



Location
 240 West Gilman Street

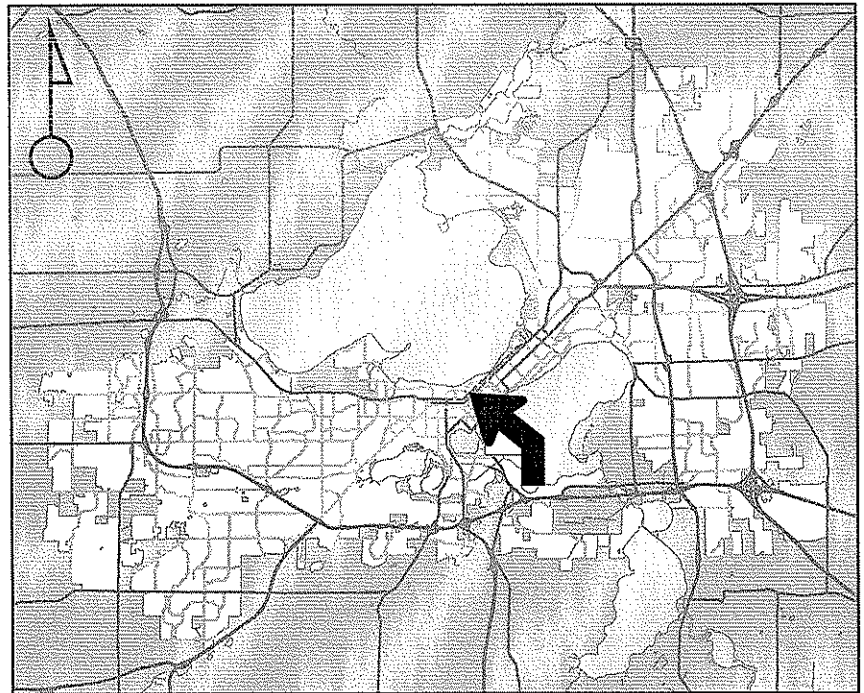
Project Name
 Samba Brazilian Grill Patio

