

PROPOSED FAIRFIELD CONVERSION

722 JOHN NOLEN DR.
MADISON, WI 53713

02-27-2023
UDC INITIAL/FINAL

VICINITY MAP



PROJECT CONTACTS

Building Owner

Defoor Brothers, LLC
801 Broad Street, Suite 200
Chattanooga, TN 37402
Contact: Blake Defoor
Email: blake@defoorbrothers.com
Phone: (423) 308-1830

Architect-of-Record

GBA
2248 Deming Way, Ste. 120
Middleton, Wisconsin 53562
Contact: Jeff Brinkus
Email: jeff.brinkus@garybrink.com
Phone: (608) 829-1750 Direct: (608) 820-1520

General Contractor

Tri-North Builders
2625 Research Park Dr.
Fitchburg, WI 53711
Contact: Darren Noak
Email: dnoak@trinorth.com
Phone: (608) 204-7206

Interior Designer

Sheedy De La Rosa
4045 N. Rockwell Street
Chicago, IL 60618
Contact: Natalie Sheedy
Email: natalie@sheedydelarosa.com
Phone: (312) 286-5246

Structural Engineer

Whittinghill Engineering, LLC
Contact: Chad Whittinghill
Email: chad@whittinghillengineering.com
Phone: (608) 770-4246

Food Service Designer

Kavanaugh Restaurant Supply
2920 Bryant Rd.
Madison, WI 53713
Contact: Wayne Hammer
Email: wayne@krsrestequip.com
Phone: (608) 271-2514

SHEET INDEX

T-1	COVER SHEET, PROJECT CONTACTS & SHEET INDEX
T-2	CONTEXTUAL SITE PHOTOS
EMI	SITE PHOTOMETRICS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS & NOTES
D1.01	ARCHITECTURAL SITE PLAN DEMOLITION
A1.01	ARCHITECTURAL SITE PLAN
A2.01	FIRST FLOOR PLAN
A2.02	SECOND FLOOR PLAN
A2.03	THIRD FLOOR PLAN
A2.04	FOURTH FLOOR PLAN
A2.05	ROOF PLAN
A6.01	BUILDING ELEVATIONS

PROJECT: PROPOSED FAIRFIELD CONVERSION
CLIENT: DEFFOOR BROTHERS, LLC
801 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

20223
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 20223
DRAWN BY: DSD
DATE: 02/27/2023
SCALE: AS NOTED

