER STREET



BUILDINGS TO BE DEMOLISHED - 117, 123, 125 N BUTLER STREET



N BUTLER ST - BIRDSEYE VIEW

The Bella Apartments

121 N Butler St.
 Madison, WI 53703

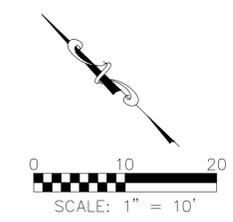
DATE OF ISSUE: 09/03/2025

REVISIONS:

PROJECT # 25069

EXISTING SITE PHOTOS

GO.1-1



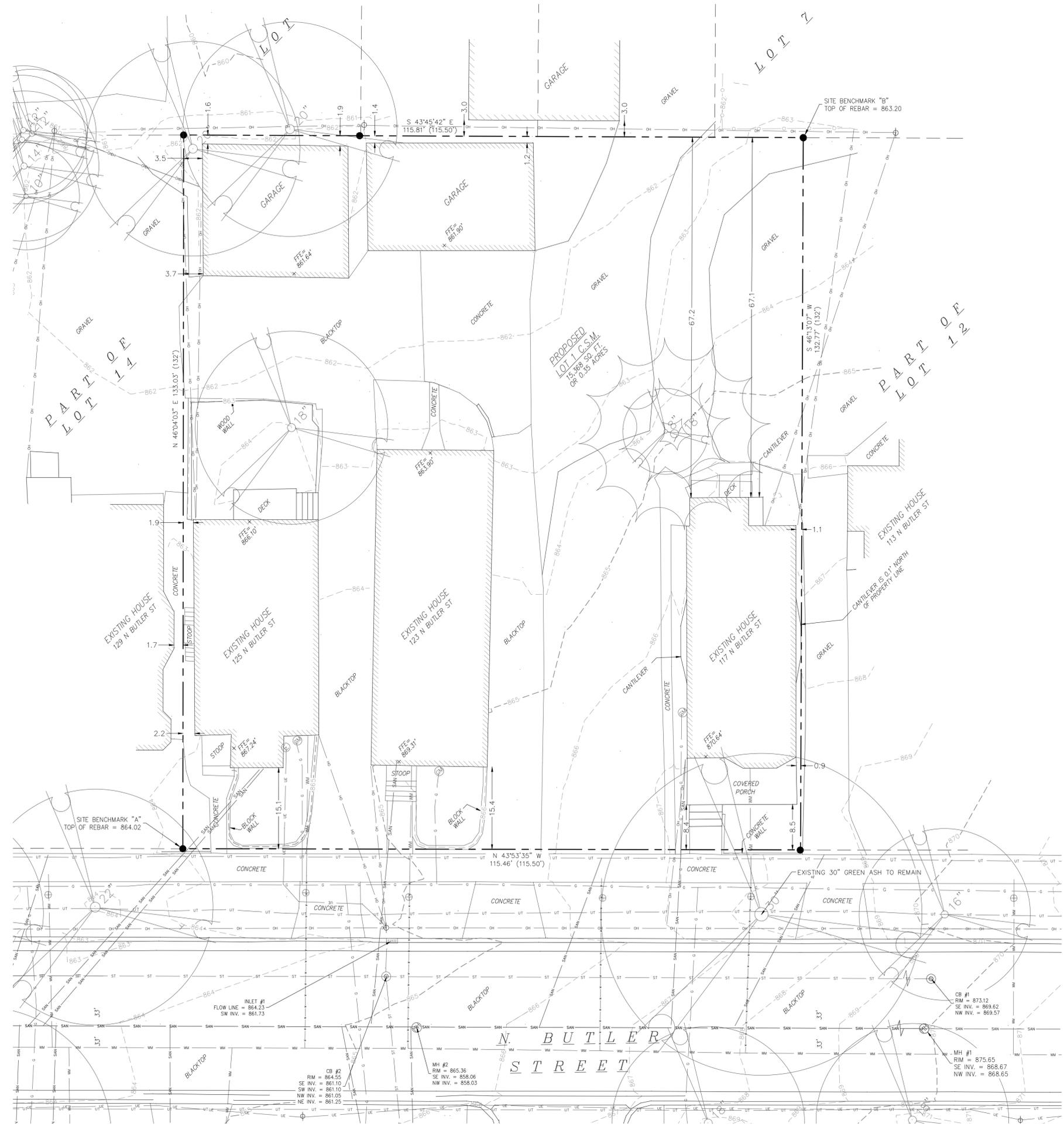
Description:

Being all of Lot 13 and part of Lots 12 and 14, all in Block 111, Plot of Madison, recorded in the Dane County Register of Deeds in Volume A, Page 3. Located in part of the SW 1/4 and NW 1/4 of the SW 1/4 of Section 13, T7N, R9E, City of Madison, Dane County, Wisconsin.

NOTES

1. SURVEY PREPARED BY WILLIAMSON SURVEYING AND ASSOC. LLC.
2. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
3. WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
4. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
5. ELEVATIONS ARE REFERENCED TO NAVD 88 (2012 DATUM) SITE BENCHMARK "A" IS THE TOP OF REBAR LOCATED AT THE WESTERN MOST POINT OF SUBJECT PROPERTY, TOP OF REBAR = 864.02 FT. SITE BENCHMARK "B" IS THE TOP OF REBAR LOCATED AT THE EASTERN MOST POINT OF SUBJECT PROPERTY, TOP OF REBAR = 863.20 FT.
6. ALL UTILITIES SHOWN ON THIS SURVEY WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY OTHERS, EXCEPT WHERE SNOW OR OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. IT IS THE RESPONSIBILITY OF THE OWNERS/CONTRACTORS TO CALL DIGGER'S HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION OR EXCAVATING IS DONE. DIGGER'S HOTLINE NO. 1-800-242-8511.

DIGGER'S HOTLINE TICKET NO.'S
2022-1620652 (117 N. BUTLER STREET)
2022-1620643 (119 N. BUTLER STREET)
2022-1620634 (123 N. BUTLER STREET)
2022-1620621 (125 N. BUTLER STREET)



Printed: Oct 14, 2025 - 2:56pm Printed By: Peter

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6/23/2025 4:30:47 PM Autodesk Docs:25099 - The Bella Apartments

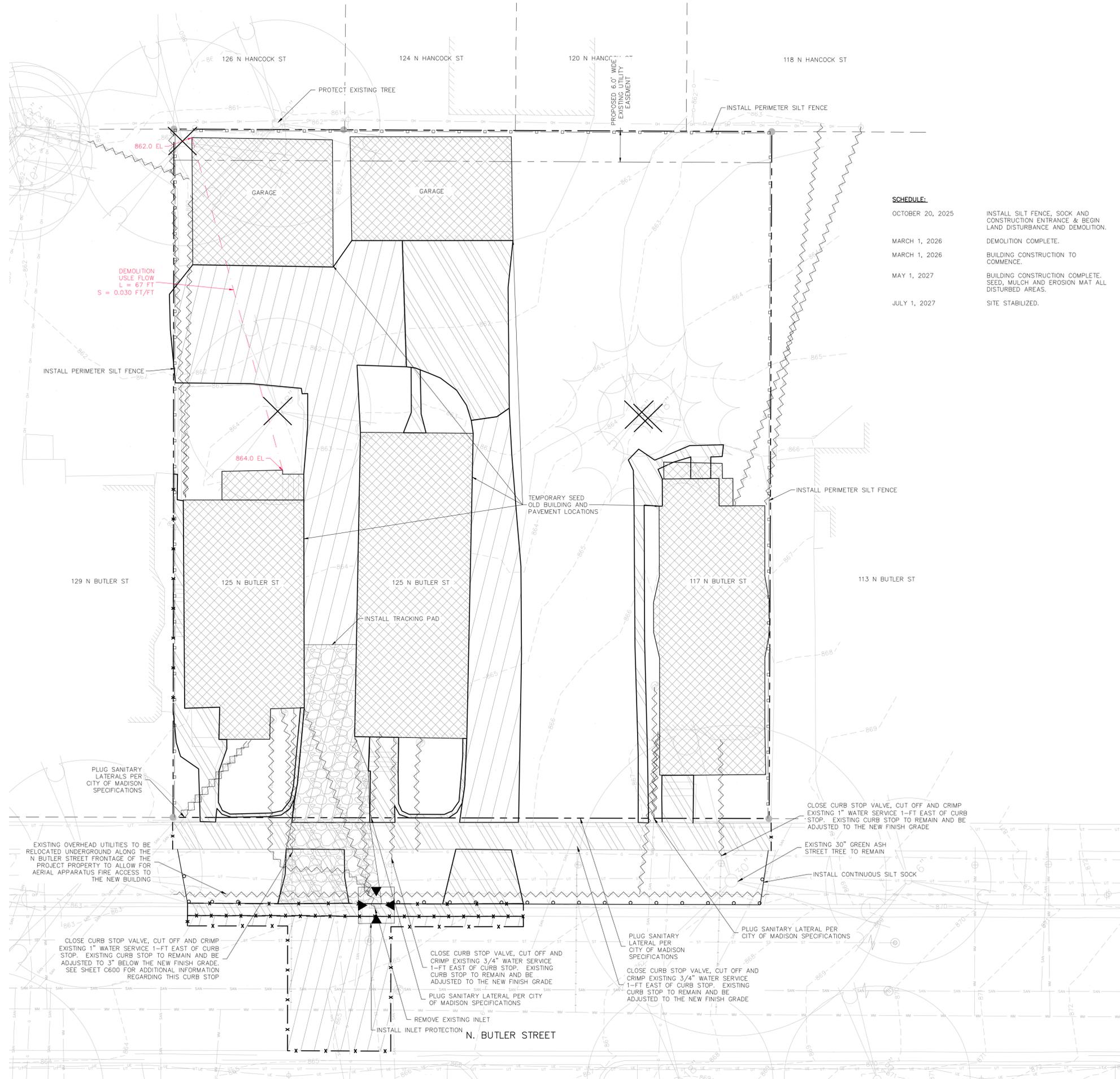
DATE OF ISSUE: 10/13/2025

PERMIT SET

PROJECT # 25069

**EXISTING
CONDITIONS PLAN**

C100



SCHEDULE:

OCTOBER 20, 2025	INSTALL SILT FENCE, SOCK AND CONSTRUCTION ENTRANCE & BEGIN LAND DISTURBANCE AND DEMOLITION.
MARCH 1, 2026	DEMOLITION COMPLETE.
MARCH 1, 2026	BUILDING CONSTRUCTION TO COMMENCE.
MAY 1, 2027	BUILDING CONSTRUCTION COMPLETE. SEED, MULCH AND EROSION MAT ALL DISTURBED AREAS.
JULY 1, 2027	SITE STABILIZED.

NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, PLUGGING AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY FORCING ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE DEVELOPER IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, COVERED WALKWAYS, ETC. CONTRACTOR SHALL SUBMIT THEIR STREET OCCUPANCY PLAN TO TRAFFIC ENGINEERING FOR APPROVAL.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- SAWCUTTING SHALL BE FULL-DEPTH FOR THE ENTIRE LENGTH OF THE CUT AND SHALL RESULT IN A CLEAN, VERTICAL EDGE. REFERENCE CITY OF MADISON SPECIFICATION 203.2(b).
- DAMAGE TO ALL EXISTING CONDITION TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- CAP/PLUG ALL UNUSED EXISTING LATERALS PER CITY OF MADISON REQUIREMENTS.
- DEMOLITION OF BUILDINGS AND STRUCTURES SHALL INCLUDE THE REMOVAL OF ALL FOUNDATIONS AND SUBSURFACE STRUCTURES.
- SIDEWALK AND APRON DEMOLITION SHALL BE REMOVED TO THE NEAREST PRACTICABLE JOINT TO THE CONSTRUCTION LIMITS. SAWCUTTING OF THE JOINT SHALL BE PERFORMED TO THE FULL DEPTH PRIOR TO REMOVAL.
- SEE SHEET C-001 FOR FORESTRY NOTES REGARDING TREE PROTECTION, REMOVAL, AND PRUNING WITHIN THE RIGHT-OF-WAY.

