APPLICATION FOR URBAN DESIGN COMMISSION REVIEW AND APPROVAL

AGENDA	ITEM#	
Project #		

DATE SUBMITTED:		Action Requested Informational Presentatio Initial Approval and/or Re	ecommendation
UDC MEETING DAT	E: 04/01/09	_x_ Final Approval and/or Re	commendation
PROJECT ADDRESS ALDERMANIC DIST	: 2101, 2109, 2115 Ea	ast Springs Drive	
OWNER/DEVELOPE Gary Steinhafel		ARCHITECT/DESIGNER/O	R AGENT:
W231 N1013 Cour	ity F	901 Deming Way	
Waukesha, WI	53186	Madison, WI 53717	
Address: Phone: Fax:	Lisa Ruth Krueger, I Iconica - 901 Deming Madison, WI 53717 608-664-3500 608-664-3535 Lisa.krueger@iconic		Alan Theobald, Design Project Manager
General Specific Planned Common General Specific Planned Residen New Construction well as a fee) School, Public I	Building or Space (Fee may be roon or Addition to or Remodeling	n Urban Design District * (A pub equired) g of a Retail, Hotel or Motel Bui	
(See Section B for:) New Constructi	on or Exterior Remodeling in Ca	4 District (Fee required)	
(See Section C for:) R.P.S.M. Parkir	ng Variance (Fee required)		
Street Graphics	Design Review* (Fee required) Variance* (Fee required)		
Other			
*Public Hearing Requir	ed (Submission Deadline 3 Wee	eks in Advance of Meeting Date)	•

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



March 18, 2009

Plan Commission
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
Madison WI 53703

Re: Large Retail Development Compliance

Plan Commission Meeting on May 4th, 2009

Steinhafel's Project located at 2101, 2109 & 2115 East Springs Drive

Dear Plan Commission members:

The proposed Steinhafels building is greater than 40,000 square feet and thus puts this development under the Large Retail Development guidelines. The intent of this letter is to outline how this development fits into these guidelines. As a reminder, this is a Planned commercial site zoned C3.

Via:

Hand Delivery

Section 4 Faces and Exterior Walls

North Elevation:

The North Elevation has a well defined customer entrance and faces I-94 and East Springs Drive. This elevation has (2) corner elements that are rotated 30 degrees and project out from the main façade. The total length of the façade is approximately 370'-0". The projections encompass about 40% of this façade. The 60% remaining façade has good articulation and window arcade with awnings. The façade has a horizontal window bay pattern that repeats horizontally along the façade and incorporates color change and material change with use of brick, cast stone, storefront and EIFS. No wall length exceeds the 75'-0" of uninterruption.

West Elevation:

The West Elevation has a well defined customer entrance and faces East Springs Drive. This elevation has (1) corner element that is rotated 60 degrees and projects out from the main façade with about 50'-0" of length. The entrance projects out about 9'-0" and the adjacent storefront recesses inward 4'-0". The total length of this façade is approximately 290'-0. This articulation without the corner element is about 30% of the total length. The façade has a horizontal window bay pattern with awnings that repeats horizontally along the façade and incorporates color change and material change with use of brick, cast stone, storefront and EIFS. No wall length exceeds the 75'-0" of un-interruption.

East Elevation:

The East elevation faces the railroad tracks and will get minimal visibility from I-94. The views from the adjacent neighborhood are screened by the dense tree line along the railroad tracks. This elevation has (1) corner element that is rotated 60 degrees and projects out from the main façade with about 50'-0" of length. The total length of this façade is approximately 290'-0. This façade has a horizontal window bay pattern with

P:\20070080 - Steinhafels - Madison East\Regulatory\Agency Submittals\Plan Commision\03-18-09\2009-03-18 Large format doc

awnings that repeats horizontally along the façade and incorporates color change and material change with use of brick, cast stone, and EIFS. This window bay arcade is about 180'-0" of this façade. Brick piers occur at each side of the window bays. The loading dock is on this façade and is recessed back about 70'-0". It will be out of view from passers by.

South Elevation:

The South elevation faces Starkweather Creek and is slightly visible through the trees from East Springs drive. This façade has a cast stone base along the entire facade. Articulation on this façade is created by incorporating piers approximately every 45′-0. These piers have a cast stone base and projected EIFS above. These piers will simulate the brick piers on the other sides of the building. This façade incorporates color change and material change with use of cast stone and EIFS. This is an economical approach that still lends articulation façade that is not highly visible.

Section 5 Roofs

North Elevation:

The North elevation has standing seem metal roof elements that define the main entrance and corner projections. These roofs vary in height every 40- 50 feet to provide a hierarchy leading to the main entrance. The Main entrance has a large gable with lower hip roofs directly adjacent each side. These roof elements will hide the roof top units from I-94 visibility. Each corner projection also has a hip standing seam metal roof. The parapet for the main roof in this area are about 4'-0" in height and will have a three dimensional cornice element. The overhangs on the hip and gable elements vary from 2'-0" to 4'-0".

West Elevation:

A gabled standing seam metal roof element frames the main entry on this façade. The parapets adjacent to this entry are stepped up to create a hierarchy. These parapets and roof elements will shield any rooftop mechanicals from being seen from East Springs Drive. This façade also takes advantage of the roof element at the corner, further articulating this façade. The overhang on the eaves of the gable is approximately 4'-0" on the sides and 2'-0" on the front of the gable. The parapet incorporates a three dimensional cornice element.

East Elevation:

The trees along the railroad screen the roof from the Southeast neighborhood. The parapet on this façade maintains the same elevation since it is tertiary to the other facades. This façade takes advantage of the roof element at the corner helping articulate the façade. The parapet incorporates a three dimensional cornice element.

South Elevation:

Since this façade faces the Starkweather Creek, views of the roof will be minimal. The parapet is thus held at a consistent height and secondary roof elements have not been introduced. The parapet incorporates a three dimensional cornice element.

Section 6 Material and Color

The predominant exterior building materials for the Steinhafels building are cast stone, brick, EIFS, and storefront windows & standing seam awnings and roofs.

Section 7 Customer Entrances

The Steinhafels building has (2) primary entrances that are clearly defined and are highly visible. Both entrances are projected out from the main structure of the building about 7'-0" and include an interior vestibule. The entrances are surrounded by an abundant amount of storefront glass on both sides. The roof over the entrances is a smaller gable with overhangs which invites you in.

Section 8 Site Design

- a. The guidelines require that one building in the development be a maximum of 20'-0" from the adjacent street frontage. Building #3 is about 15'-0" from East Springs, and Building #2 is approximately 75'-0" from East Springs.
- b. Building street frontage along East Springs is approximately 210'-0" The lengths are: 130'-0" for Building #3 and 80'-0" for Building #2. The total length of the property abutting East Springs Drive is approximately 535'-0". Approximately 40% of the street frontage has building within 75'-0".
- c. N/A
- d. Street trees will be planted every 30'-0" along East Springs Drive.

Section 9 Parking Lots

- a. N/A
- b. This development is going to be for retail use and thus the parking minimum per City of Madison is 1 car per 300 s.f. of building s.f. The provided parking does not exceed 60% of the minimum required amount of parking.
- c. All off street parking on this site is a minimum of 10'-0" from the property lines and right-of-ways.
- d. The employee count for the Steinhafels store will be approximately 85 people. A TDM will not be required for this site plan per discussions with city zoning officials.

<u>Section 10 Outdoor Storage, Trash Collection, Loading Areas and Mechanical Equipment</u>

- a. Areas of outdoor storage, truck parking and trash collection have been incorporated into the design of this site. The trash collection at each building will be enclosed in a stand alone screened area. There will not be outdoor storage for these buildings. 10'x 35' loading zones have been designated for building #2 and #3. The Steinhafels building will have a 2 bay loading dock and 2 bay merchandise pick-up area.
- b. The trash enclosures have been located in areas that are in the best interest of the site. The enclosure at building #2 is the only one that is closer than 20'-0" to an internal pedestrian way. This building is surrounded on all sides by public views and walks so the location had to be carefully thought out. Even though it is close to a pedestrian way it is the best location for this building. It is screened from East Springs Drive by the building and is out of the views of the main circulation. It will be screened with landscaping and the architecture will be congruent with the surrounding buildings.
- c. The Loading dock for the Steinhafels building has been located on the East side of the building and is recessed 70'-0" from the main façade. The roof top mechanical units will be screened from I-94 and East Springs Drive by the gable roof elements. The transformer for the Steinhafels building will be on the South side of the building and will be screened with landscaping.

Section 11 Pedestrian Circulation

- a. 6'-0" sidewalks have been indicated at all areas not directly adjacent to building frontage.
- b. All continuous internal pedestrian walkways have been indicated as 6'-0" in width. Sidewalks have been connected from the public sidewalks along East Springs Drive to the internal circulation and to customer the entrances of all buildings. Landscaping and trees along these walkways has been incorporated.
- c. Sidewalks 8'-0" in width have been indicated at all areas directly adjacent to building fronts with customers entrances. These sidewalks have been located a min. of 6'-0" from the facade of the buildings.
- d. N/A
- e. Walkways across drive aisles will be distinguished with painted stripes. The main parking field at the Steinhafels building will have a few areas of colored concrete walkways across the main drive.
- f. Internal sidewalks will connect to public sidewalks where the public transit is located.
- g. Sidewalks are provided along the entire length of all buildings with parking lots on that facade.

Section 12 Central Features and Community Spaces

- a. Community gathering areas are indicated on the site. There is one indicated on each lot. A circular design at each area will have seating and landscaping that is warm and inviting. There are also opportunities to window shop with seating along the front of the Steinhafels building. A water feature will be incorporated into the North retention pond near the main entrance drive of the Steinhafels building.
- b. All community spaces are linked together through a series of pedestrian walkways. These walkways are linked to all buildings entrances, the bike path and the public sidewalk along East Springs Drive. A future 10'-0" wide crushed stone bike path will be incorporated along the Starkweather Creek.

Section 13 Delivery/Loading Options

Delivery times for the buildings on this site will be between 7 AM and 10 PM.

(b) General Regulations

A plan and reciprocal land use agreement must be approved by the Traffic Engineer, City Engineer and Director of Planning and Development. This agreement will be part of the CSM and recorded in the office of the Dane County Register of Deeds.

This development contains more than 40,000 s.f. of gross floor area and has at least 25,000 s.f. of gross floor area intended for retail use; thus the Urban Design Commission shall review the site and make recommendations to the plan commission regarding all development within the site.

24. Per John Leach from traffic engineering and Kevin Firchow and Matt Tucker in zoning, the Steinhafels development will not need a transportation study.

If you have any questions or concerns regarding this submittal package please contact me directly at 664-3557. Thank you very much for your assistance. We look forward to collaborating on this project with the Plan Commission.

Sincerely,

Larry Stone

LS/ko

cc: Project file

LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas (Section 28.04 Madison General Ordinance)

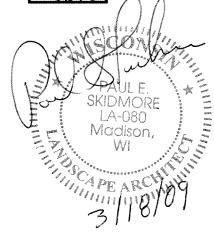
		O la la a
-	Project Location/Address: 2/01, 2/09 and 2/15 East Spri	my prine
	Name of Project: SIEIN HAFELS - MADISUN EAST	1000 2
-	Owner/Contact: Larry Stone, Architect, Iconica (60	8)664-3500
-	Address:	

	Address:	
F	OR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY LANDSCAPE ARCHITECT	A REGISTERED
I .	Number of Trees Required The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).	
	Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts <u>area</u> to <u>stalls</u> . [Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points].	
	Number of Parking Stalls ———————————————————————————————————	66
	Total Square Footage of the Storage Area Divided by Three Hundred (300) Square Feet	
	Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper) (See Schedule on reverse side)	5
11.	Number of Landscape Points Required The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.	309.5
	The number of points required for <u>loading areas</u> is (75) points for each loading berth. (See Schedule on reverse side)	0,0
	Number of Points Required (See Schedule on reverse side)	309.5
	Tabulation of Points and Credits Indicate below the quantity and points for all pertinent landscape elements. Also, credit	

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

				CRED	ITS
ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2*	35	25	875		
Deciduous Shrub	2	29	58		
Evergreen Shrub	3	28	84		
Decorative Wall or Fence (per 10 L.F.)	5				
Earth Berm (per 10 L.F.) Avg. Height 30" Avg. Height 15"	5 2				
Evergreen Trees 3' height minimum	15				
Canopy Tree or Small Tree 1 ½" – 2" Caliper (i.e., Crab, Hawthorn)	15	14	210		
		Sub Totals	1277	+	

*Trees required in Part I above, are not to be included in the point count.



= 1227

Total No. of Points Provided (Equal to or greater than points required)

Approved by: ______ Date: _____

LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas (Section 28.04 Madison General Ordinance)

Project Location/Address: 2101, 2109, and 2115 East Springs Drive
Name of Project: STEIN HAFELS - MADISON GAST BLOI
Owner/Contact: Larry Stone, Architect, Iconica (608) 664-3500
Address:

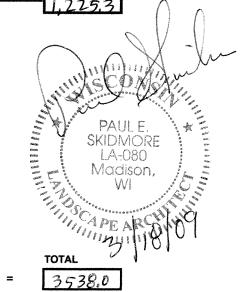
FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT I. Number of Trees Required The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls). Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts area to stalls. [Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points]. Number of Parking Stalls Total Square Footage of the Storage Area Divided by Three Hundred (300) Square Feet TOTAL Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper) (See Schedule on reverse side) II. Number of Landscape Points Required The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required. The number of points required for <u>loading areas</u> is (75) points for each loading berth. 2×75 (See Schedule on reverse side) TOTAL Number of Points Required (See Schedule on reverse side)-

Tabulation of Points and Credits

Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

				CRED	ITS
ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS
Canopy Tree: 2" - 2 1/2*	35	53	1855		
Deciduous Shrub	2	177	354	-	
Evergreen Shrub	3	143	429		
Decorative Wall or Fence (per 10 L.F.)	5				
Earth Berm (per 10 L.F.) Avg. Height 30" Avg. Height 15"	5 2				
Evergreen Trees 3' height minimum	15	14	210		
Canopy Tree or Small Tree 1 ½" – 2" Caliper (i.e., Crab, Hawthorn)	15	46	690		
		Sub Totals	3538	+	

*Trees required in Part I above, are not to be included in the point count.