Applicant
 Jong Yeon Lee/
 Joe Tachovsky - Samba, LLC

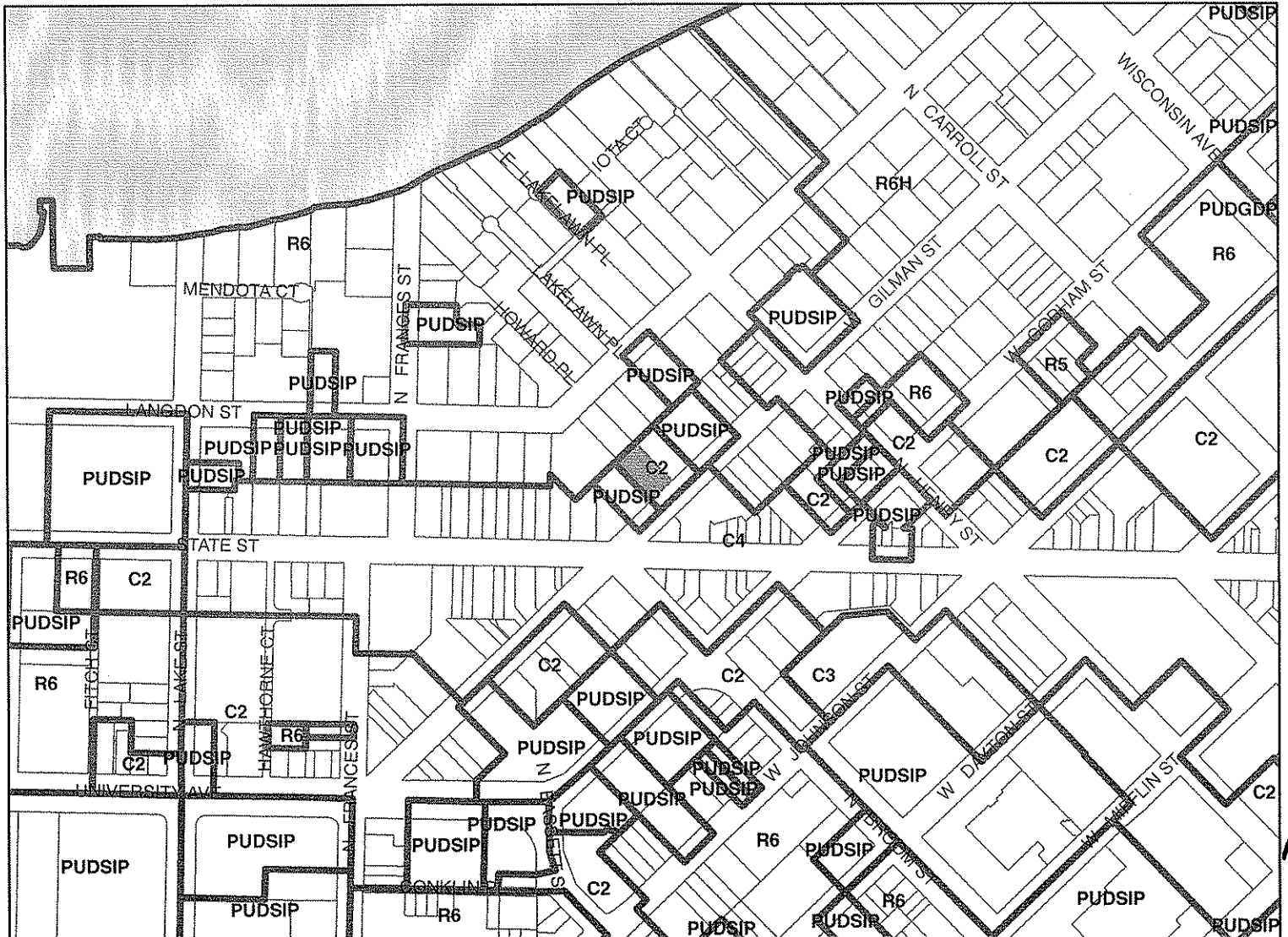
Existing Use
 Restaurant

Proposed Use
 Alteration to Conditional Use to Allow
 Alcohol Sales in an Approved