LEGEND

	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	UTILITY REMOVAL
	TREE REMOVAL
	SAWCUT

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DATE OF ISSUE: 10/13/2025

PERMIT SET

PROJECT # 25069

DEMOLITION PLAN & EROSION CONTROL

C200

ZONING SUMMARY
 EXISTING DISTRICT = DR-2
 PROPOSED DISTRICT = DR-2
 DR-2 FRONT YARD SETBACK = 10'
 DR-2 SIDE YARD SETBACK = 5'
 DR-2 REAR YARD SETBACK = 20'



6515 Grand Teton Plaza, Suite 120
 Madison, Wisconsin 53719
 p608.829.4444 f608.829.4445 dimensionivmadison.com

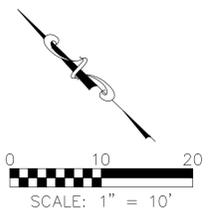


2801 International Lane, Suite 101
 Madison, WI 53704
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: mburse@bse-inc.net
 www.bursesurveyengr.com

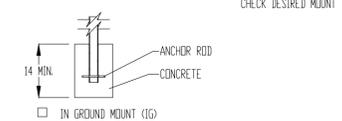
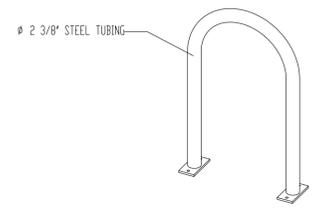
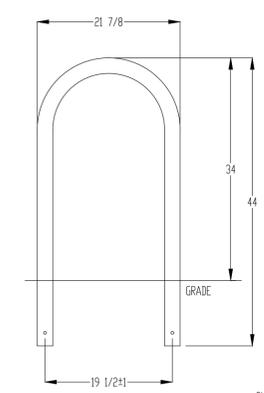
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MADRAX DIVISION
 GRABER MANUFACTURING, INC.
 1080 LINEX DRIVE
 WAUNAKEE, WI 53097
 P800: 448-7931, P4600: 849-1800, F4600: 849-1001
 WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



PRODUCT: U238-1G(SF)
 DESCRIPTION: U" BIKE RACK
 2 BIKE, SURFACE OR IN GROUND MOUNT
 DATE: 10-4-18
 ENG: SMC
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NOTES:
 1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

LEGEND

- ASPHALT STREET PATCH (TYPE 'A' PAVEMENT PER CITY SDD 4.01)
- 7" THICK (MIN) CONCRETE DRIVE APRON (PER CITY SPECIFICATIONS)
- 7" THICK (MIN) CONCRETE PUBLIC WALK (PER CITY SPECIFICATIONS)
- 5" THICK (MIN) CONCRETE PUBLIC WALK (PER CITY SPECIFICATIONS)
- 5" THICK (MIN) SITE CONCRETE
- 7" THICK (MIN) SITE CONCRETE
- NEW BUILDING
- NEW BIOINFILTRATION SYSTEM
- OVERFLOW WEIR FOR BIOINFILTRATION SYSTEM

DATE OF ISSUE: 10/13/2025

PERMIT SET

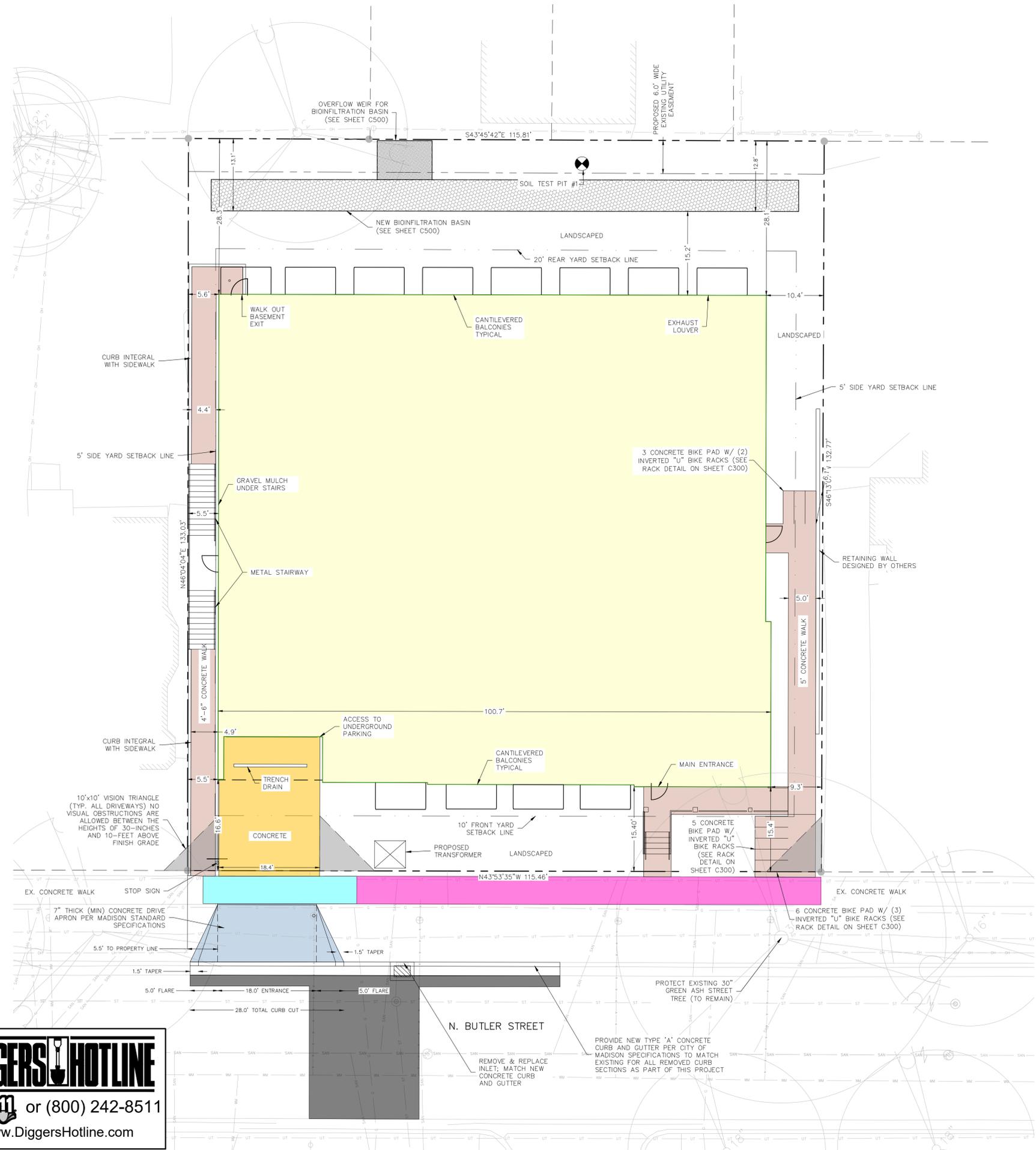
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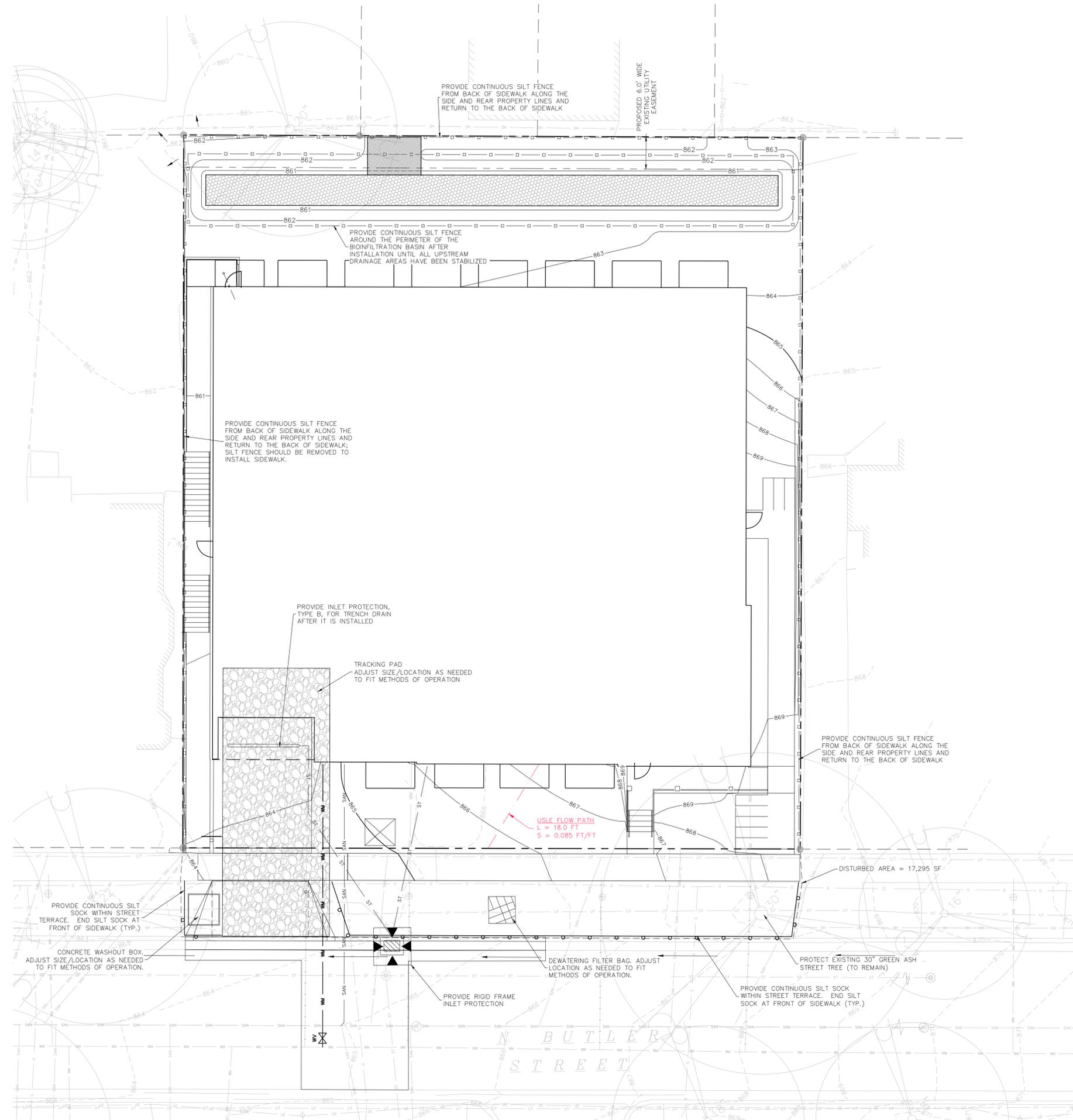
SITE PLAN

C300

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NOTES:

- SEE SHEET C001 FOR FORESTRY NOTES AND EROSION CONTROL NOTES/SPECIFICATIONS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
- PRIOR TO INSTALLATION OF THE BIOINFILTRATION BASIN STONE AND ENGINEERED SOIL, THIS AREA MAY BE USED AS A SEDIMENT COLLECTION AREA DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT DURING EXCAVATION AND INSTALLATION OF THE BIOINFILTRATION STONE AND ENGINEERED SOIL. CONTRACTOR SHALL ALSO PROVIDE SILT FENCE AROUND THE PERIMETER OF THE BIOINFILTRATION BASIN UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED.

