

IMAGE NO. 4



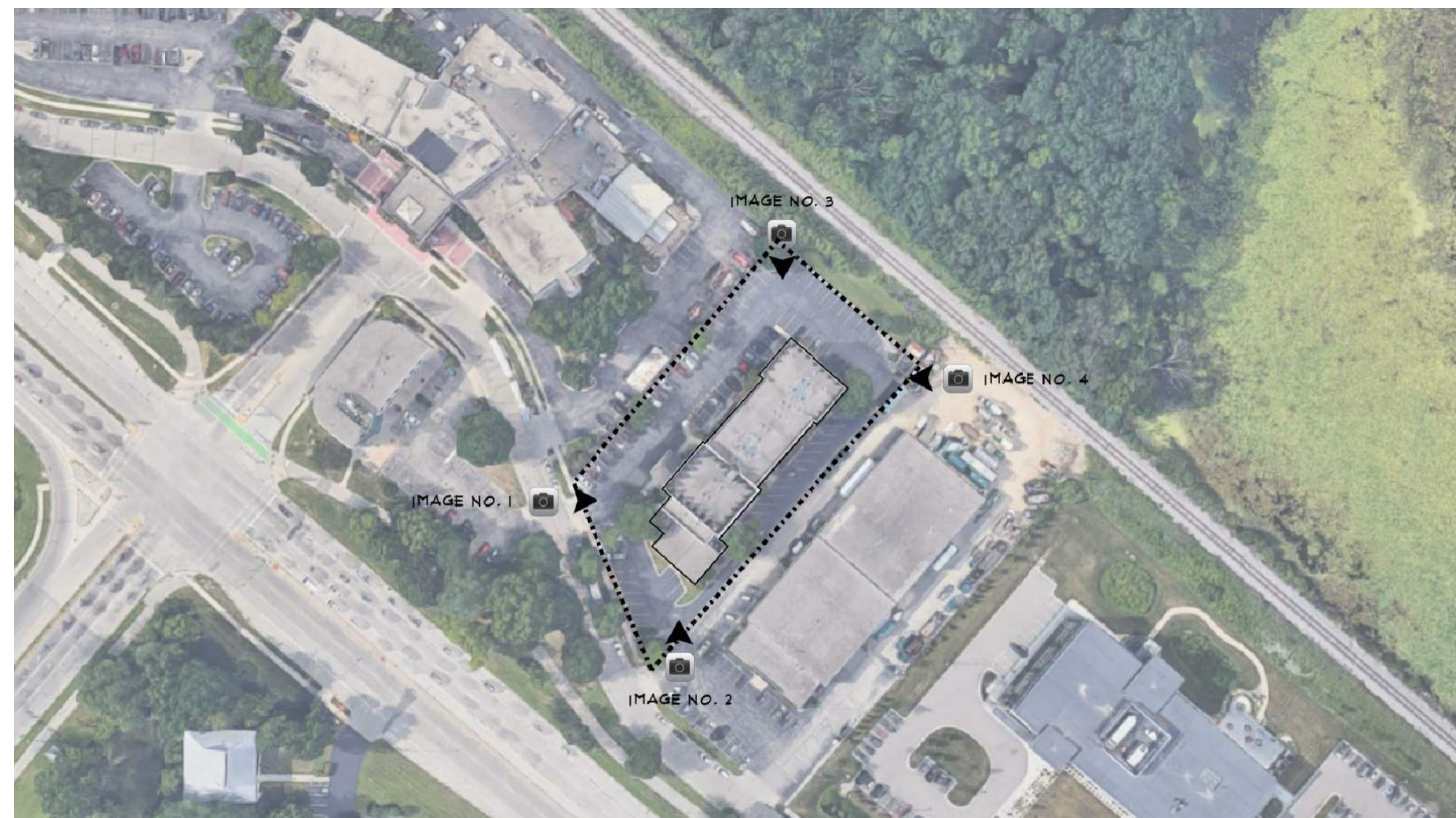
IMAGE NO. 3



IMAGE NO. 2



IMAGE NO. 1



SITE CONTEXT MAP

PROJECT: PROPOSED FAIRFIELD CONVERSION  
722 JOHN NOLEN DRIVE  
MADISON, WI 53713  
CLIENT: DEFOOR BROTHERS, LLC  
804 BROAD STREET, SUITE 200  
CHATTANOOGA, TN 37402

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PROJECT: 202223  
DRAWN BY: D&D  
DATE:  
SCALE: AS NOTED

