

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

DATE SUBMITTED: October 14, 2009

UDC MEETING DATE: October 21, 2009

Action Requested

- ☐ Informational Presentation
☒ Initial Approval and/or Recommendation
☐ Final Approval and/or Recommendation

PROJECT ADDRESS: 1012 Fish Hatchery Road

ALDERMANIC DISTRICT: Julia Kerr- District #13

OWNER/DEVELOPER (Partners and/or Principals)

Tom Sather/ Silverstone Partners

7447 University Ave., Suite 210

Middleton, WI 53562

ARCHITECT/DESIGNER/OR AGENT:

Knothe & Bruce Architects, LLC

7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

CONTACT PERSON: J. Randy Bruce/Knothe & Bruce Architects, LLC

Address: 7601 University Avenue, Suite 201

Middleton, Wisconsin 53562

Phone: 608-836-3690

Fax: 608-836-6934

E-mail address: rbruce@knothebruce.com

TYPE OF PROJECT:

(See Section A For:)

- ☒ Planned Unit Development (PUD)
 ☐ General Development Plan (GDP)
 ☐ Specific Implementation Plan (SIP)
☐ Planned Community Development (PCD)
 ☐ General Development Plan (GDP)
 ☐ Specific Implementation Plan (SIP)
☐ Planned Residential Development (PRD)
☐ New Construction or Exterior Remodeling in an Urban Design District* (A public hearing is required as well as a fee)
☐ School, Public Building or Space (Fee may be required)
☐ New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 50,000 Sq.Ft.
☐ Planned Commercial Site

(See Section B for:)

- ☐ New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- ☐ R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- ☐ Comprehensive Design Review* (Fee required)
☐ Street Graphics Variance* (Fee Required)
☐ Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

October 14, 2009

Mr. Brad Murphy
Director of Planning
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent
Rezoning from C-3 to GDP
1012 Fish Hatchery Road
Madison, Wisconsin

Dear Mr. Murphy:

The following is submitted together with the plans, application and zoning text for staff, Plan Commission and Common Council consideration of approval.

Organizational structure:

Owner: Wingra Point, LLC
980 N. Michigan Avenue #1280
Chicago, IL 60611
312-377-9106
Contact: Fritz Duda

Developer: Silverstone Partners, LLC
7447 University Avenue, Suite 210
Middleton, WI 53562
608-824-2291
Contact: Tom Sather
sather@silverstonepartners.com

Engineer: D'Onofrio, Kottke and Associates
7530 Westward Way
Madison, WI 53717
608-833-7530
608-833-1089 fax
Contact: Dan Day
dday@donofrio.cc

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
608-836-3690
608-836-6934 fax
Contact: J. Randy Bruce
rbruce@knothebruce.com

Landscape Design: Paul Skidmore
Landscape Architect, LLC
13 Red Maple Trail
Madison, WI 53717
(608) 826-0032
paulskidmore@tds.net

7601 University Ave, Ste 201
Middleton, Wisconsin 53562
p (608) 836-3690
f (608) 836-6934
www.knothebruce.com

Introduction:

The proposed site is located on the west side of Fish Hatchery Road and extends between South Brooks Street and High Street. It is currently a surface parking lot and is surrounded by one and two family residences to the west and commercial uses along South Park Street. Park Street and Fish Hatchery are both primary arterials to downtown Madison and five bus lines serve the intersection.

The site is part of the Bancroft Dairy site that was recently purchased by Wingra Point, LLC. This parcel is the first phase of the larger redevelopment. Future submittals will address the site at the corner of Fish Hatchery Road and Park Street.

This PUD-GDP is being submitted to allow for senior housing for moderate income residents under the Section 42 tax-credit plan. Application for the tax-credits will be made to WHEDA in January and the tax-credit awards should be made in May, 2010. If the tax-credits are awarded then a PUD-SIP will be submitted in June, 2010, with construction scheduled for late Fall of 2010.

Wingra Creek BUILD plan:

The site is within the recently adopted Wingra Creek BUILD redevelopment plan. The redevelopment plan suggests medium to higher density residential with a target density of 30 to 50 dwelling units per acre. The plan also suggests that this area would be excellent for a retirement community.

The proposed project will have a density of approximately 80 units per acre. The higher densities are mitigated by several factors including the 55 and up age limitation and the smaller apartment unit sizes typical for that tenant population. In addition, the senior housing does not require significant parking or generate traffic. Over 30% of the site can remain open for landscaping.

Project Description:

The General Development Plan proposes a 4 story, 62 unit apartment building with underground parking for 44 cars. The building provides a residential street-edge along Fish Hatchery Road, High Street and Brooks Street, creating a pedestrian friendly environment. Compact landscaped front yards surround the residential streets, and street trees will line all three sides of the site to soften the architecture and shade the sidewalks.

Vehicular access to the underground parking will be available on Brooks Street. The surface parking area for three stalls will be accessed from High Street and will provide parking for visitors. An additional four parking stalls will be available for guests in the underground parking garage with the remaining 40 stalls available for residents. Bicycle parking can be provided both underground and on surface to accommodate the needs of the public and residents.

The building will have an attractive architectural presence and will use a combination of masonry and fiber-cement horizontal siding for a durable and low maintenance exterior. Included in the PUD-GDP submittal package are representative exterior building elevations which will be further defined with the PUD-SIP.