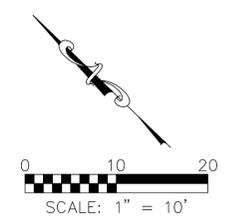
LEGEND

→ DRAINAGE DIRECTION

LEGEND

- NEW BIOINFILTRATION SYSTEM
- OVERFLOW WEIR FOR BIOINFILTRATION SYSTEM

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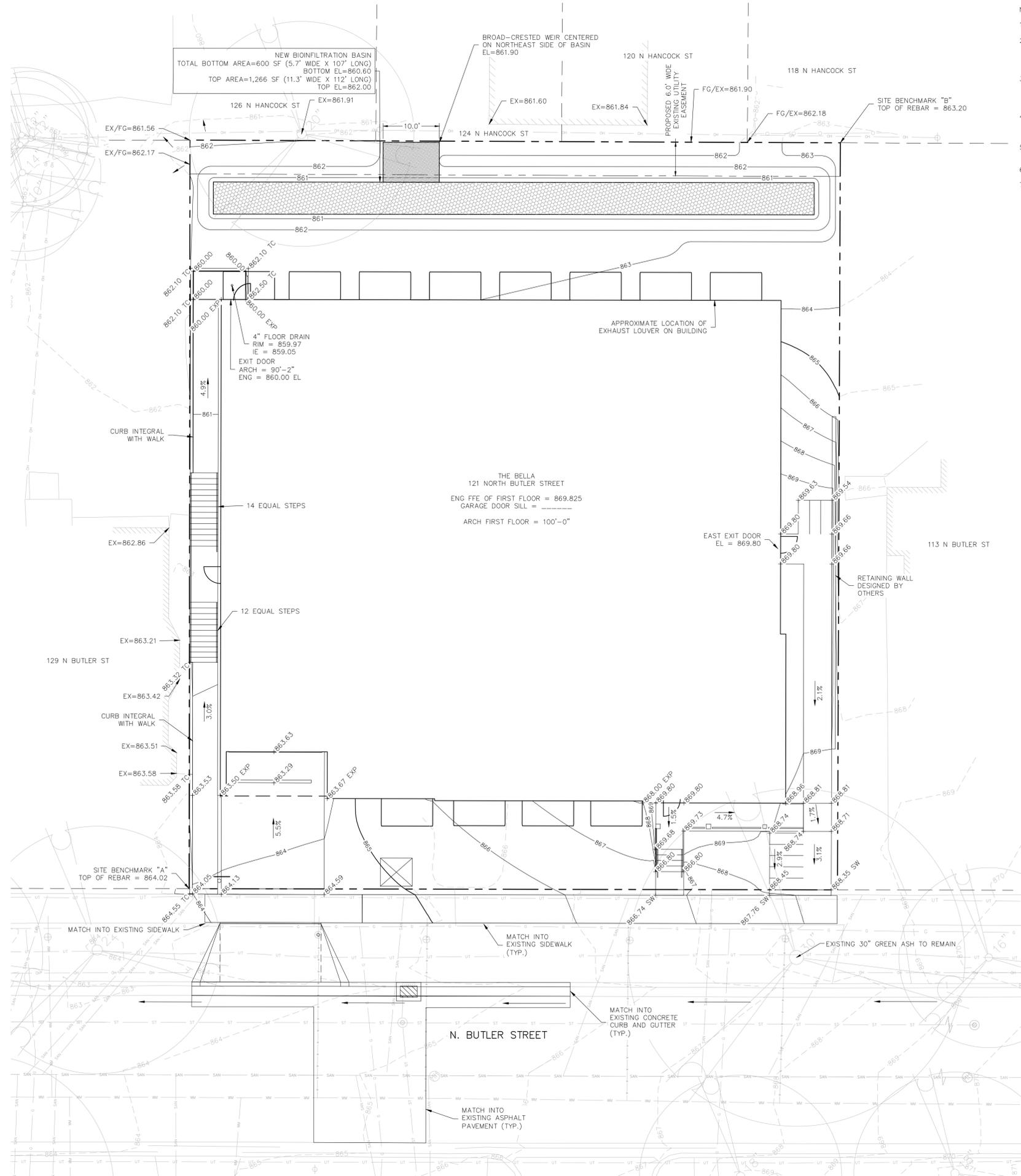
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PERMIT SET

PROJECT # 25069

EROSION CONTROL PLAN

C400

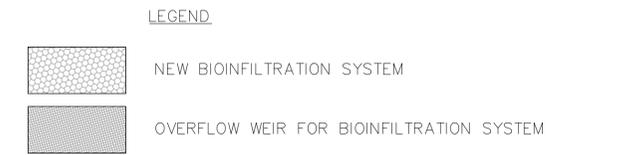
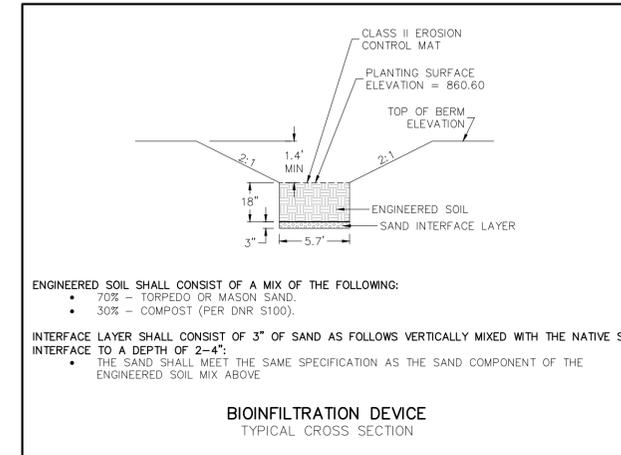


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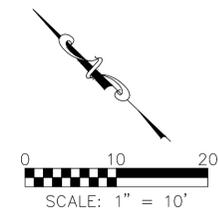
1. ALL GRADES ARE FINISH ELEVATION.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
4. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
5. SEE SHEET C001 FOR FORESTRY NOTES ON TREE REMOVAL, PROTECTION AND PRUNING.
6. CONTRACTOR SHALL PROVIDE COMPACTION MITIGATION.
7. ALL STORMWATER RUNOFF FROM IMPERVIOUS AREAS SHALL BE DISCHARGED TO THE PUBLIC ROW AND SHALL BE DIRECTLY CONNECTED TO THE PUBLIC STORMWATER SYSTEM.

LEGEND

- 866 --- EXISTING MINOR CONTOUR
- 865 --- EXISTING MAJOR CONTOUR
- 866 — PROPOSED MINOR CONTOUR
- 865 — PROPOSED MAJOR CONTOUR
- ST — STORM SEWER
- EP EDGE OF PAVEMENT
- TC TOP OF CURB
- SW SIDEWALK
- FG FINISH GRADE
- TW TOP OF WALL
- FL FLOWLINE OF VALLEY GUTTER
- DRAINAGE DIRECTION



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DIMENSION
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Burse
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The Bella Apartments

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PROJECT # 25069

GRADING PLAN

C500

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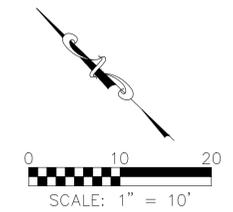
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- NOTES:
1. ALL DRAINS ON THE LOWEST LEVEL OF THE BUILDING CANNOT DRAIN BY GRAVITY AND A PUMP MUST BE UTILIZED TO GET EFFLUENT TO THE SANITARY LATERAL. PUMPING SYSTEM TO BE DESIGNED BY OTHERS.
 2. THE STORM DRAIN ON THE NORTHERN SIDE OF THE BUILDING WILL DRAIN INTO THE BUILDING. A STORM PUMPING SYSTEM SHALL BE REQUIRED TO MANAGE THE STORMWATER FROM THIS DRAIN. PUMPING SYSTEM TO BE DESIGNED BY OTHERS.
 3. ALL ROOF WATER TO DRAIN TO NORTH BUTLER STREET STORM SEWER.
 4. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
 5. ALL STORMWATER RUNOFF FROM IMPERVIOUS AREAS SHALL BE DISCHARGED TO THE PUBLIC ROW AND SHALL BE DIRECTLY CONNECTED TO THE PUBLIC STORMWATER SYSTEM.
 6. CONTRACTOR SHALL OBTAIN A PERMANENT SEWER PLUG PERMIT FOR EACH EXISTING SANITARY SEWER LATERAL SERVING THE PROPERTY THAT IS NOT TO BE REUSED AND A TEMPORARY SEWER PLUG PERMIT FOR EACH SANITARY LATERAL THAT IS TO BE REUSED.

LEGEND

-  NEW BIOFILTRATION SYSTEM
-  OVERFLOW WEIR FOR BIOFILTRATION SYSTEM

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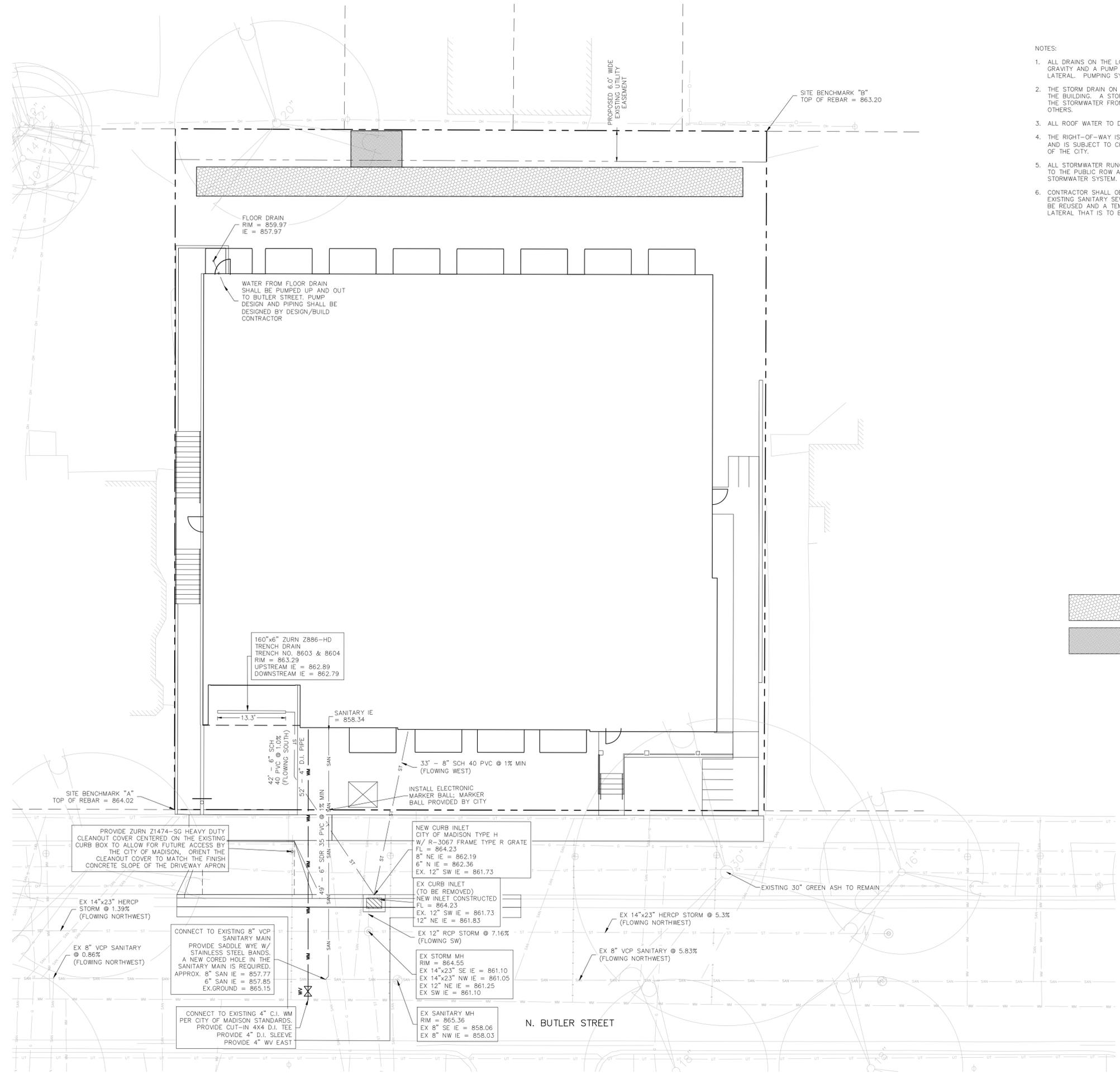
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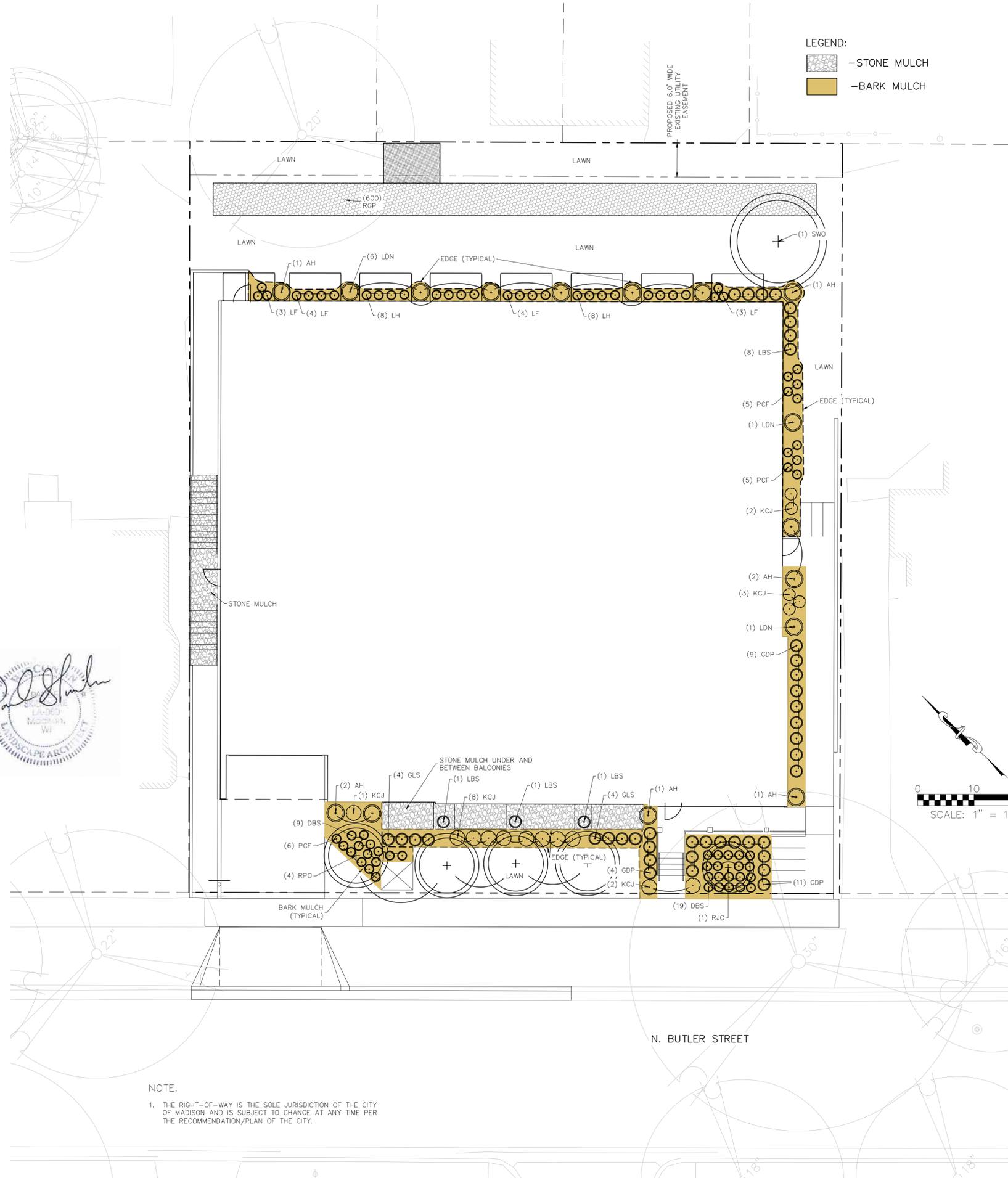
PERMIT SET