Total No. of Points Provided (Equal to or greater than points required)

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LANDSCAPE WORKSHEET

Parking Lots, Storage Areas and Loading Areas (Section 28.04 Madison General Ordinance)

Project Location/	Address: 2/	01,210	9 and	2115 8	ast Spri	ngo prive
Name of Project:	STEIN	HAFEL	5 - M	ADISON	EAST	BUDD
Owner/Contact:	larry S	tone, A	rchite	t, 1conic	ca (608)	664-3500
Address:	J		.,			

	<u> </u>	Owner/Contact: & Address:	arry s	tone, Hi	CONITET	, <u> [can</u> .	100 (008) 604-5500
Fc	OR PARKING LOTS	WITH GREATER		TALLS, LANI NDSCAPE AF		NS MUST	BE STAMPED BY A REGISTERED
1.	Number of Trees The number of trees Schedule for Require required. (Example Landscape requiren storage area by (30 [Example: 10,000 se	s required for a par ed Trees on the re cone tree is requir nents for storage a 0) square feet. Th	verse side of red for 10 park reas are deter is converts <u>are</u>	this workshee ting stalls). mined by divided to stalls.	t, determine th	e number o	f trees
	Number of Park	ing Stalls ———					38
	Divided by Three	ootage of the Stora se Hundred (300) S opy Shade Trees F on reverse side)	quare Feet	2 1/2" Caliper)		TOTAL 3
II.	Number of Land The number of poin Schedule for Lands ber of points require (.5) or less may be point. Thus: 49.5 p The number of poin (See Schedule on r Number of Poir Tabulation of Po	ts required is also cape Elements on ad. (Example: 49.5 disregarded, while coints would be rounds required for load everse side)	based on the the reverse side points are real a fraction in ended down to thing areas is ()	de of this work quired for 10 s excess of (.5) r 49.0 points re 75) points for o	esheet, determ stalls). A point nust be counte quired. each loading b	ine the nun fraction of ed as one erth.	
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Γ					CRED	ITS	
	ELEMENT	POINT VALUE	QUANTITY	POINTS ACHIEVED	QUANTITY	Points	AULE *
	Canopy Tree: 2" - 2 !	½ * 35	37	1275			SKIDMORE =
	Deciduous Shrub	2	53	106	ļ .		LA-080
L	Evergreen Shrub	3	29	87			Ed. Madison, /43
	Decorative Wall or F (per 10 L.F.)	ence 5					TO WEST
	Earth Berm (per 10 L Avg. Height 30" Avg. Height 15"	.F.) 5 2					Middison, 6
ľ	Evergreen Trees 3' height minimum	15					3/10/1
	Canopy Tree or Small 1½" – 2" Caliper (i.e., Crab, Hawthor		13	195			TOTAL
			Sub Totals	1685	+		= 16830
							Total No. of Points Provided (Equal to or greater than points

*Trees required in Part I above, are not to be included in the point count.

required)

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Steinhafel's East Towne site/Starkweather Springs site

Urban Design Committee Members,

We, of Friends of Starkweather Creek, support the development of this site by the Steinhafels Furniture. While we might prefer to see as much existing green space remain green space in order to extend habitat and watershed function, we do not have the resources to make that happen. In evaluating who might be an ideal candidate to care for this site, I can come up with a short list, and as to commercial enterprises, Steinhafels, as a Wisconsin based company with a strong history of environmental action would rate on that list.

Current improvements in DNR storm water regulations have significantly reduced the new construction impact on urban systems. Steinhafel's commitment to environmental issues as reflected on their page of Environmental Initiatives, is promising (copy submit). I would ask them to look at implementing, in time, similar programs at this site as able and appropriate (e.g., bluebird houses at periphery). I think planting some nut bearing species, for instance, in this space, would feed habitat, and be a meaningful contribution to this environment.

As to specifics of this plan, of primary importance is cistern storage for landscape watering purposes, native landscaping along the edge of the wetland, shade designed into parking space, and permeable paving. To these points, I would say:

- 1. I do not have a 'guide to best practices for green design and site planning' nor can I claim to be an expert on either, however, I expect the city to maintain that expertise, and apply it to sensitive areas like this.
- 2. The more roof water (considered clean) stored or returned directly to the ground through infiltration without mixing with roadway runoff, benefits aquifer and watershed dynamics. Use of the excess to dilute road way run off in retention ponds seems reasonable and practical.
- 3. The areas of permeable paving could be expanded to encompass the anticipated root zone of shade trees planted within parking zones. This could be done as an art installation and educational project, defining the root structure as critical to tree health, and displaying this zone to the public. Permeable pavers might allow more surface to air exchange for root structure health. These pavers could have a short vegetative growth, which could be mowed. Runoff impact from specific tree parking sites ought to be minimal enough not to damage tree health. However, it is critical to recall that the #1 urban polluter of urban systems is paved surface runoff.
- 4. Information forthcoming about the revitalization of some number of seeps and springs in the Autumn Lake area immediately upstream, east of I 90, give those of us within FSC, hope for the hydrologic health of the watershed. Knowing that this is no longer the only functioning spring takes some pressure off this site. That in no way diminishes the respect that we feel needs to be given to all functioning spring sites. These sites provide the natural, replenishing of cold flow, which has been all but lost in our urban systems. Instead, storm water runoff has become the major contributor to urban systems, replacing natural spring and drainage systems. Some rebalancing of that formula is desirable for healthy systems.

Sincerely,

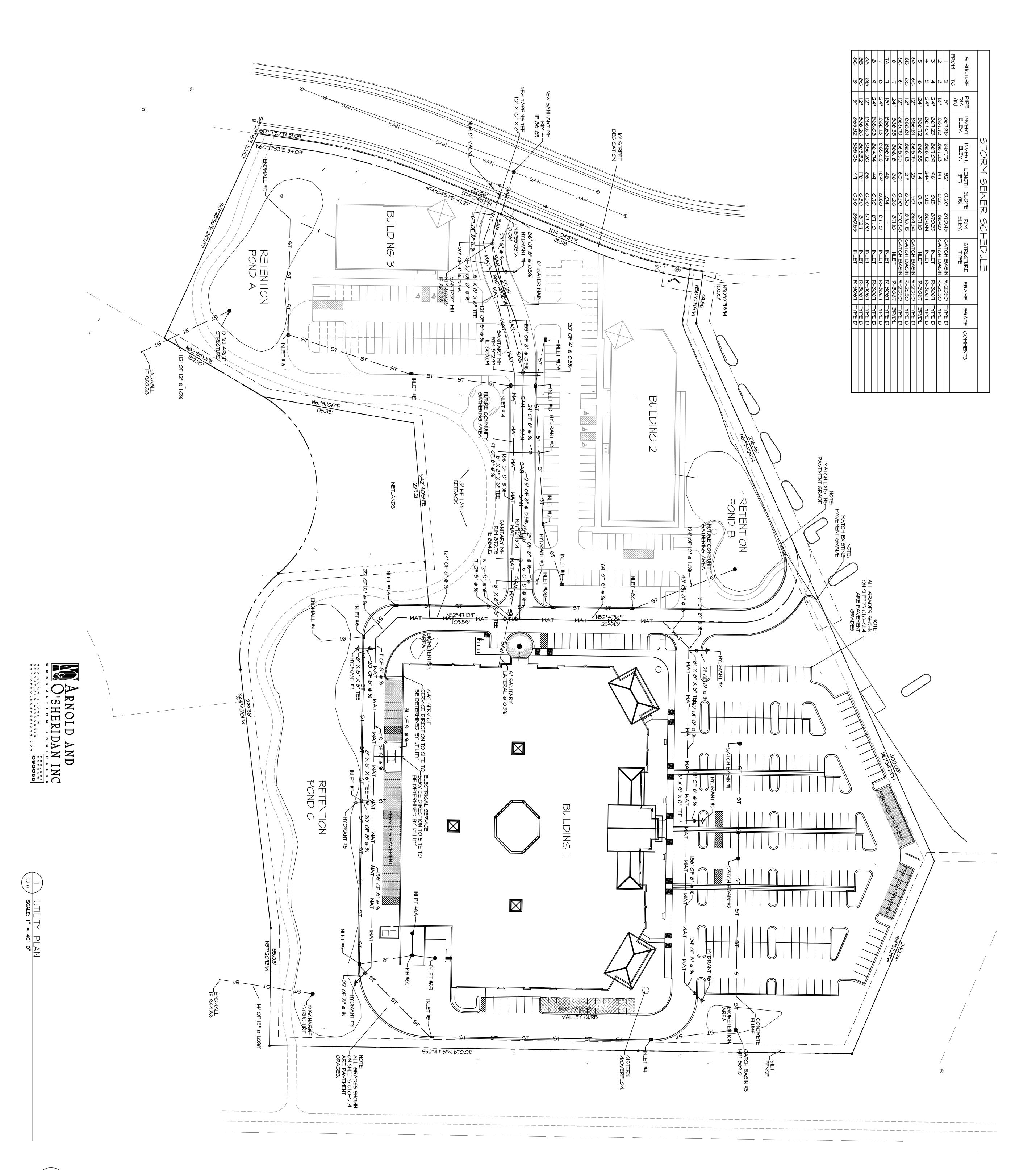
John Steines, FSC Co-chair 1/21/2009

Madison East: City/Organizations Consulting Meeting History at a glance

Updated: March 17, 2009

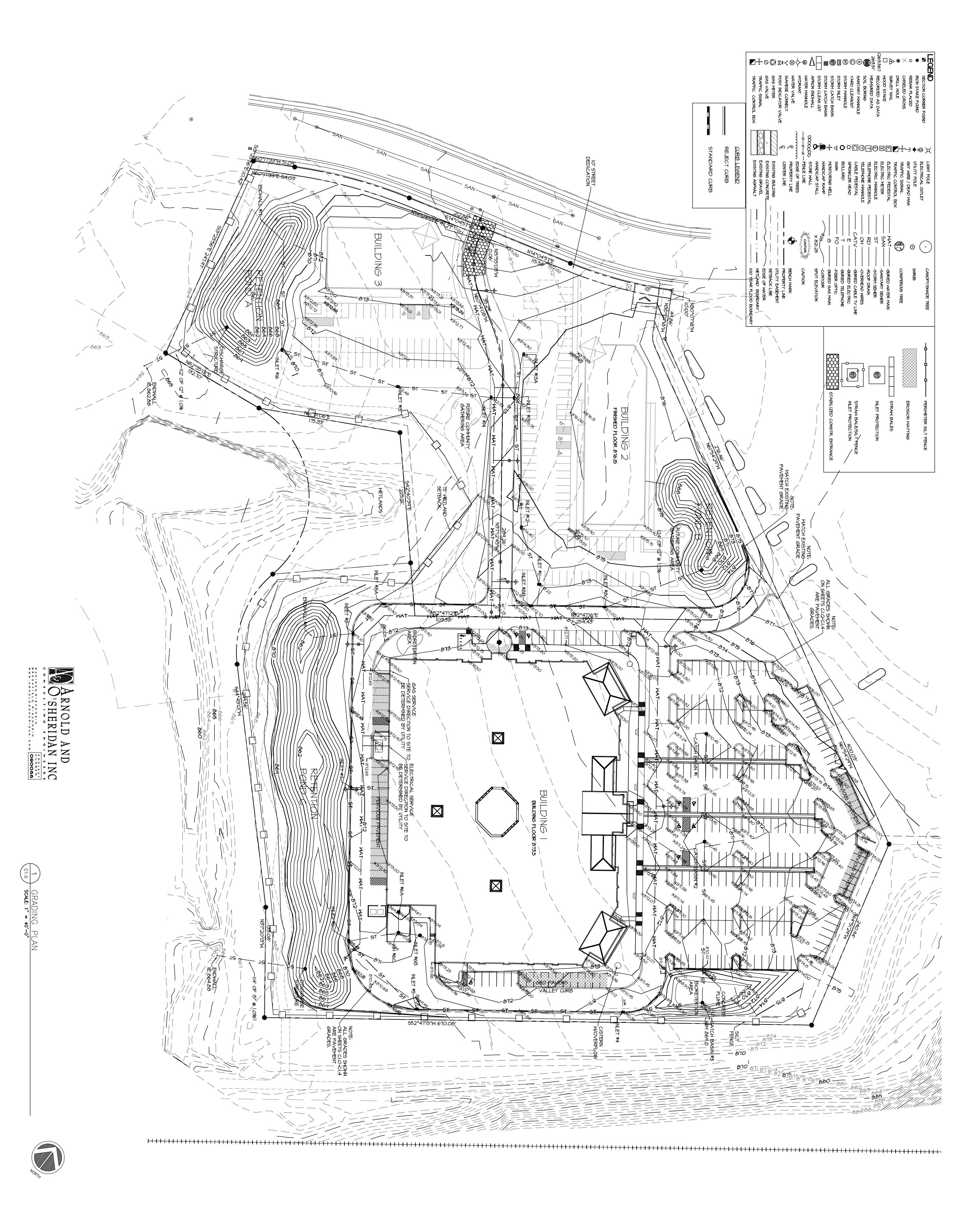
- 1. Nov 30th 2006: Madison Dept of Planning & Development Planning Unit: Brad Murphy
- 2. Dec 27th 2006: 17th Dist Alderman: Santiago Rosas
- 3. Jan 10th 2007: Friends Of Starkweather Creek: Larry Palm, Laura Hewitt, John Steines
- 4. Sept 18th 2008: City of Madison DAT (Development Assistance Team)
 - Tim Parks: Planning & Zoning
 - Sy Woodstrand: Zoning
 - Erich Pederson: Engineering
 - Janet Daily: Engineering