10% PRICING SET 01/20/2023  
UDC / 30% SET 02/01/2023



IMAGE NO. 6



IMAGE NO. 5

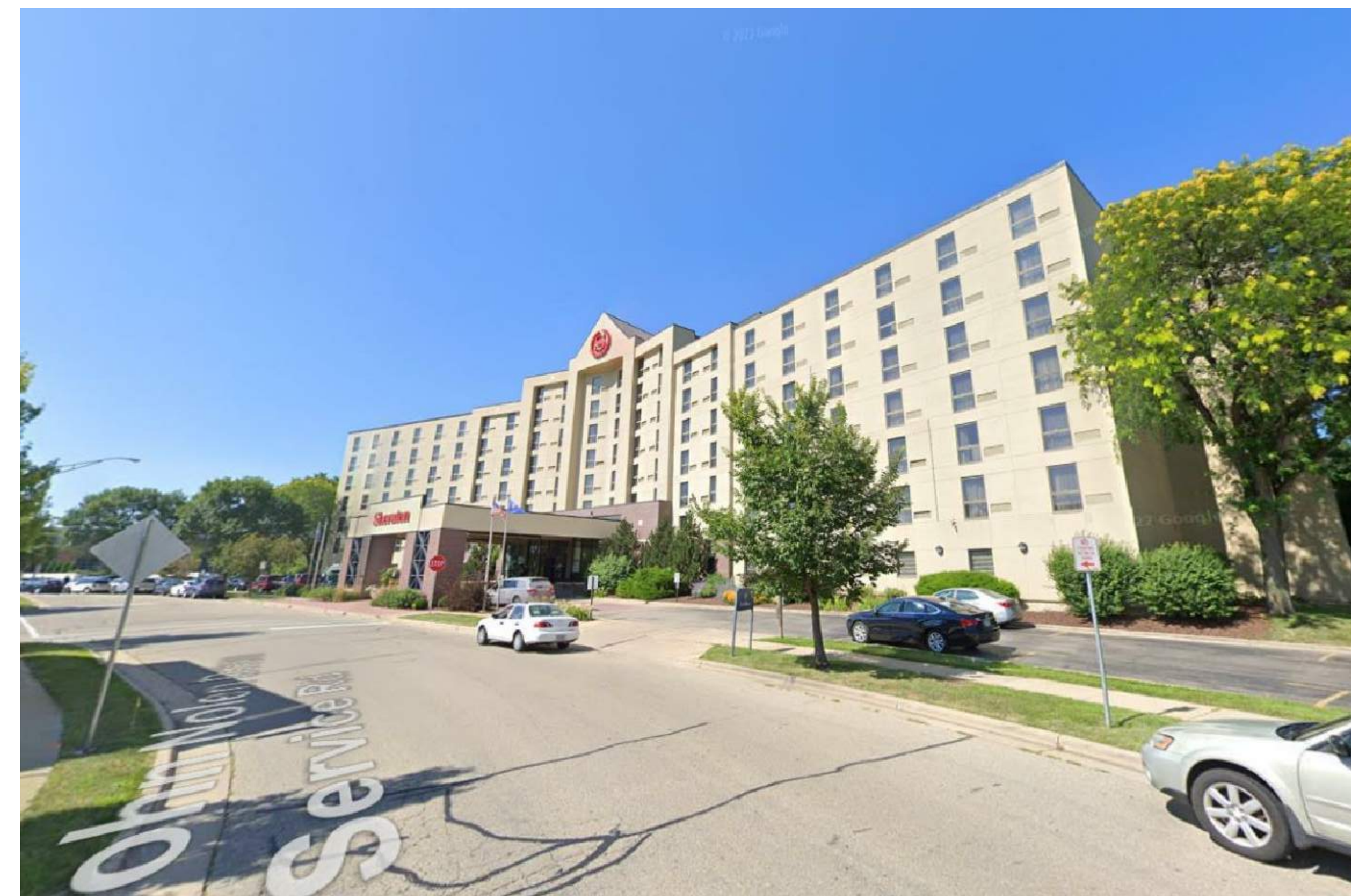


IMAGE NO. 4



IMAGE NO. 3



IMAGE NO. 2

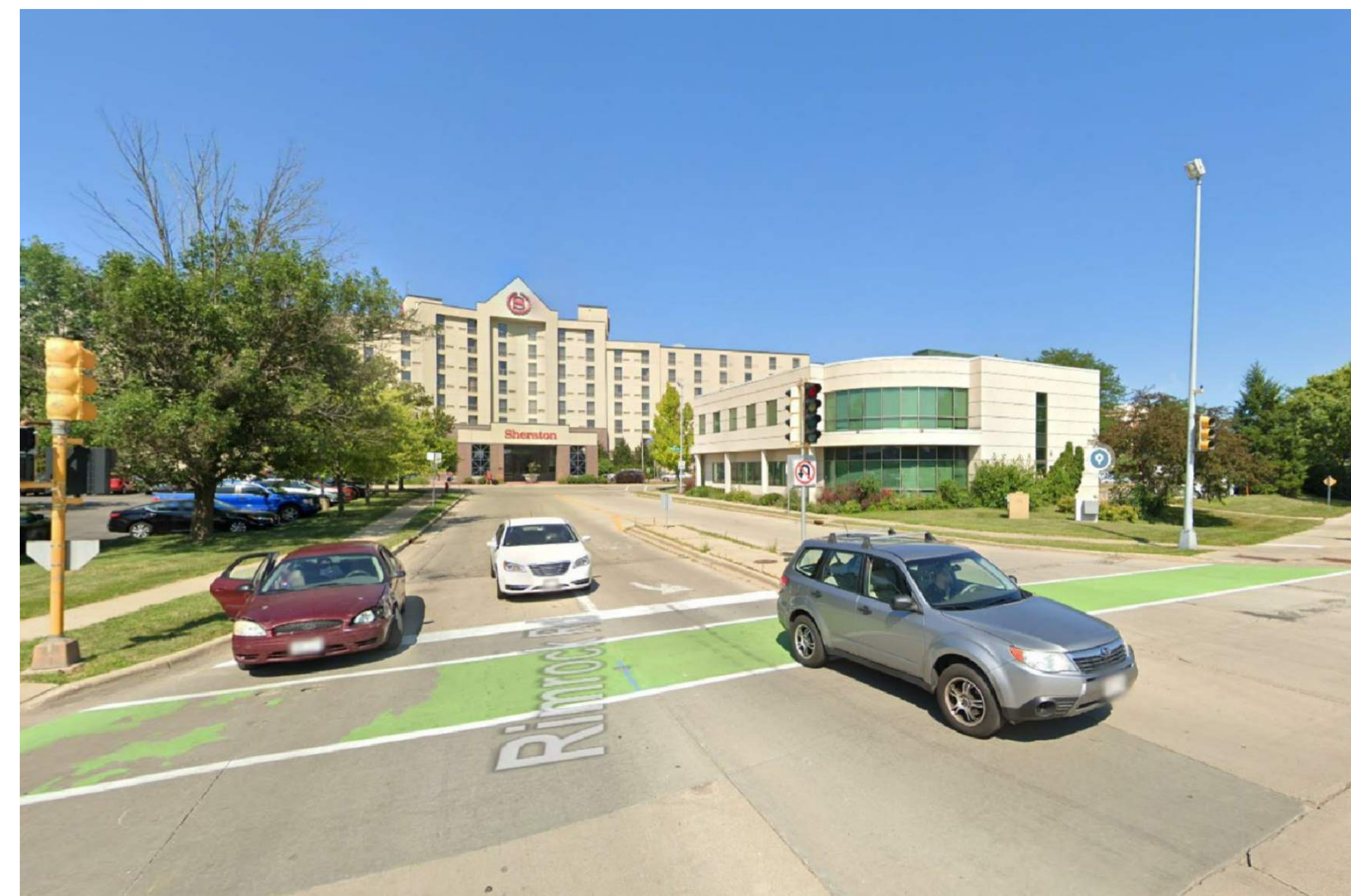


IMAGE NO. 1



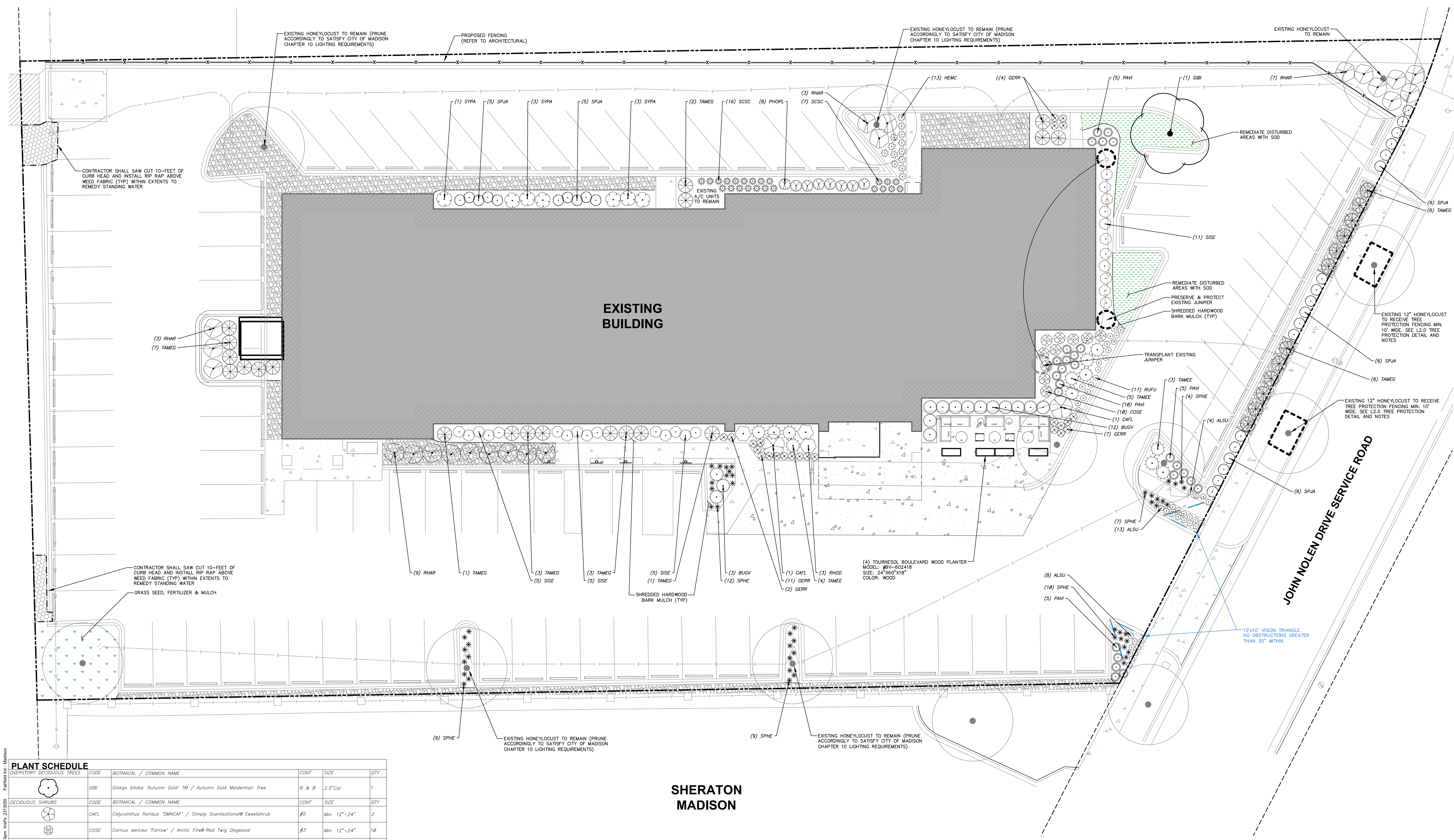
SITE CONTEXT MAP

PROJECT: **PROPOSED FAIRFIELD CONVERSION**  
 722 JOHN NOLEN DRIVE  
 MADISON, WI 53713  
 CLIENT: **DEFOOR BROTHERS, LLC**  
 804 BROAD STREET, SUITE 200  
 CHATTANOOGA, TN 37402

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PROJECT: 202223  
 DRAWN BY: D&D  
 DATE:  
 SCALE: AS NOTED  
 10% PRICING SET 01/20/2023  
 UDC / 30% SET 02/21/2023

SURROUNDING  
 SITE  
 CONTEXT



PLANT SCHEDULE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
<b>OVERSTORY DECIDUOUS TREES</b>					
DIBI	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	B & B	2.5' Cal	1	
<b>DECIDUOUS SHRUBS</b>					
CAFL	Calycanthus floridus 'SMNCAF' / Simply Scentational® Sweetshrub	#5	Min. 12"-24"	2	
COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	Min. 12"-24"	10	
SISE	Diervilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle	#3	Min. 18"-24" Ht.	26	
PHOPL	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	#3	Min. 12"-24"	6	
RHAR	Rhus aromatica 'Gra-Law' / Gra-Law Fragrant Sumac	#3	Min. 12"-24"	22	
SPJA	Spiraea japonica 'SMNSJMR' TM / Double Play Red Spirea	#3	Min. 24" Ht.	28	
SYPA	Syringa x 'SMNJRPH' TM / Blooming Dwarf Pink Lilac	#5	Min. 24" Ht.	7	
<b>EVERGREEN SHRUBS</b>					
BUGV	Buxus x 'Green Velvet' / Green Velvet Boxwood	3 gal	Min. 12"-24"	15	
RHOD	Rhododendron x 'P.J.M.' / P.J.M. Rhododendron	#5	Min. 12"-24"	3	
TAMEE	Taxus x media 'Dark Green' / Dark Green Yew	#3	Min. 12"-24"	32	
TAMEE	Taxus x media 'Everlow' / Everlow Yew	#3	Min. 12" Ht.	12	
<b>PERENNIALS &amp; GRASSES</b>					
ALSU	Allium x 'Summer Beauty' / Summer Beauty Allium	#1	Min. 8"-18"	25	
GERR	Geranium x 'Rozanne' / Rozanne Cranebill	#1	Min. 8"-18"	24	
HEMC	Hemerocallis x 'Chicago Apache' / Daylily	#1	Min. 8"-18"	13	
PAVI	Panicum virgatum 'Shenadoah' / Shenadoah Switch Grass	#1	Min. 8"-18"	26	
RUFU	Rudbeckia fulgida sultivantii 'Goldsturm' / Goldsturm Coneflower	#1	Min. 8"-18"	17	
SCSC	Schizachyrium scaparium 'Prairie Blues' / Prairie Blues Little Bluestem	#1	Min. 8"-18"	23	
SPHE	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	51	

**CITY TRAFFIC ENGINEERING NOTES**

- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

**CITY FORESTRY NOTES**

- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- IF APPLICABLE, RIGHT-OF-WAY STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- IF APPLICABLE, AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

**SHERATON MADISON**

**LANDSCAPE REQUIREMENTS**

**LANDSCAPE CALCULATIONS AND DISTRIBUTIONS**

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and deck/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and zoning district:

(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: **34,343 SF**

Total landscape points required: **573 POINTS**

(B) For lots larger than five (5) acres, points shall be provided as five (5) points per three hundred (300) square feet for the first five (5) developed acres; and one (1) point per one hundred (100) square feet for additional acres:

Total square footage of developed area: \_\_\_\_\_

Five (5) acres = \_\_\_\_\_

First five (5) developed acres = \_\_\_\_\_

Remainder of developed area = \_\_\_\_\_

Total landscape points required: \_\_\_\_\_

(C) For the Industrial - Limited (I), and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area:

Total square footage of developed area: \_\_\_\_\_

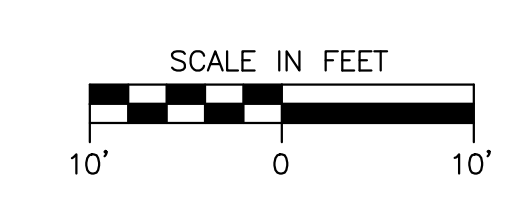
Total landscape points required: \_\_\_\_\_

**TABULATION OF LANDSCAPE CREDITS AND POINTS**

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	7	245	1	35
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5' CAL MIN.	25	0	0	0	0
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	103	309
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	62	248
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	179	358
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMAN TREE	14 POINTS / CAL (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA, CANNOT EXCEED MORE THAN 50% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
<b>SUBTOTAL</b>				<b>245</b>		<b>950</b>
<b>TOTAL NUMBER OF POINTS PROVIDED</b>				<b>1,195</b>		

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SAN- EXISTING SANITARY SEWER
- W- EXISTING WATERMAIN
- ST- EXISTING STORM SEWER
- ADA PARKING SIGN
- ALUMINUM EDGING
- BOLLARD
- BIKE RACK
- PROTECT & PRESERVE EXISTING TREE
- VISION TRIANGLE
- DECORATIVE STONE MULCH
- SOD - BLUEGRASS BLEND
- SEED - BLUEGRASS BLEND
- RIP RAP



**GENERAL NOTES**

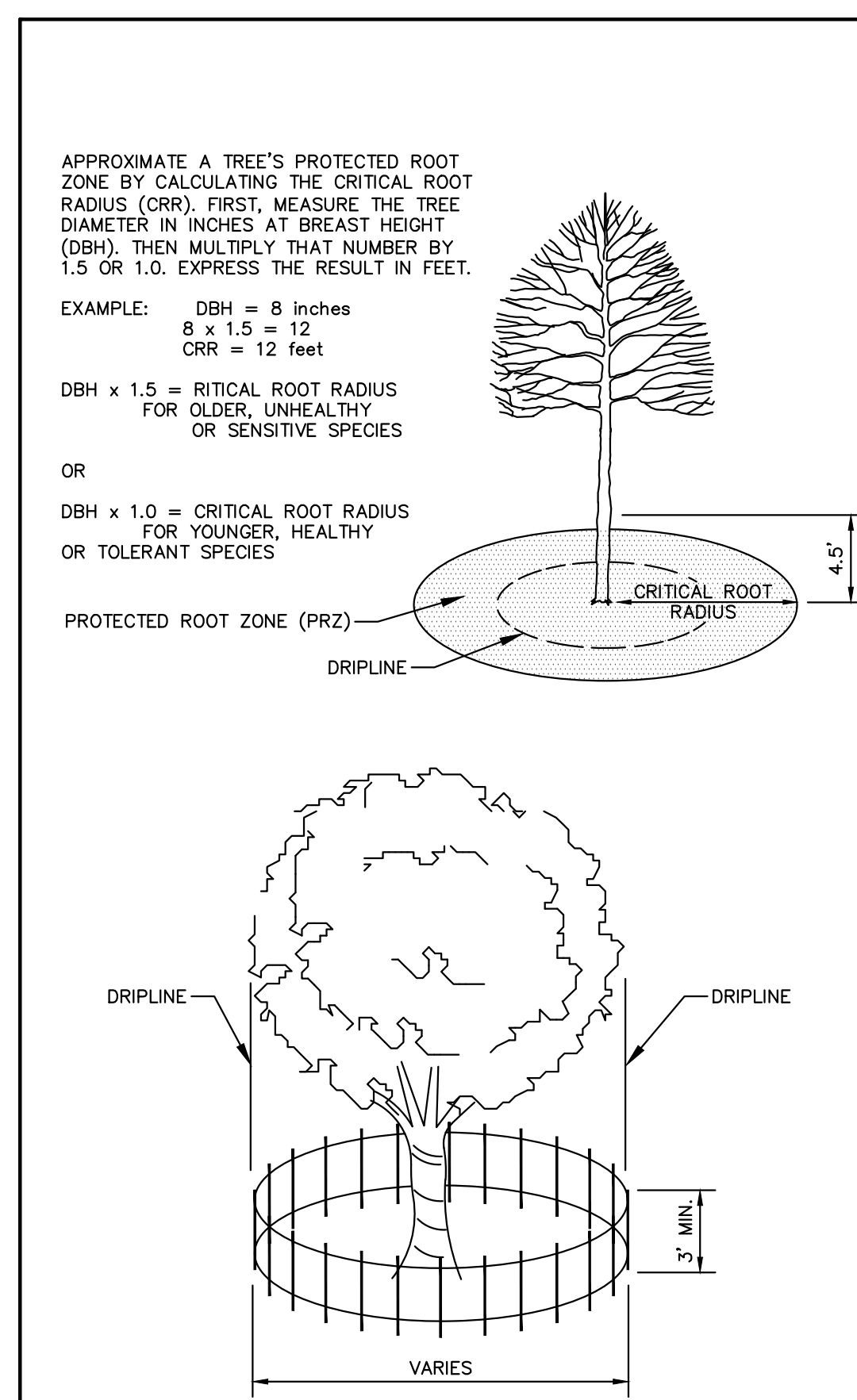
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE
- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-245-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH NET SOIL MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DIG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE QUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASES AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER TO LIVE TISSUE AND REMOVE SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT. IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. ALL DEBRIS AND CUTTINGS SHALL BE SHOWN TO THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**LANDSCAPE MATERIAL NOTES**

- PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- TOPSOIL: TOPSOIL TO BE CLEAN, FRABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEEF FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH TREE RING SHOULD BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1.5" MISSISSIPPI WASHED DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE AND WEEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4". ALUMINUM EDGINGS, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD ORIGINAL SLOW RELEASE WATERING BAG, PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- IRRIGATION: DRIP IRRIGATION PROVIDED IN ALL PLANT BED AREAS SURROUNDING BUILDING
- SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 40 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH, BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