10% PRICING SET 02/27/2023

UDC / 30% SET 02/27/2023

TITLE SHEET

T-1



IMAGE NO. 4



IMAGE NO. 3



IMAGE NO. 2



IMAGE NO. 1

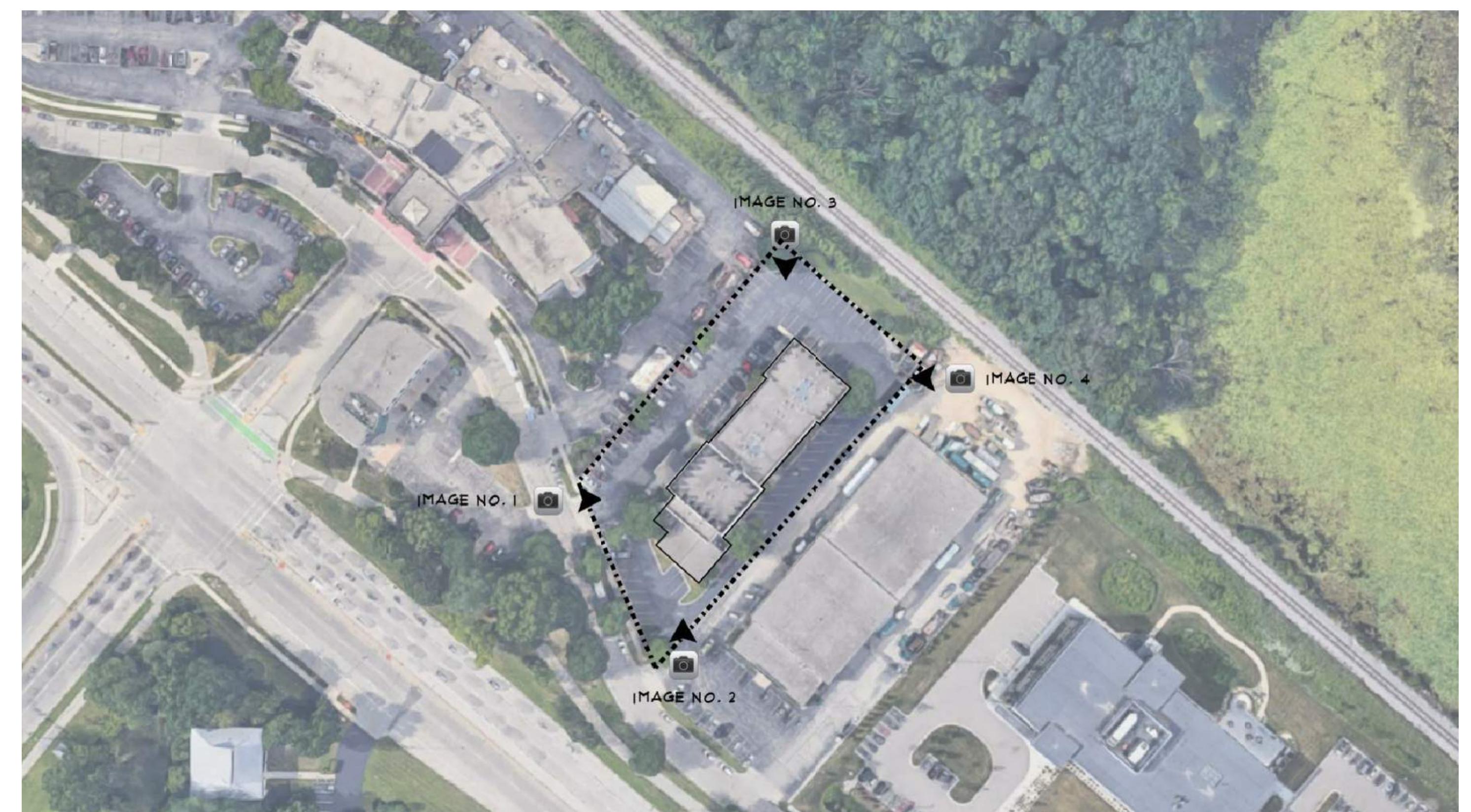




IMAGE NO. 6



IMAGE NO. 5

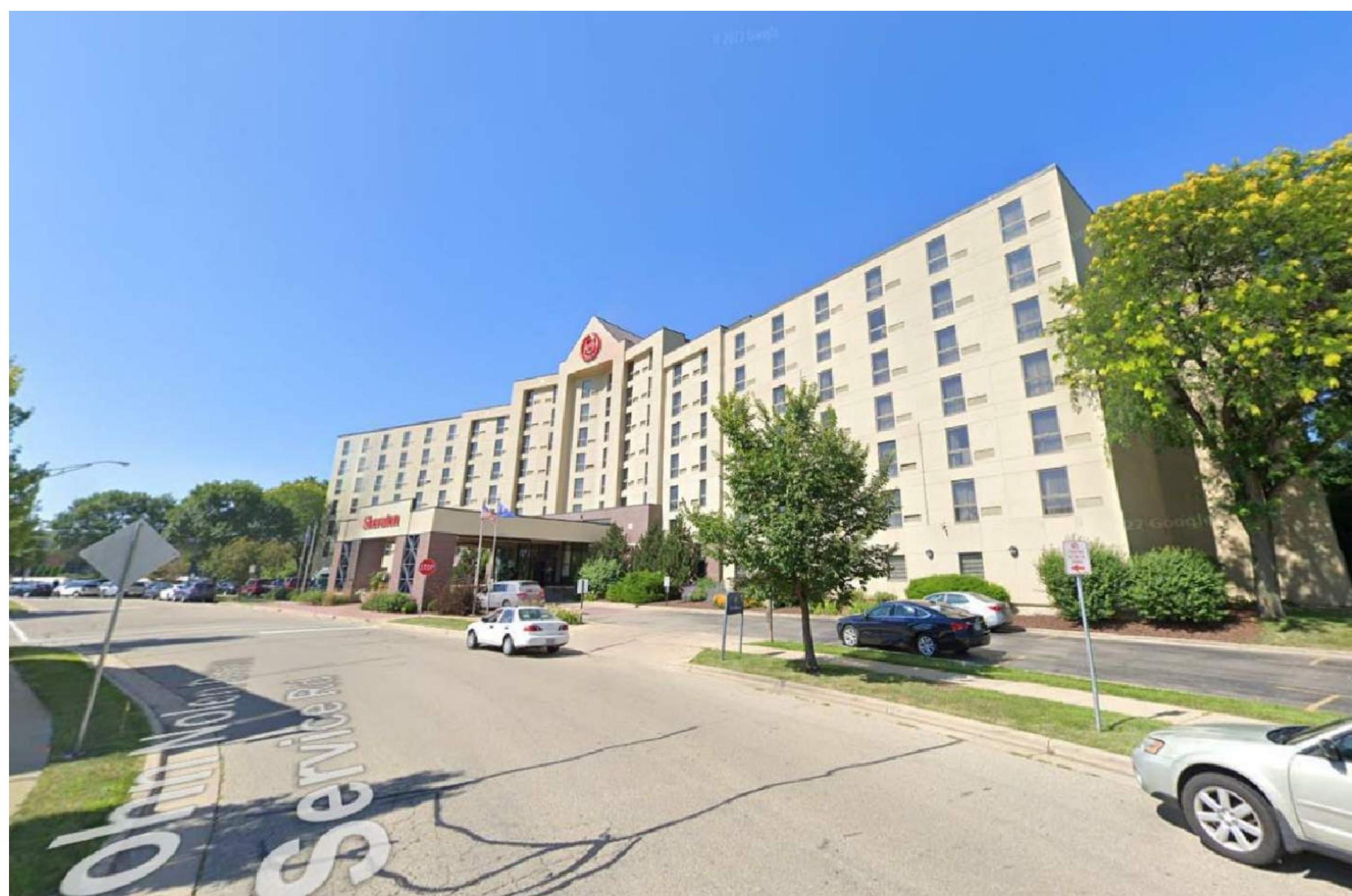


IMAGE NO. 4