Site Development Data:

Densities:

Lot Area	33,000 sf
Acres	0.75
Dwelling Units	62 units
Lot Area/D.U.	532 s.f./unit
Density	82 units/acre

Dwelling Unit Mix:

One-Bedroom	36
Two-Bedroom	26
Total dwelling Units	62

<u>Building Heights:</u>	4 Stories
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Floor Area:

Gross Floor Area (Excludes Underground parking)	65,000 s.f.
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Floor Area Ratio:	1.97
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Vehicle Parking Stalls

Surface	3
Underground	44
Total	47
Ratio	0.75 stalls/unit

Bicycle Parking Stalls

Surface	20
Underground	36
Total	56

Loading:

One off-street loading zone will be provided for this project located in the drive aisle.

Project Schedule:

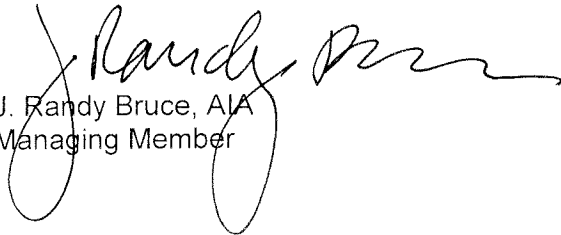
It is currently anticipated that construction will begin once the development approvals are in place in the fall of 2010. Construction for the entire project will be completed within twelve months. The scheduled start date may vary depending on financing or market conditions.

Social & Economic Impacts:

This development will have a positive social and economic impact. It meets the goals of "Smart Growth" and will substantially increase the city tax base on an infill site with minimal increased cost to the City. The residential redevelopment achieves many of the goals of the Wingra Creek BUILD Master Plan and provides affordable, high-quality rental housing for senior residents in a location that will minimize automobile traffic.

Thank you for your time in reviewing our proposal.

Very Truly Yours,



J. Randy Bruce, AIA
Managing Member

Zoning Text

GDP

1012 Fish Hatchery Road

October 14, 2009

Legal Description: The lands subject to this GDP are Lots 1, 2, 3, 4 and 5, Block 2, Fiore Plat, City of Madison, Dane County, Wisconsin.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a multifamily development with 62 dwelling units.
- B. **Permitted Uses:** Following are permitted uses within this P.U.D.
 - 1. Multifamily residential uses as shown on the approved plans.
 - 2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses, including parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period not to exceed the duration of such construction.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** Site Landscaping will be provided as shown on the approved plans.
- G. **Usable Open Space Requirements:** Usable open space will be provided as shown on the approved plans.
- H. **Parking & Loading:** Off-street parking shall be provided as shown on the approved plans.
- I. **Family Definition:** The family definition shall coincide with the definition given in M.G.O. 28.03 for the R-5 zoning district.
- J. **Signage:** Signage for the residential uses shall be limited to the maximum permitted in the R-5 district for the residential uses and as approved by the Urban Design Commission and Zoning Administrator.
- K. **Alterations and Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director Of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

Notes

1. A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR SIDEWALK SHALL BE 1:20. SIDEWALKS MORE THAN 6' CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
3. ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.08(4).
4. ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING BASEMENTS.
5. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
6. COM# 62.09(001)-REQUIRED FIRE LINES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF CONCRETE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTING AND FOUNDATION.
7. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
8. BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 28.11, (SEE SUBSECTION (B)(6) AND (B)(12A)). BIKE RACKS SHALL BE SINGLE POLE "CLASSIC BOLLARD" STYLE BY MADROX OR EQUIVALENT.
9. ALL SIDEWALK, CURB, AND GUTTER ADJUTING THE PROPERTY LINE IS DRAINAGE DRAINAGE DETERMINES TO BE NECESSARY SHALL BE REPLACED.

Revisions
60P schematic - October 14, 2004
UPC initial schematic - October 14, 2004

Project Title
1012 Fish Hatchery Road

Drawing Title
Site Plan

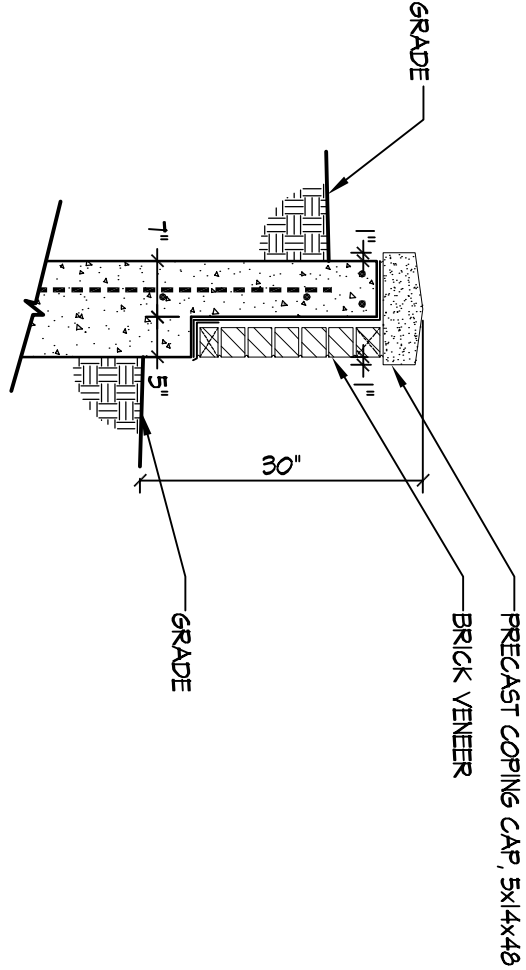
Project No. 0428 Drawing No. C-1.1

SHEET INDEX:

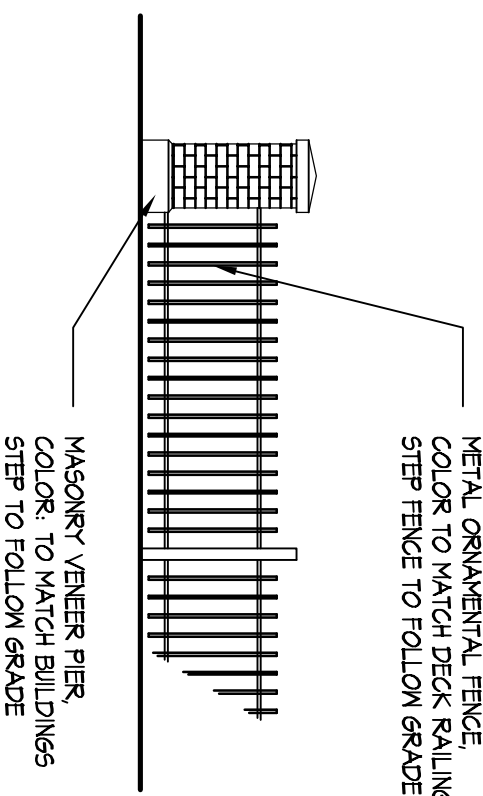
SHEET	SITE
C-1.1	SITE PLAN
C-1.2	FIRE DEPT ACCESS PLAN
C-2.1	GRADING PLAN
C-2.1	UTILITY PLAN
L-1.1	LANDSCAPE PLAN
ARCHITECTURAL	
1.	BASEMENT PLAN
2.	FIRST FLOOR PLAN
3.	SECOND-FOURTH FLOOR PLANS
4.	ELEVATIONS

SITE DEVELOPMENT DATA:

DENSITIES:	
LOT AREA	39,000 sq. ft. / 0.75 ACRE
DWELLING UNITS	62 UNITS
LOT AREA / D.U.	592.2 sq. ft. / UNIT
DENSITY	80 UNITS / ACRE
DWELLING UNIT MIX:	
ONE BEDROOM	36
TWO BEDROOM	26
TOTAL	62
BUILDING HEIGHT:	
	4 STORIES (54' HIGH)
FLOOR AREA:	
Gross Floor Area (includes underground parking)	62,982 S.F.
FLOOR AREA RATIO =	1.60
VEHICLE PARKING STALLS:	
SURFACE	3
UNDERGROUND	44
TOTAL	47
RATIO	
0.75 STALLS / UNIT	
BICYCLE PARKING STALLS:	
SURFACE (2x6)	20
UNDERGROUND (2x6)	36
TOTAL (2x6)	56 (50 units + 5(12 units) = 56 required)