- Dan Calliwater: Traffic Engineering
- Arthur Ross: Traffic Engineering
- John Leach: Traffic Engineering
- Bill Sullivan: Fire
- 5. Oct 15th 2008: Friends Of Starkweather Creek: Larry Palm, Laura Hewitt, John Steines
- 6. Oct 15th 2008: UDC (Urban Design Commission): Informational Presentation
- 7. Nov 18th 2008: Focus On Energy: Preliminary direction/sustainability information
- 8. Dec 3rd 2008: UDC (Urban Design Commission): Informational Presentation
- 9. **Dec** 5th **2008**: Madison Traffic Engineering: *John Leach, Dan McCormick, Al Martin: Madison Planning, Larry Stone :lconica*
- 10. **Dec** 11th **2008**: Madison Zoning and Planning: *Al Martin*: Madison Planning, *Kevin Firchow*: Madison Zoning, *Matt Tucker*: Madison Zoning.
- 11. Dec 30th 2008: 17th Dist Alderman: Joe Clausius
- 12. **Jan** 21st **2009**: UDC (Urban Design Commission): Informational Presentation
- 13. **Jan** 22nd **2009**: Focus On Energy Construction Team: Sustainability
- 14. **Feb.** 25nd **2009**: Wisconsin DNR: Wetlands and permits



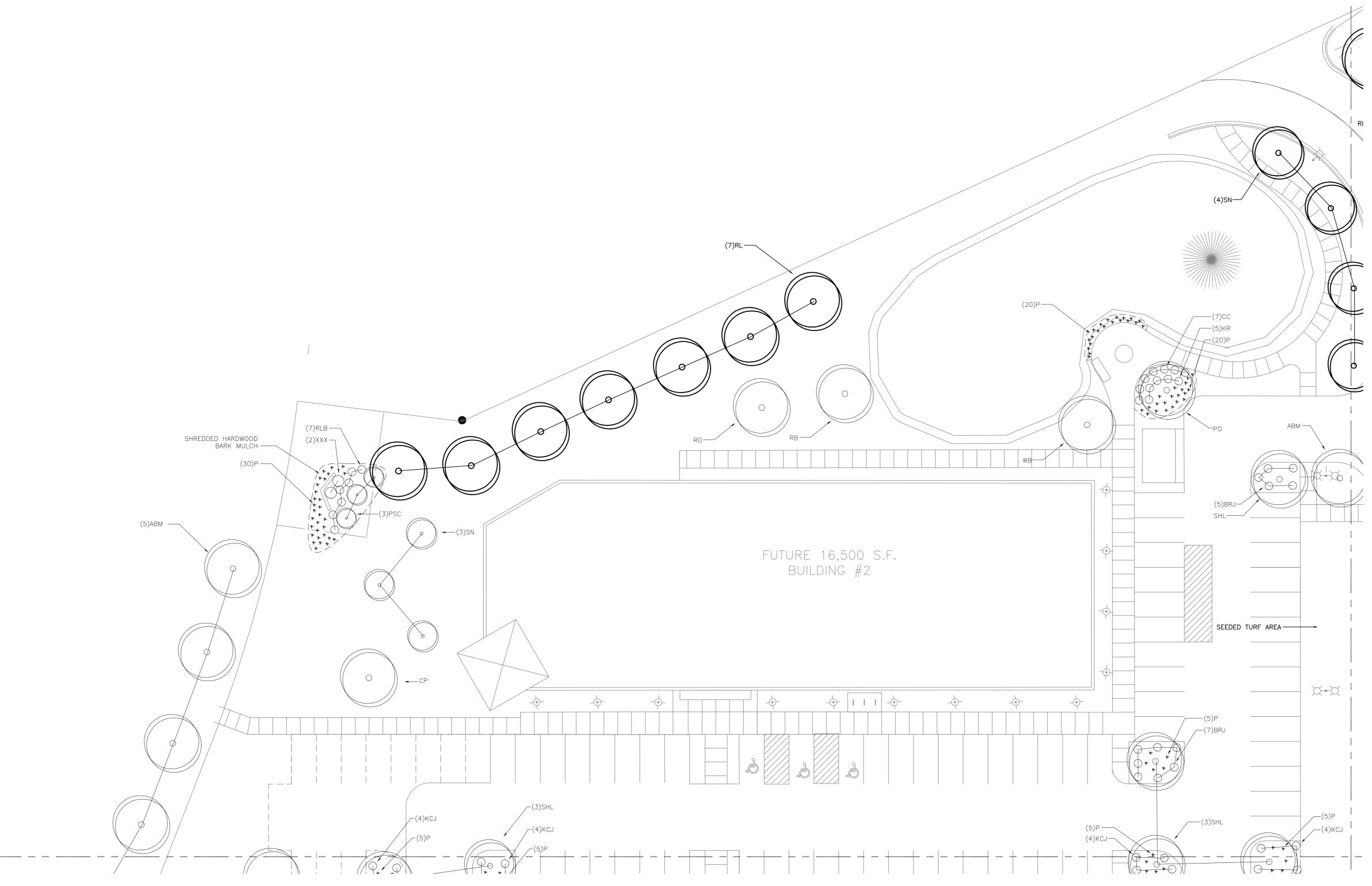


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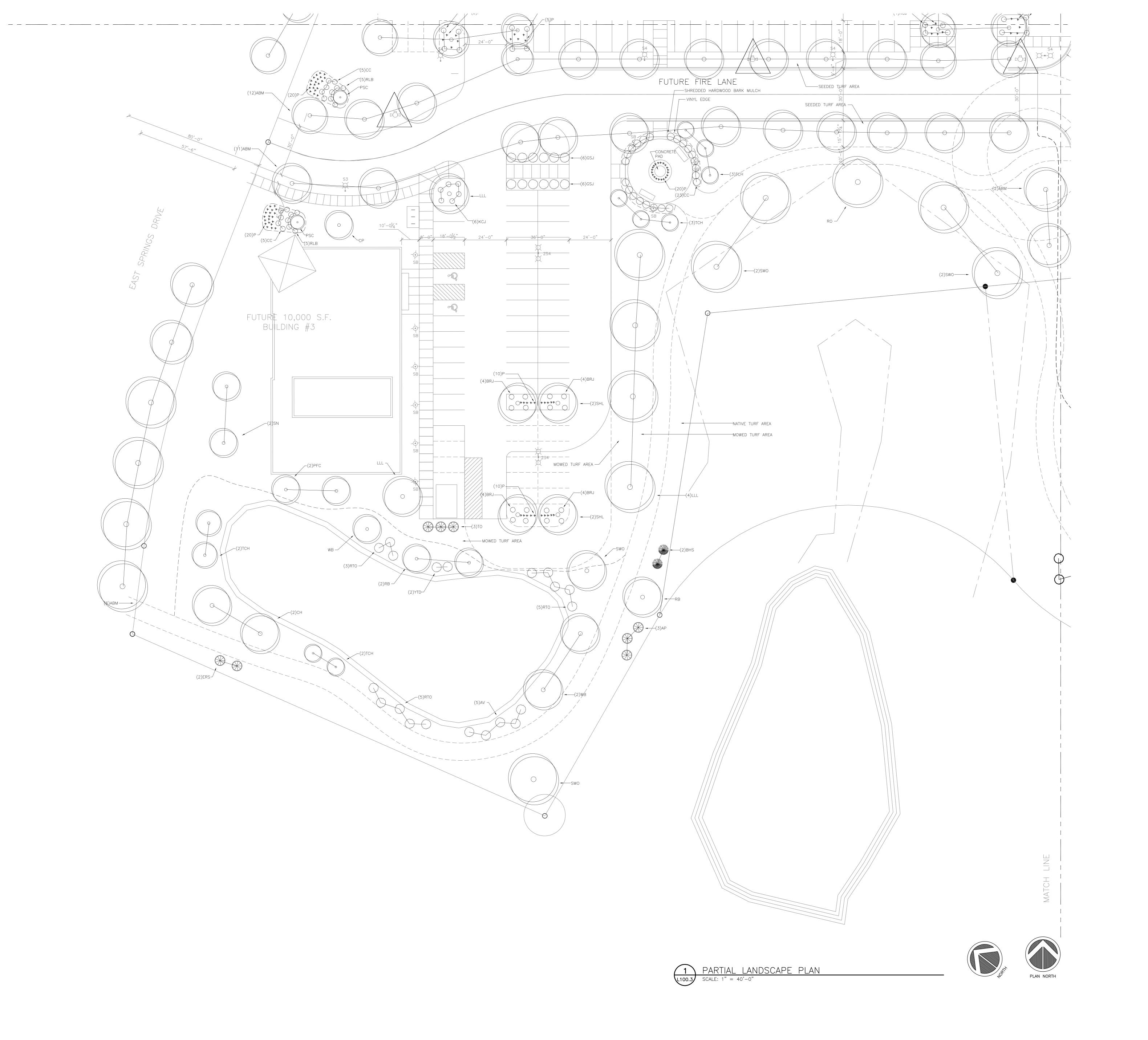
PARTIAL LANDSCAPE PLAN

SCALE: 1" = 40'-0"

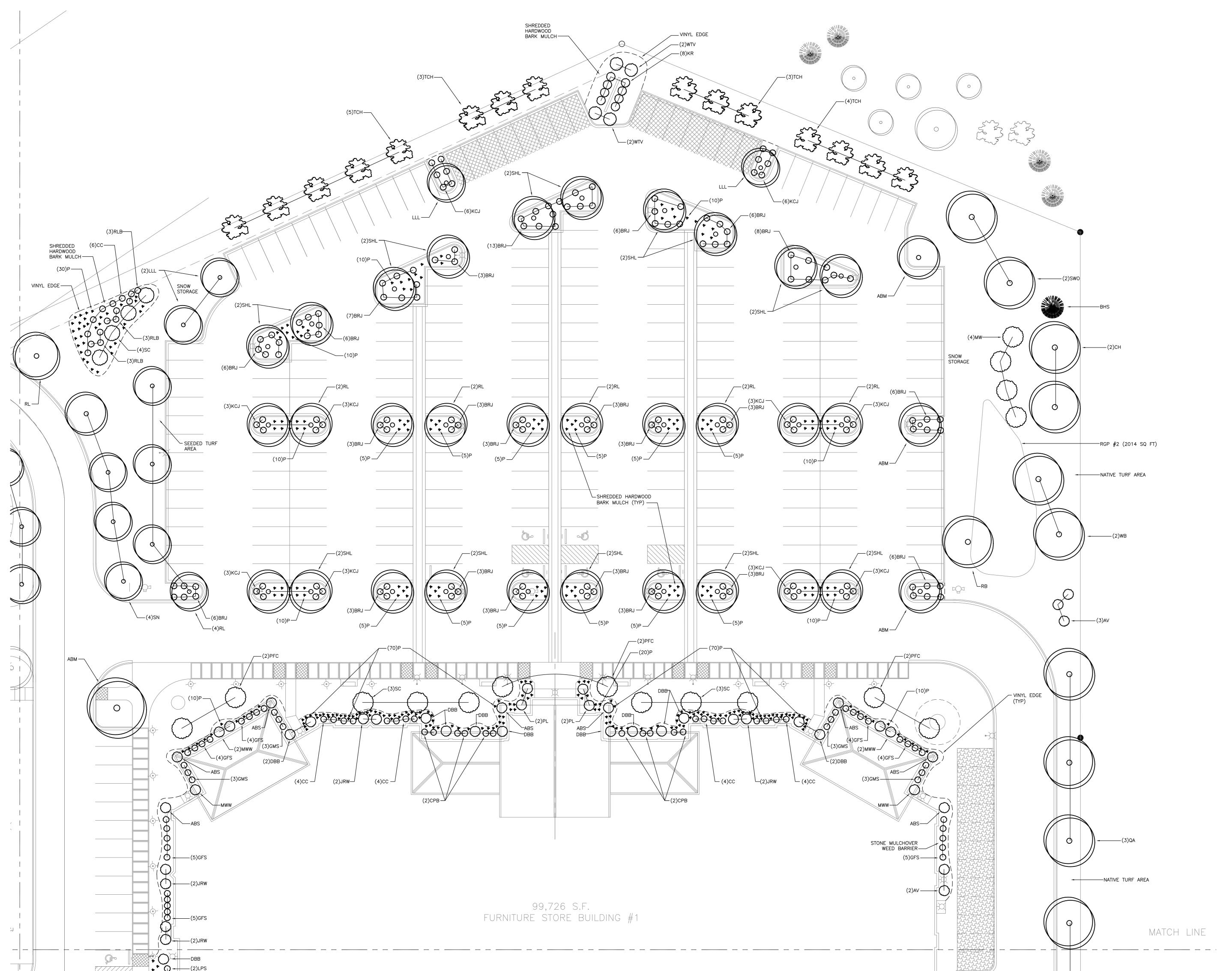




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True Design-Build 901 Deming Way // Madison, WI 53717 Ph: 608.664.3500 // Fx: 608.664.3535 iconicacreates.com STEINHAFE ISSUE DATES: RFI/SI DATE: This document contains confidential or proprietary information of Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica. PROJECT #: 20070080 SHEET NUMBER