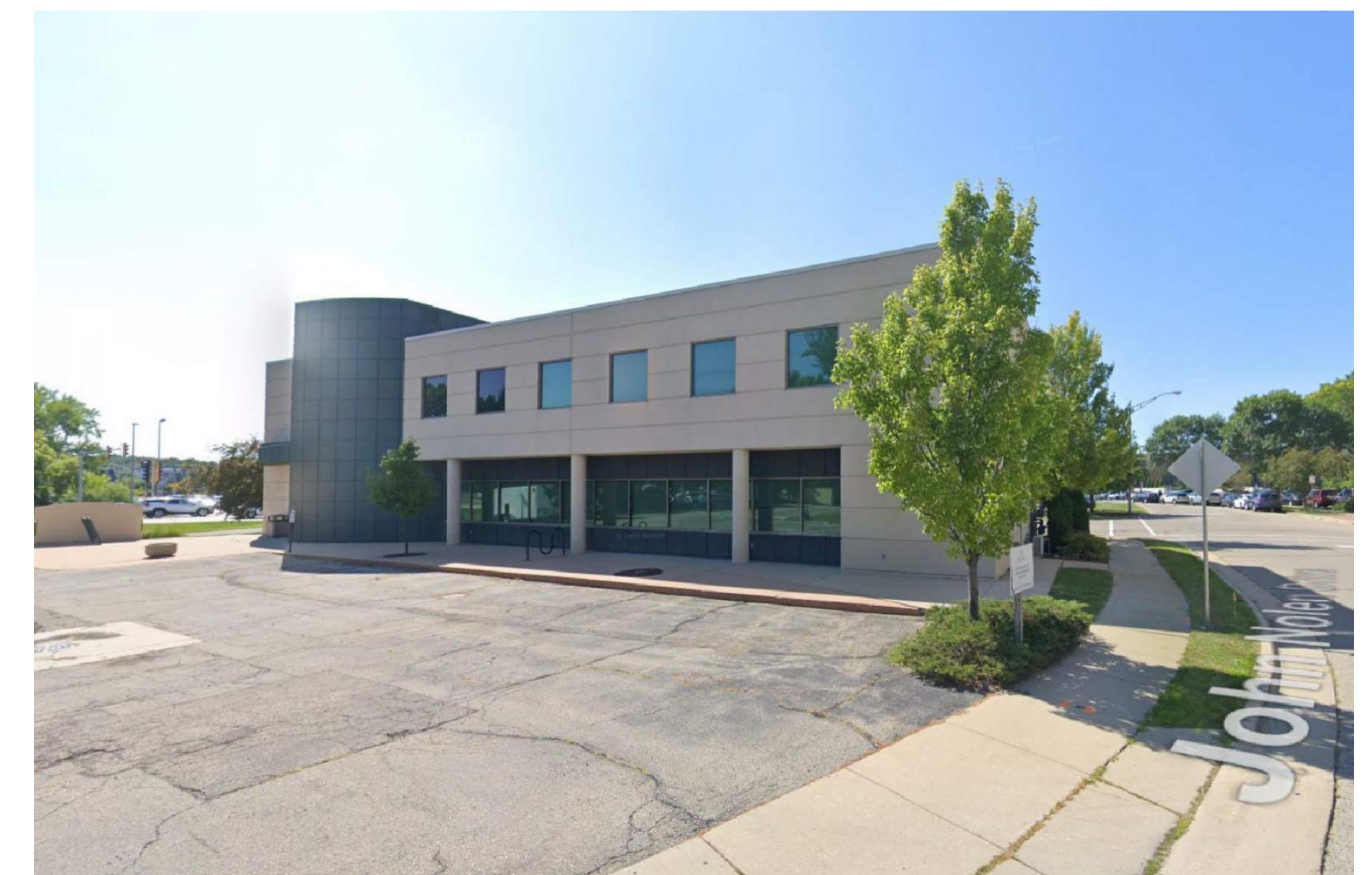


IMAGE NO. 3



IMAGE NO. 2

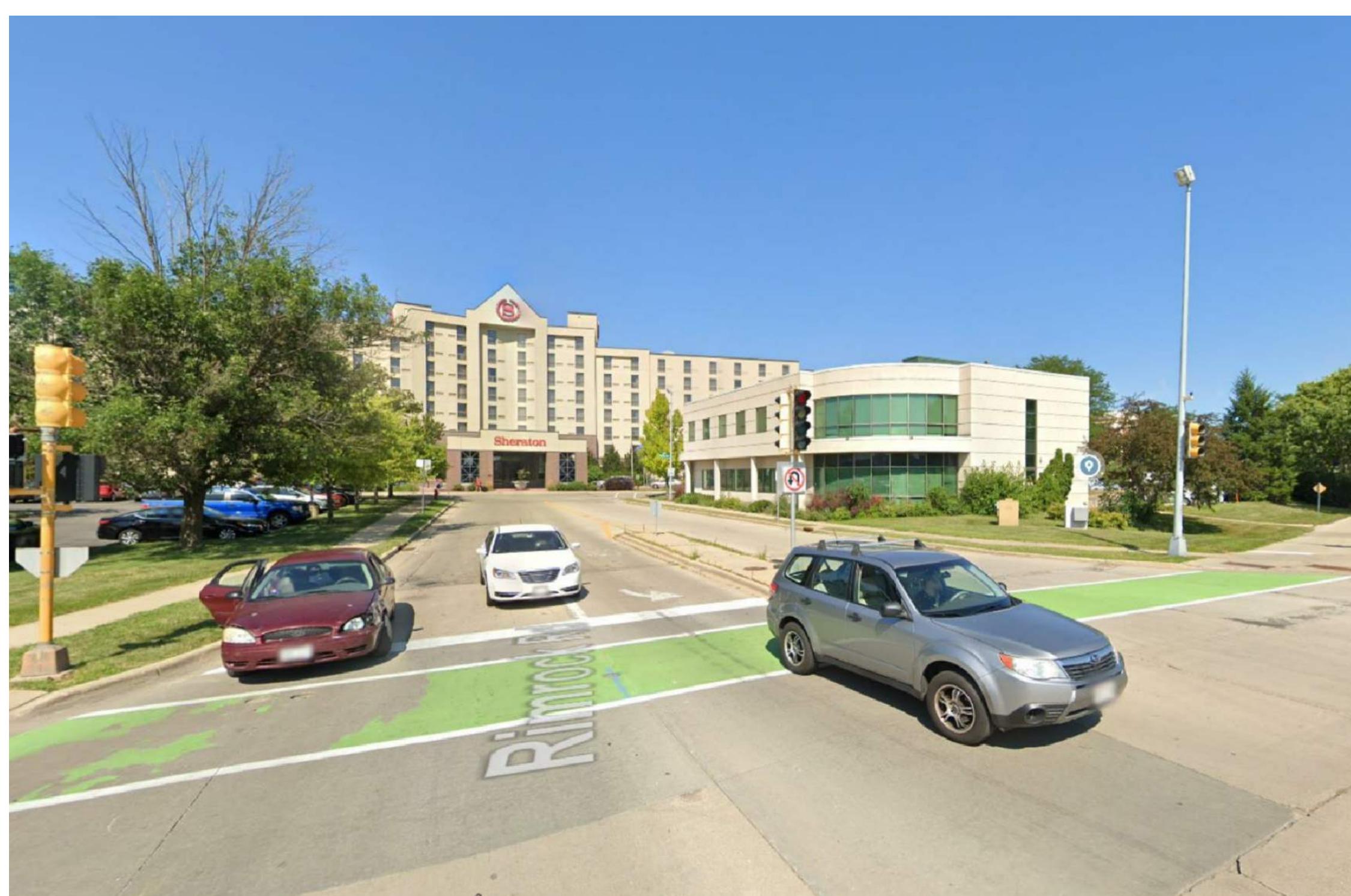
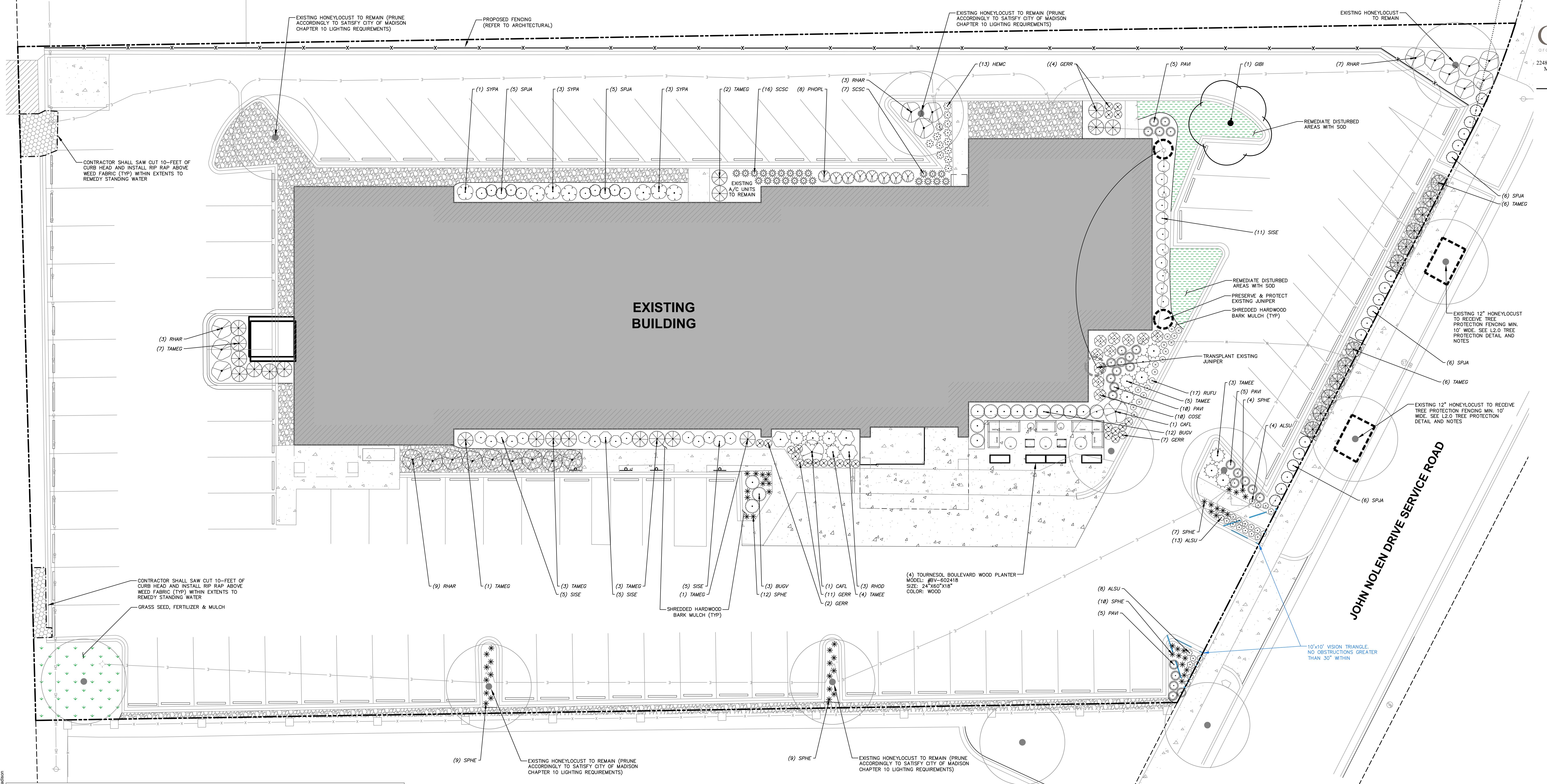