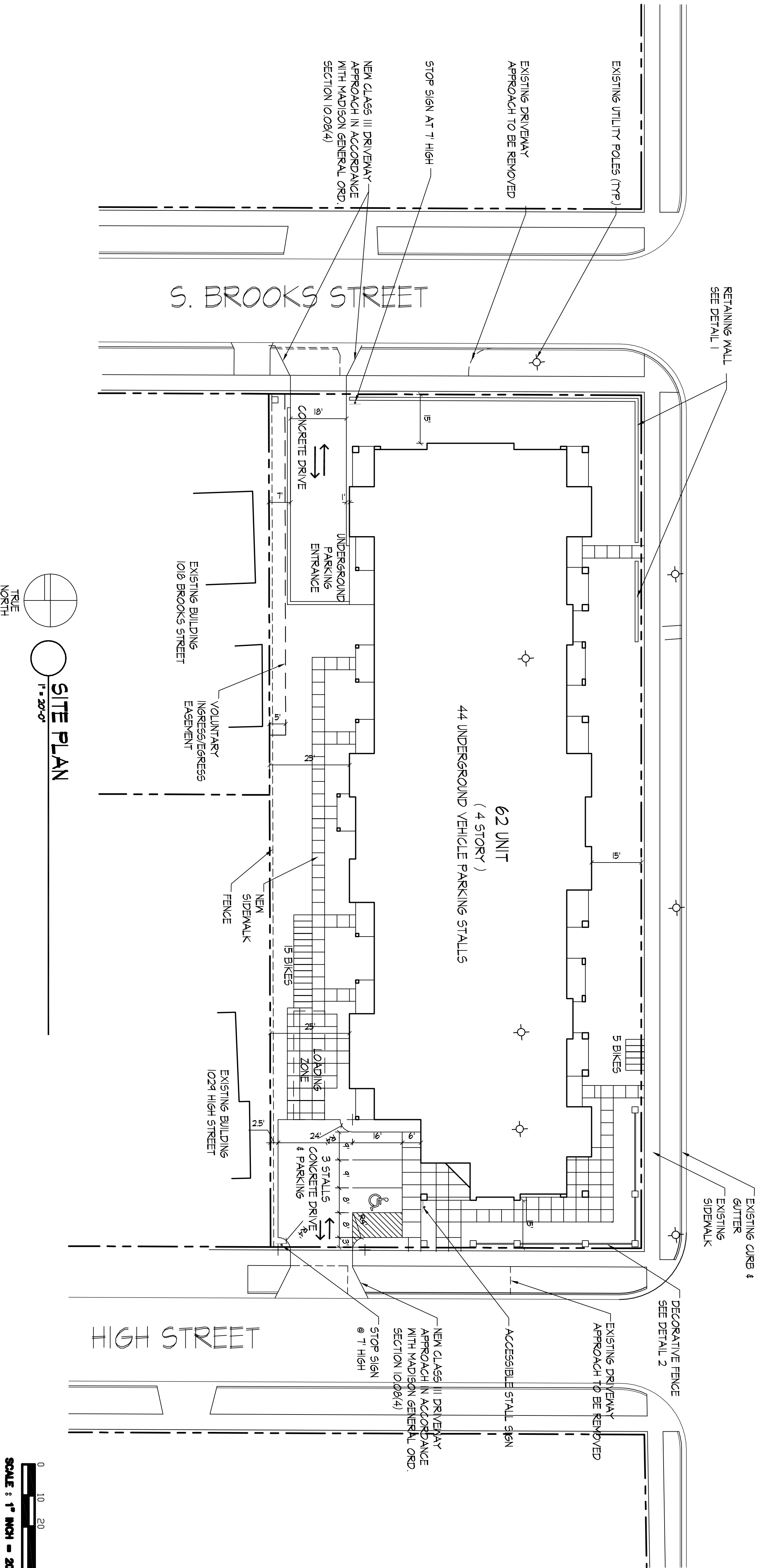


1
12' - 10"
RETAINING WALL SECTION



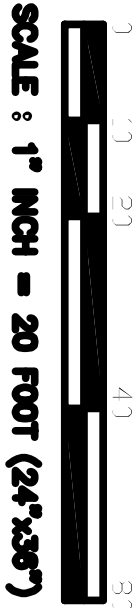