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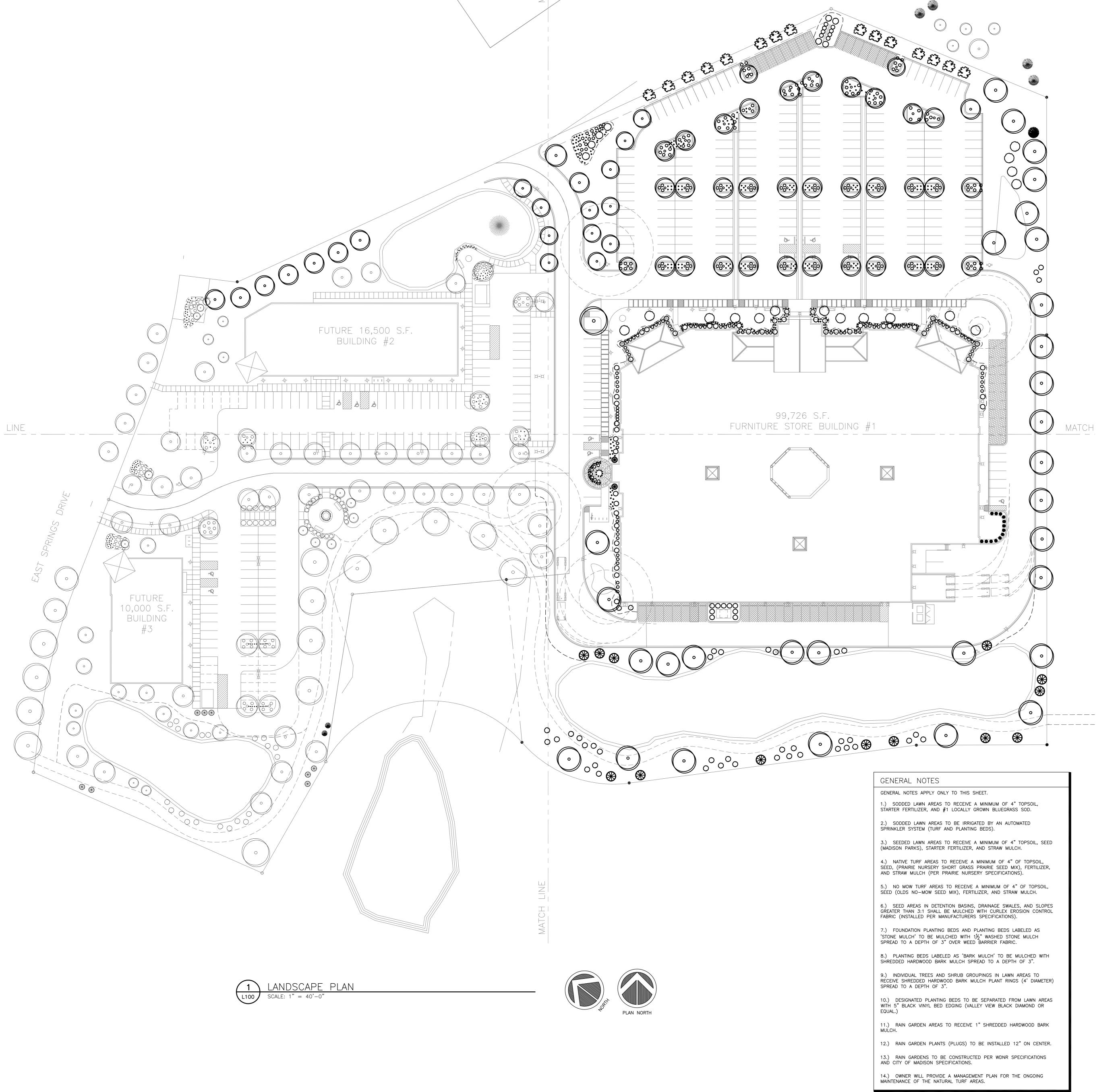
PARTIAL LANDSCAPE PLAN

SCALE: 1" = 40'-0"

True Design-Build 901 Deming Way // Madison, WI 53717 Ph: 608.664.3500 // Fx: 608.664.3535 iconicacreates.com ISSUE DATES: RFI/SI DATE: This document contains confidential or proprietary information of Iconica. Neither the document nor the information herein is to be reproduced, distributed, used or disclosed, either in whole or in part, except as specifically authorized by Iconica.

> **PROJECT #**: 20070080 SHEET NUMBER

ICONICA



KEY	SIZE	COMMON NAME	ROOT	BLDG	QUA BLDG	NTITY BLDG	ı
				#1	#2	#3	TOTAL
ABM	21/2"	AUTUMN BLAZE MAPLE	BB	3	13	19	35
СН	2½"	COMMON HACKBERRY	BB	4	0	2	6
LLL	2½"	LITTLE LEAF LINDEN	BB	4	0	2	6
PO QA	2½"	PIN OAK QUAKING ASPEN	BB BB	6	0	0	6
RB	10'	RIVER BIRCH CLUMP	BB	4	1	3	8
RL	2½"	REDMOND LINDEN	BB	15	7	0	22
RO	2½"	RED OAK	BB	4	1	1	6
SHL	21/2"	SKYLINE HONEYLOCUST	BB	20	6	4	30
SWO	21/2"	SWAMP WHITE OAK	BB	6	0	6	12
WB ABS	10' 6'	WHITESPIRE BIRCH CLUMP AUTUMN BRILLIANCE SERVICEBERRY	BB BB	5 7	2	3	9
CP	2"	CLEVELAND SELECT PEAR	BB	3	1	1	5
MW	1½"	MUSCLEWOOD	BB	4	0	0	4
PFC	1½"	PRAIRIE FIRE CRAB	BB	6	0	2	8
PSC	1½"	PINK SPIRES CRAB	ВВ	0	4	2	6
SC	2"	SARGENT CRAB	BB	10	0	0	10
SN	1½"	SPRING SNOW CRAB	BB	1	7	0	8
TCH AP	6' 5'	THORNLESS COCKSPUR HAWTHORN AUSTRIAN PINE	BB BB	15 6	0	8	23 9
BHS	6'	BLACK HILLS SPRUCE	BB	6	0	0	6
ERS	6'	EASTERN RED CEDAR	BB	0	0	3	3
WP	6'	WHITE PINE	BB	2	0	0	2
BRJ GSJ	2 G 5 G	BLUE RUG JUNIPER GREEN SARGENT JUNIPER	CON	106	12	12	126
KCJ	2 G	KALLEY COMPACT JUNIPER	CON	24	16	6	46
TA	4'	TECHNY ARBORVITAE	BB	13	0	3	16
AV	36"	ARROWOOD VIBURNUM	POT	9	0	5	14
CC	2G	CRANBERRY COTONEASTER	POT	18	12	28	58
CPB DBB	15" 24"	CRIMSON PYGMY BARBERRY	POT	10	0	0	10
DCB	24"	DWARF BURNING BUSH DWARF CRANBERRYBUSH VIBURNUM	POT	6	0	0	6
FS	18"	FROEBEL SPIREA	POT	5	0	0	5
GFS	15"	GOLD FLAME SPIREA	POT	27	0	0	27
GD	30"	GREY DOGWOOD	POT	6	0	0	6
GMS JRW	15" 18"	GOLD MOUND SPIREA JAVA RED WEIGELA	POT	12 8	0	0	12 8
KR	2 G	KNOCKOUT ROSE	CON	20	5	0	25
LPS	15"	LITTLE PRINCESS SPIREA	POT	6	0	0	6
MWW	18"	MIDNIGHT WINE WEIGELA	POT	6	0	0	6
PL	18"	PALBIN LILAC	POT	6	0	0	6
RLB RTD	18" 30"	REDLEAF BARBERRY RED TWIG DOGWOOD	POT	9	12	5 13	26 26
WTV	36"	WAYFARING TREE VIBURNUM	POT	7	0	0	7
YTD	30"	YELLOW TWIG DOGWOOD	РОТ	10	0	2	12
P	1 QT	PERENNIALS (ASSORTED) ASTER (SP)	CON	350	120	50	520
		<u> </u>					
		AUTUMN JOY SEDUM					
		BLACK EYED SUSAN]				
		BLACK EYED SUSAN BLUE FESCUE					
		BLACK EYED SUSAN	-				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY	- - - -				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS	-				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP)	- - - - -				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS	-				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED	-				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS	-				
		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS					
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		BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY					
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DCD.	1"	BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY MOONBEAM COREOPSIS PRAIRIE DROPSEED PURPLE CONEFLOWER PURPLE PALACE CORAL BELLS RUSSIAN SAGE	BILIC	2450			2450
RGP	1"	BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY MOONBEAM COREOPSIS PRAIRIE DROPSEED PURPLE CONEFLOWER PURPLE PALACE CORAL BELLS RUSSIAN SAGE RAIN GARDEN PLANTINGS	PLUG	2459	0	0	2459
RGP	1"	BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY MOONBEAM COREOPSIS PRAIRIE DROPSEED PURPLE CONEFLOWER PURPLE PALACE CORAL BELLS RUSSIAN SAGE	PLUG	2459	0	0	2459
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RGP	1"	BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY MOONBEAM COREOPSIS PRAIRIE DROPSEED PURPLE CONEFLOWER PURPLE PALACE CORAL BELLS RUSSIAN SAGE RAIN GARDEN PLANTINGS COMMON BLUE STAR BOTTLE GENTINE OBEDIENT PLANT MONKEY FLOWER	PLUG	2459	0	0	2459
RGP	1"	BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY MOONBEAM COREOPSIS PRAIRIE DROPSEED PURPLE CONEFLOWER PURPLE PALACE CORAL BELLS RUSSIAN SAGE RAIN GARDEN PLANTINGS COMMON BLUE STAR BOTTLE GENTINE OBEDIENT PLANT	PLUG	2459	0	0	2459
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RGP	1"	BLACK EYED SUSAN BLUE FESCUE CHICAGO SUNRISE DAYLILY COLUMBINE DEUTSCHLAND ASTILBE FERNS IRIS (SP) HOSTA JAPANESE BLOOD GRASS KARL FORSETER'S FEATHER REED GRASS LITTLE BLUESTEM MAIDEN GRASS MIDNIGHT WINE DAYLILY MOONBEAM COREOPSIS PRAIRIE DROPSEED PURPLE CONEFLOWER PURPLE CONEFLOWER PURPLE PALACE CORAL BELLS RUSSIAN SAGE RAIN GARDEN PLANTINGS COMMON BLUE STAR BOTTLE GENTINE OBEDIENT PLANT MONKEY FLOWER VANILLA SWEETGRASS COLUMBINE SWITCHGRASS FOXSEDGE BLACK EYED SUSAN BLUE FLAG IRIS WILD IRIS SWAMP MILDWEED WHITE TURTLEHEAD QUEEN OF THE PRAIRIE CARDINAL FLOWER TURK'S CAP LILY LITTLE BLUESTEM	PLUG	2459	0	0	2459
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$\overline{2}$	PLANT SCHEDU
1100	SCALF: $1" = 40'-0"$

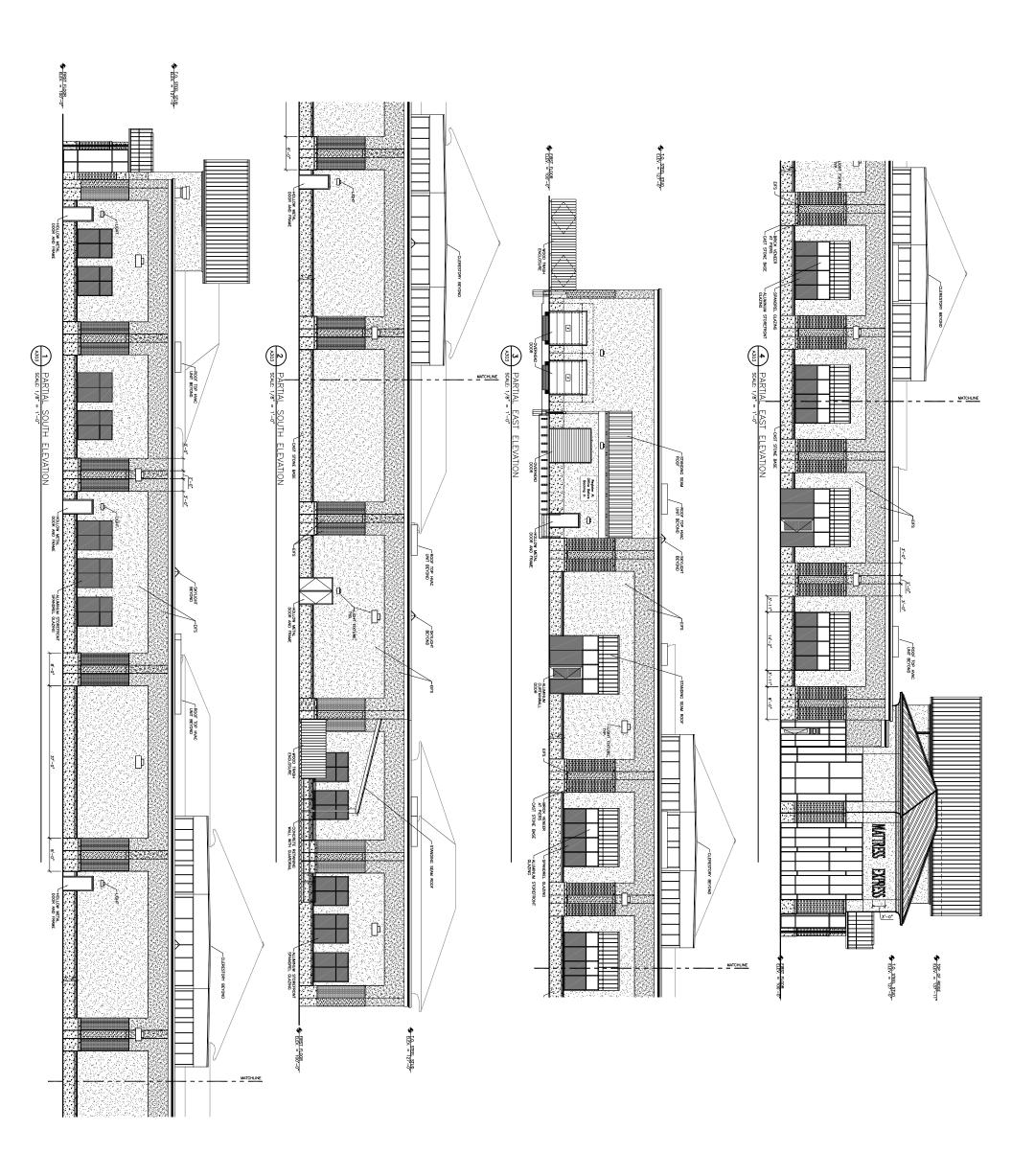
ICONICA True Design-Build 901 Deming Way // Madison, WI 53717 Ph: 608.664.3500 // Fx: 608.664.3535 **ISSUE DATES:** RFI/SI DATE:

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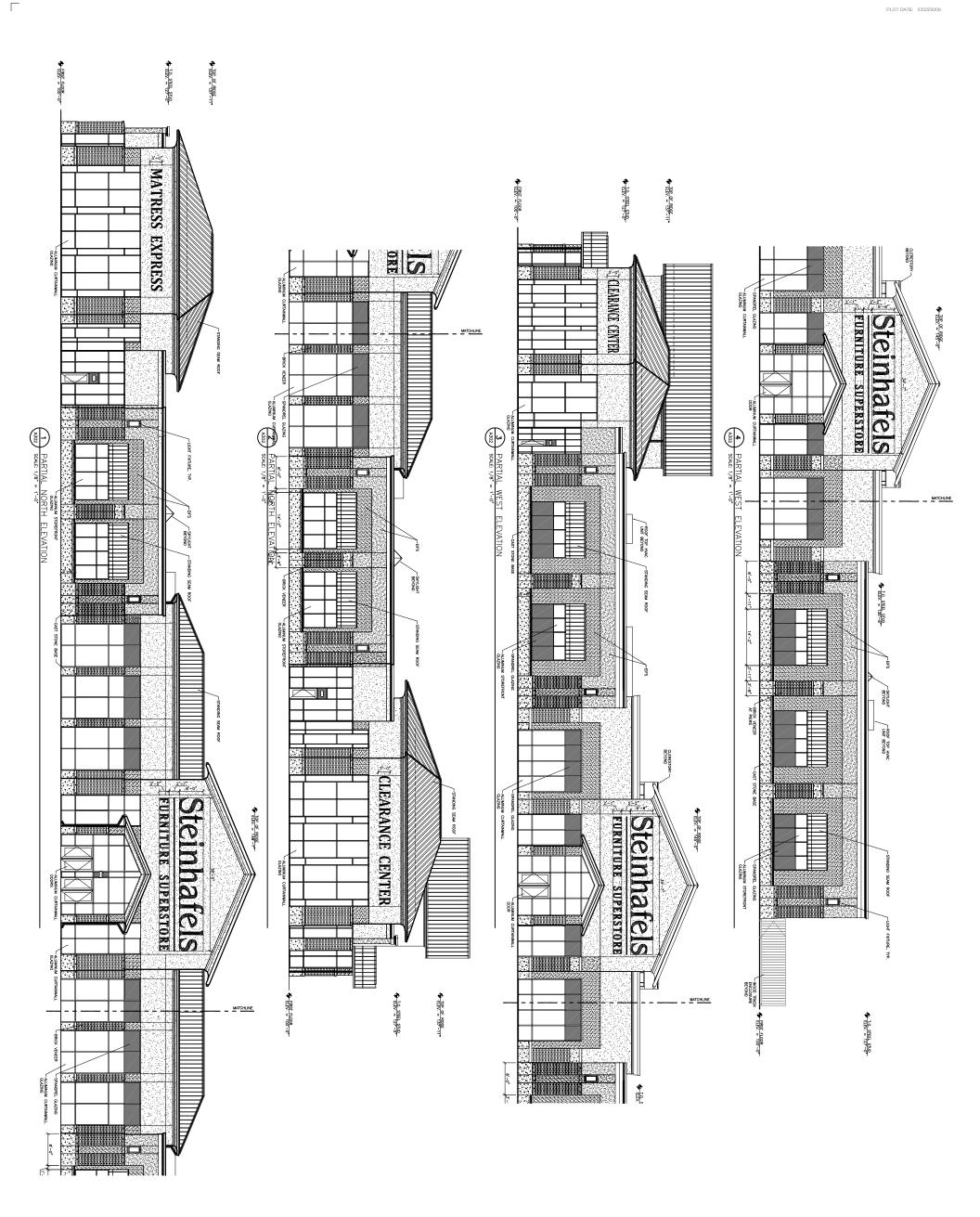
SHEET NUMBER