IMAGE NO. 1



SITE CONTEXT MAP

PROPOSED FARFIELD CONVERSION
DEFOR BROTHERS, LLC
PROJECT: 202223
DRAWN BY: DSD
DATE: 01/26/2023
SCALE: AS NOTED
PRICING SET: 01/26/2023
UDC / 30% SET: 02/27/2023
CLIENT: CHATTANOOGA, TN 37402
PROJECT: 202223
DRAWN BY: DSD
DATE: 01/26/2023
SCALE: AS NOTED
PRICING SET: 01/26/2023
UDC / 30% SET: 02/27/2023
CLIENT: MADISON, WI 53713
PROJECT: 202223
DRAWN BY: DSD
DATE: 01/26/2023
SCALE: AS NOTED
PRICING SET: 01/26/2023
UDC / 30% SET: 02/27/2023
CLIENT: CHATTANOOGA, TN 37402



PLANT SCHEDULE				
	CODE	BOTANICAL / COMMON NAME	CONT	SIZE
OVERSTORY DECIDUOUS TREES			CONT	SIZE
	GIBI	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	B & B	2.5' Cal
				1
DECIDUOUS SHRUBS			CONT	SIZE
	CAFL	Calycanthus floridus 'SMNCFA' / Simply Scentsational® Sweetshrub	#5	Min. 12"-24"
				2
	COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	Min. 12"-24"
				10
	SISE	Diervila sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle	#3	Min. 18"-24" Ht.
				26
	PHOPL	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	#3	Min. 12"-24"
				8
	RHAR	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#3	Min. 12"-24"
				22
	SPJA	Spiraea japonica 'SMNSJMF' TM / Double Play Red Spirea	#3	Min. 24" Ht.
				28
	SYPA	Syringa x 'SMNURP' TM / Bloomerang Dwarf Pink Lilac	#5	Min. 24" Ht.
				7
EVERGREEN SHRUBS			CONT	SIZE
	BUGV	Buxus x 'Green Velvet' / Green Velvet Boxwood	3 gal	Min. 12"-24"
				15
	RHOD	Rhododendron x 'PJM' / PJM Rhododendron	#5	Min. 12"-24"
				3
	TAMEG	Taxus x media 'Dark Green' / Dark Green Yew	#3	Min. 12"-24"
				32
	TAMEE	Taxus x media 'Everlow' / Everlow Yew	#3	Min. 12" Wide
				12
PERENNIALS & GRASSES			CONT	SIZE
	ALSU	Allium x 'Summer Beauty' / Summer Beauty Allium	#1	Min. 8"-18"
				25
	GERR	Geranium x 'Rozanne' / Rozanne Cranesbill	#1	Min. 8"-18"
				24
	HEMC	Hemerocallis x 'Chicago Apache' / Daylily	#1	Min. 8"-18"
				13
	PAVI	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	#1	Min. 8"-18"
				26
	RUFU	Rudbeckia fulgida 'sullivantii' 'Goldsturm' / Goldsturm Coneflower	#1	Min. 8"-18"
				17
	SCSC	Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem	#1	Min. 8"-18"
				23
	SPHE	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#1	Min. 8"-18"
				51