 Outdoor Eating Area

Public Hearing Date
 Plan Commission
 19 May 2008



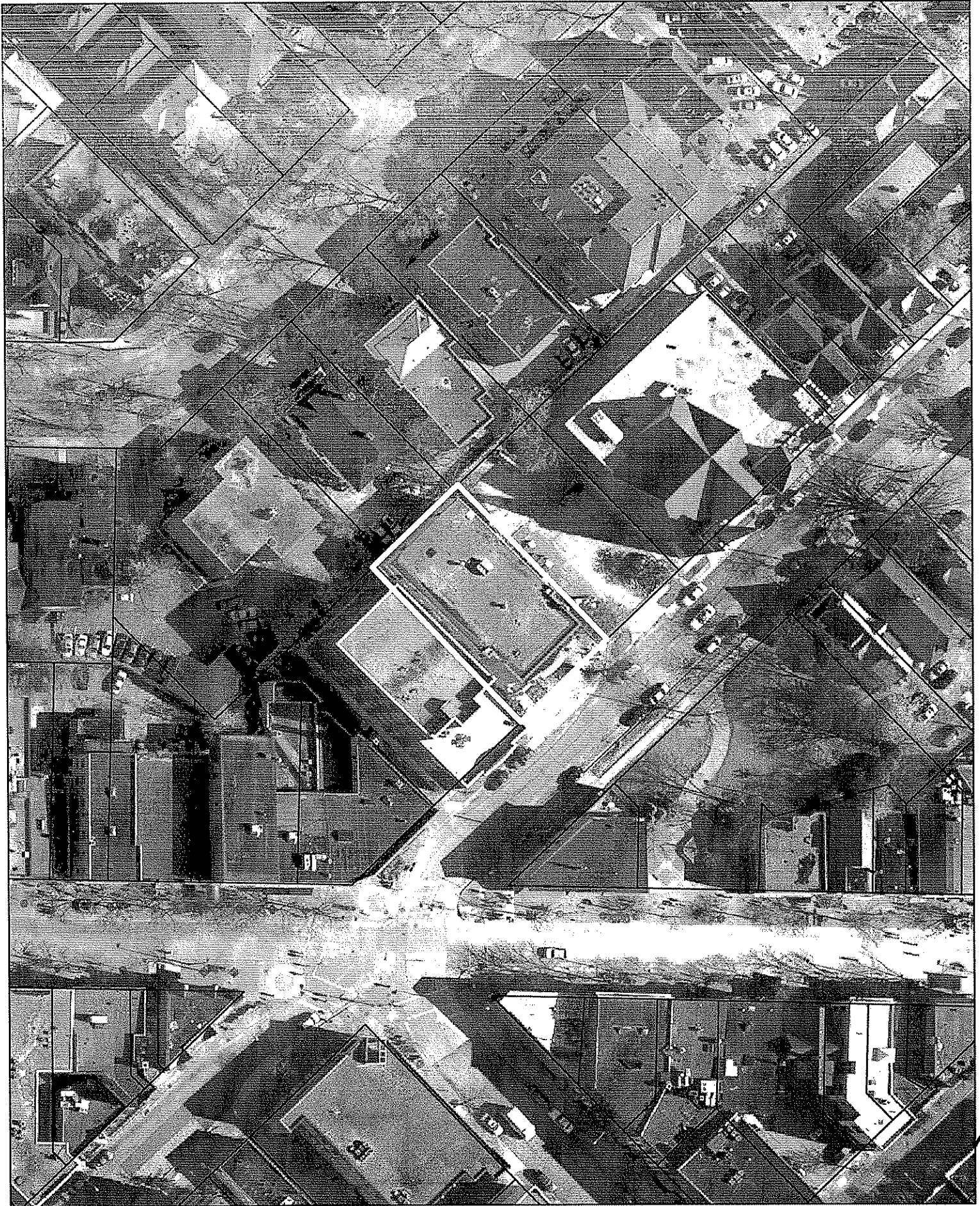
For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 07 May 2008