PROJECT #: 20070080

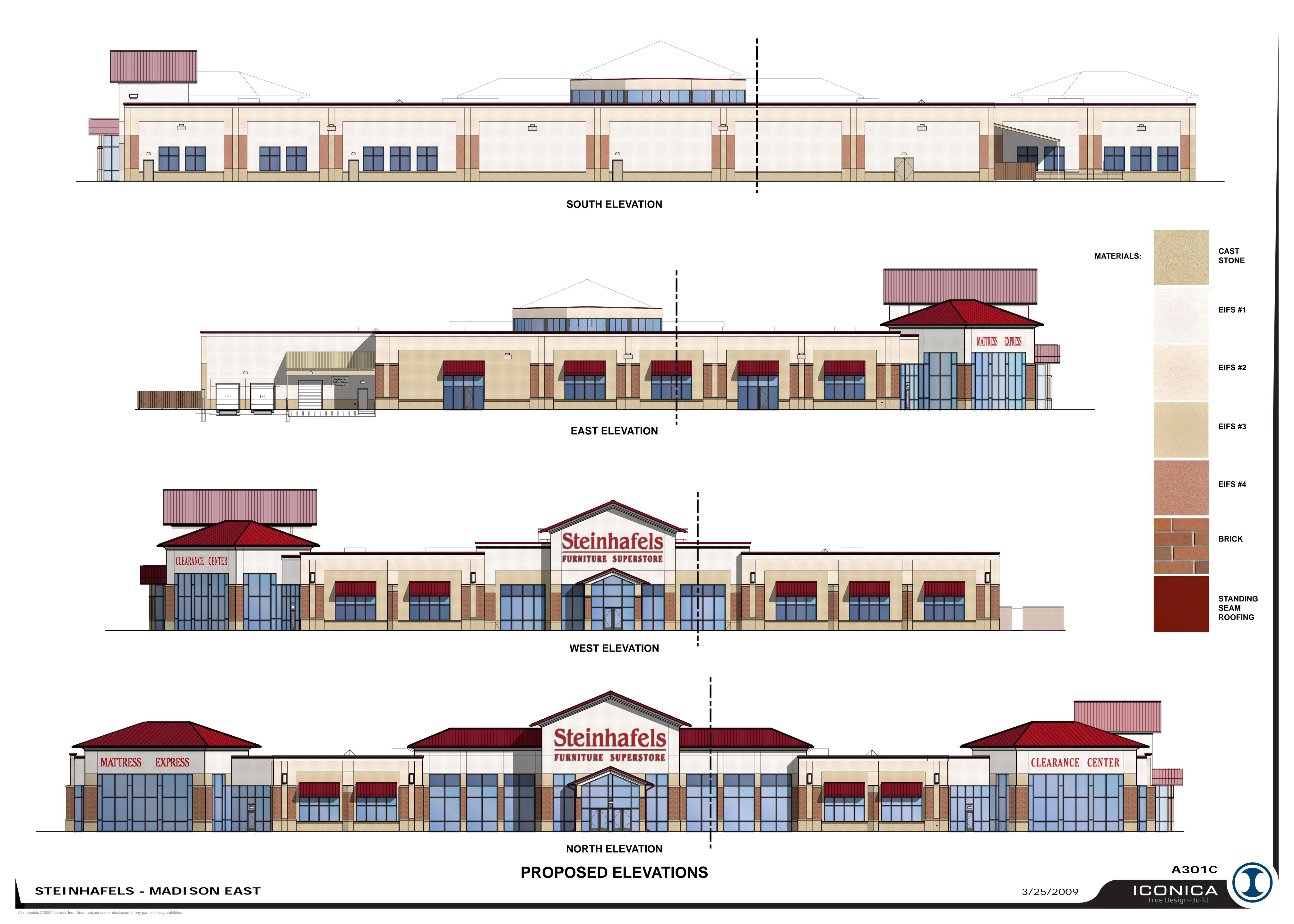
PLOT DATE: 03/25/2009

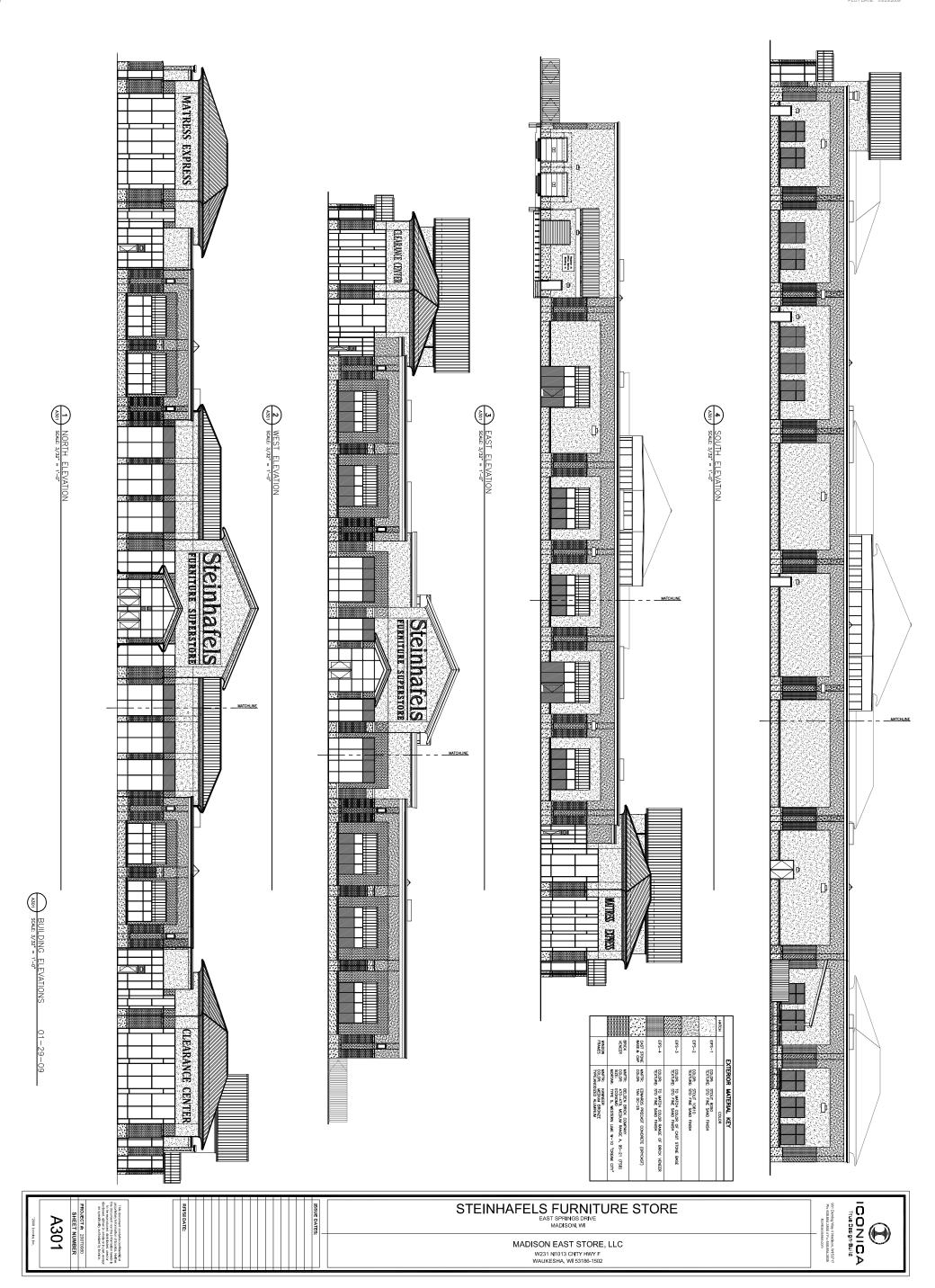


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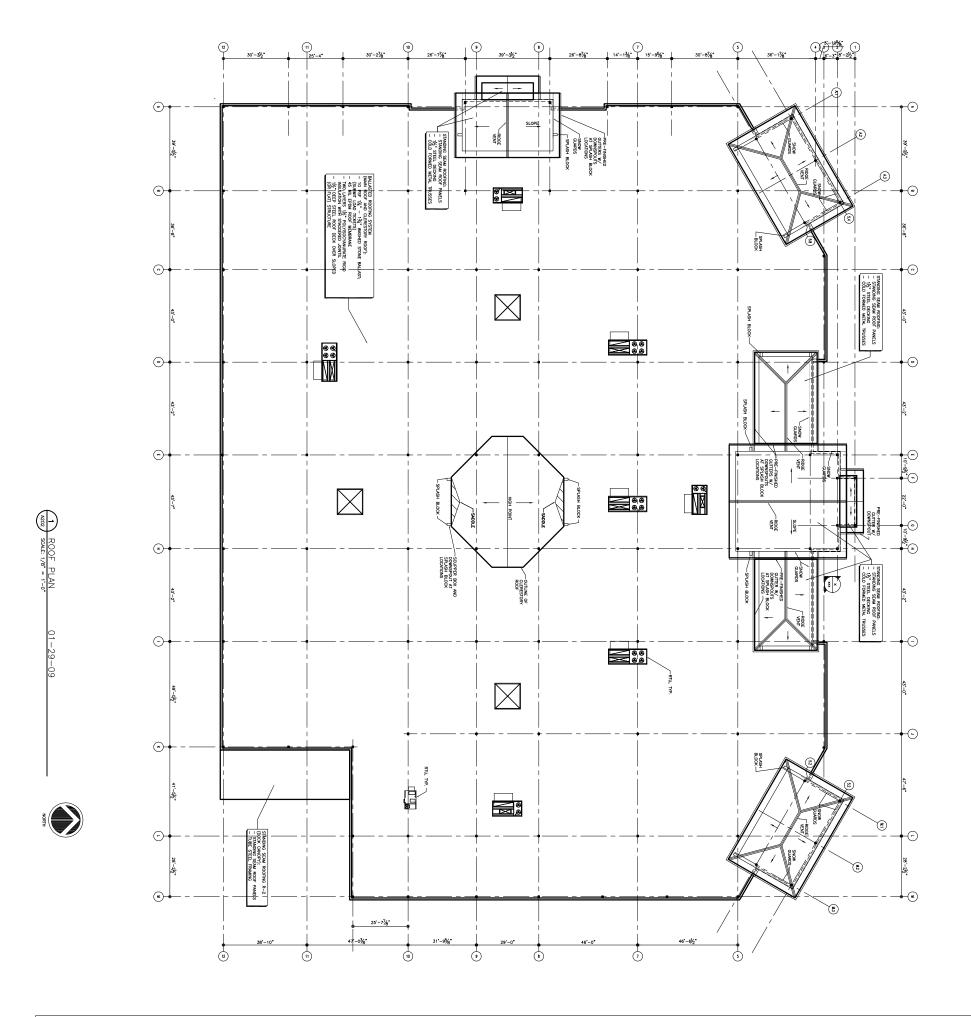


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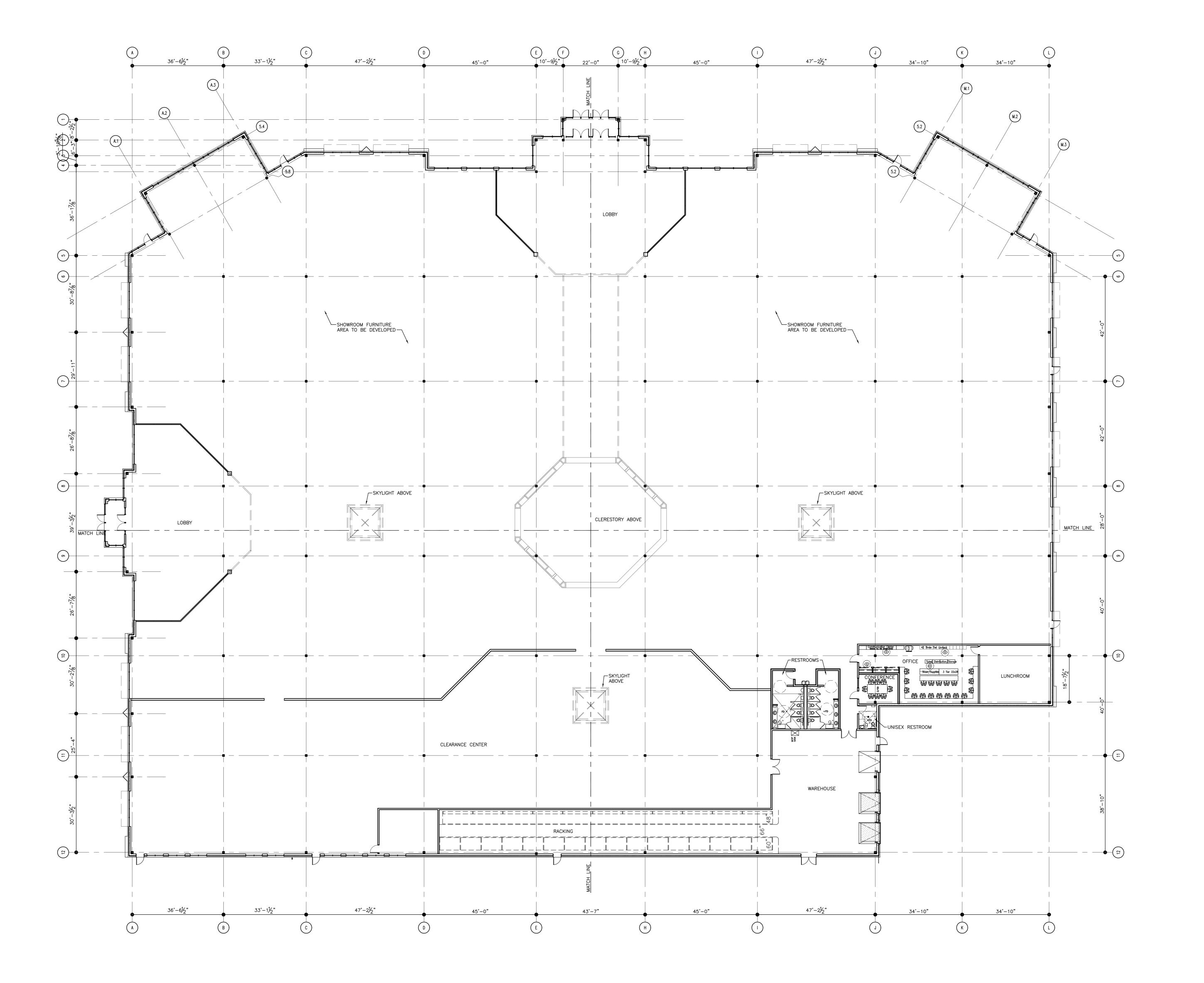


PLOT DATE: 03/25/2009



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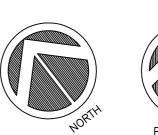
PLOT DATE: 03/18/2



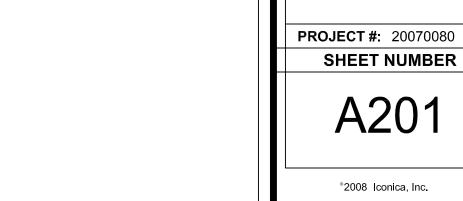
FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

01-29-09







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True Design-Build

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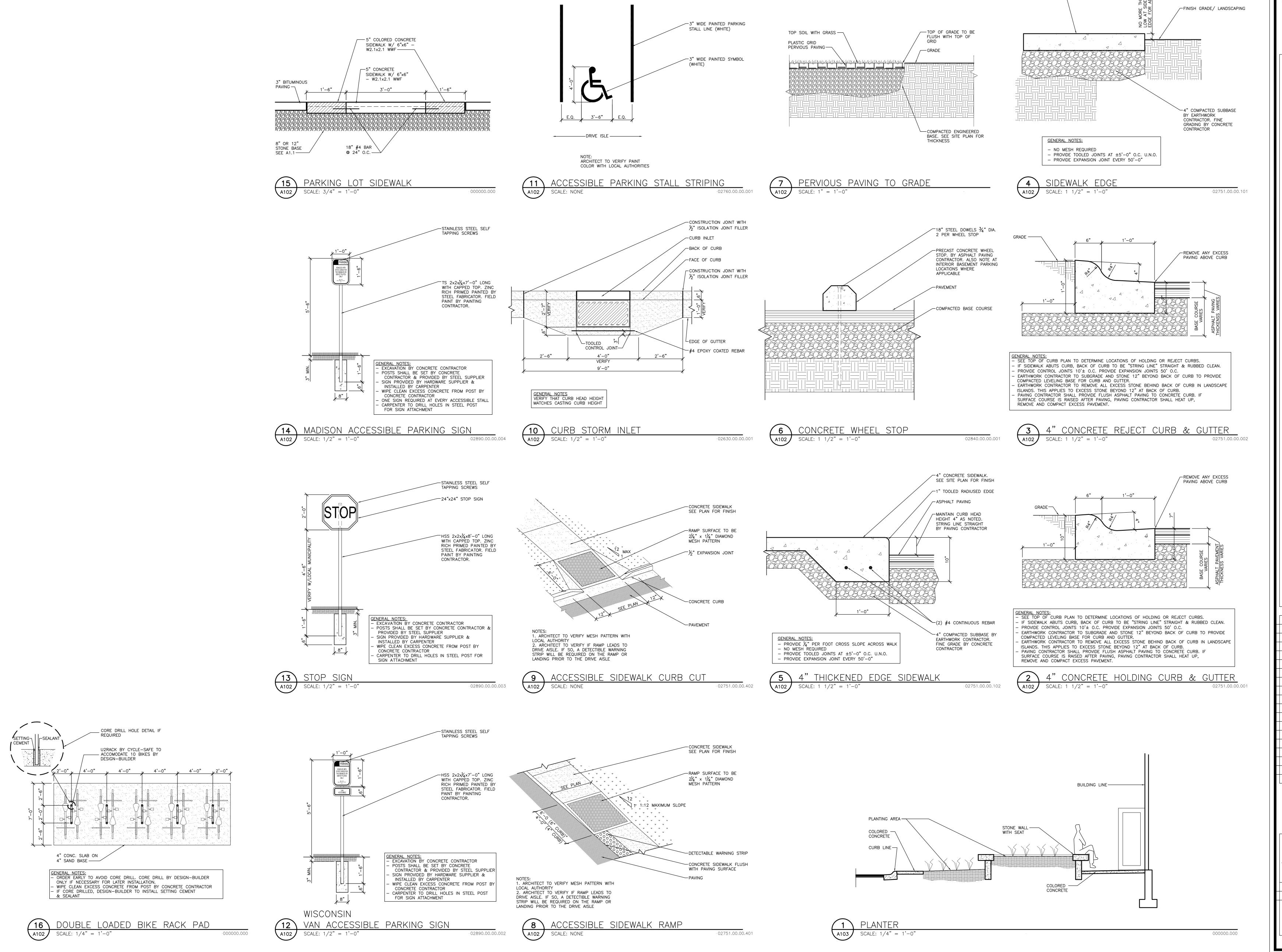
STEINHAFELS FURNITURE STORE

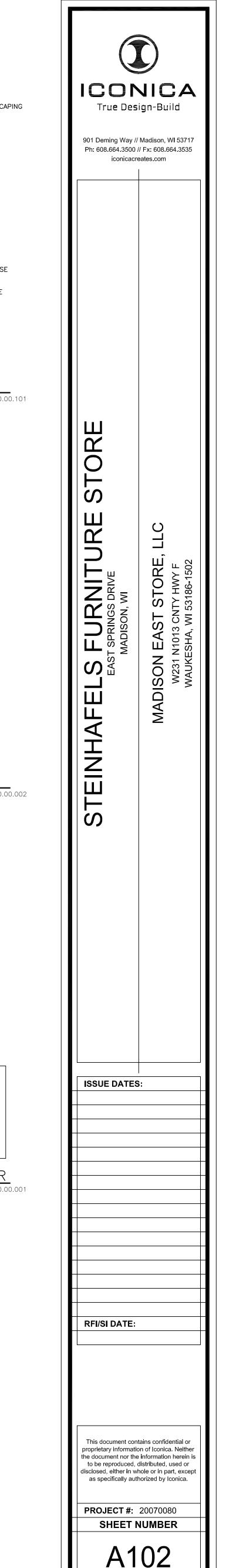
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4" CONCRETE SIDEWALK. SEE SITE PLAN FOR FINISH—