CITY TRAFFIC ENGINEERING NOTES	
1.	THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.
CITY FORESTRY NOTES	
1.	AS DEFINED IN THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 10 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON CITY FORESTRY WILL PROVIDE A WRITTEN PLAN TO PROTECT THE ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECSCEN
2.	CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREES. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE ROOTS OF THE STREET TREES. THE USE OF EQUIPMENT DURING CONSTRUCTION AND LOADING AND UNLOADING OF MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
3.	SECTION 107.13(C) OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION COMPROMISES STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
4.	ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE PROVIDED BY THE CONTRACTOR. THE FENCE SHALL BE A MINIMUM OF 3 FEET HIGH AND SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND EXTEND AT LEAST 3 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
5.	IF APPLICABLE, A RIGHT-OF-WAY STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON CITY FORESTRY AT A MINIMUM OF TWO WORK DAYS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 – PART 1 STANDARDS FOR PRUNING.
6.	IF APPLICABLE, AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

LANDSCAPE REQUIREMENTS

CITY LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Remediated areas shall be calculated based upon the boundaries of the property. Remediated area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint or grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning district. The following table provides the method for calculating landscape points depending on the size of the lot and Zoning District.

(A) For lots larger than five (5) acres: points shall be provided five (5) points per acre times the number of square feet for the first one hundred (100) square feet of developed area; 1 point per acre hundred (100) square feet for all additional acres.

Total square footage of developed area: **34,343 SF**

Total landscape points required: **573 POINTS**

(B) For lots less than five (5) acres: points shall be provided five (5) points per acre times the number of square feet for the first one hundred (100) square feet of developed area; 1 point per acre hundred (100) square feet for all additional acres.

Total square footage of developed area: **34,343 SF**

Total landscape points required: **573 POINTS**

(C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: **34,343 SF**

Total landscape points required: **343 POINTS**

TABULATION OF LANDSCAPE CREDITS AND POINTS

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
		POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	7	245	1
TALL EVERGREEN TREE	5'-6' TALL MIN.	35	0	0	0
ORNAMENTAL TREE	1.5' CAL MIN.	15	0	0	0
UPRIGHT EVERGREEN SHRUB	3'-4' TALL, MIN.	10	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	103
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	62
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	179
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	.4	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	14 POINTS / CAL (MAXIMUM 200 POINTS PER TREE)	14	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICLY ACCESSIBLE DEVELOPED AREA, NOT INCLUDING AREAS OWNED BY OTHER PARTIES)	5	0	0	0
SUBTOTAL		245		950	
TOTAL NUMBER OF POINTS PROVIDED		1,195			

LEGEND

PROPERTY LINE	
EASEMENT LINE	
BUILDING OVERHANG	
EDGE OF PAVEMENT	
CONCRETE PAVEMENT	
HEAVY DUTY CONCRETE PAVEMENT	
SAN	
EXISTING SANITARY SEWER	
EXISTING WATERMAIN	
ST	
LIGHT POLE (REFER TO PHOTOMETRIC PLAN)	
ADA PARKING SIGN	
ALUMINUM EDGING	
BOLLARD	
BIKE RACK	
PROTECT & PRESERVE EXISTING TREE	
VISION TRIANGLE	
DECORATIVE STONE MULCH	
SOD - BLUEGRASS BLEND	
SEED - BLUEGRASS BLEND	
RIP RAP	

L1.0

LANDSCAPE PLAN

PROPOSED FAIRFIELD CONVERSION
PROJECT: 202223
DRAWN BY: DEFOOR BROTHERS, LLC
DATE: 01/30/2023
SCALE: 10' PRINCIPAL SET
UDC / 30% SET 02/27/2023
CLIENT: CHATTANOOGA, TN 37402

2248 DEMING WAY, SUITE 120
MIDDLETON, WI 53562
608-829-1750
www.garybrink.com

JSD
jdsd.com
MADISON REGIONAL OFFICE
101 HARRISON DRIVE, SUITE 101
MADISON, WI 53713
P: 608-245-8900

SCALE IN FEET
10' 0" 10' 0" 10' 0"