PROJECT # 25069

UTILITY PLAN

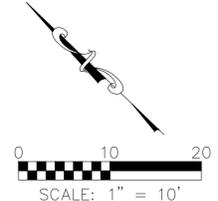
C600





LEGEND:
 -STONE MULCH
 -BARK MULCH

NOTE:
 1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.



PLANT LIST
 Bella Apartments
 121 Butler Street, Madison

KEY	SIZE	QUAN	COMMON NAME	Botanical Name	ROOT
(5) Canopy Trees					
RPO	2 1/2"	4	Regal Prince English Oak	Quercus Robur "Fastigiata"	BB
SWO	2 1/2"	1	Swamp White Oak	Quercus Bicolor	BB
(1) Ornamental Trees					
RJC	2"	1	Red Jade Crab	Malus "Red Jade"	BB
(48) Deciduous Shrubs					
AH	36"	8	Annabelle Hydrangea	Hydrangea Paniculata	Pot
GDP	18"	24	Gold Drop Potentilla	Potentilla Fruticosa	Pot
GLS	18"	8	Gro Low Sumac	Rhus Aromatica	Pot
LDN	24"	8	Little Devil Ninebark	Physocarpus O "Donna May"	Pot
(16) Low Evergreen Shrubs					
KJC	18"	16	Kalley Compact Juniper	Juniperus P "Kalley's Compact"	Pot
(85) Perennials					
LBS	1 G	11	Little Bluestem Grass	Schizachyrium Scoparium	Con
DBS	1 G	28	Dragon's Blood Sedum	Sedum Spurium "Dragon's Blood"	Con
LF	1 G	14	Lady Fern	Athyrium Filix-femina	Con
LH	1 G	16	Loyalist Hosta	Hosta "Loyalist"	Con
PCF	1 G	16	Purple Cone Flower	Echinacea Purpurea	Con
(600) Bio-retention Plantings					
RGP	2 1/2"	(600)	Common Blue Star		plug

- NOTES:**
- Lawn areas to receive a minimum of 6" of topsoil and premium sod.
 - Planting beds to receive shredded hardwood bark spread to a depth of 3".
 - Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch spread to a depth of 3"
 - Planting areas to receive a minimum of 6" of topsoil.
 - Designated planting beds to be separated from lawn areas with 5" black vinyl bed edging.
 - The area directly below the balconies along the front foundation shall receive #2 washed stone spread to a thickness of 3" over weed barrier fabric.
 - The stone mulch area shall be separated from the bark planting bed with a 4" aluminum edge.
 - Bio-retention areas to be planted with 2 1/2" x 2 1/2" x 5" plugs as supplied by Agrecol or approved equal. Plugs to be installed 12" on center in a triangular grid pattern. Plant species randomly throughout specified areas.
 - Apply bark mulch (2" thick) between plants, or mulch with cocoa mat fabric.
 - Bio-retention areas to be constructed per WDNR specifications.

LANDSCAPE WORKSHEET
 (Section 28.142 Landscaping and Screening Requirements)

Landscape Points Required	
Developed Area =	1,593 SF
Landscape Points: 1,583 SF /300 x 5 =	27 points
Total Landscape Points Required	27 points
Landscape Points Supplied	
Existing canopy trees - 0 @ 35 =	0 points
Proposed canopy trees - 5 @ 35 =	175 points
Existing evergreen trees - 0 @ 35 =	0 points
Proposed evergreen trees - 0 @ 35 =	0 points
Existing ornamental trees - 0 @ 15 =	0 points
Proposed ornamental trees - 1 @ 15 =	15 points
Existing upright evergreen shrubs - 0 @ 10 =	0 points
Proposed upright evergreen shrubs - 0 @ 10 =	0 points
Existing deciduous shrubs - 0 @ 3 =	0 points
Proposed deciduous shrubs - 36 @ 3 =	108 points
Existing evergreen shrubs - 0 @ 4 =	0 points
Proposed evergreen shrubs - 16 @ 4 =	64 points
Existing perennials & grasses 0 @ 2 =	0 points
Proposed perennials & grasses 85 @ 2 =	170 points
Total landscape points supplied =	483 points

Lot Frontage Landscape Required
 One (1) over-story deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) over-story deciduous tree.

Butler Street (115) =	115 LF
Over story trees required 115/30' = 3.8	4 trees
Shrubs required (115/30') x 5 = 19.1	19 shrubs
Over story trees supplied	4 trees
Ornamental/Evergreen trees supplied	0 trees
Shrubs supplied	37 shrubs

Interior Parking Lot Landscaping Required
 All parking lots with twenty (20) or more parking spaces shall be landscaped in accordance with the following interior parking lot standards. The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.

Planting Beds and Planted Areas
 Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover and mulched.

Note: Due to site constraints, we are requesting that the zoning administrator waive the Landscape Point Requirement, the Lot Frontage Landscape Requirement, and the Interior Parking Lot Landscape Requirement,



6515 Grand Teton Plaza, Suite 120
 Madison, Wisconsin 53719
 p608.829.4444 f608.829.4445 dimensionivmadison.com

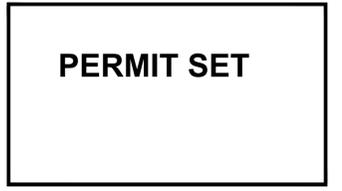


2801 International Lane, Suite 101
 Madison, WI 53704
 Phone: 608-250-9263
 Fax: 608-250-9266
 e-mail: Mburse@BSE-INC.net
 www.bursesurveyengr.com

The Bella Apartments

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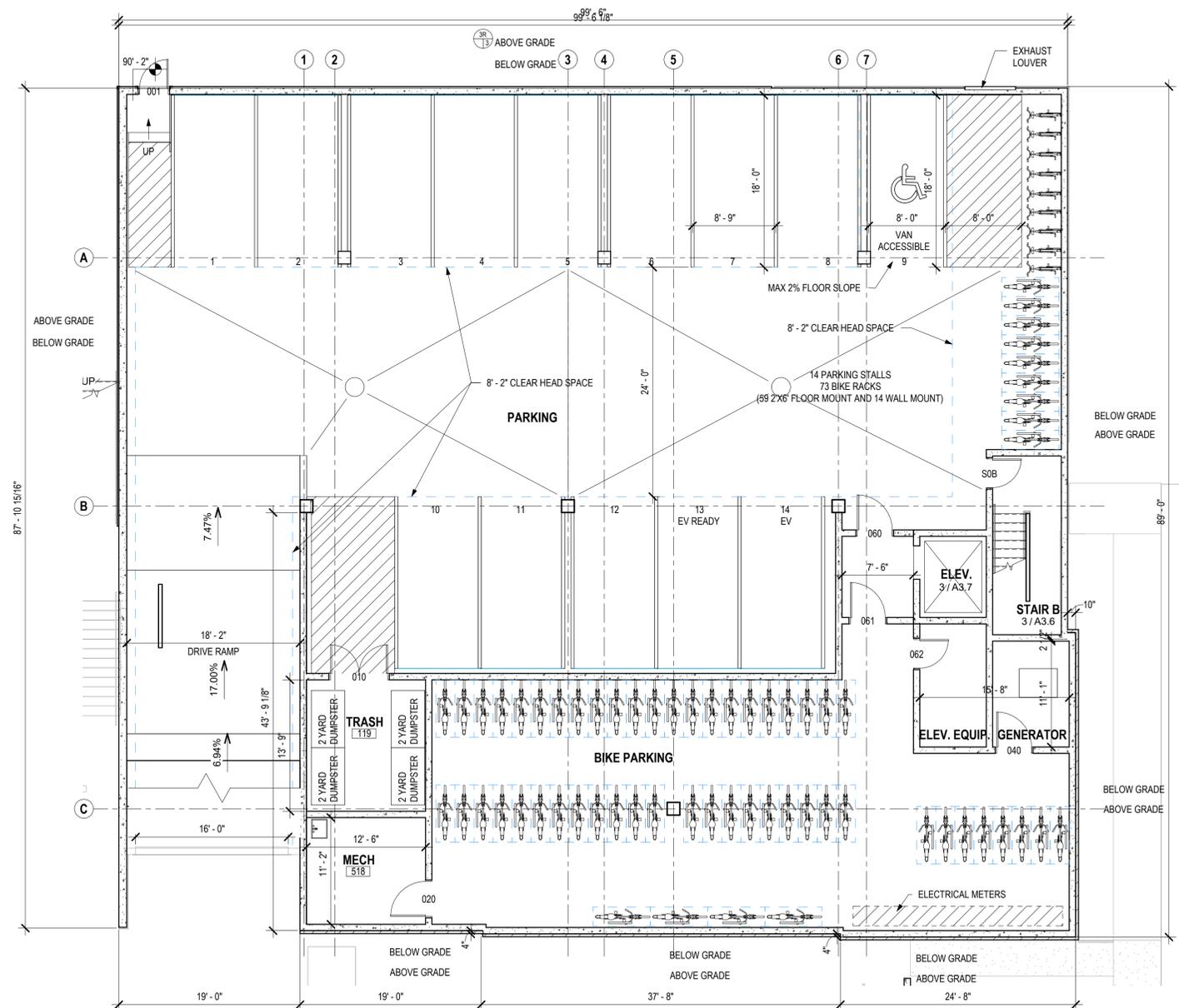
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LANDSCAPE PLAN