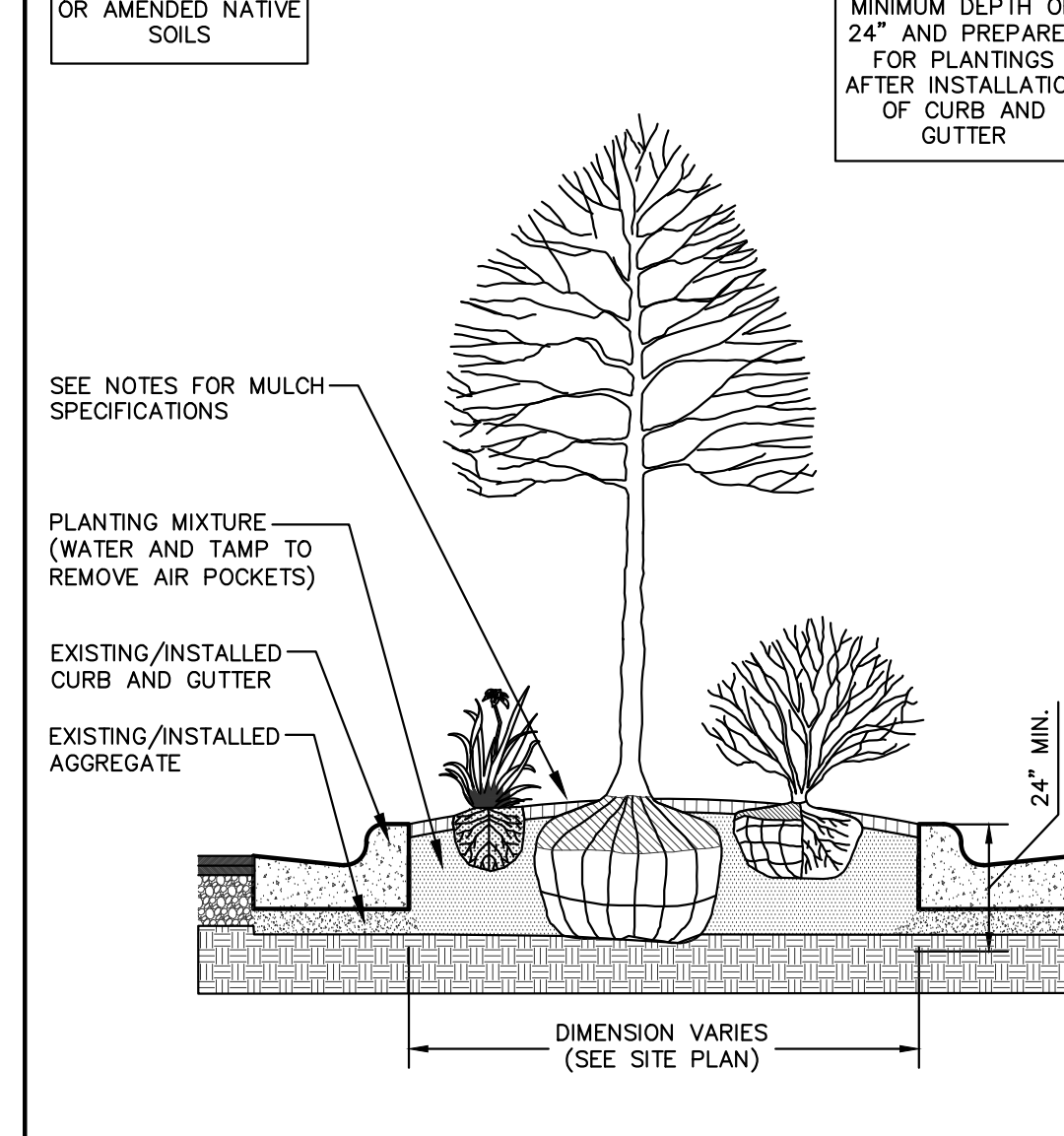
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



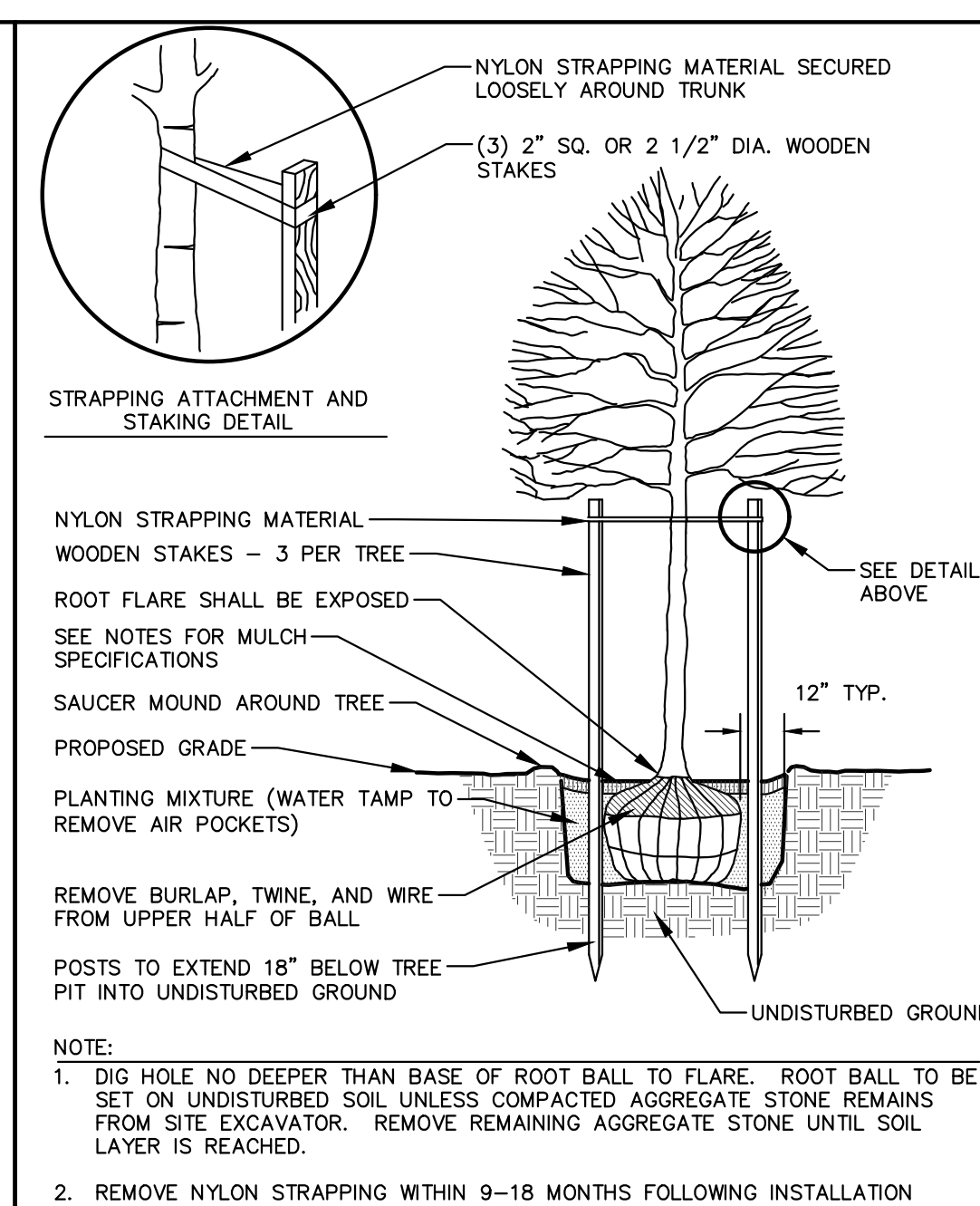
- TREE PROTECTION DETAIL**  
N.T.S.
- NOTE:
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
  - NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
  - IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.



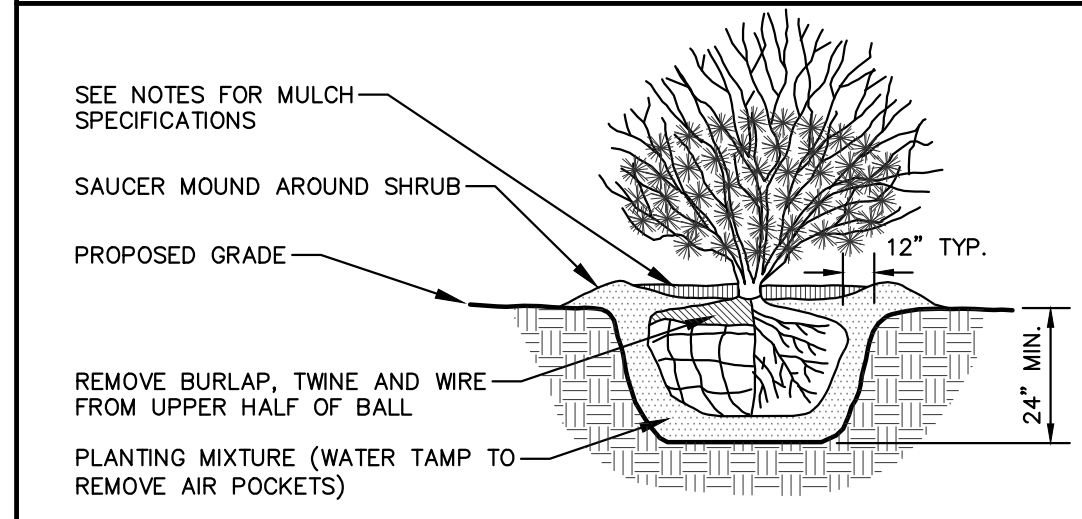
- SHRUB PLANTING DETAIL**  
N.T.S.
- NOTE:
- ROOT FLARE TO BE EXPOSED.



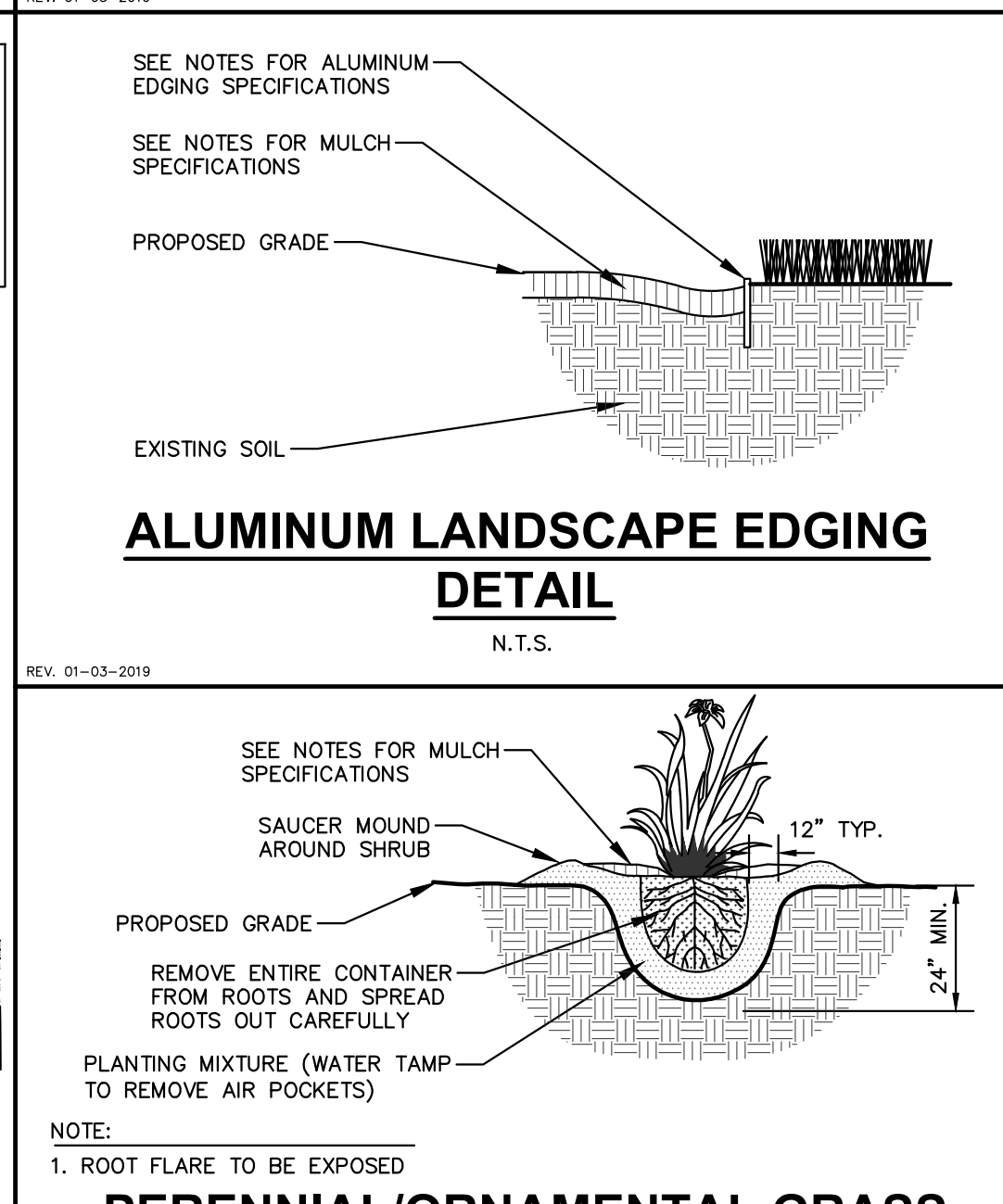
- PARKING ISLAND LANDSCAPE DETAIL**  
N.T.S.
- NOTE:
- ROOT FLARE TO BE EXPOSED.



- DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.
- NOTE:
- DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.
  - REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION



- ALUMINUM LANDSCAPE EDGING DETAIL**  
N.T.S.
- NOTE:
- ROOT FLARE TO BE EXPOSED.



- PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**  
N.T.S.
- NOTE:
- ROOT FLARE TO BE EXPOSED.



**TOURNESOL BOULEVARD WOOD PLANTER**

PROJECT: **PROPOSED FAIRFIELD CONVERSION**  
772 JOHN NOLEN DRIVE  
MADISON, WI 53713  
CLIENT: **DEFOOR BROTHERS, LLC**  
801 BROAD STREET, SUITE 200  
CHATTANOOGA, TN 37402

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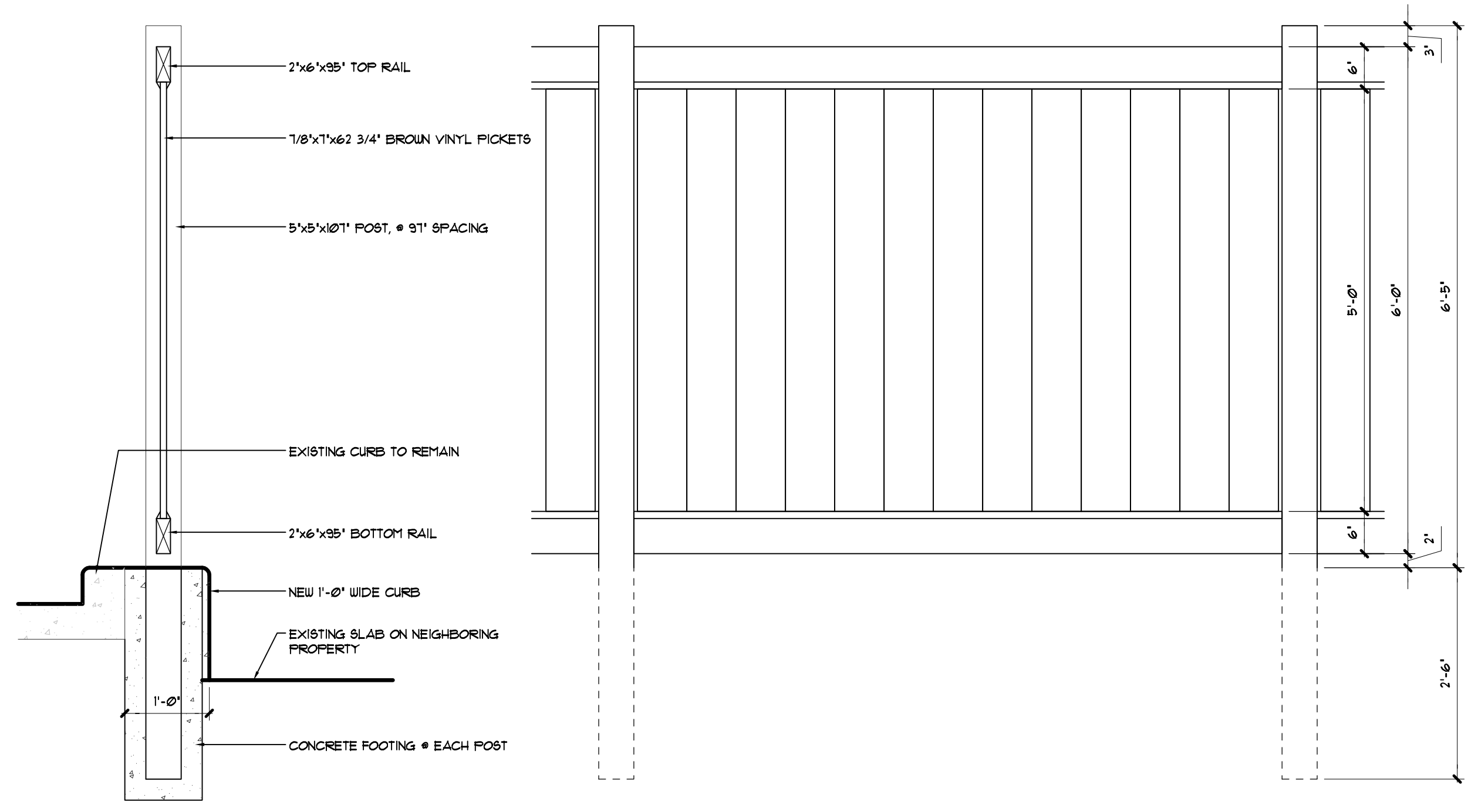
PROJECT: 202223  
DRAWN BY:  
DATE:  
SCALE: AS NOTED  
10% PRING SET 01/30/2023  
UCC / 30% SET 02/27/2023

LANDSCAPE  
DETAILS & NOTES

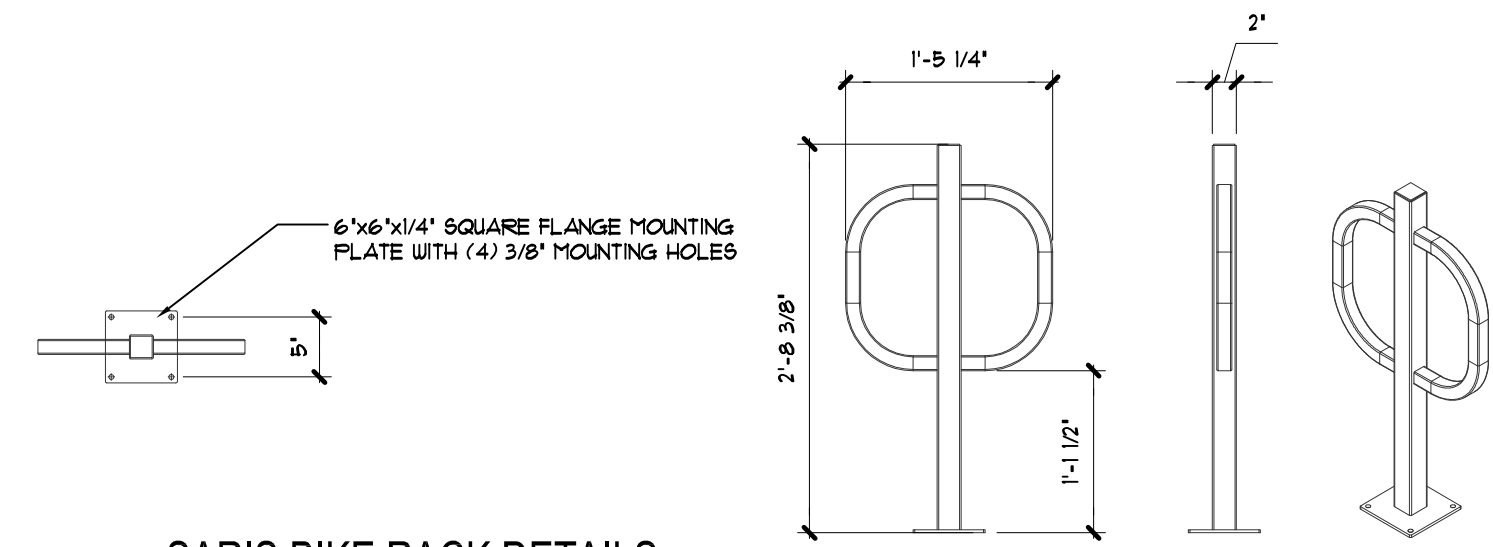
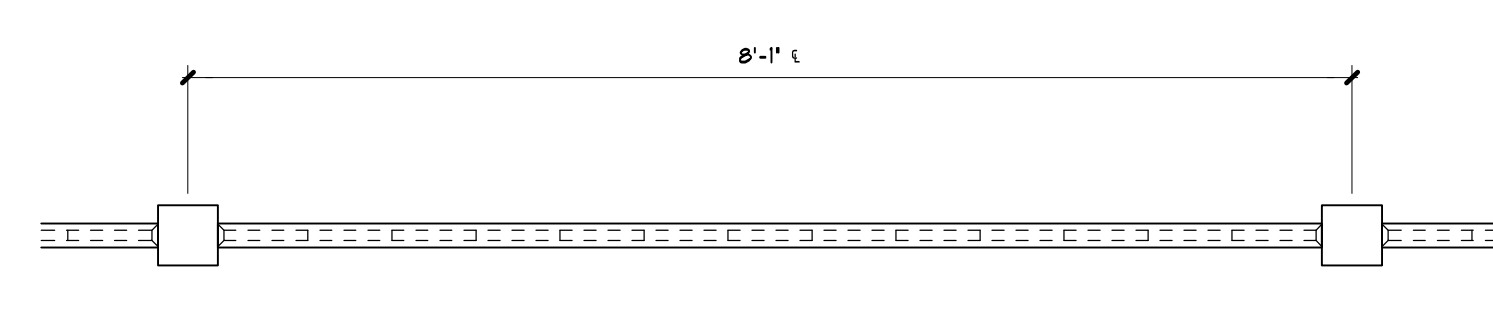
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- ### ▶ SITE PLAN KEY NOTES
- EXISTING FIRE DEPARTMENT CONNECTION (FDC).
  - NEW PEDESTRIAN SIDE WALK TO MEET ADA REQUIREMENTS.
  - NEW PASSENGER DROP-OFF AREA TO BE REPAIRED AND REGRADED TO WORK WITH NEW VESTIBULE.
  - NEW BICYCLE RACK TO MEET LOCAL DESIGN REQUIREMENTS. REFER TO DETAIL 3(A).P.
  - EXISTING COLUMN TO REMAIN.
  - PROPERTY LINE. REFER TO CIVIL DRAWINGS.
  - EXISTING UTILITY EQUIPMENT.
  - NEW PRIVACY FENCE OUTSIDE OF DRIVE AISLE CURB. REFER TO DETAIL 3(A).P.
  - NEW ACCESSIBLE PARKING SIGNAGE ON POST. REFER TO DETAILS ON CIVIL DRAWINGS.
  - RE-PAINTED PARKING STRIPING. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL INFORMATION AND ACCESSIBLE PARKING SYMBOLS.
  - NEW CONCRETE WHEEL STOPS.
  - NEW TRANSDERMAL DRAIN PATH WITH ADA COMPLIANT GRATE COVER. COORDINATE SIZE & LOCATION WITH DRAINPOUT.
  - EXISTING TRASH ENCLOSURE TO REMAIN. TO BE RE-PAINTED AND REPAIRED AS NEEDED.
  - RE-PAINTED PARKING STALLS. TYPICAL OF ALL PARKING PAINT.
  - NEW CURBS TO DIE INTO EXISTING CURBS.
  - NEW BUILDING FOOTPRINT FOR ADDITIONAL ELEVATOR SHAFT.
  - REFER TO ELECTRICAL SITE PLAN FOR SITE LIGHTING.
  - PATCH REPAIR & SEAL EXISTING ASPHALT.