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
3. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
4. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
5. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE
6. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
7. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
8. MATERIALS – PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
9. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBium LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
10. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
11. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
12. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

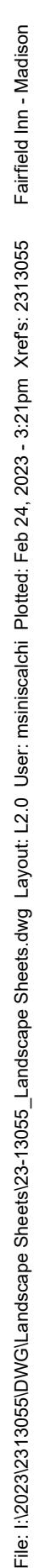
1. PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
2. TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
3. SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
4. STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1.5" MISSISSIPPI WASHED DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
5. TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
6. ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
7. TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LDPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO., OR APPROVED EQUAL.
8. TREE WATERING BAGS: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BAG. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BAG," PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
9. IRRIGATION: DRIP IRRIGATION PROVIDED IN ALL PLANT BED AREAS SURROUNDING BUILDING
10. SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

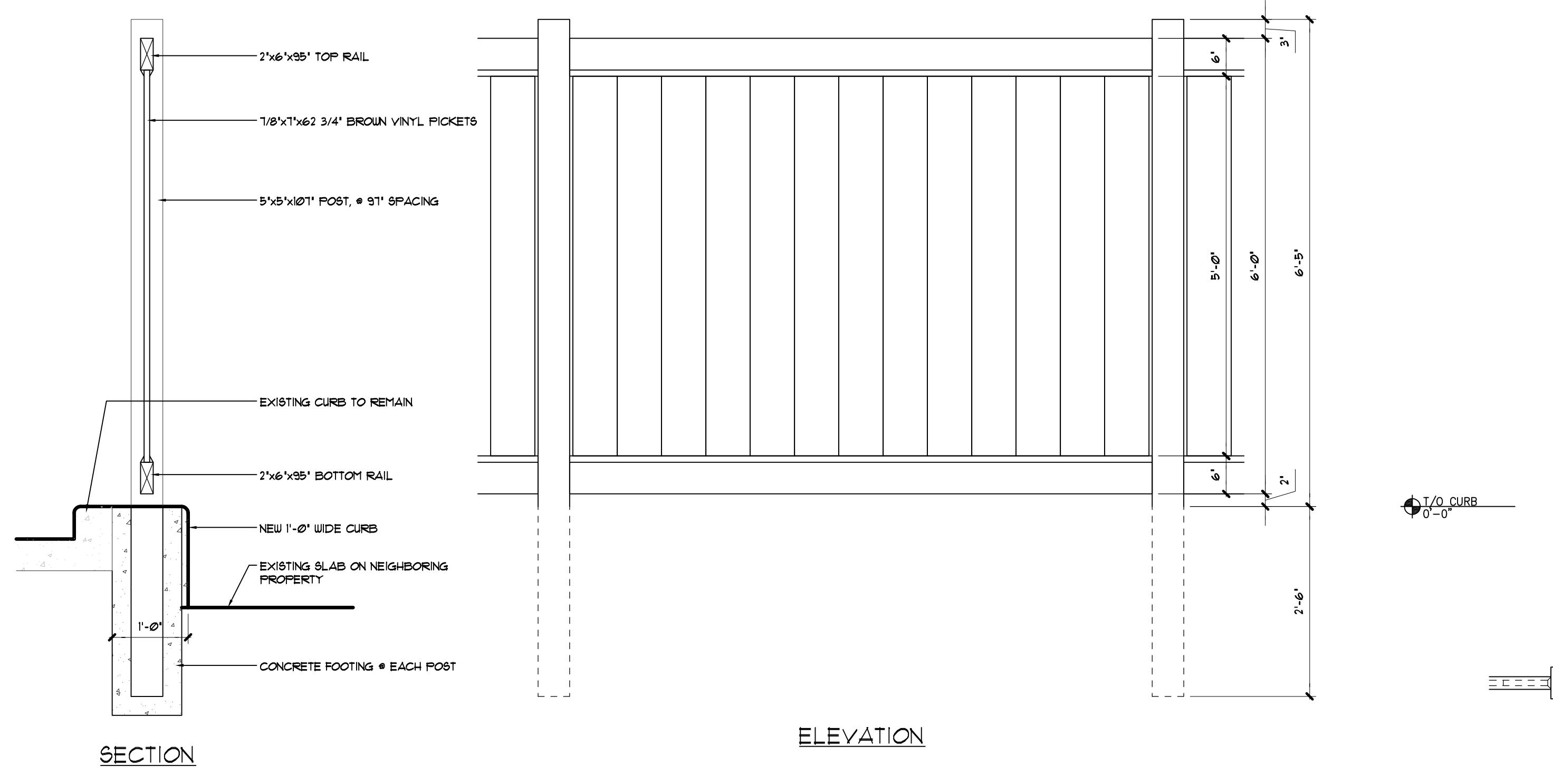
CONTRACTOR AND OWNER RESPONSIBILITY NOTES

1. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
3. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

A large, rectangular wooden planter box with horizontal planks and a dark metal frame, filled with green bushes. The planter is situated on a paved area, with a building and a tree visible in the background.