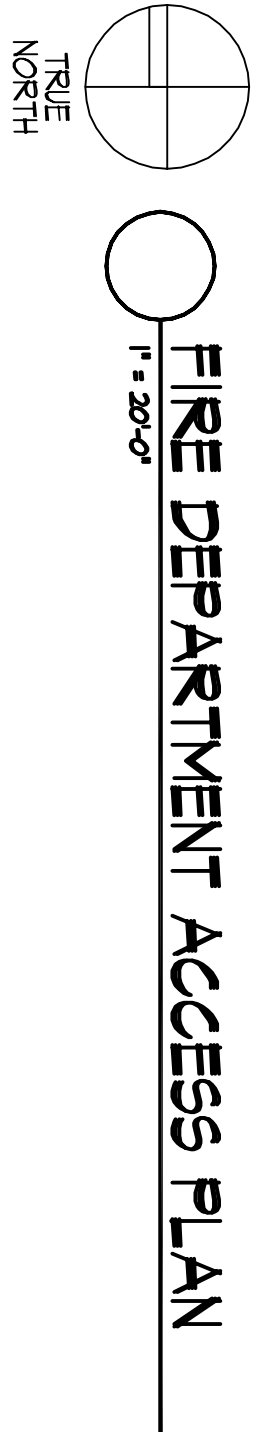
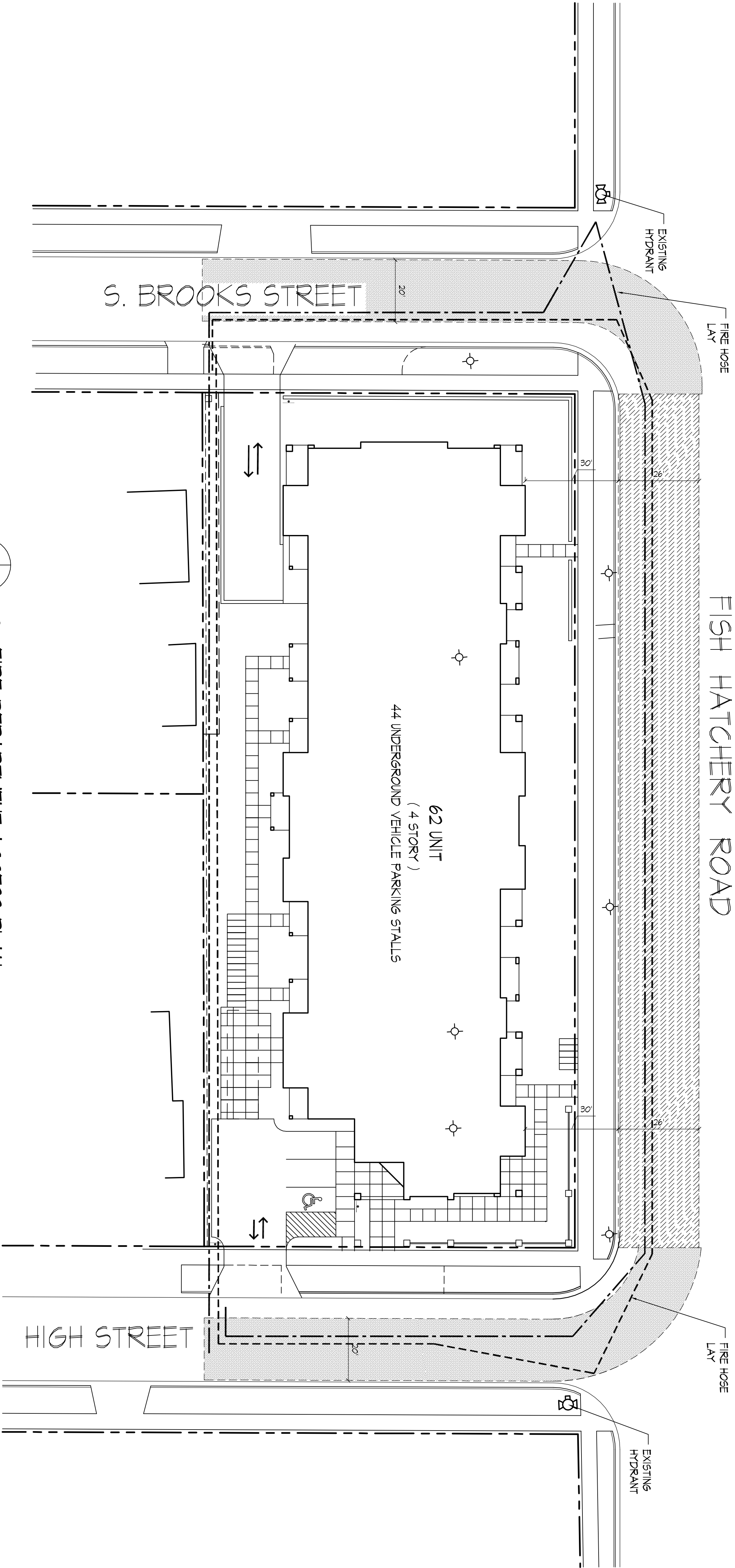
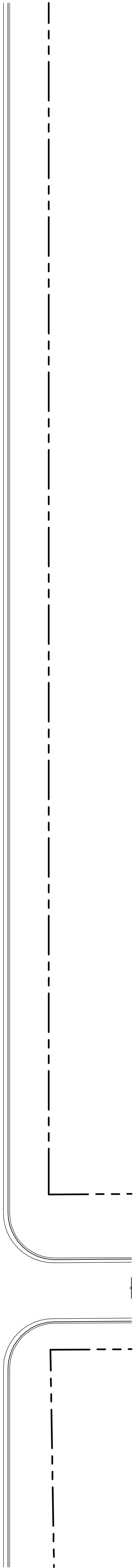
2
10'
DECORATIVE FENCE DETAIL