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LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>550</u> — Receipt No. <u>89300-</u>
Date Received	<u>3-5-08</u>
Received By	<u>MATT TUCKER</u>
Parcel No.	<u>0709-144-2026-4</u>
Aldermanic District	<u>8- BLI Judge</u>
GQ	<u>Landmark, Conditional Use</u>
Zoning District	<u>C2</u>
For Complete Submittal	
Application	<input checked="" type="checkbox"/> Letter of Intent <input checked="" type="checkbox"/>
IDUP	<input type="checkbox"/> Legal Descript. <input type="checkbox"/>
Plan Sets	<input checked="" type="checkbox"/> Zoning Text <input type="checkbox"/>
Alder Notification	<input type="checkbox"/> Waiver <input type="checkbox"/>
Ngbrhd. Assn Not.	<input type="checkbox"/> Waiver <input type="checkbox"/>
Date Sign Issued	<input type="checkbox"/>

1. Project Address: 240 W. GILMAN ST Project Area in Acres: .4

Project Title (if any): SAMBA BRAZILIAN GRILL

2. This is an application for: (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/ PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/ PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: JONBYEAN LEE Company: SAMBA LLC
Street Address: 402 W. GORHAM ST City/State: MADISON, WI Zip: 53703
Telephone: (608) 257-0400 Fax: (608) 257-0460 Email: JONBYEAN@YAHOO.COM

Project Contact Person: JOE TACHOVSKY Company: SAMBA LLC
Street Address: 240 W. GILMAN ST City/State: MADISON WI Zip: 53703
Telephone: () 257-3300 Fax: () Email: JTACHOV@AOL.COM

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: REQUEST TO ALLOW ALCOHOL TO BE SERVED AT THE OUTDOOR SEATING AREA. OUTDOOR DINING AREA APPROVED FOR FOOD SERVICE PREVIOUSLY.

Development Schedule: Commencement _____ Completion _____

5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail.
- Filing Fee:** \$ 550 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany all Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of the: _____ Plan, which recommends:

COMMERCIAL C-2 for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner _____ Date _____ | Zoning Staff _____ Date _____

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name Jong yeon Lee Date 3-5-08

Signature [Handwritten Signature] Relation to Property Owner _____

Authorizing Signature of Property Owner _____ Date _____

Letter of Intent

Date: March 5, 2008

Project: Samba Brazilian Grill (Main Floor & Mezzanine)
Cabana Room at Samba (Ground Floor)
Location: 240 W. Gilman Street, Madison, WI
Parcel Size: .4 Acres
Building Footprint 6,762 sf
Building Gross Squarefoot: 14,955 sf
Outdoor Dining Area: 705 sf - Table and Chair Seating = 40

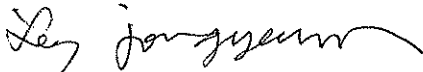
Owner: Samba LLC – Jongyeon Lee
Architect: Destree Design Architects, Inc.
Land Surveyor: Burse Surveying and Engineering, Inc.
Contractor: Wyldewood Construction, Inc.
Landscaping: Watts Landscaping
General Manager: Joe Tachovsky

This submittal is a request to allow alcohol to be served at the outdoor dining area for the Cabana Room at Samba and Samba Brazilian Grill as approved by the ALRC. The outdoor dining area currently is only permitted to serve food.