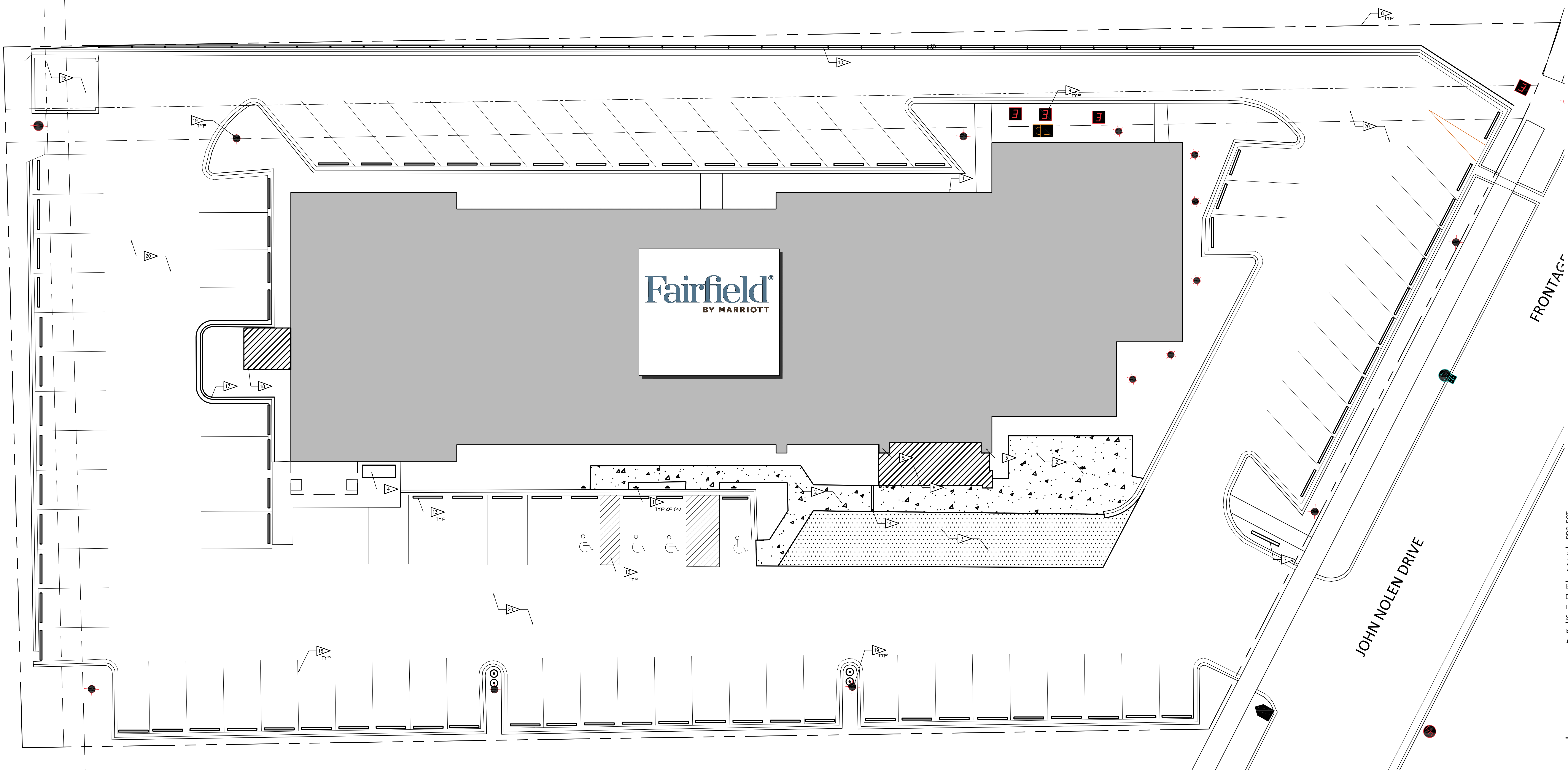
- ### GENERAL SITE PLAN NOTES
- ALL CONTRACTORS & SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND DETERMINING ACTUAL SITE CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SCOPE THAT SHOULD HAVE BEEN ANTICIPATED.
  - REFER TO CIVIL SHEETS FOR SCOPE OF WORK WITHIN THE DESIGNATED LOT THAT IS TO BE PROVIDED BY THE SITE WORK CONTRACTOR. WHERE THERE IS A DISCREPANCY AND/OR THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY AND REPAIR FROM STARTING OR COMPLETING SUCH WORK UNTIL CLARIFICATION HAS BEEN ISSUED IN WRITING FROM THE A/E.
  - UNLESS NOTED OR SHOWN OTHERWISE, DIMENSIONS ON SITE PLAN ARE TO FACE-OF-CURB TO BUILDING SHEETING AND / OR GRID LINES. DIMENSIONS BASED ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN.
  - REFER TO CIVIL SHEETS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL APPLICABLE PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
  - REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
  - CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING-TO-REMAIN UTILITIES.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT 1/4" PER FOOT. MINIMUM DO NOT EXCEED MAX-ADA SLOPE OR CROSS-SLOPE REQUIREMENTS WHERE GRADE IS PART OF AN ACCESSIBLE ROUTE.
  - ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WISCONSIN STANDARDS OR GUIDELINES, WHICHEVER IS MORE STRINGENT.
  - ALL WORK SHOWN AT OUTSIDE PERIMETER OF BUILDING TO CURB SHALL FOLLOW THE CITY OF MADISON, WISCONSIN STANDARDS AND GUIDELINES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN CIVIL AND LANDSCAPE AND EXTENSION / CONNECTION TO WORK PROVIDED UNDER THIS CONTRACT.
  - ANY DAMAGE OR DISRUPTION TO AREAS (OR BUILDINGS / STRUCTURES) ADJACENT TO OR OUTSIDE THE LIMITS OF CONSTRUCTION, SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ETC. SHALL BE REPAIRED TO "AS NEW" CONDITIONS IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN STANDARDS, AND PERFORMED BY A CITY LICENSED CONTRACTOR.
  - ALL DAMAGE TO STREET PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  - ALL CONTRACTORS SHALL COORDINATE WITH DRY AND WET UTILITY COMPANIES TO DETERMINE EXTENT OF WORK REQUIRED. ANY EXISTING IMPROVEMENTS THAT ARE AFFECTED DURING THE COURSE OF UTILITY WORK, INCLUDING BUT NOT LIMITED TO LANDSCAPING, STREETS, SIDEWALKS, ETC. SHALL BE RETURNED TO EXISTING OR BETTER CONDITION.
  - SITE PLUMBING / UTILITY CONTRACTOR SHALL VERIFY AND MARK THE LOCATION OF EXISTING SANITARY & SEWER LINE WITHIN THE PROPERTY PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT / CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY IF THEY IMPACT THE CONSTRUCTION OF THE PROJECT.
  - THE SITE SHALL BE FENCED OFF AND THE EXTENT OF THIS AREA SHALL BE COORDINATED WITH OWNER.
  - THE ARCHITECT / CIVIL ENGINEER SHALL OBTAIN BUILDING PERMIT. ALL ADDITIONAL PERMITS AND TRADE PERMITS & INSPECTIONS AND FEES (SUCH AS FIRE SPRINKLER, ELECTRICAL, PLUMBING, TAP FEES, STREET OR LANE CLOSURES) SHALL BE THE RESPONSIBILITY OF THE SUB-CONTRACTORS.
  - ALL SITE DEPOSITION AND REMOVAL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS FOR DISPOSAL.
  - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN CURBS AND SIDEWALK AND EXTENDED AT LEAST 5'-0" FROM BOTH SIDES OF A TREE TRUNK. IF EXCAVATION WITHIN 5'-0" OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (268-4884) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
  - REPLACE ALL SIDEWALK CURBS AND GUTTER ADJUTING THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK CURBS AND GUTTER WHICH BY THE DETERMINATION OF THE CITY ENGINEER NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  - ANY DAMAGE ON ADJACENT PROPERTIES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER.
  - REFER TO CIVIL DRAWINGS FOR PROPERTY LINES AND EASEMENTS.
  - SIDEWALK WORK COMPLETED AT THE RIGHT-OF-WAY SHALL MATCH ADJACENT SIDEWALK AND HAVE EXPOSED AGGREGATE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY THE CITY. THE STONE USED AS EXPOSED AGGREGATE SHALL BE APPROVED BY THE CITY.
  - ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE REVIEWED BY THE CITY FORESTRY DEPARTMENT.
  - CONTRACTOR IS REQUIRED TO INSTALL STREET TRAFFIC SIGNS PER THE CITY OF MADISON, WISCONSIN REQUIREMENTS.
  - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR REQUIRED PLANTER IRRIGATION (INCLUDING WITHIN RIGHT OF WAY).



2 TYPICAL FENCE DETAILS  
SCALE: 1/2"=1'-0"



2 SARIS BIKE RACK DETAILS  
SCALE: 1/2"=1'-0"

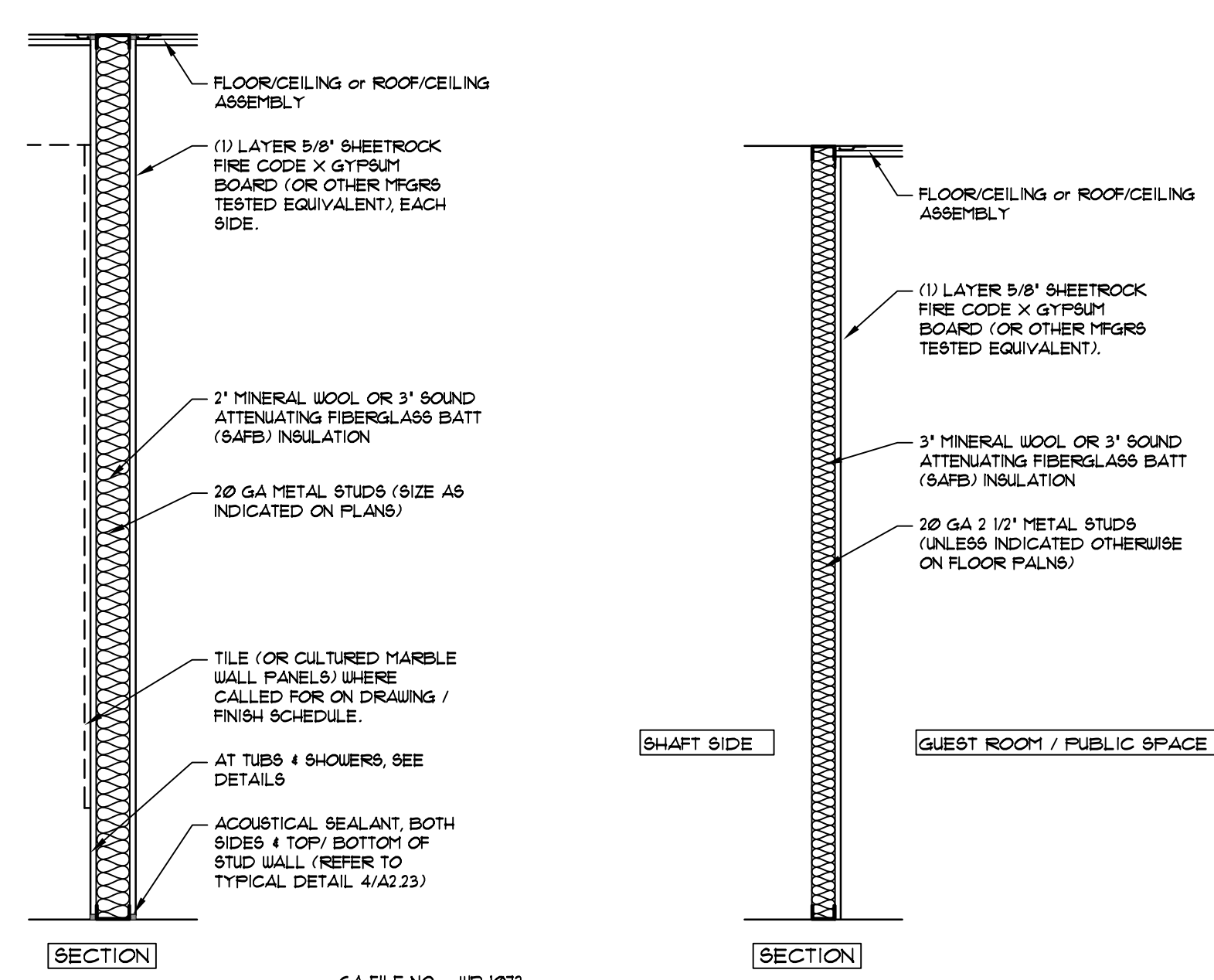


1 PROPOSED SITE PLAN  
1/16" = 1'-0"

PROJECT: PROPOSED FAIRFIELD CONVERSION  
722 JOHN NOLEN DRIVE  
MADISON, WI 53713  
CLIENT: DEFOOR BROTHERS, LLC  
804 BROAD STREET, SUITE 200  
CHATTANOOGA, TN 37402

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PROJECT: 202223  
DRAWN BY: GJA  
DATE:  
SCALE: AS NOTED  
10% PRICING SET 01/20/2023  
UDC / 30% SET 02/01/2023