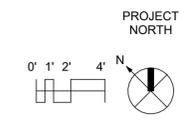
L100

The Bella Apartments

121 N Butler St.
Madison, WI 53703



1 BASEMENT FLOOR PLAN
1/8" = 1'-0"



DATE OF ISSUE: 06/30/2025

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B	SITE PLAN RESUBMITTAL	10/21/2025

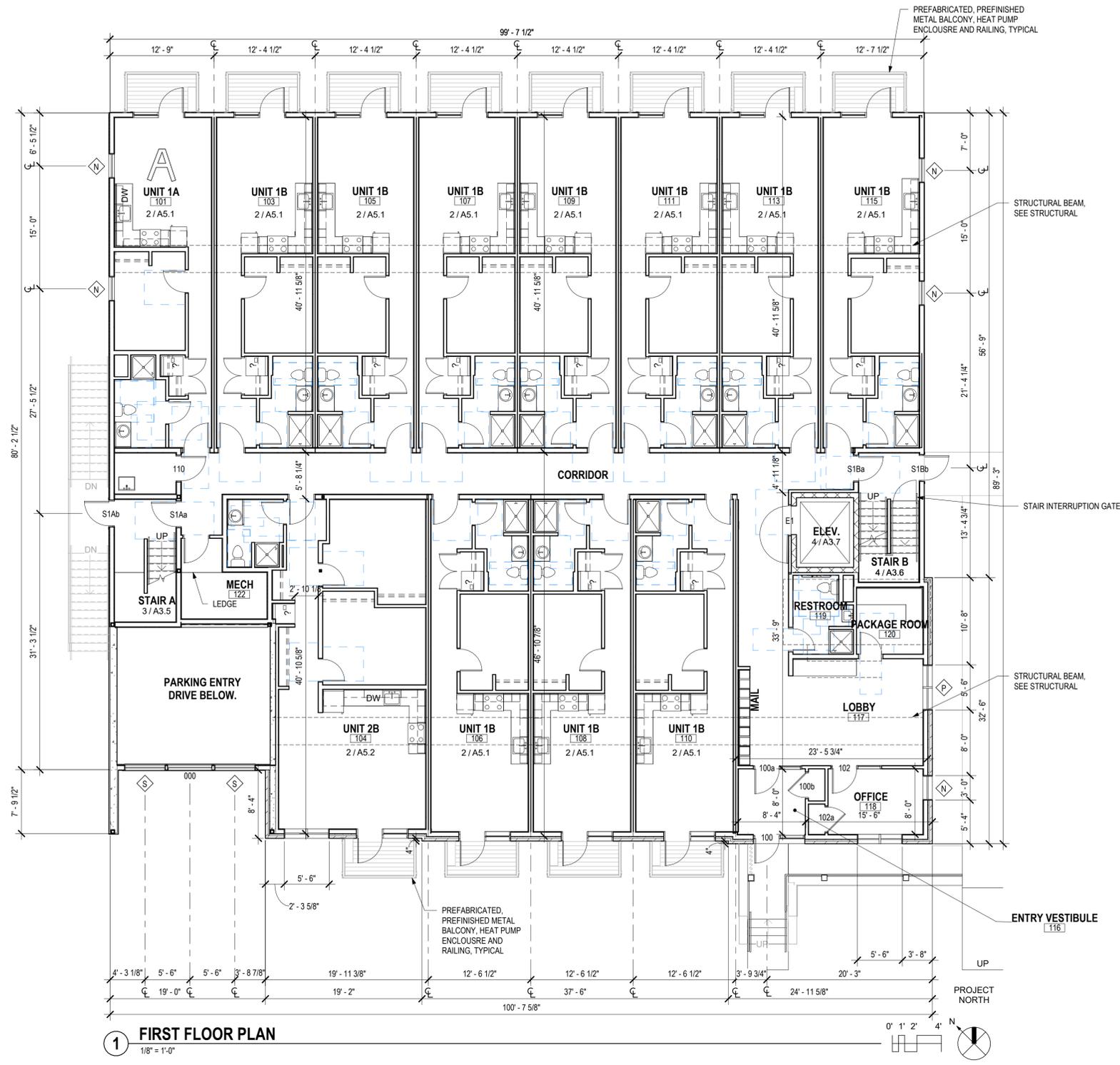
PROJECT # 25069

BASEMENT FLOOR PLAN

A1.0

The Bella Apartments

121 N Butler St.
Madison, WI 53703



1 FIRST FLOOR PLAN
1/8" = 1'-0"

DATE OF ISSUE: 06/30/2025

REVISIONS:		
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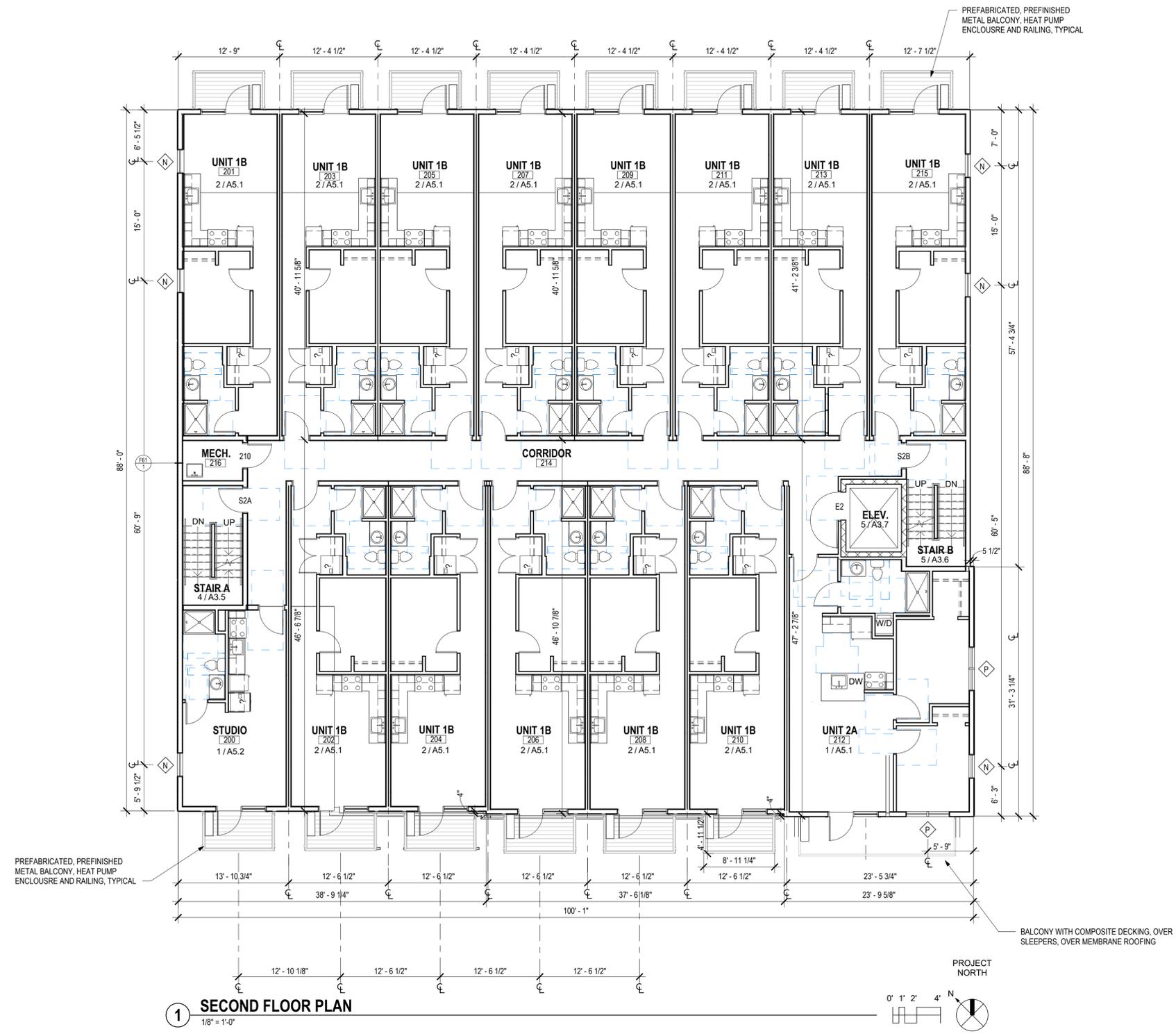
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FIRST FLOOR PLAN

A1.1

The Bella Apartments

121 N Butler St.
Madison, WI 53703



DATE OF ISSUE: 06/30/2025

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SECOND FLOOR PLAN

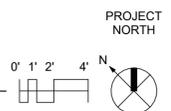
A1.2

The Bella Apartments

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Madison, WI 53703



3 THIRD FLOOR PLAN
1/8" = 1'-0"



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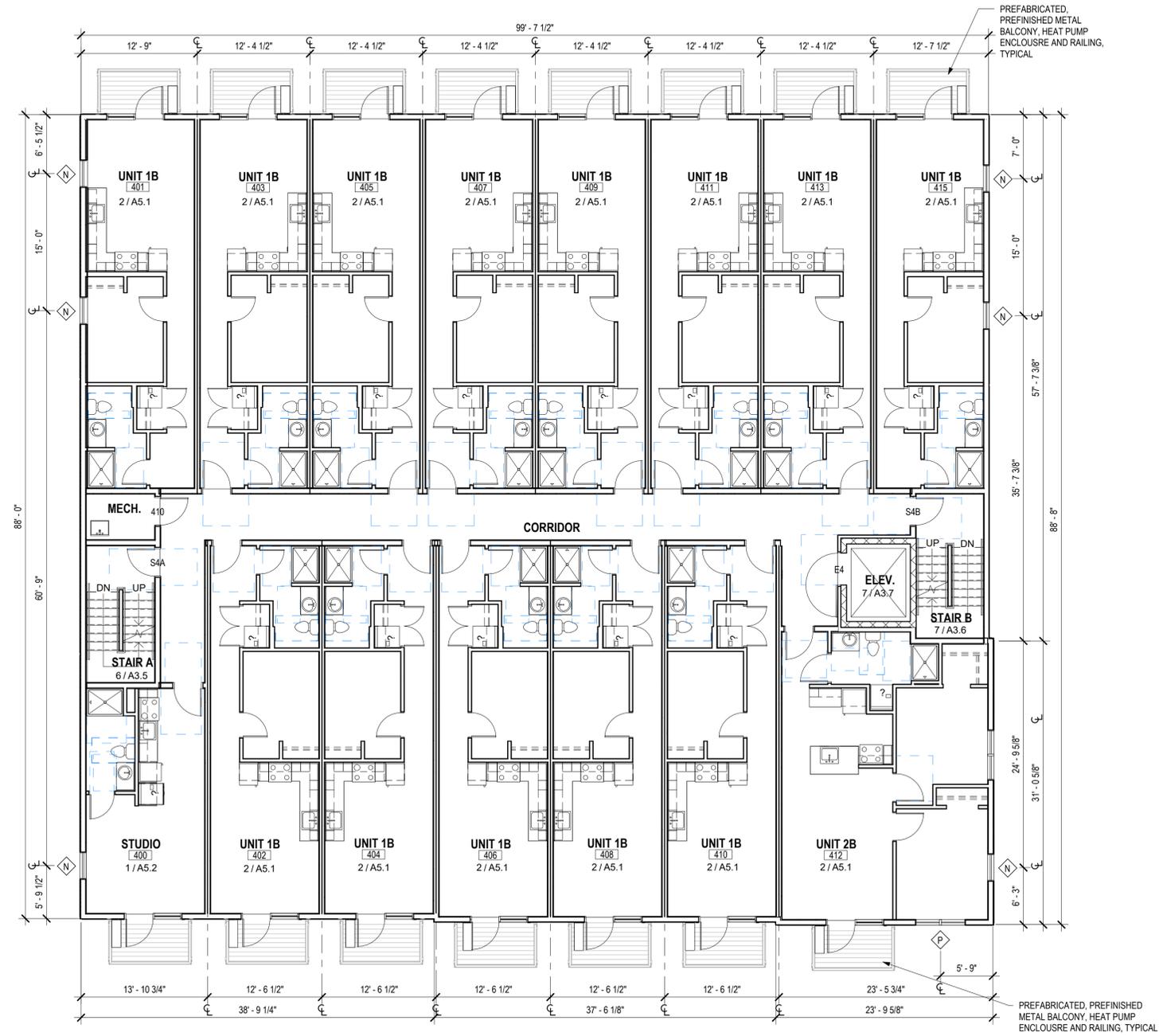
PROJECT # 25069