FISH HATCHERY ROAD



Consultant

Notes	
1	<div><div></div><div>= 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.</div></div>
2	<div><div></div><div>= 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH.)</div></div>



Revisions
60P Sketched - October 14, 2004

Project Title
1012 Fish Hatchery Road

Drawing Title	
Fire Dept. Access Plan	
Project No.	Drawing No.
0428	C-1.2

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HIGH STREET

HIGH STREET

FF = 862.0
LF = 852.5

44 UNDERGROUND VEHICLE PARKING STALLS

LEGEND

PROPOSED CONTOURS

EX. CONTOUR

STORM SEWER

SPOT GRADE

TOP OF WALL

CATCH BAS

SILT FENCE

STONE TRACKING PAD

SCALE: 1" = 20'

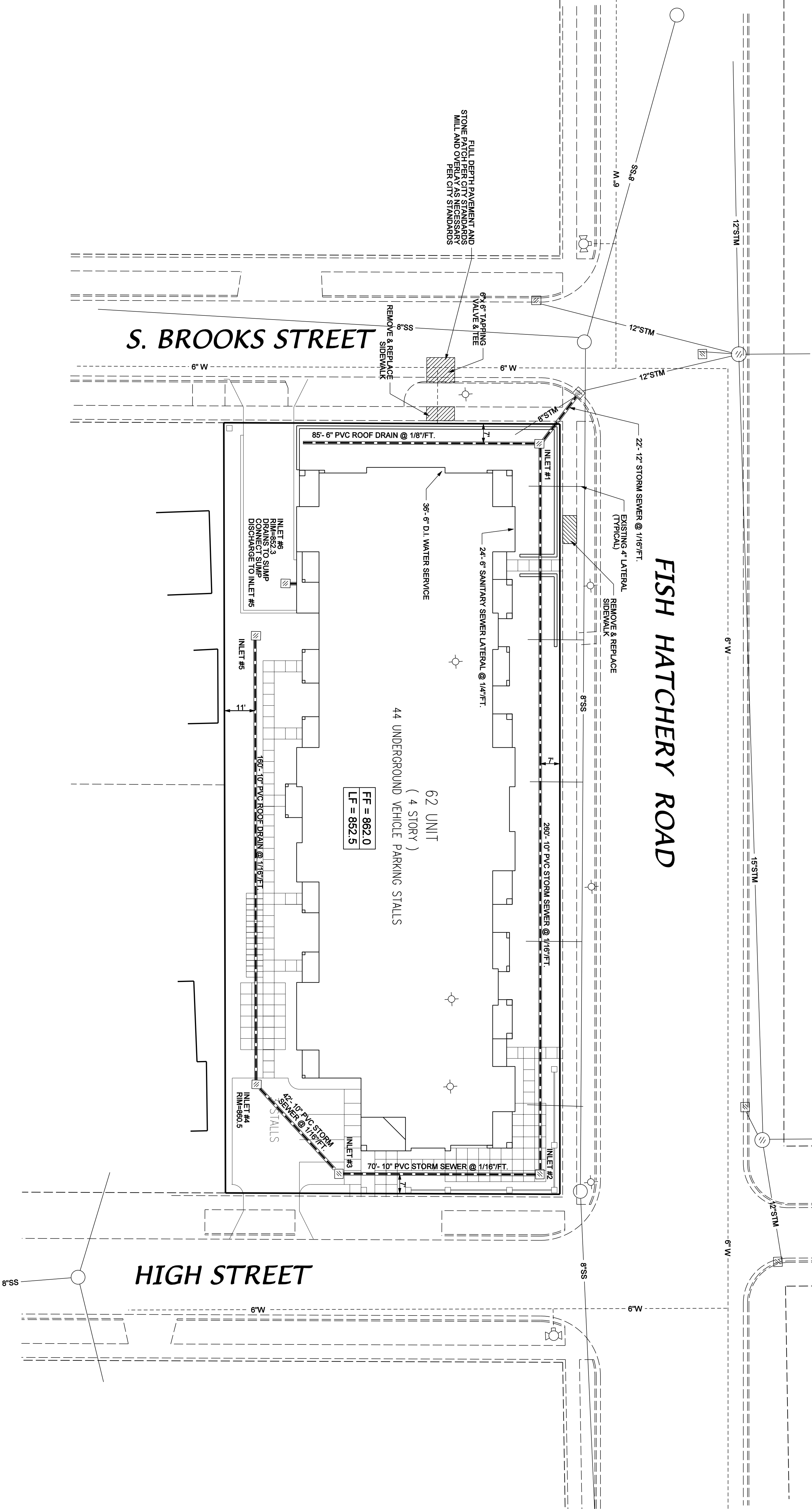
1012 Fish Hatchery Road

GDP Submittal- October 14, 2009

Preliminary Site Grading Plan

Project No.	Drawing No.
0928	C-2.1

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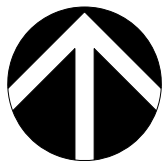


SITE UTILITY NOTES

- 1) The location of existing utilities shown on the plans are approximate. Protection of existing utilities is the Contractor's responsibility.
- 2) All sanitary sewer, water main and storm sewer work shall conform with the City of Madison Standard Specifications.
- 3) All roof drains to be connected to the storm sewer with 6" PVC @ 1/4" per foot slope.

LEGEND

- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- STORM INLET



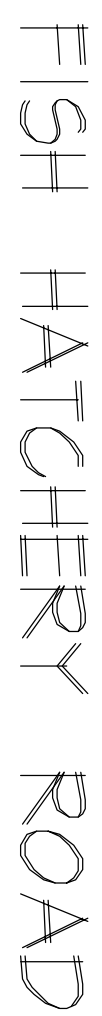
SCALE: 1" = 20'

Revisions
GDP Submittal- October 14, 2009

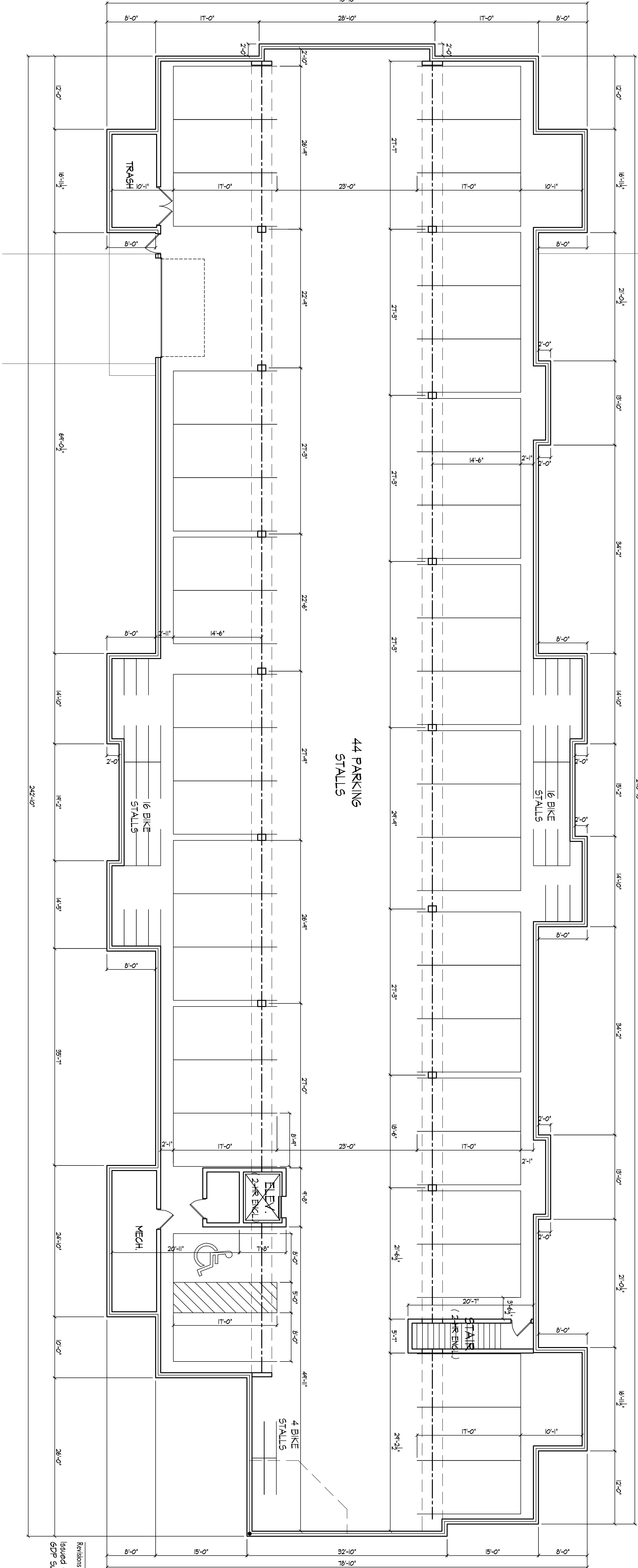
Project Title
1012 Fish Hatchery Road

Drawing Title
Preliminary Site Utility Plan
Project No. 0000
Drawing No. C-3.1

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HIGH STREET



BASEMENT FLOOR PLAN
1/8" = 1'-0"