- Outdoor Dining Hours of Operation: Open 9am – 11pm
- No Amplified Music at Outdoor Dining Area
- Additional lighting will be landscape step lights
- Outdoor dining area is screened by landscaping and historically appropriate fencing.

We look forward to your feed-back and input.

Sincerely,



Jongyeon Lee
Samba LLC

SAMBA BRAZILIAN GRILL

OUTDOOR SEATING AREA

MARCH 5, 2008

240 WEST GILMAN STREET

MADISON, WI 53703

CODE SUMMARY:

DESCRIPTION - NEW OUTDOOR SEATING AREA BETWEEN THE EXISTING BUILDING AND THE PARKING LOT.

OCCUPANCY - A-2
 SEATING CAPACITY - 700

SQUARE FOOTAGES
 BUILDING FOOTPRINT - 6783 SF
 BUILDING GROSS SQUAREFOOT - 14,944 SF
 OUTDOOR SEATING AREA - 457 SF

SITE INFO:
 PARCEL SIZE - 4 ACRES
 BUILDING FOOTPRINT - 6783 SF
 BUILDING GROSS SQUAREFOOT - 14,944 SF
 OUTDOOR DINING AREA - 795 SF

OCCUPANCY LOAD:
 WITH THE ADDITION OF THE OUTDOOR SEATING AREA, BOTH THE OCCUPANCY LOAD FOR THE BUILDING AND THE APPROVED LICENCED CAPACITY WOULD INCREASE BY 42 PEOPLE PER HOUR. THE NUMBER OF PATRONS DOWN ON THE MAIN FLOOR AND IN THE OUTDOOR SEATING AREA WOULD INCREASE TO 817 PEOPLE. THE APPROVED LICENCED CAPACITY WOULD INCREASE FROM 539 PEOPLE TO 817 PEOPLE.

SANITARY FIXTURES:
 WITH THE CHANGE TO THE OCCUPANCY LOAD FOR THE BUILDING, THE NUMBER OF FIXTURES REQUIRED WILL NOT INCREASE TO EXCEED THE NUMBER OF SANITARY FIXTURES PROVIDED.

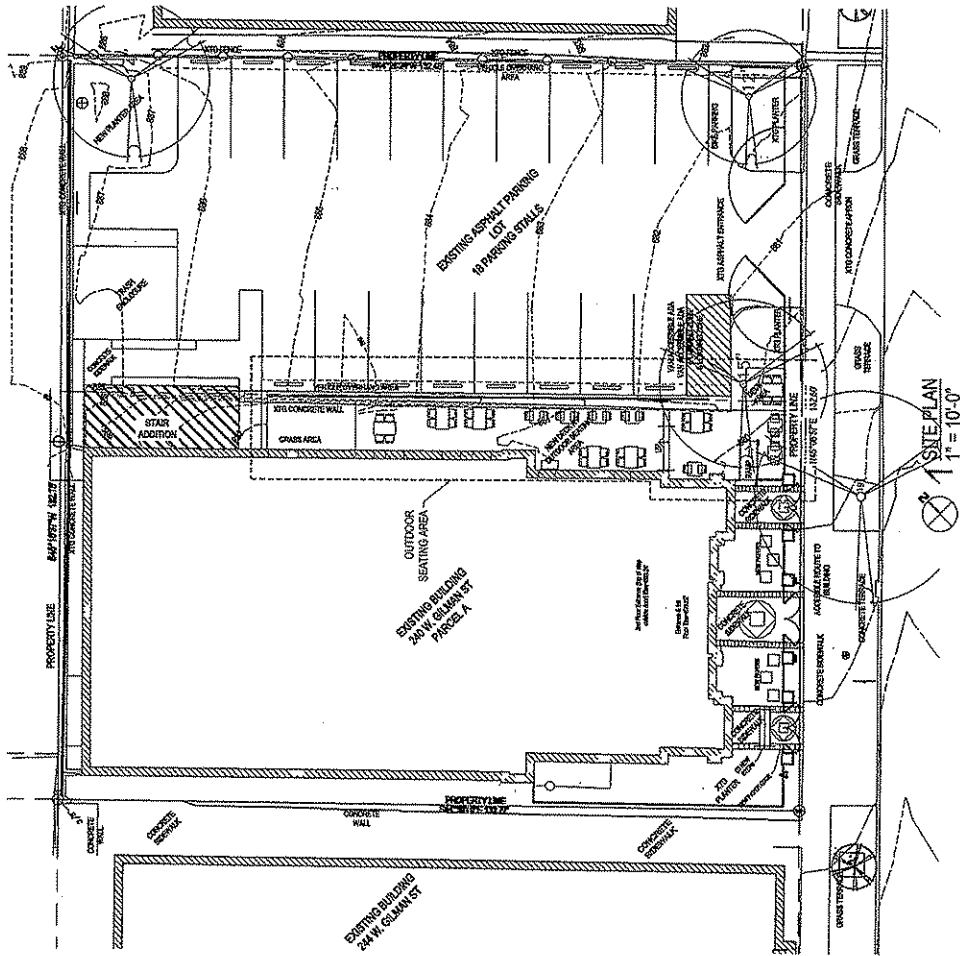
GENERAL NOTES:
 1. FIELD VERIFY ALL DIMENSIONS. CONSULT ARCHITECT FOR INCONSISTENCIES.
 2. CONTRACTOR TO COMPLY WITH ALL APPLICABLE BUILDING, ELECTRICAL, LIFE SAFETY, AND ADA ACCESSIBILITY CODES.
 3. LANDSCAPING TO BE PROVIDED BY WAYTS LANDSCAPING.