THIRD FLOOR PLAN

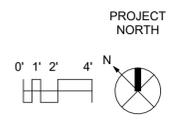
A1.3

The Bella Apartments

121 N Butler St.
Madison, WI 53703



4 FOURTH FLOOR
1/8" = 1'-0"



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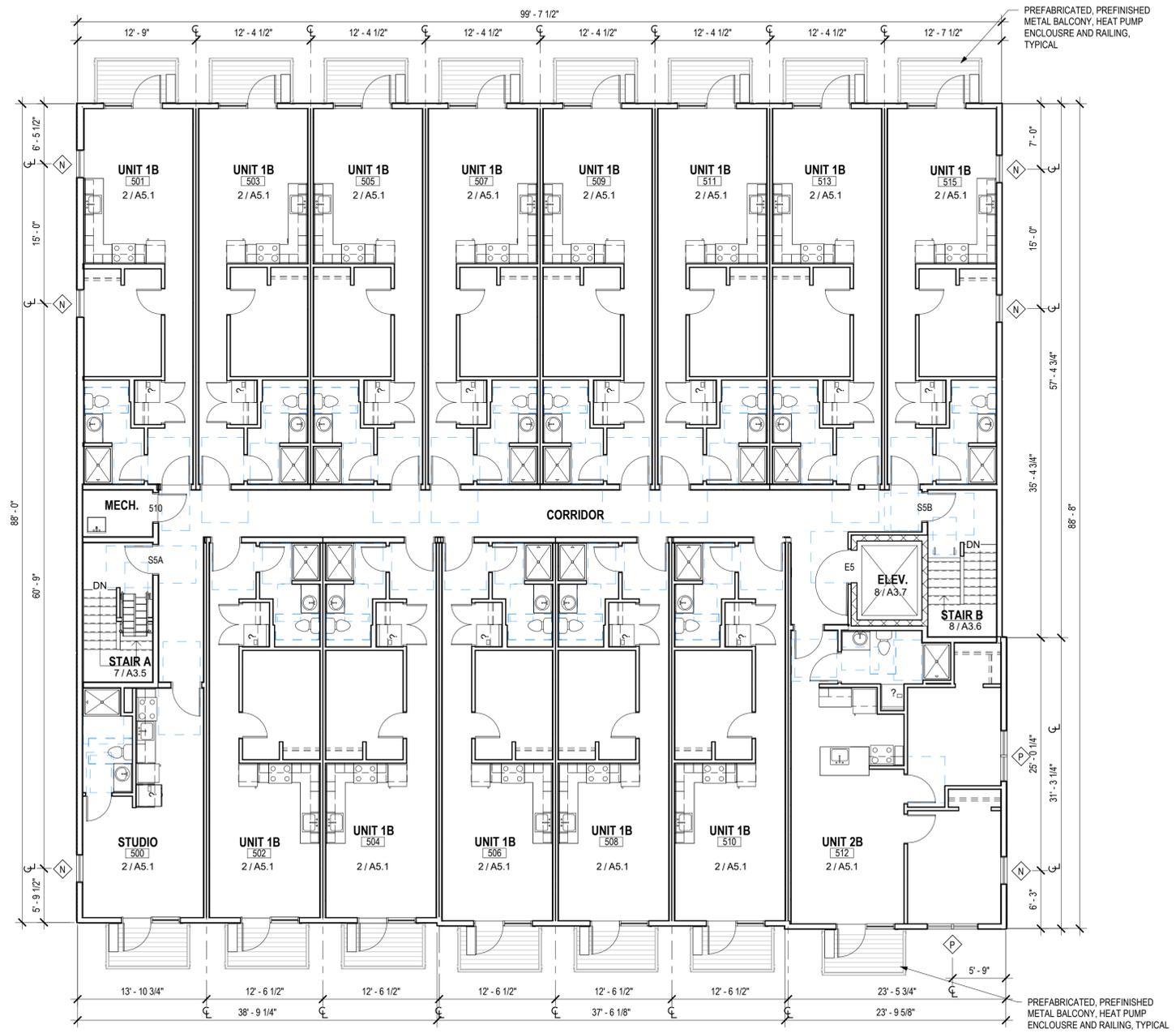
PROJECT # 25069

FOURTH FLOOR PLAN

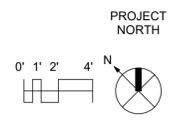
A1.4

The Bella Apartments

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5 FIFTH FLOOR
1/8" = 1'-0"



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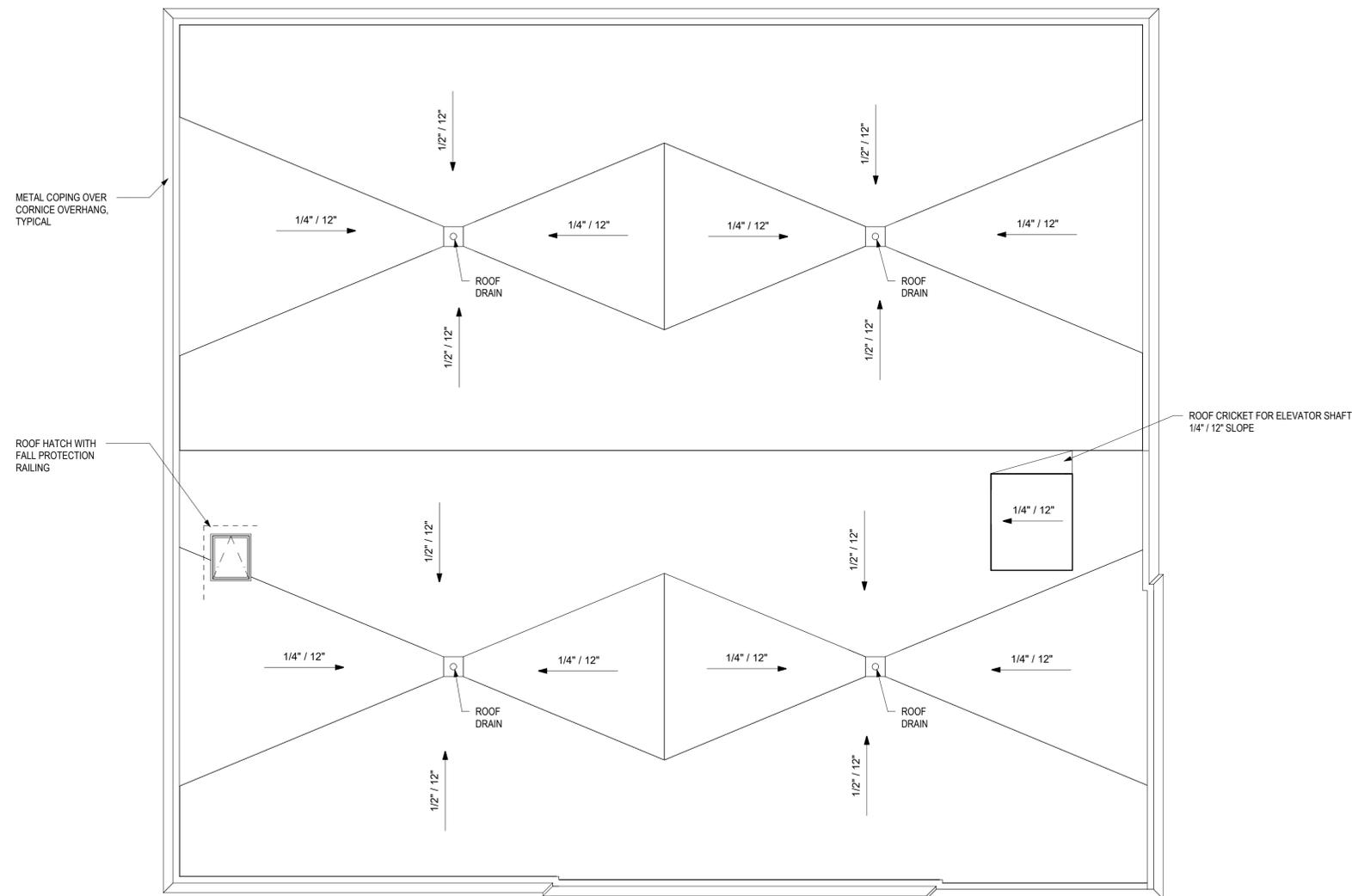
PROJECT # 25069

FIFTH FLOOR PLAN

A1.5

ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE WHITE TPO OVER TAPERED INSULATION WITH 1/4" : 1'-0" SLOPE
- B. ROOF PLUMBING VENT PIPE PENETRATIONS NOT SHOWN. COORDINATE QUANTITY AND LOCATIONS WITH PLUMBING CONTRACTOR.
- C. NOT USED
- D. ROOF EQUIPMENT LAYOUT TO ACCOMMODATE FUTURE PV SOLAR PANELS.



The Bella Apartments

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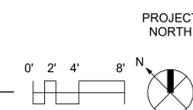
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ROOF PLAN

1 ROOF PLAN
1/8" = 1'-0"



The Bella Apartments

121 N Butler St.
Madison, WI 53703

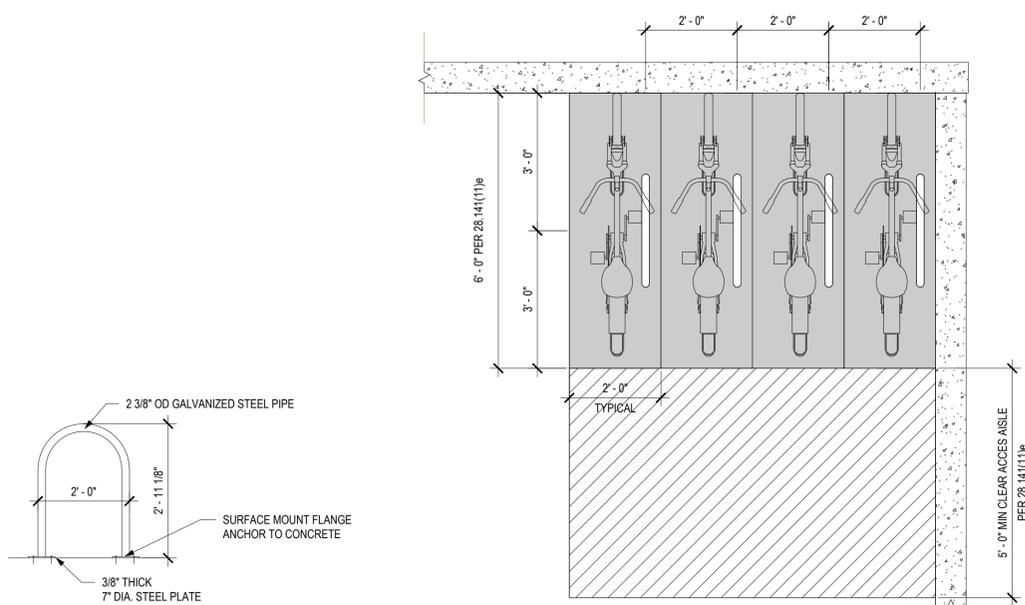
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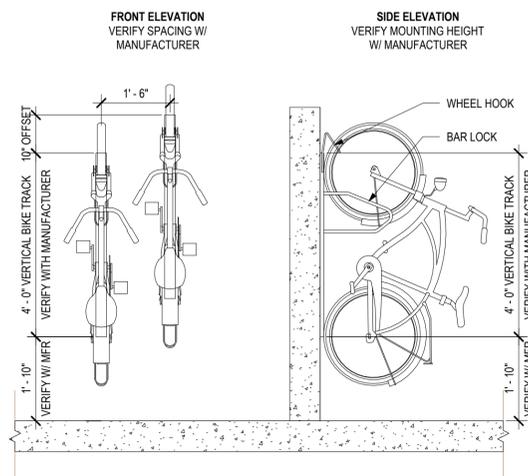
BICYCLE PARKING STALL DETAILS