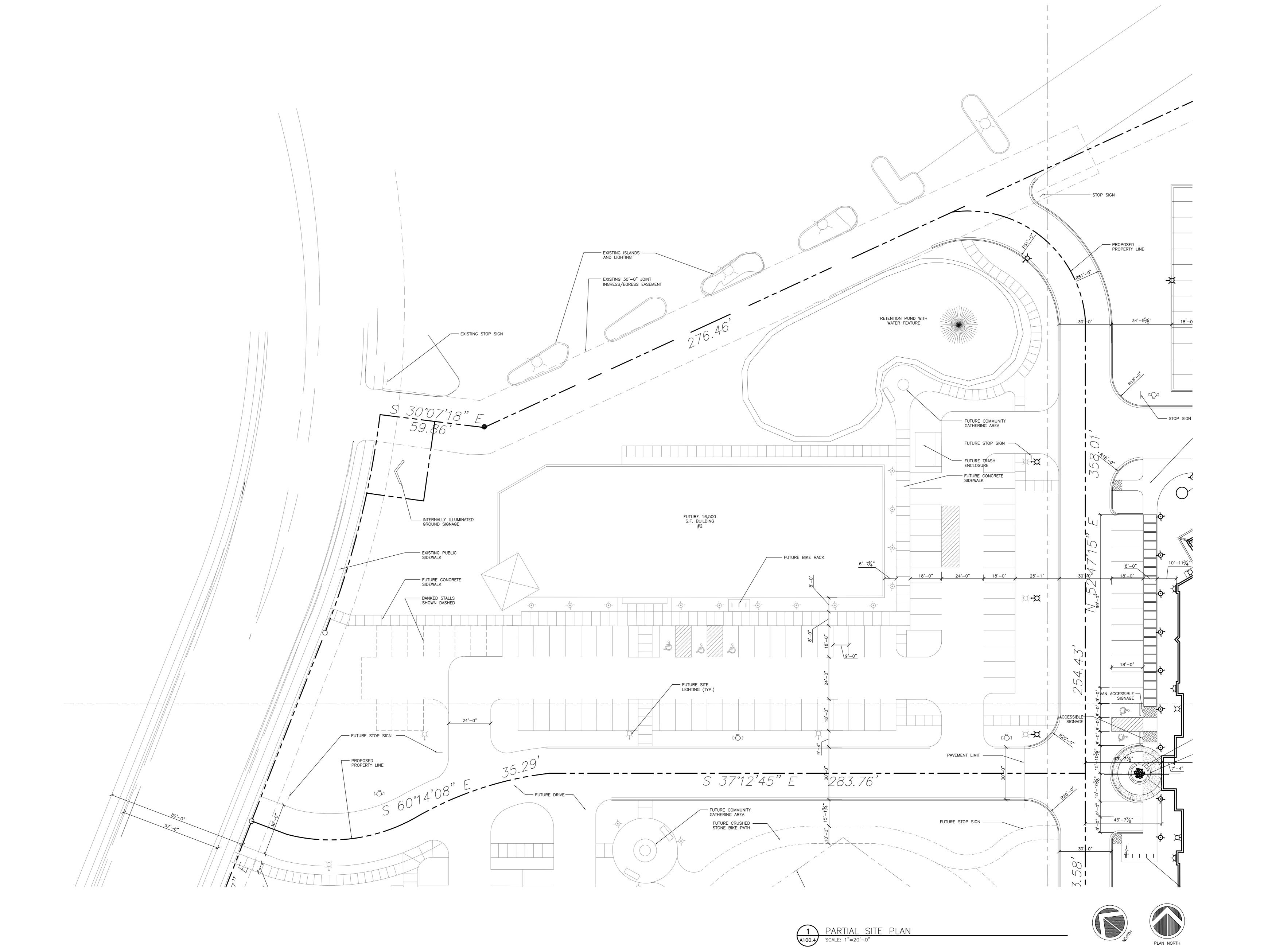




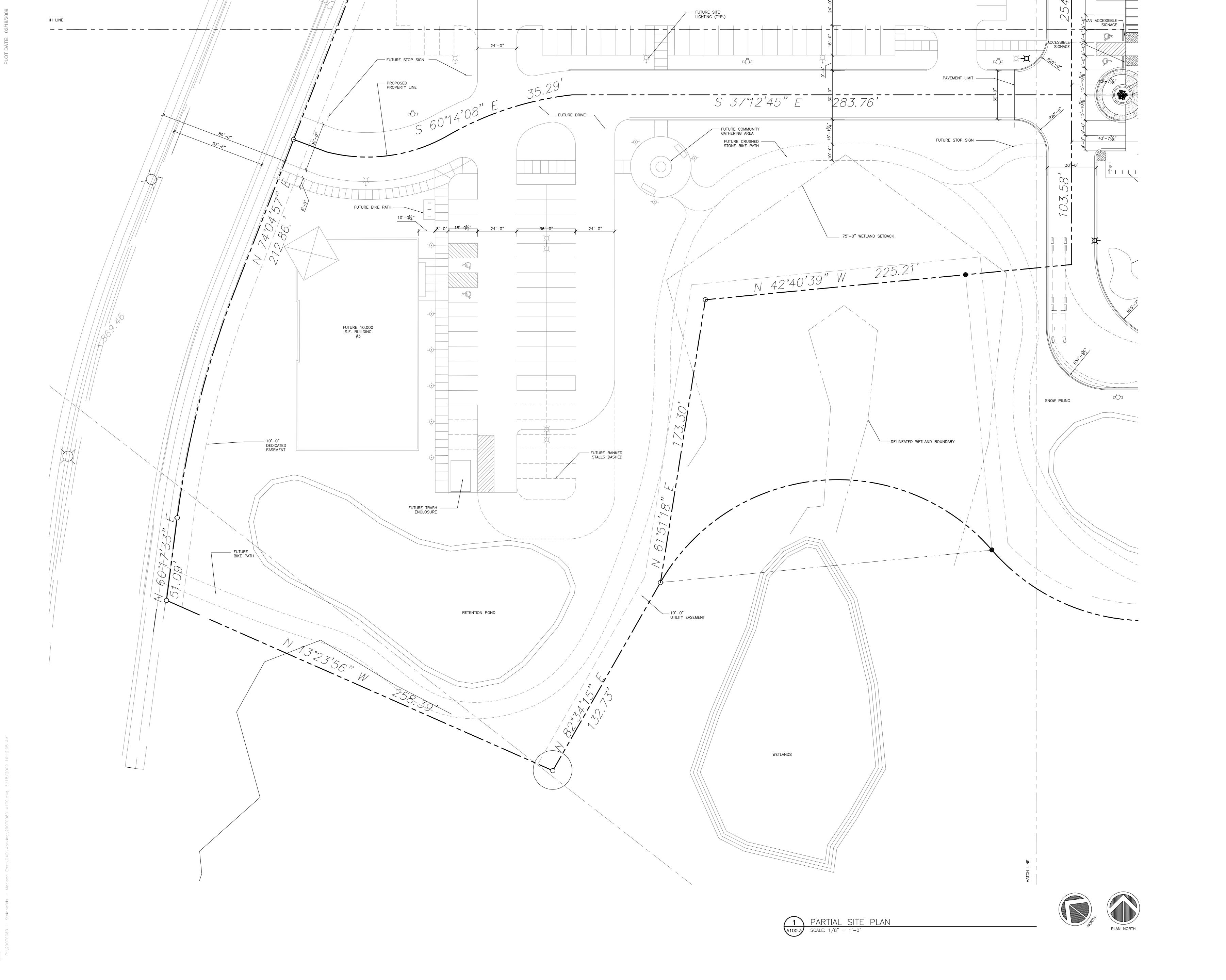
1" = 50'-0"

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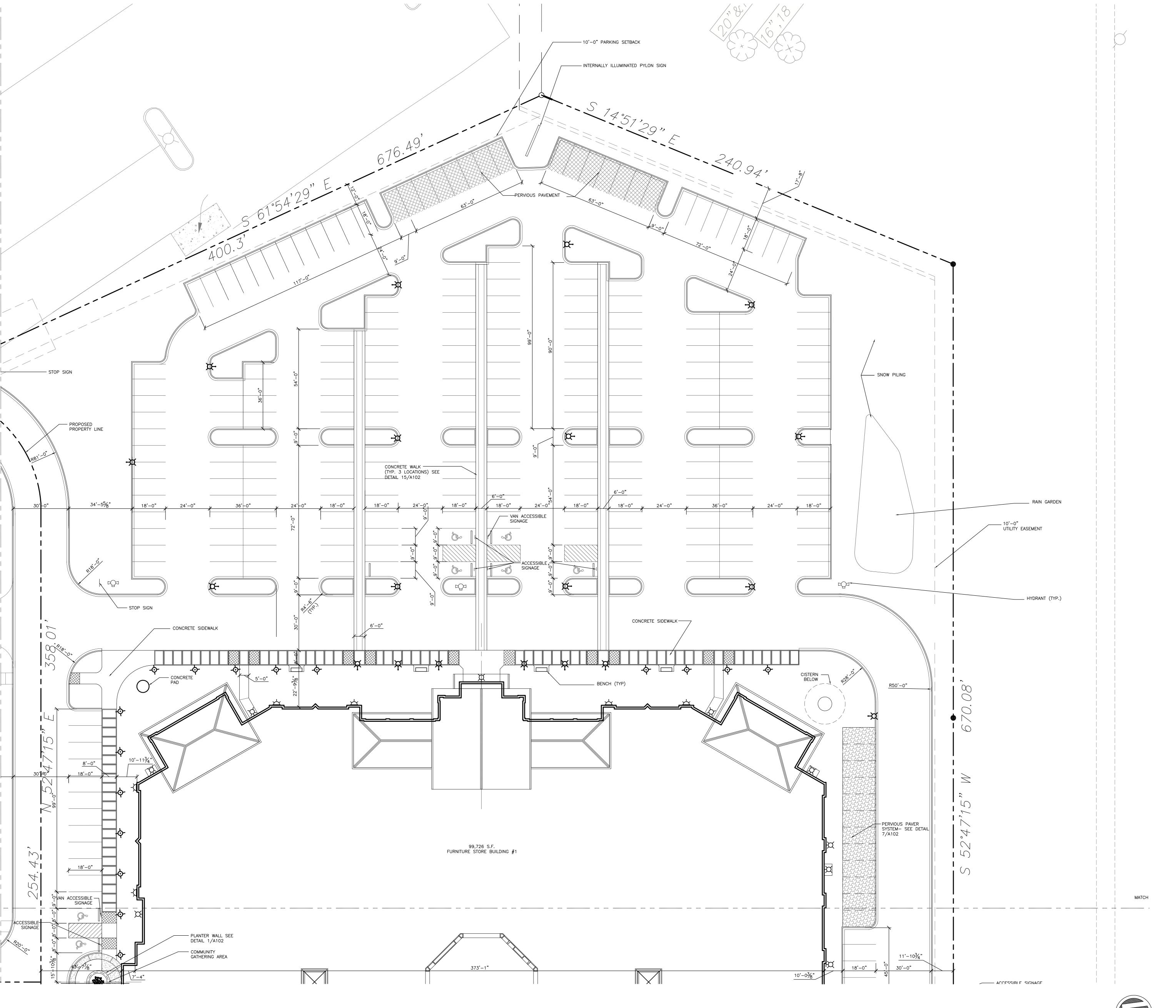
PLOT DATE: 03/18/2009