ARCHITECT:
 DESTREE DESIGN ARCHITECTS
 222 WEST WASHINGTON AVE, SUITE 310
 MADISON, WI 53703
 TEL: 608.262.1438
 FAX: 608.262.1438
 WWW.DESTREEDSIGNARCHITECTS.COM

OWNER:
 SAMBA, LLC
 MAILING ADDRESS
 1401 GILMAN ST.
 MADISON, WI 53703
 608.257.9400

SHEET INDEX:
 TITLE
 100 SITE PLAN & GENERAL NOTES

ARCHITECTURAL
 A.1.1 FIRST FLOOR PLAN AND OUTDOOR SEATING AREA - EXTERIOR ELEVATIONS AND DETAILS



SAMBA
 BRAZILIAN GRILL
 240 WEST GILMAN STREET
 MADISON, WI 53703

ISSUANCES:	
DATE	REVISION
12/27/08	ISSUE FOR PERMIT
PROJECT:	
DATE	REVISION
03/05/08	ISSUE FOR PERMIT
03/05/08	ISSUE FOR PERMIT
03/05/08	ISSUE FOR PERMIT

10.0

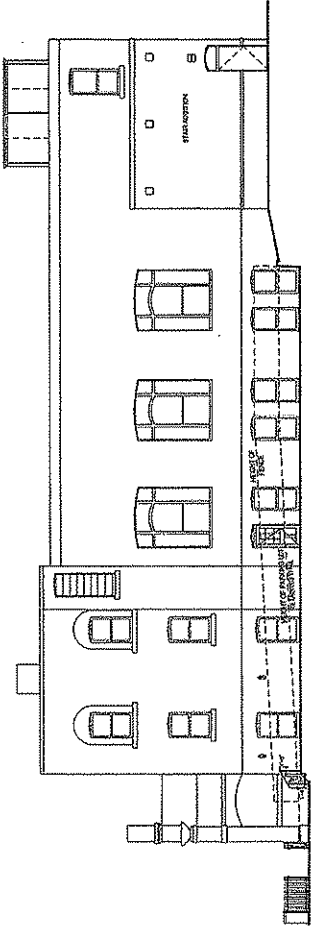


22 West Washington Ave.
Madison, WI 53703
PH: 608.255.1455
www.sambaarchitect.com

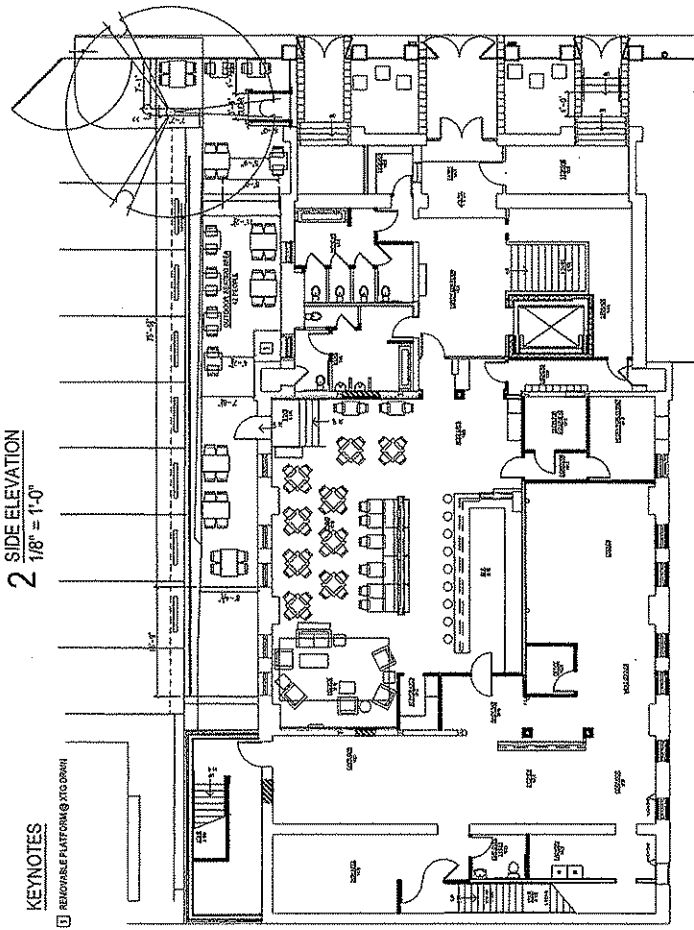
SAMBA
BRAZILIAN GRILL
240 WEST GILMAN STREET
MADISON, WI 53703

ISSUANCES:	DATE
ALICE	06.07.08
PAINT CORR.	06.07.08
PROJECT:	
SUBJECT:	05/07/08
DATE:	03.03.08
REV:	

SHEET:
A1.1



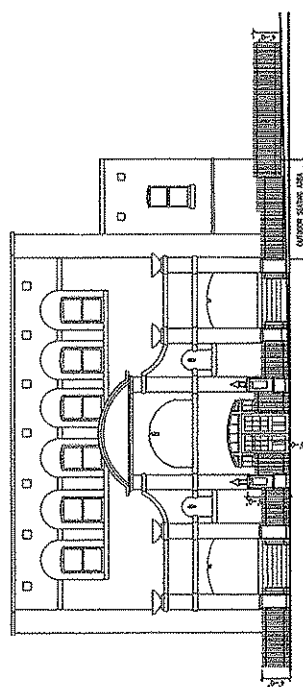
2 SIDE ELEVATION
1/8" = 1'-0"



1 FIRST FLOOR PLAN AND OUTDOOR EATING AREA
1/8" = 1'-0"

KEYNOTES

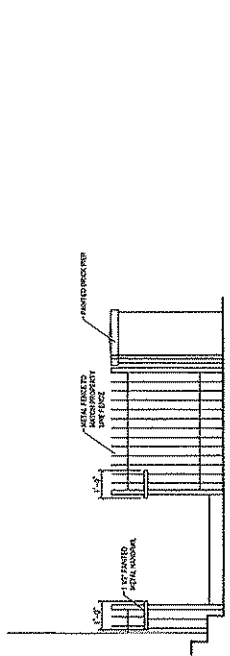
- REMOVABLE PLATFORM @ XTO DRAWN



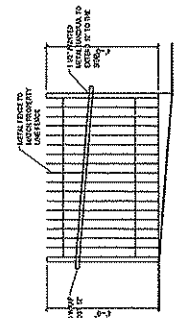
6 FRONT ELEVATION
1/8" = 1'-0"

GENERAL NOTES

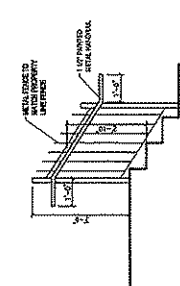
- NEW COMPOSITE DECKING TO BE BUILT OVER XTO CONCRETE.
- XTO RETAINING WALL TO BE REPAIRED AS NEEDED.
- ENTRANCE GATES TO BE KEPT OPEN DURING HOURS OF OPERATION.
- INVESTIGATE FOR FIRE DEPARTMENT TO BE PROVIDED AT GATE TO THE PARKING LOT AND ENTRANCE GATES.
- CAPACITY OF THE OUTDOOR EATING AREA TO BE POSTED OUTSIDE THE DINING AREA.



5 ELEVATION AT ADA RAMP
1/2" = 1'-0"



3 SECTION AT RAMP
1/2" = 1'-0"



4 ELEVATION AT HANDRAIL
1/2" = 1'-0"