A1.7

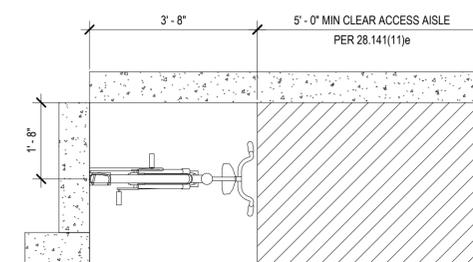


4 BIKE PARKING - GROUND MOUNT ELEVATION
1/2" = 1'-0"

3 BIKE PARKING - GROUND MOUNT PLAN
1/2" = 1'-0"

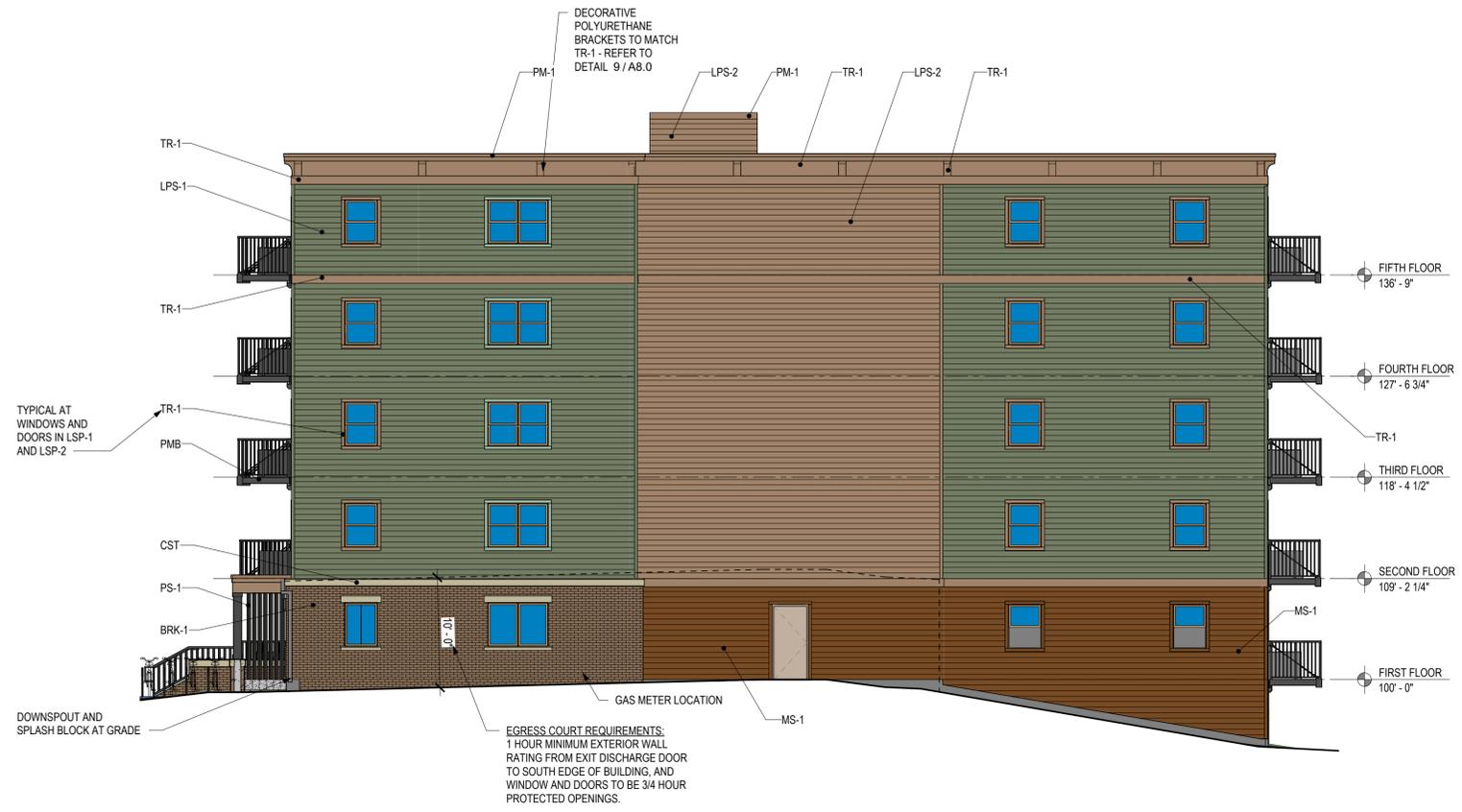


2 BIKE PARKING - VERTICAL MOUNT ELEVATION
1/2" = 1'-0"



1 BIKE PARKING - VERTICAL MOUNT PLAN
1/2" = 1'-0"

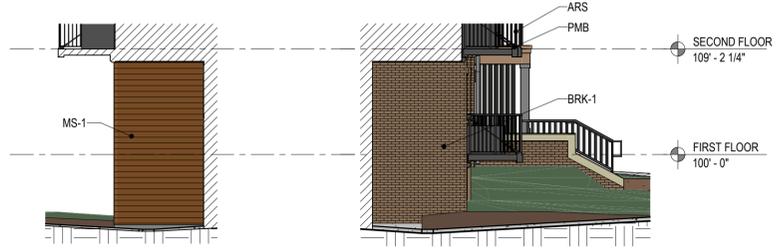
ELEVATION LEGEND & NOTES		
MASONRY	COLOR	MORTAR
BRK-1 BRICK VENEER	YANKEE HILL BRICK - MED IRON SPOT SMOOTH MODULAR TAN	TAN, SELECTED FROM MANUFACTURER'S STANDARD COLORS
CST CAST STONE	BROWN	
CJ CONTROL JOINT		
SSC SMOOTH CONCRETE WITH STAINED FINISH		
SIDING & TRIM		
LSP-1 ENGINEERED WOOD LAP SIDING		COLOR GARDEN SAGE
LSP-2 6" EXPOSURE ENGINEERED WOOD LAP SIDING		TERRA BROWN
MS-1 PREFORMED METAL SIDING		KONA (FAUX WOOD FINISH)
TR-1 TRIM		TERRA BROWN
TR-2 TRIM SIDING		GARDEN SAGE
TR-3 METAL TRIM		KONA (MATCH METAL SIDING)
PRE-FINISHED METAL MANUFACTURER (COATED METALS GROUP)		
PM-1 PREFINISHED METAL COPING		
ARS ALUMINUM RAILING - DARK BRONZE		
BALCONIES		
PMB PRE-ENGINEERED METAL BALCONY ALUMINUM DECKING		COLOR DARK BRONZE
GENERAL NOTES		
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B. AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.		
C. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		



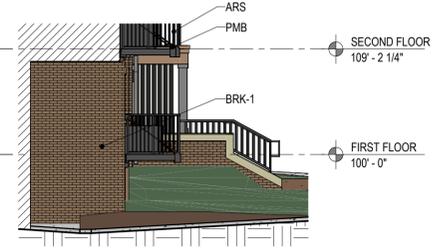
2 EAST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"



3 DRIVEWAY ELEVATION - A
1/8" = 1'-0"



4 DRIVEWAY ELEVATION - B
1/8" = 1'-0"

The Bella Apartments
121 N Butler St.
Madison, WI 53703

BID SET

DATE OF ISSUE: 12/17/2025

REVISIONS:	
B	ADDENDUM B 01/17/2026

PROJECT # 25069

EXTERIOR ELEVATIONS

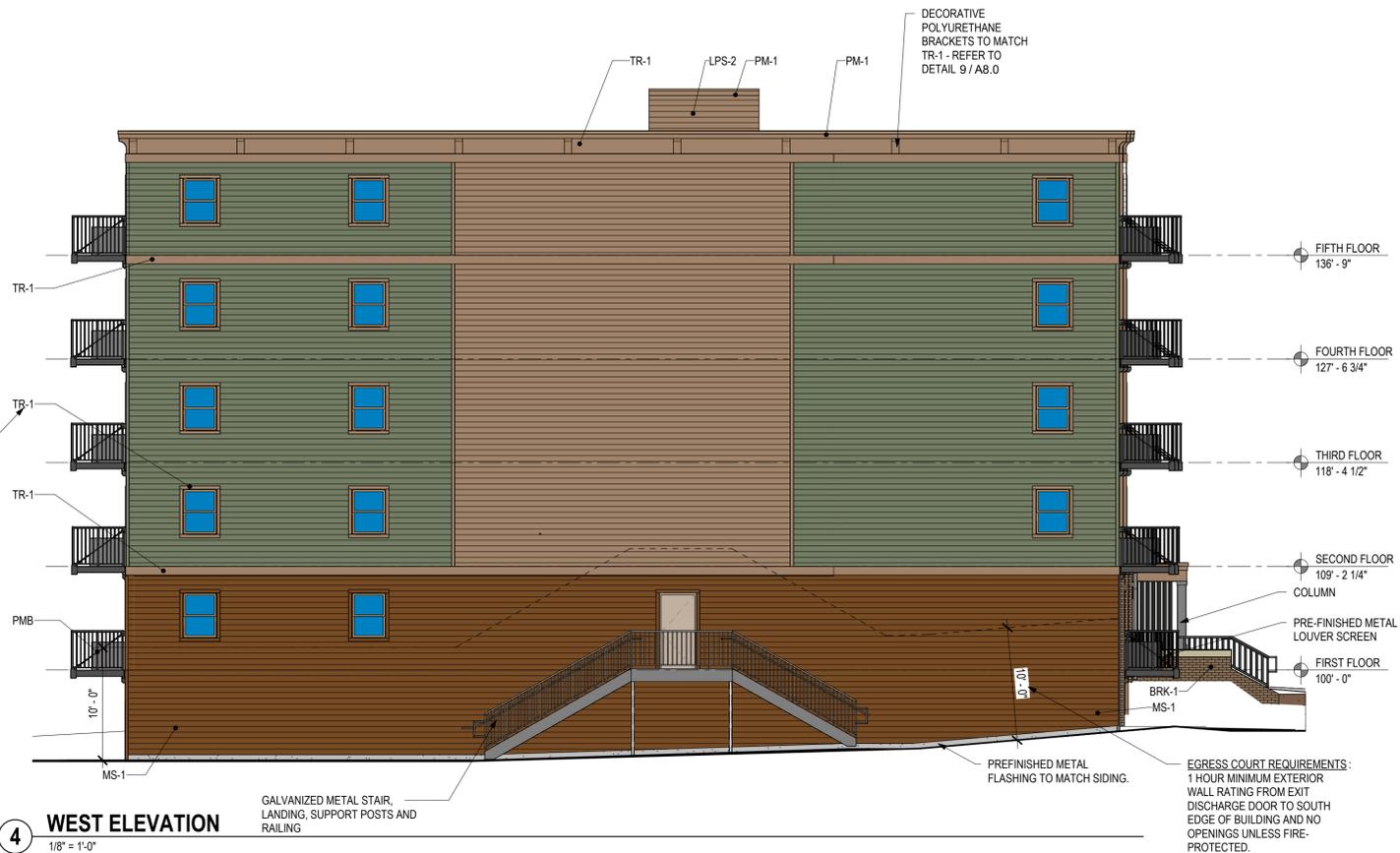
A2.0

ELEVATION LEGEND & NOTES

MASONRY	BRK-1 BRICK VENEER	COLOR	YANKEE HILL BRICK - MED IRON SPOT SMOOTH MODULAR TAN	MORTAR	TAN, SELECTED FROM MANUFACTURER'S STANDARD COLORS
CST	CAST STONE			COLOR	GARDEN SAGE
CJ	CONTOUR JOINT				
SSC	SMOOTH CONCRETE WITH STAINED FINISH		BROWN		
SIDING & TRIM					
LSP-1	ENGINEERED WOOD LAP SIDING 6" EXPOSURE				TERRA BROWN
LSP-2	ENGINEERED WOOD LAP SIDING 6" EXPOSURE				
MS-1	PREFORMED METAL SIDING				KONA (FAUX WOOD FINISH)
TR-1	TRIM				TERRA BROWN
TR-2	TRIM SIDING				GARDEN SAGE
TR-3	METAL TRIM				KONA (MATCH METAL SIDING)
PRE-FINISHED METAL	MANUFACTURER (COATED METALS GROUP)				
PM-1	PREFINISHED METAL COPING				
ARS	ALUMINUM RAILING - DARK BRONZE				
BALCONIES				COLOR	DARK BRONZE
PMB	PRE-ENGINEERED METAL BALCONY ALUMINUM DECKING				
GENERAL NOTES					
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.					
B. AT 135 DEGREE OUTSIDE CORNERS PROVIDE 135 DEGREE BRICK CORNER UNITS.					
C. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.					