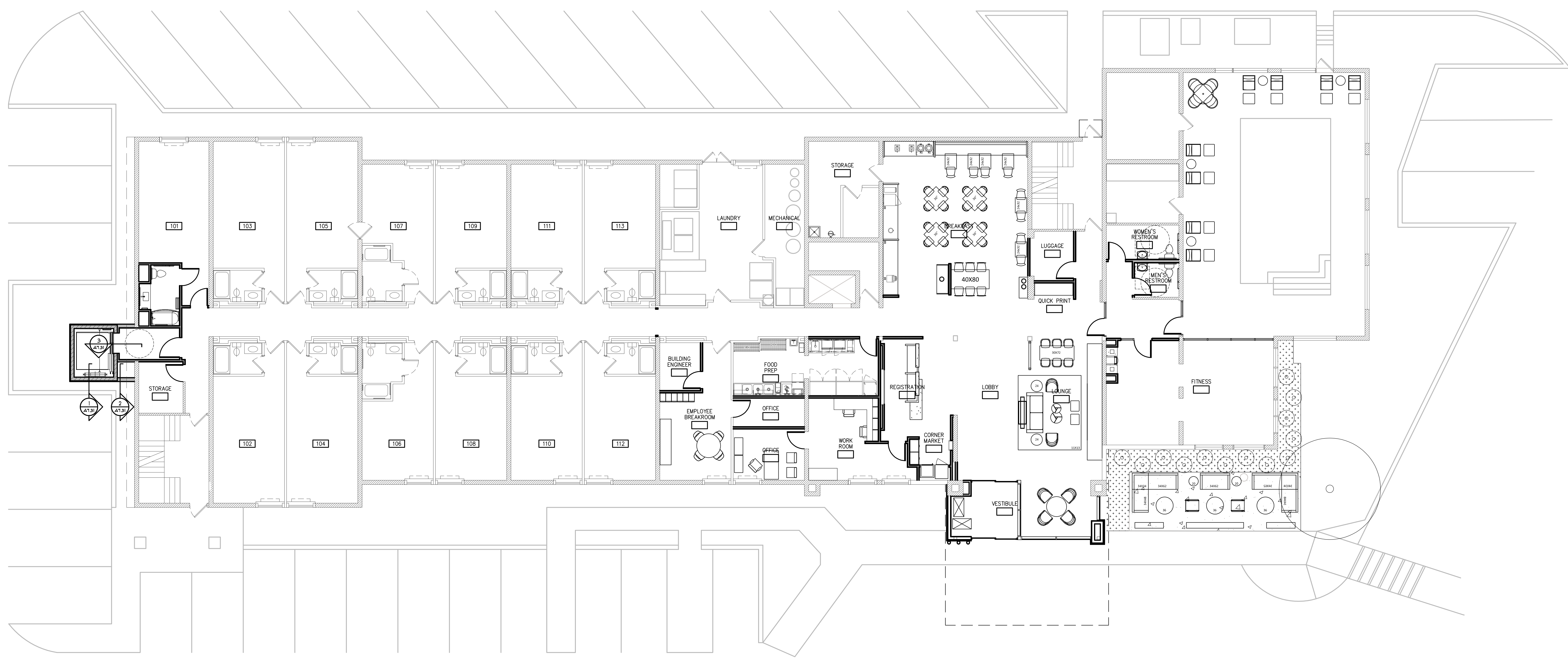


- (M1) NON-RATED PARTITION**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM). ALL OTHER ITEMS THE SAME.
- (M1a) NON-RATED PARTITION**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM). ALL OTHER ITEMS THE SAME.
- (M1c) NON-RATED PARTITION**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SET SIDE. ALL OTHER ITEMS THE SAME.
- (M1e) NON-RATED PARTITION**  
WITH NO INSULATION. ALL OTHER ITEMS THE SAME.
- (S1) NON-RATED CHASE**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM). ALL OTHER ITEMS THE SAME.
- (S1a) NON-RATED CHASE**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM). ALL OTHER ITEMS THE SAME.
- (S1c) NON-RATED CHASE**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SET SIDE. ALL OTHER ITEMS THE SAME.
- (S1e) NON-RATED CHASE**  
WITH NO INSULATION. ALL OTHER ITEMS THE SAME.
- (S1g) NON-RATED CHASE**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SET SIDE AND NO INSULATION. ALL OTHER ITEMS THE SAME.
- (S1i) NON-RATED CHASE**  
TO HAVE FACE LAYER BE 1/2" GYPSUM BOARD ON SET SIDE AND NO INSULATION. ALL OTHER ITEMS THE SAME.

- ### FLOOR PLAN KEY NOTES
- KITCHEN EQUIPMENT. REFER TO KE PLANS.
  - BUILT IN MILLWORK. REFER TO INTERIOR DESIGN DRAWINGS. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
  - FACE OF WALLS TO ALIGN.
  - RELOCATE ELECTRIC FIREPLACE. REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
  - NEW ELEVATOR.
  - 
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- ### PLAN SYMBOLS
- WALL-MOUNTED FIRE EXTINGUISHER.
  - FULLY-RECESSED FIRE EXTINGUISHER CABINET.
  - SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
  - INDICATES WALL TYPE. REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.
  - FLOOR DRAIN.
  - DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
  - DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
  - EXISTING DOOR.

- ### GENERAL PLAN NOTES:
- DO NOT SCALE DRAWINGS.
  - DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNKNOWN FINISH SURFACE.
  - FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
  - ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
  - REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
  - REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
  - ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
  - FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILING(S) REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAHAGED SURFACES.
  - OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
  - ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
  - REFER TO THE "I" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
  - GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE, FIRE, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "BRAND" DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
  - PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS FULL HEIGHT AT LOWER CEILING CORNER HEIGHT WITH OWNER AT LOCATIONS WITH CEILING ABOVE 11'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
  - REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
  - DASHED RECTANGLE INDICATES MINIMUM CLEARANCE. DASHED "R" DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "I" SERIES DRAWINGS.
  - PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER DRIP, UPC, OR CPIC).
  - WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
  - FERRITER BATHROOM WALLS TO BE FULL HEIGHT OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
  - PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
  - REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
  - ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
  - REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
  - TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
  - WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
  - GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



FLOOR PLAN KEY NOTES	
1.	KITCHEN EQUIPMENT, REFER TO KE PLANS.
2.	BUILT IN MILLWORK, REFER TO INTERIOR DESIGN DRAWINGS. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3.	FACE OF WALLS TO ALIGN.
4.	RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5.	NEW ELEVATOR.
6.	
7.	
8.	
9.	
10.	
11.	

PLAN SYMBOLS	
	WALL-MOUNTED FIRE EXTINGUISHER.
	FULLY-RECESSED FIRE EXTINGUISHER CABINET.
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
	INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.
	FLOOR DRAIN
	DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	EXISTING DOOR

GENERAL PLAN NOTES:	
A.	DO NOT SCALE DRAWINGS.
B.	DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNKNOWN FINISHED SURFACE.
C.	FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
D.	ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
E.	REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
F.	REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
G.	ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
H.	FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILING(S) REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAUNAGED SURFACES.
I.	OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
J.	ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
K.	REFER TO THE "T" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
L.	GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "BRAND" DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
M.	PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS FULL HEIGHT AT LOWER CEILING CONFINED HEIGHT WITH OWNER AT LOCATIONS WITH CEILING ABOVE 7'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
N.	REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
O.	DASHED RECTANGLE INDICATES MINIMUM FIXTURE ACCESS CLEARANCE. DASHED R DIAMETER RADII INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "T" SERIES DRAWINGS.
P.	PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WETHER DPO, DPC OR DCP).
Q.	WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHEE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
R.	FERRITER BATHROOM WALLS TO BE FULL HEIGHT OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE).
S.	PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
T.	REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
U.	ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
V.	REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
W.	TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN CONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
X.	WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
Y.	GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.





FLOOR PLAN KEY NOTES	
1.	KITCHEN EQUIPMENT. REFER TO KE PLANS.
2.	BUILT IN MILLWORK. REFER TO INTERIOR DESIGN DRAWINGS. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3.	FACE OF WALLS TO ALIGN.
4.	RELOCATE ELECTRIC FIREPLACE. REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5.	NEW ELEVATOR.
6.	
7.	
8.	
9.	
10.	
11.	

PLAN SYMBOLS	
	WALL-MOUNTED FIRE EXTINGUISHER.
	FULLY-RECESSED FIRE EXTINGUISHER CABINET.
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
	INDICATES WALL TYPE. REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.
	FLOOR DRAIN
	DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	EXISTING DOOR

GENERAL PLAN NOTES:	
A.	DO NOT SCALE DRAWINGS.
B.	DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNKNOWN FINISHED SURFACE.
C.	FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND. NOTIFY THE ARCHITECT FOR CLARIFICATION.
D.	ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
E.	REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
F.	REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
G.	ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
H.	FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILING(S) REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAHAGED SURFACES.
I.	OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
J.	ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
K.	REFER TO THE "I" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
L.	GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "I" SERIES DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
M.	PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS FULL HEIGHT AT LOWER CEILING CONFINED HEIGHT WITH OWNER AT LOCATIONS WITH CEILING ABOVE 7'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
N.	REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
O.	DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED Ø DIAMETER RADII INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "I" SERIES DRAWINGS.
P.	PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WETHER DPO, DPO, OR DPO).
Q.	WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
R.	FERRITER BATHROOM WALLS TO BE FULL HEIGHT OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE).
S.	PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
T.	REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
U.	ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
V.	REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
W.	TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN CONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
X.	WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
Y.	GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



**THIRD FLOOR**  
1/8" = 1'-0"  
0' 4' 8' 16' 24'

PROJECT: **PROPOSED FAIRFIELD CONVERSION**  
722 JOHN NOLEN DRIVE  
MADISON, WI 53713  
CLIENT: **DEFOOR BROTHERS, LLC**  
804 BROAD STREET, SUITE 200  
CHATTANOOGA, TN 37402

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PROJECT: 202223  
DRAWN BY: DSD  
DATE:  
SCALE: AS NOTED  
10% PRICING SET 01/30/2023  
100% SET 02/01/2023

FLOOR PLAN KEY NOTES	
1.	KITCHEN EQUIPMENT. REFER TO KE PLANS.
2.	BUILT IN MILLWORK. REFER TO INTERIOR DESIGN DRAWINGS. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3.	FACE OF WALLS TO ALIGN.
4.	RELOCATE ELECTRIC FIREPLACE. REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5.	NEW ELEVATOR.
6.	
7.	
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PLAN SYMBOLS	
	WALL-MOUNTED FIRE EXTINGUISHER.
	FULLY-RECESSED FIRE EXTINGUISHER CABINET.
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
	INDICATES WALL TYPE. REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.
	FLOOR DRAIN
	DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	EXISTING DOOR

GENERAL PLAN NOTES:	
A.	DO NOT SCALE DRAWINGS.
B.	DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNKNOWN FINISHED SURFACE.
C.	FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND. NOTIFY THE ARCHITECT FOR CLARIFICATION.
D.	ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
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F.	REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
G.	ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
H.	FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILING(S) REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAUNAGED SURFACES.
I.	OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
J.	ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
K.	REFER TO THE "I" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
L.	GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "I" SERIES DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
M.	PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS FULL HEIGHT AT LOWER CEILING CONFINED HEIGHT WITH OWNER AT LOCATIONS WITH CEILING ABOVE 7'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
N.	REFER I-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
O.	DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED 9" DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "I" SERIES DRAWINGS.
P.	PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WETHER DPO, DPO, OR DPO).
Q.	WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
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S.	PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
T.	REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
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X.	WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
Y.	GENERAL CONTRACTOR SHALL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



**FOURTH FLOOR**  
1/8" = 1'-0"  
0' 4' 8' 16' 24'

PROJECT: **PROPOSED FAIRFIELD CONVERSION**  
722 JOHN NOLEN DRIVE  
MADISON, WI 53713  
CLIENT: **DEFOOR BROTHERS, LLC**  
804 BROAD STREET, SUITE 200  
CHATTANOOGA, TN 37402

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PROJECT: 202223  
DRAWN BY: DSD  
DATE:  
SCALE: AS NOTED  
10% PRICING SET 01/30/2023  
UDC / 30% SET 02/01/2023

**ROOF KEY NOTES**

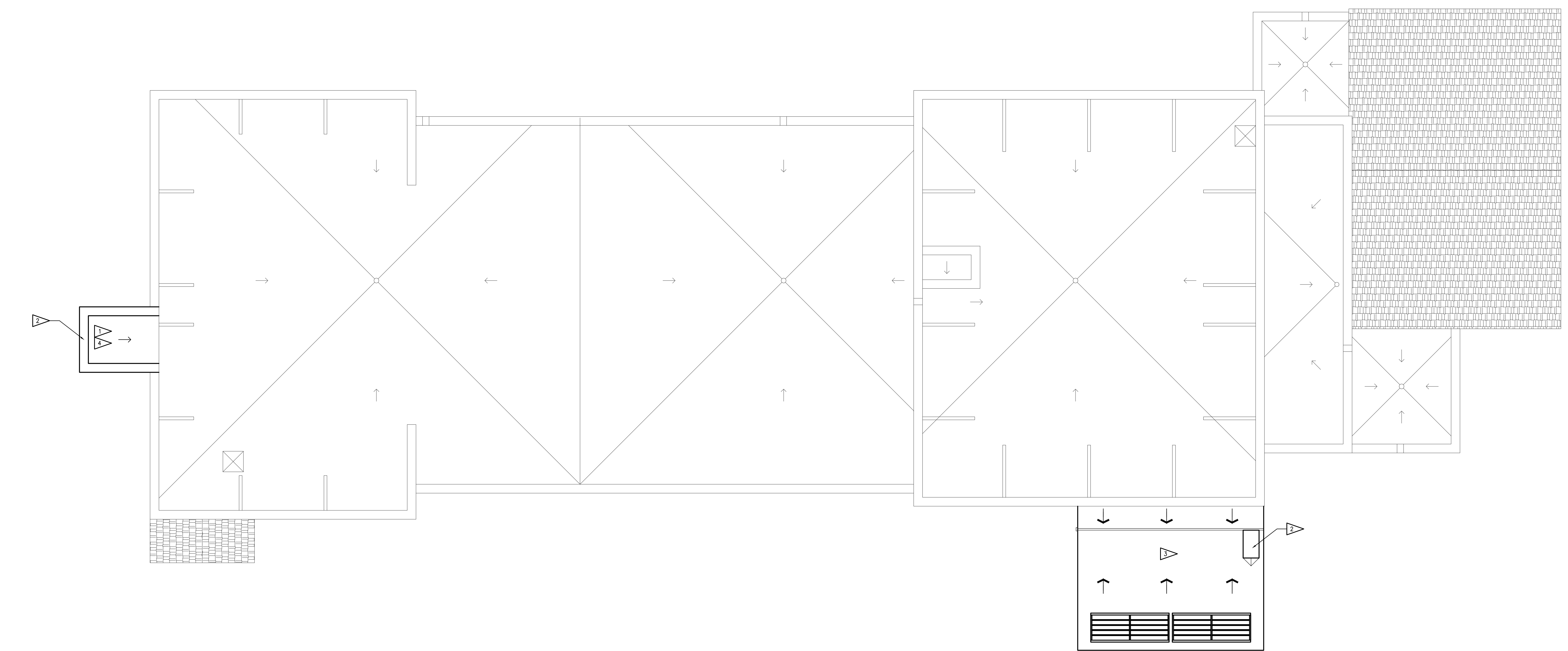
1. AT AREAS INDICATED WITH AN ARROW, INDICATED INTENDED FLOW. PROVIDE TAPERED INSULATION AS REQUIRED TO ACHIEVE POSITIVE FLOW OF 1/4" PER FT. TO ROOF DRAINS.
2. PRE-FINISHED METAL COPING PER DETAILS INDICATED. JOINTS TO BE 10'-0" MAX. AND AS SHOWN.
3. NEW PORTE-COCHERE ROOF. SEE SHEET A1.35 FOR DETAILS.
4. NEW ELEVATOR OVERRN. REFER TO SHEET A1.31 FOR DETAILS.