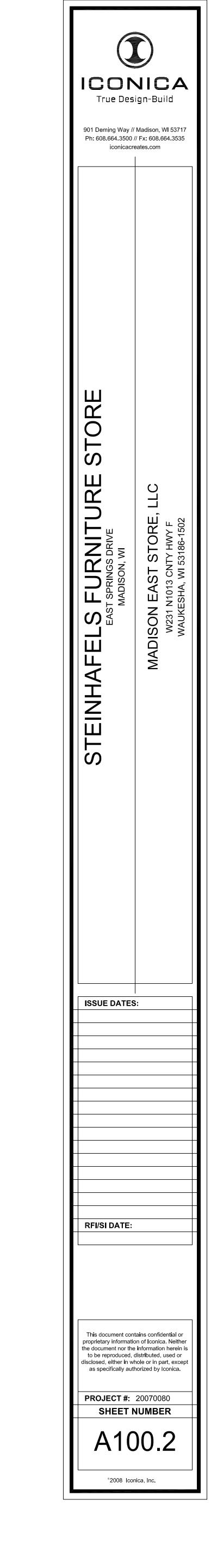


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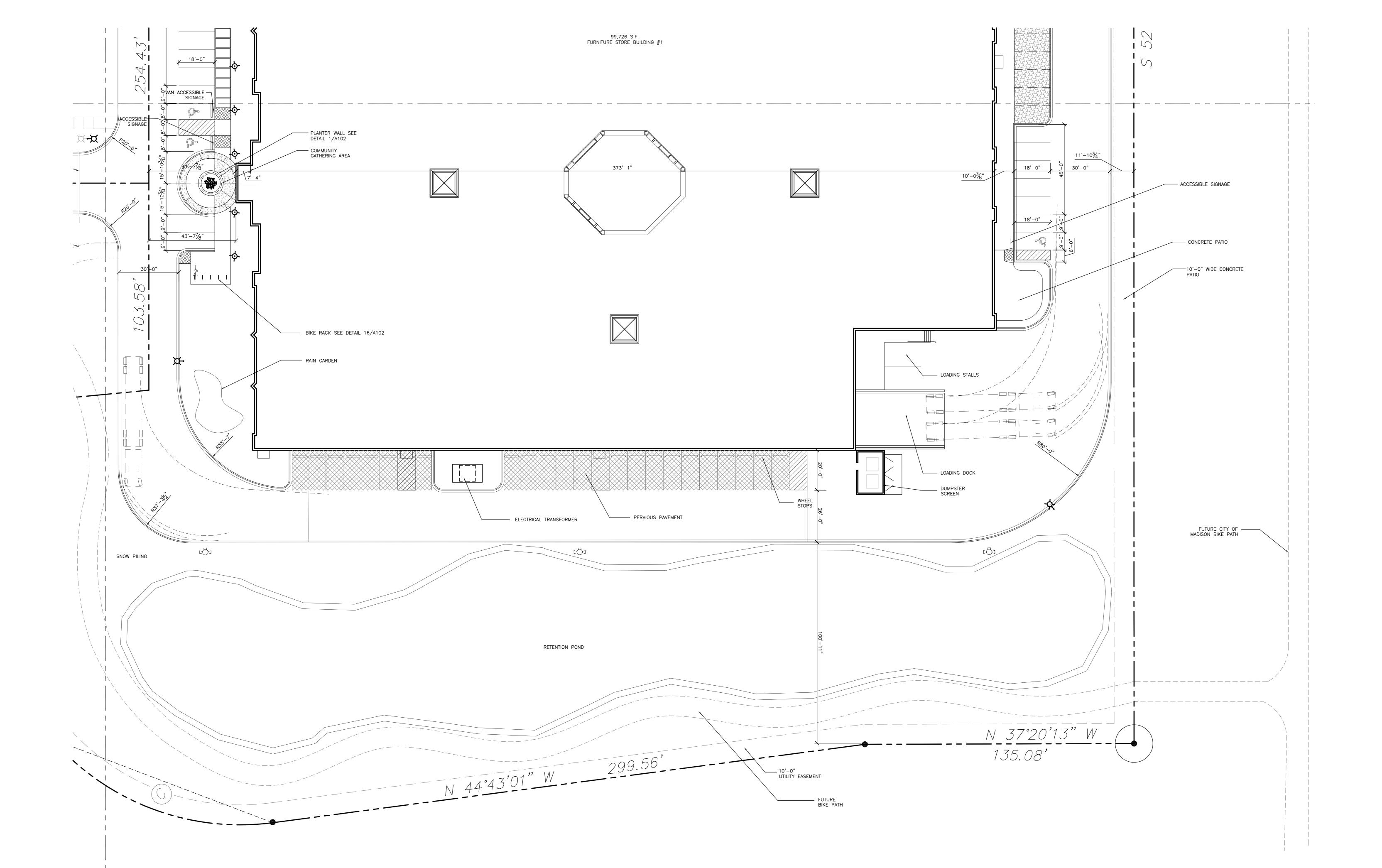
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STEINHAFELS FURNITURE STORE EAST SPRINGS DRIVE MADISON, WI	MADISON EAST STORE, LLC W231 N1013 CNTY HWY F WAUKESHA, WI 53186-1502
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PARTIAL SITE PLAN
SCALE: 1"=20'-0"

PLAN NORTH



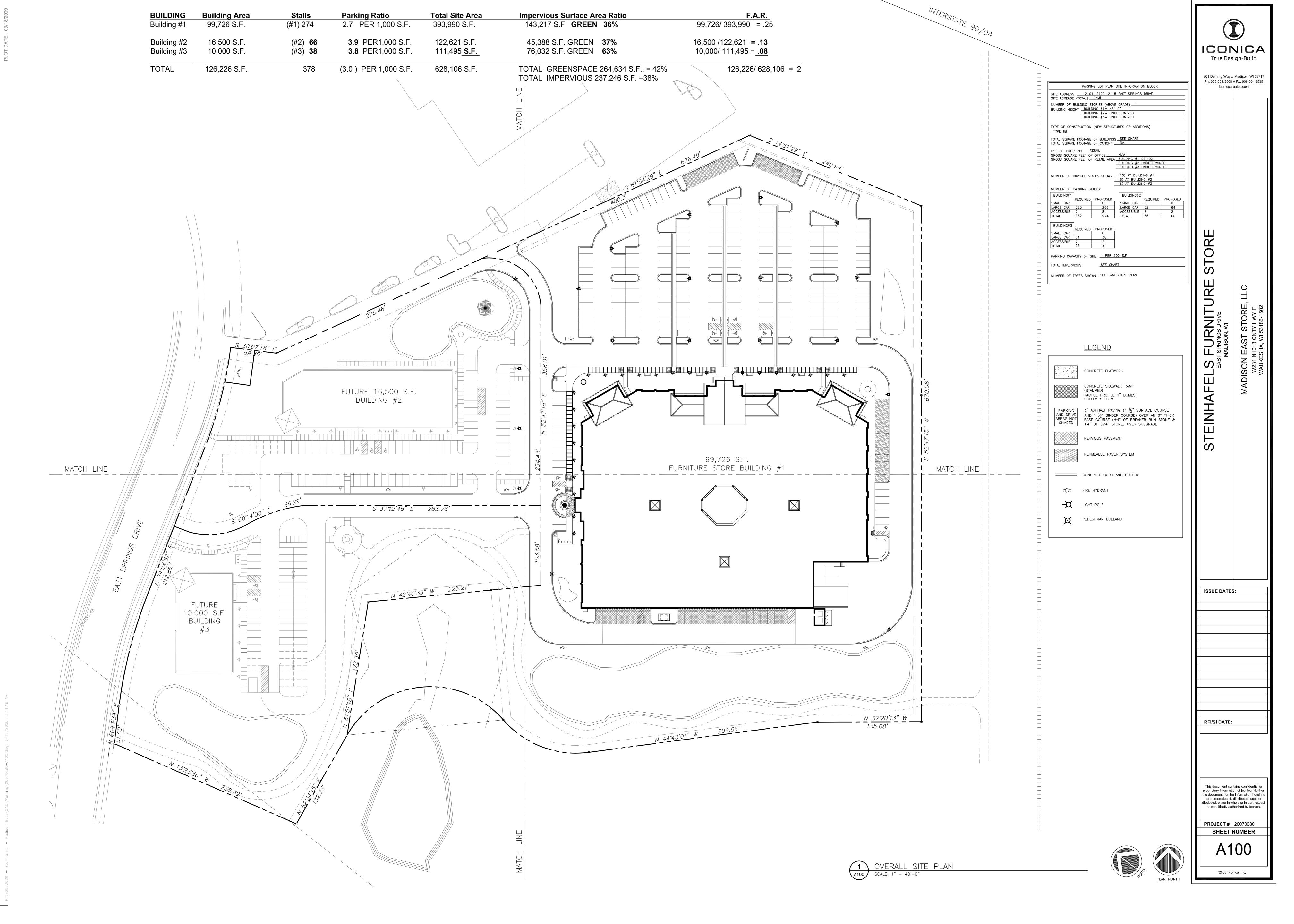
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PARTIAL SITE PLAN

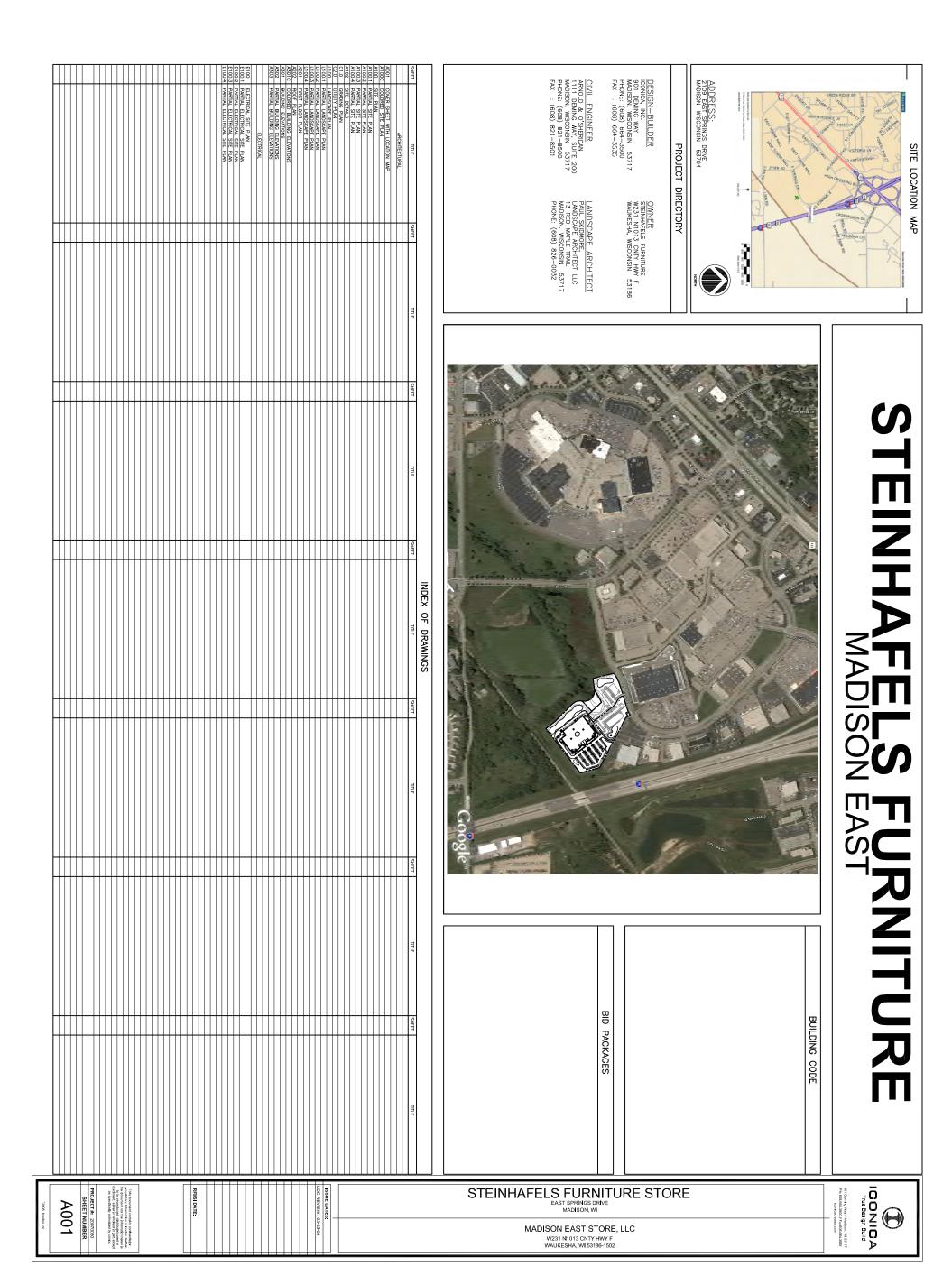
SCALE: 1" = 20'-0"



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PLOT DATE: 03/25/2009





March 18, 2009

Plan Commission
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd.
Madison, WI 53703

Re: Letter of Intent

Request for Plan Commission Zoning Review - Plan Commission Meeting on May 4, 2009 Steinhafels Project Located at 2101, 2109 and 2115 East Springs Drive

Via:

Hand Delivery

Dear Plan Commission Members:

We are respectfully requesting attendance to the Plan Commission Meeting on May 4, 2009. Please accept our application and request for the Plan Commission Zoning Review.

The existing site for the proposed development is environmentally and ecologically sensitive to development due to the proximity of the Starkweather Creek located directly adjacent to the bounds of the property. Advocacy groups and local agencies have taken a vested interest in the development of this property. They include the local alderperson (Joe Clausius), Friends of Starkweather Creek, the local neighborhood association, and Madison's Urban Design Committee. We have had numerous meetings with these groups over the past two years (see attached summary) and we have made numerous changes to our plans to implement their suggestions.

The proposed project is situated on a 14.5-acre parcel located on Madison's East side between Interstate 90/94 and East Springs Drive. The development includes plans for a 99,000 square foot furniture store on a 9.1 acre site and (2) outlots for small retail development. The (2) proposed outlot sites are divided into a 2.6 acre site for building #2 which is 16,500 s.f. and a 2.8 acre site for building #3 which is 10,000 s.f. The intent for the outlot buildings is to attract tenants that would compliment Steinhafels. We are targeting retail specialty such as flooring/kitchen cabinet, pool/spa/patio, lighting or home accents, recreation/game room or fireplace stores. Our home center development concept will minimize traffic and be pedestrian friendly.

The total parking for the overall development is 378 stalls or 3.0 stalls per 1,000 gross square feet of building. The parking ratios for the individual sites are as follows:

Building #1 (Steinhafels): 274 stalls or 2.7 per thousand gross square feet of building.

The occupant load for Steinhafels will be 3256 people.

Building #2: 66 stalls or 3.9 per thousand gross square feet of building. Building #3: 38 stalls or 3.8 per thousand gross square feet of building.

A trash enclosure for each building has been indicated on the site plan and trash will be removed on a weekly basis by a local trash company. Snow will be plowed into designated areas on the site that will divert the melting snow to retention areas. Large snow removal

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equipment will not be stored on site. The hours of operation for all buildings would be approximately 8:00 A.M. to 9:00 P.M. 7 days a week. The number of employees for the Steinhafels store will be approximately 75 in the store and 10 in the warehouse. The employee counts for the outlot buildings are undetermined at this time.

A master plan has been established for the entire development and with conditional approval, Steinhafels plans to begin construction in 2010. The development of the outlots will take place as tenants are acquired or if a developer or owner purchases the vacant land. We are hopeful the outlots will be developed at the same time as the Steinhafels' store, however, the outlot buildings are indicated as future at this time. During construction of the Steinhafels store, the outlot sites will be rough graded and the retention ponds will be constructed at a minimum. Iconica (formally Planning Design Build Inc. of Madison) has been hired as the design builder for this project. The landscape architect is Paul Skidmore and the land surveyor / civil engineer is Arnold and O'Sheridan Inc.

Steinhafels is committed to making this a quality development. We have found that consulting with local groups and government advisory teams has resulted in a development that we are not only proud of, but enhances the community we will become part. We are committed to protecting the Starkweather Creek and implementing sustainable practices. Steinhafels will bring good paying jobs to the community and supports its workforce with excellent benefits. We welcome your thoughts and suggestions regarding our plan and hope to meet with your approval.

Sincerely,

Ellen Steinhafel-Lappe, Member

Ellon Sterhall-Lappe

Madison East Store, LCC

Larry Stone Iconica

LS/ko

cc: Project File