Project Title
1012 Fish Hatchery Road

Revisions
Issued - Sept. 29, 2009
GDP Submittal - October 14, 2009

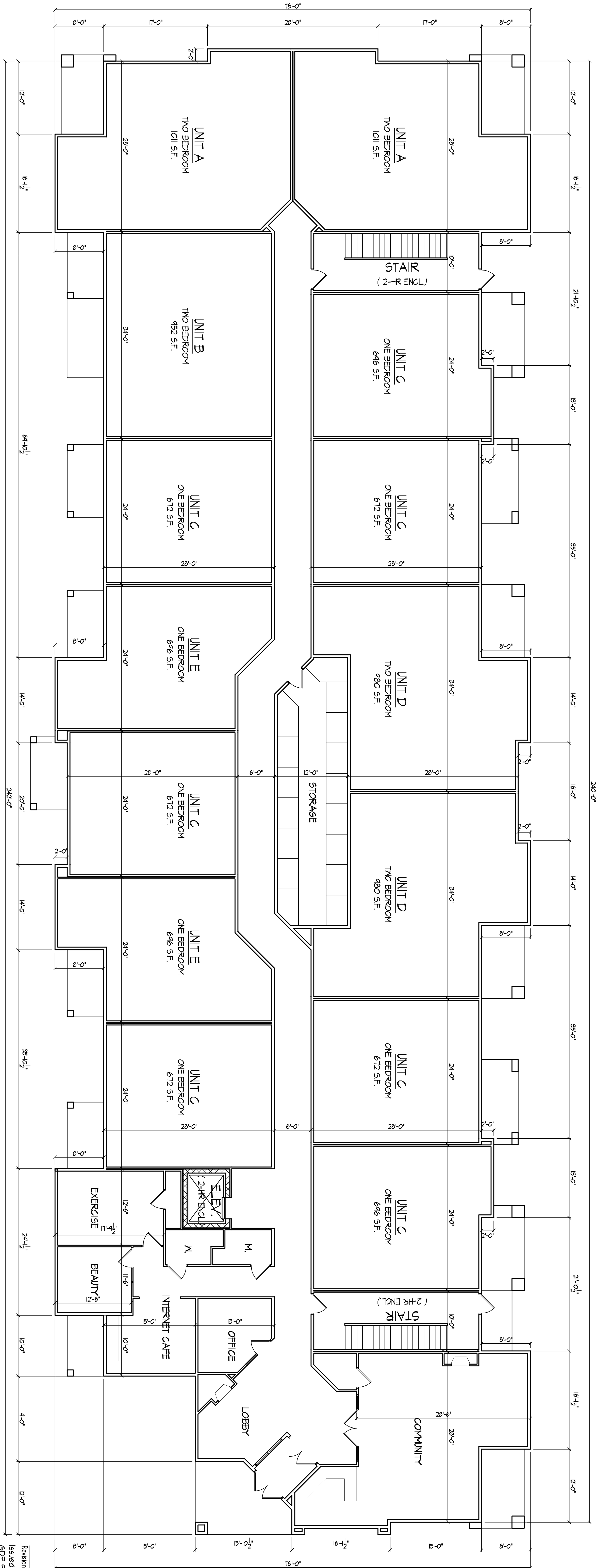
Drawing Title
First Floor Plan

Project No. 0428
Drawing No. 1

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608-836-3690 Fax 836-6934

Notes



Revisions
Issued - Sept. 29, 2009
GDP Submittal - October 14, 2009

1012 Fish Hatchery Road

Drawing Title
First Floor Plan

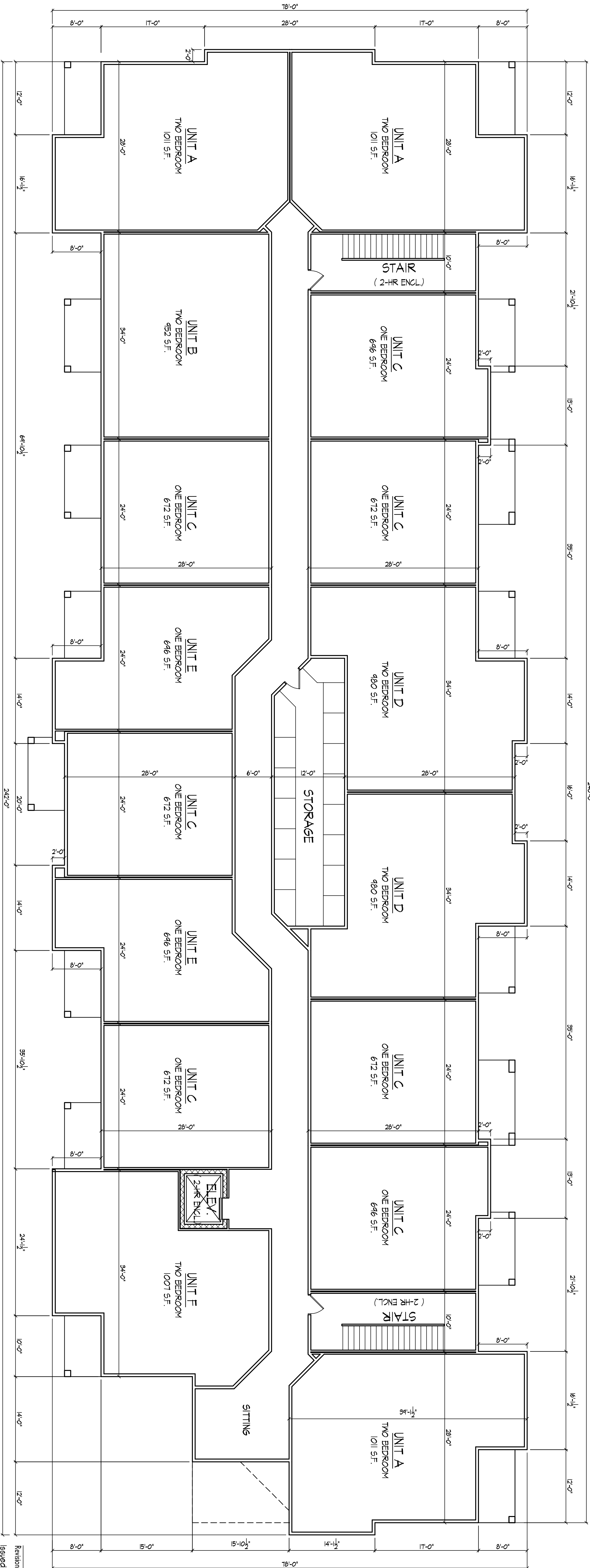
Project No.	Drawing No.
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0928