The Bella Apartments

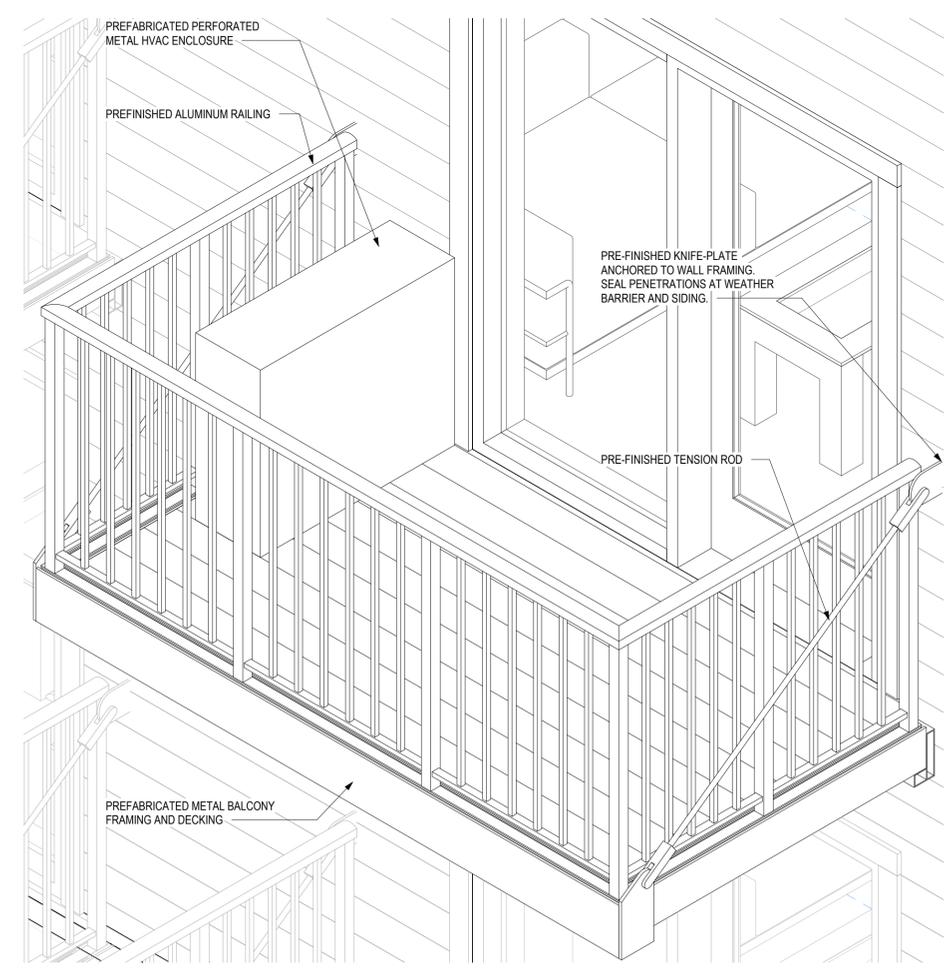
121 N Butler St.
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4 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



1 AXON BALCONY VIEW

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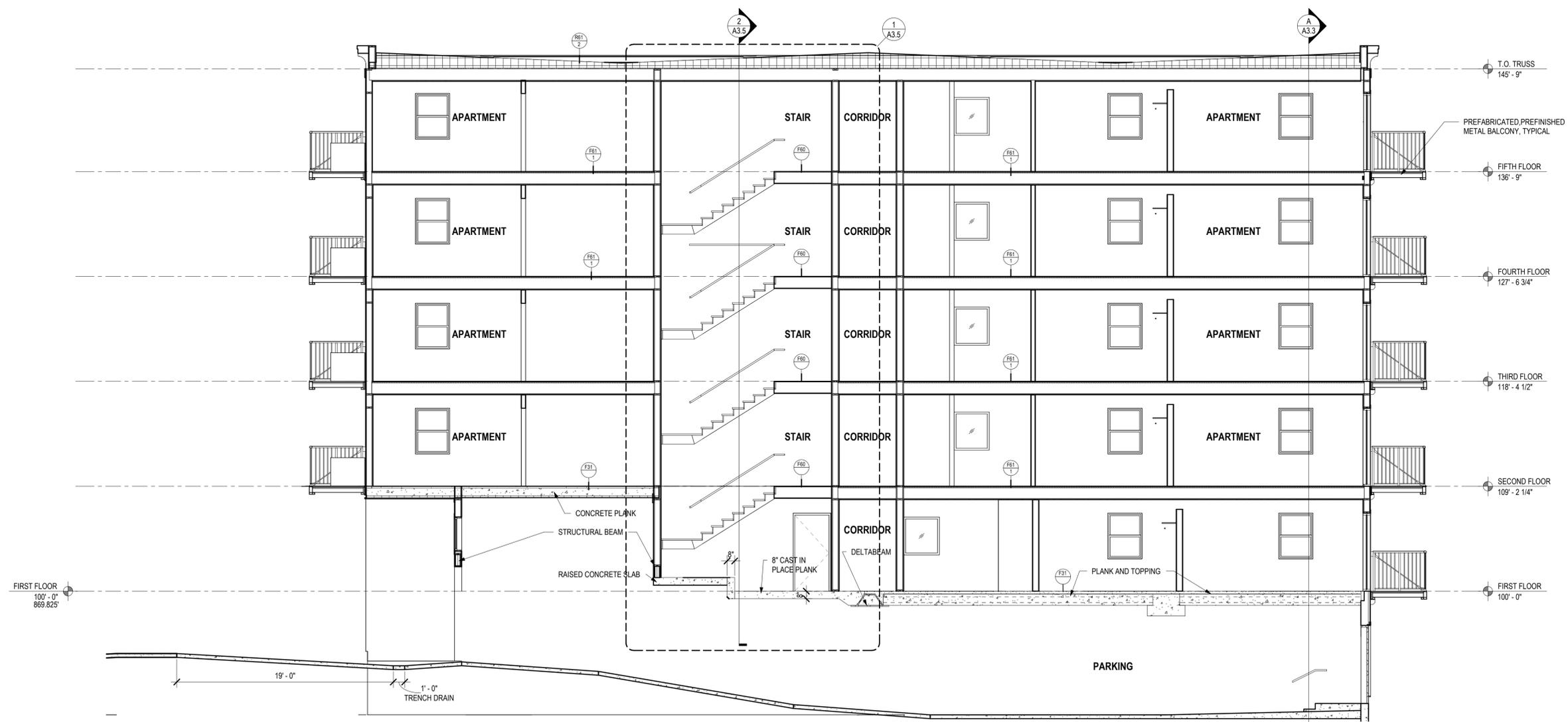
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EXTERIOR ELEVATIONS

A2.1

The Bella Apartments

121 N Butler St.
Madison, WI 53703



DATE OF ISSUE: 09/26/2025

REVISIONS:		
B	SITE PLAN RESUBMITTAL	10/21/2025

PROJECT # 25069

BUILDING SECTIONS

A3.1

1 PARKING RAMP SECTION
3/16" = 1'-0"

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The Bella Apartments

121 N Butler St.
Madison, WI 53703

DATE OF ISSUE: 09/03/2025

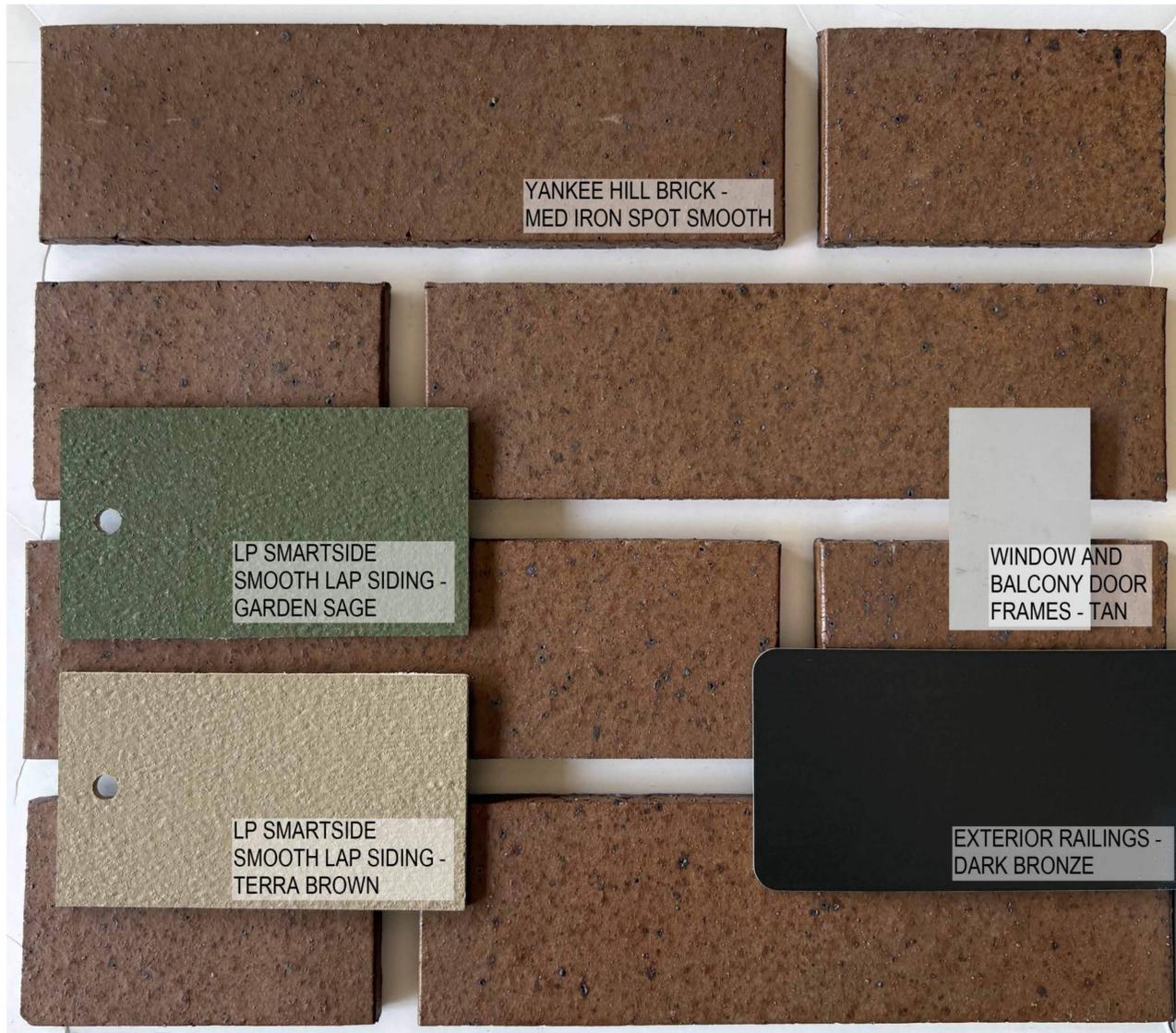
REVISIONS:

NO.	DESCRIPTION

PROJECT # 25069

PERSPECTIVE VIEW

A4.0



EXTERIOR MATERIALS AND COLORS



MS-1,
LUX 6" V-GROOVE
SIDING, KONA

KONA



HVAC SCREEN MOCK UP

The Bella Apartments

121 N Butler St.
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**EXTERIOR
MATERIAL AND
COLOR PALETTE**

A5.X