**PLAN SYMBOLS**

- WALL-MOUNTED FIRE EXTINGUISHER.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET.
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
- INDICATES WALL TYPE. REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.
- FLOOR DRAIN.
- DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- EXISTING DOOR.

**GENERAL PLAN NOTES:**

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- B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNKNOWN FINISHED SURFACE.
- C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND. NOTIFY THE ARCHITECT FOR CLARIFICATION.
- D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
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- I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
- J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
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- L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "I" SERIES DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
- M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS FULL HEIGHT AT LOWER CEILING. CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILING ABOVE 10'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
- N. REFER I-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
- O. DASHED RECTANGLE INDICATES MINIMUM FIXTURE ACCESS CLEARANCE. DASHED Ø DIAMETER RADII INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "I" SERIES DRAWINGS.
- P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WETTER, DPO, OPI, OR OPI).
- Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WIRE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- R. FERRITER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE).
- S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
- T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
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- Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.

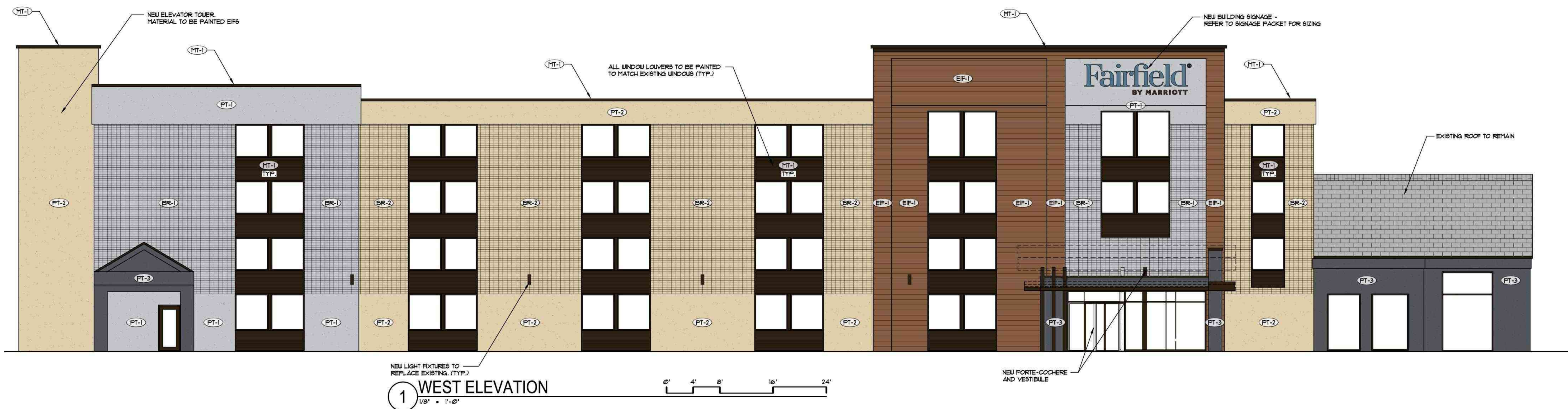
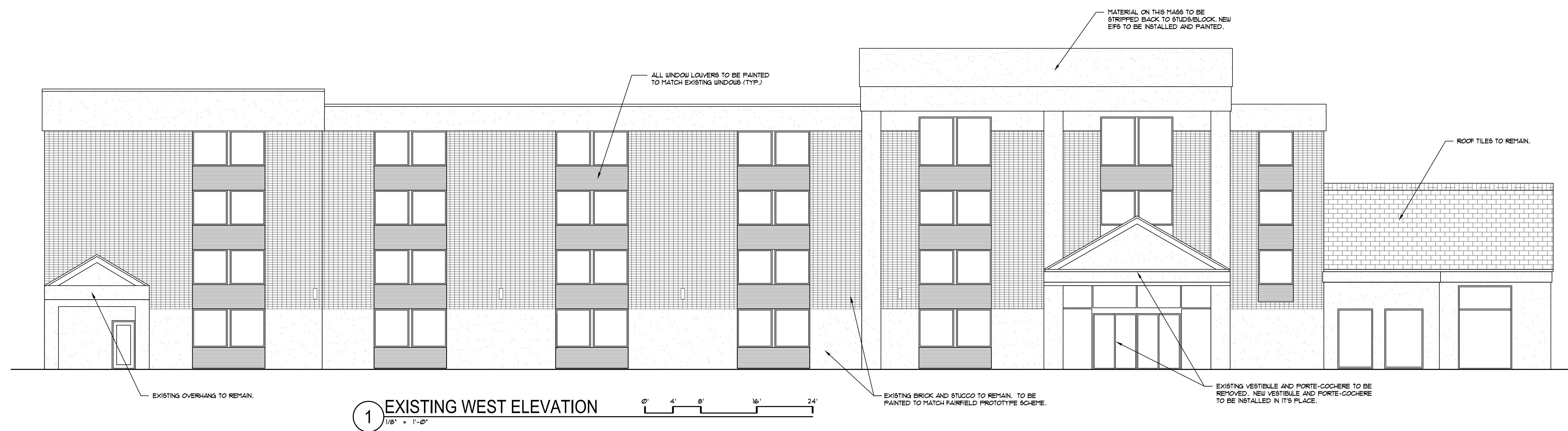




Existing Building Looking East



Existing Building Looking South



GRAPHIC	EXTERIOR FINISH KEY
	BR-1 PAINTED BRICK NO. 1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
	BR-2 PAINTED BRICK NO. 2 - PAINTED BRICK, COLOR: WILMINGTON TAN
	PT-1 PAINT NO. 1 - MFG: TBD, COLOR: TWILIGHT GRAY
	PT-2 PAINT NO. 2 - MFG: TBD, COLOR: WILMINGTON TAN
	PT-3 PAINT NO. 3 - MFG: TBD, COLOR: DEEP SPACE
	BR-1 BRICK NO. 1 - MFG: TBD, COLOR: LOG CABIN
	MT-1 METAL COATING LITUM - PAINTED METAL, COLOR: DARK BRONZE

PROJECT: PROPOSED FAIRFIELD CONVERSION  
 722 JOHN NOLAN DRIVE  
 MADISON, WI 53713  
 CLIENT: DEFOOR BROTHERS, LLC  
 801 BROAD STREET, SUITE 200  
 CHATTANOOGA, TN 37402

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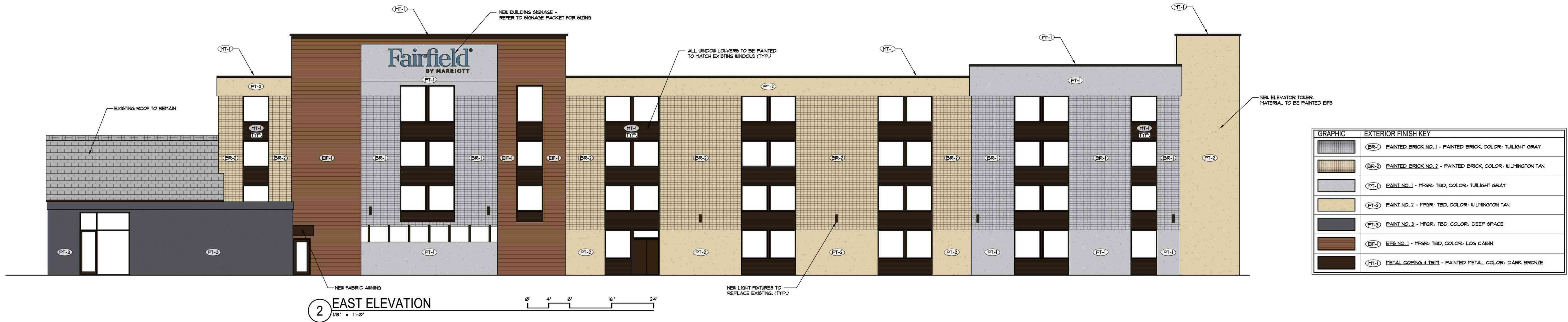
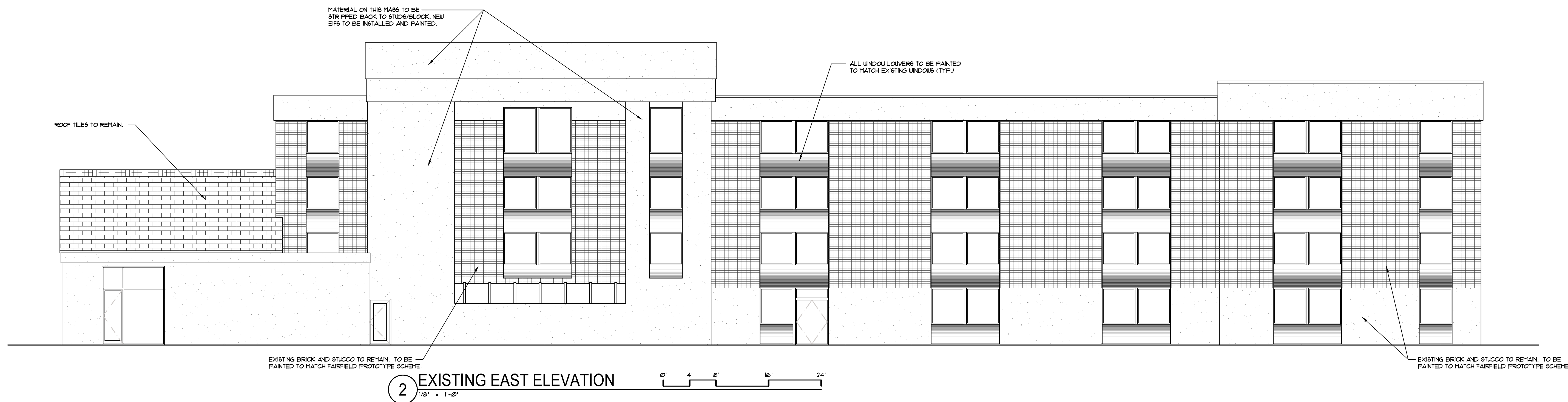
PROJECT: 202223  
 DRAWN BY: D&D  
 DATE: AS NOTED  
 10% PRICING SET 01/30/2023  
 UDC / 30% SET 02/27/2023



Existing Building Looking North



Existing Building Looking North



GRAPHIC	EXTERIOR FINISH KEY
	(BR-1) PAINTED BRICK NO. 1 - PAINTED BRICK COLOR: TWILIGHT GRAY
	(BR-2) PAINTED BRICK NO. 2 - PAINTED BRICK COLOR: WILMINGTON TAN
	(PT-1) PAINT NO. 1 - MFG: TBD, COLOR: TWILIGHT GRAY
	(PT-2) PAINT NO. 2 - MFG: TBD, COLOR: WILMINGTON TAN
	(PT-3) PAINT NO. 3 - MFG: TBD, COLOR: DEEP SPACE
	(EIF-1) EIFS NO. 1 - MFG: TBD, COLOR: LOG CABIN
	(MT-1) METAL GOING 4.12021 - PAINTED METAL, COLOR: DARK BRONZE

PROJECT: PROPOSED FAIRFIELD CONVERSION  
 722 JOHN NOLEN DRIVE  
 MADISON, WI 53713  
 CLIENT: DEFOOR BROTHERS, LLC  
 804 BROAD STREET, SUITE 200  
 CHATTANOOGA, TN 37402