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FIRST FLOOR PLAN

Notes



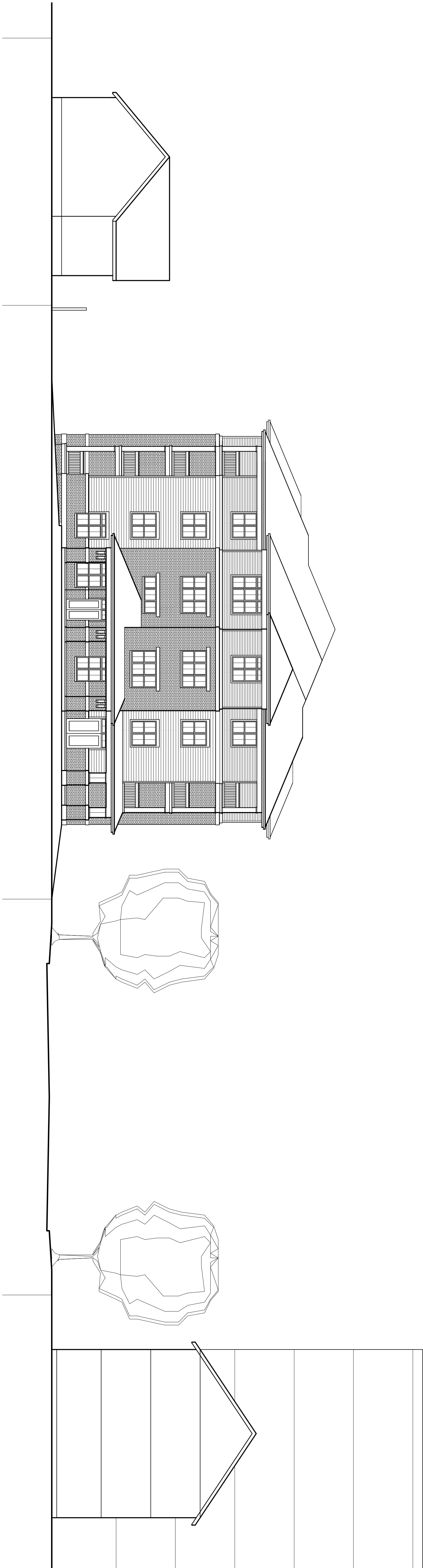
Revisions
Issued - Sept. 29, 2009
GDP Submittal - October 14, 2009

Project Title
1012 Fish Hatchery Road

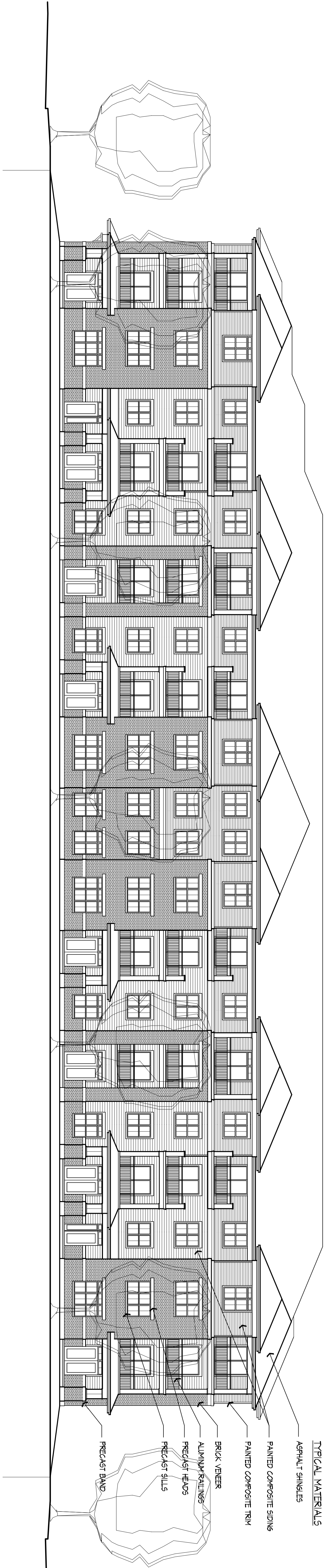
Drawing Title
**Second-Fourth
Floor Plan**

Project No. 0928

Drawing No. 3



ELEVATION ALONG HIGH STREET
3/32" = 1'-0"



- TYPICAL MATERIALS
- ASPHALT SHINGLES
 - PAINTED COMPOSITE SIDING
 - PAINTED COMPOSITE TRIM
 - BRICK VENER
 - ALUMINUM RAILINGS
 - PRECAST HEADS
 - PRECAST SILLS
 - PRECAST BAND

Project Title
1012 Fish Hatchery Road

Revisions
Issued - Sept. 29, 2004
GDP Submission - October 14, 2004

ELEVATION ALONG FISH HATCHERY
3/32" = 1'-0"

Drawing Title
Elevations

Project No. Drawing No.

0428 4

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