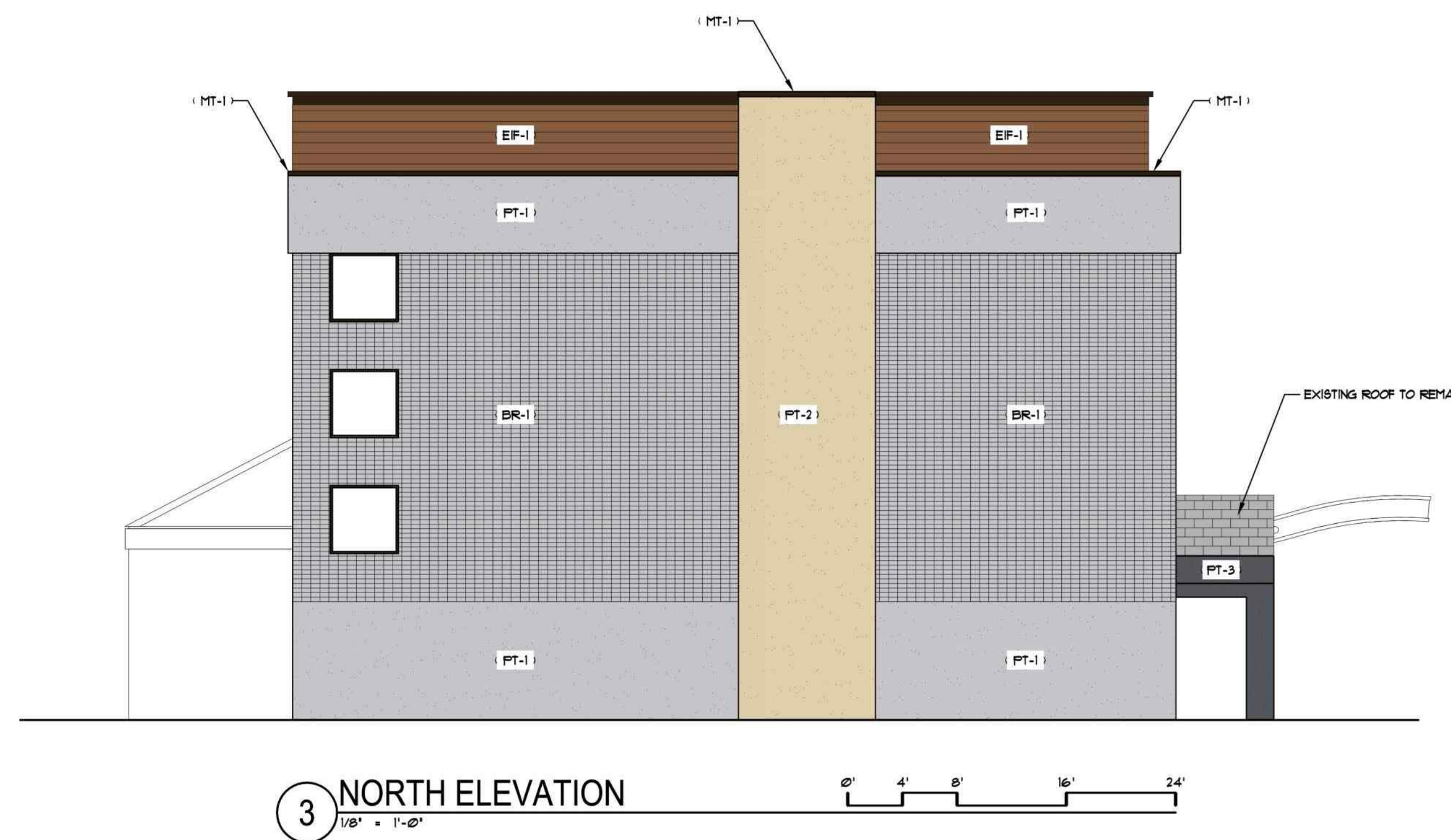
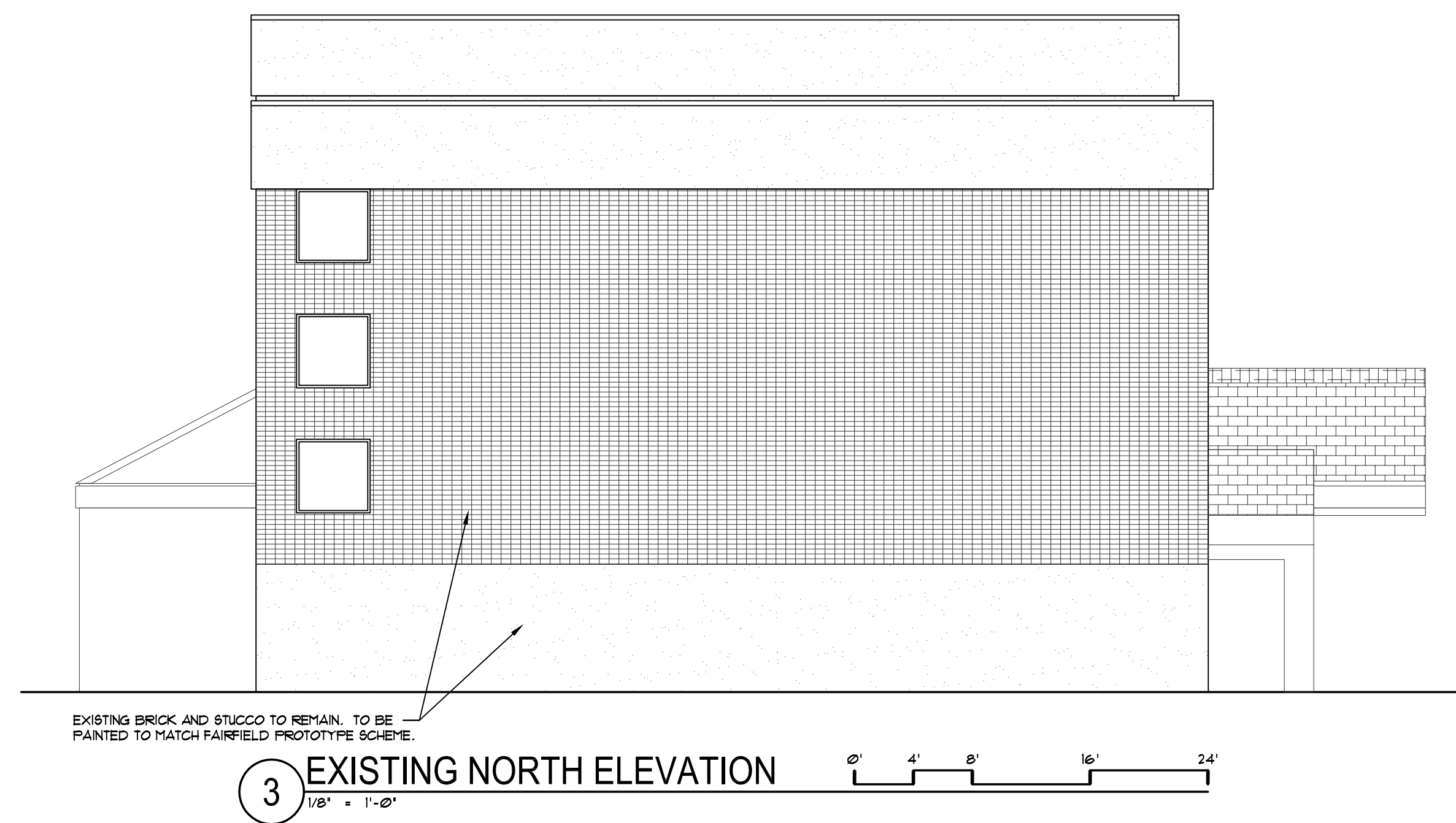
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 PROJECT: 202223  
 DRAWN BY: DSD  
 DATE:  
 SCALE: AS NOTED  
 10% PRICING SET 01/20/2023  
 UDC / 30% SET 02/01/2023



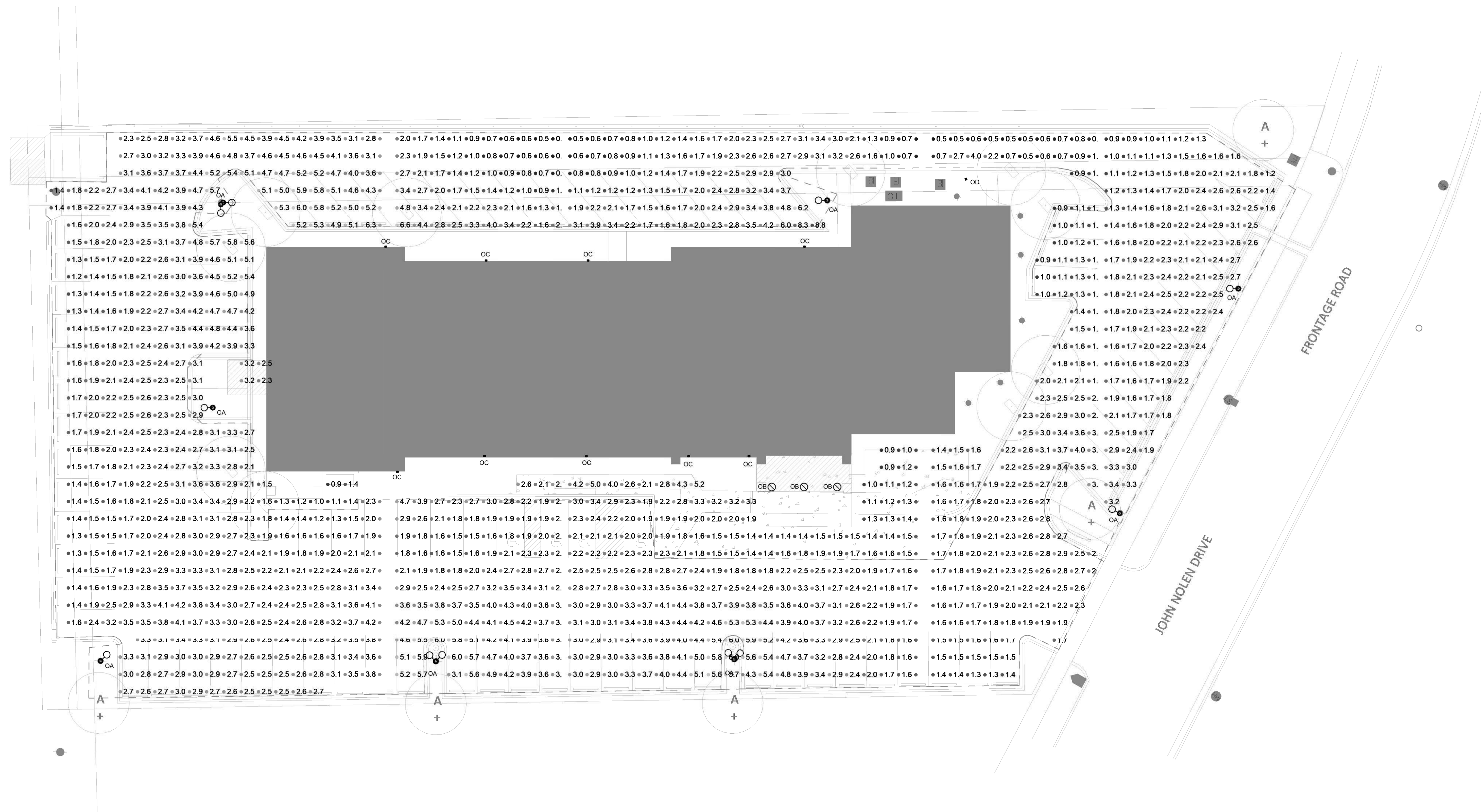
Existing Building Looking West



Existing Building Looking North



GRAPHIC	EXTERIOR FINISH KEY
	(BR-1) PAINTED BRICK NO. 1 - PAINTED BRICK COLOR: TWILIGHT GRAY
	(BR-2) PAINTED BRICK NO. 2 - PAINTED BRICK COLOR: WILMINGTON TAN
	(PT-1) PAINT NO. 1 - MFG: TBD, COLOR: TWILIGHT GRAY
	(PT-2) PAINT NO. 2 - MFG: TBD, COLOR: WILMINGTON TAN
	(PT-3) PAINT NO. 3 - MFG: TBD, COLOR: DEEP SPAGE
	(EBS-1) EBS NO. 1 - MFG: TBD, COLOR: LOG CABIN
	(MT-1) METAL COATING 4 TBS1 - PAINTED METAL, COLOR: DARK BRONZE



PHOTOMETRIC RESULTS				
AVERAGE	MAXIMUM	MINIMUM	AVGMIN	MAXMIN
2.56 fc	8.79 fc	0.46 fc	5.6	19.1

4 SITE PHOTOMETRICS  
E001 SCALE: 1/16" = 1'-0"

PROJECT: PROPOSED FAIRFIELD CONVERSION  
722 JOHN NOLEN DRIVE  
MADISON, WI 53713  
CLIENT: DEFOOR BROTHERS, LLC  
801 BROAD STREET, SUITE 200  
CHATTANOOGA, TN 37402

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PROJECT: 202223  
DRAWN BY: JDR  
DATE:  
SCALE: 1/16" = 1'-0"  
UDC / 30% SET 02/27/2023