IPNESOL BOUL EVARD WOOD PLANTER





SECTION

ELEVATION

2 TYPICAL FENCE DETAILS

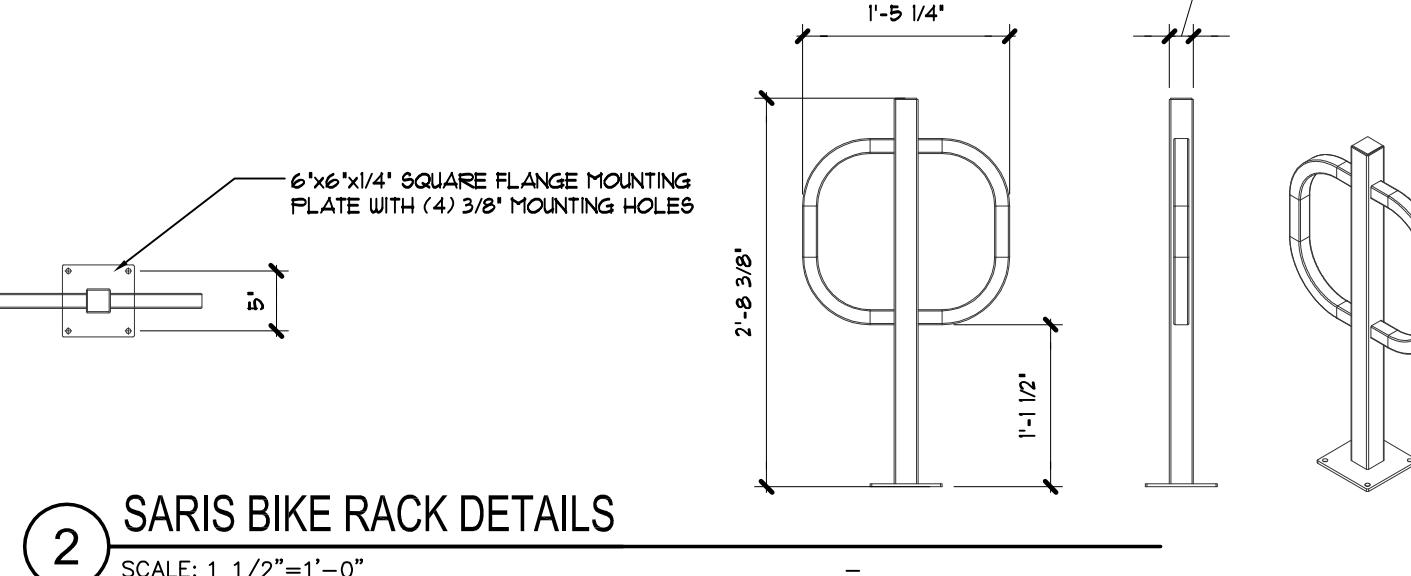
SCALE: 1 1/2"-1'-0"

► SITE PLAN KEY NOTES

- EXISTING FIRE DEPARTMENT CONNECTION (FDC).
- NEW PEDESTRIAN SIDE WALK TO MEET ADA REQUIREMENTS.
- NEW PASSENGER DROP-OFF AREA TO BE REPAIRED AND REGRADED TO WORK WITH NEW VESTIBULE.
- NEW BIKE RACK TO MEET LOCAL DESIGN REQUIREMENTS. REFER TO DETAIL 3A101.
- EXISTING COLUMNS TO REMAIN.
- NEW VESTIBULE FOOTPRINT.
- NEW MONUMENTAL HOTEL SIGN.
- PROPERTY LINE. REFER TO CIVIL DRAWINGS.
- EXISTING UTILITY EQUIPMENT.
- NEW PRIVACY FENCE OUTSIDE OF DRIVEABLE CURB. REFER TO DETAIL 2A101.
- NEW ACCESSIBLE PARKING SIGNAGE ON POST. REFER TO DETAILS ON CIVIL DRAWINGS.
- RE-PAINTED PARKING STRIPING. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL INFORMATION AND ACCESSIBLE PARKING SYMBOLS.
- NEW CONCRETE WHEEL STOP.
- NEW THRU-SIDEWALK DRAIN PATH WITH ADA COMPLIANT GATE COVER. COORDINATE SIZE & LOCATION WITH DOWNSPOUT.
- EXISTING TRASH ENCLOSURE TO REMAIN. TO BE RE-PAINTED AND REPAIRED AS NEEDED.
- RE-PAINTED PARKING STALLS, TYPICAL OF ALL PARKING PAINT.
- NEW CURBS TO DICE INTO EXISTING CURBS.
- NEW BUILDING FOOTPRINT FOR ADDITIONAL ELEVATOR SHAFT.
- REFER TO ELECTRICAL SITE PLAN FOR SITE LIGHTING.
- PATCH REPAIR & SEAL EXISTING ASPHALT.

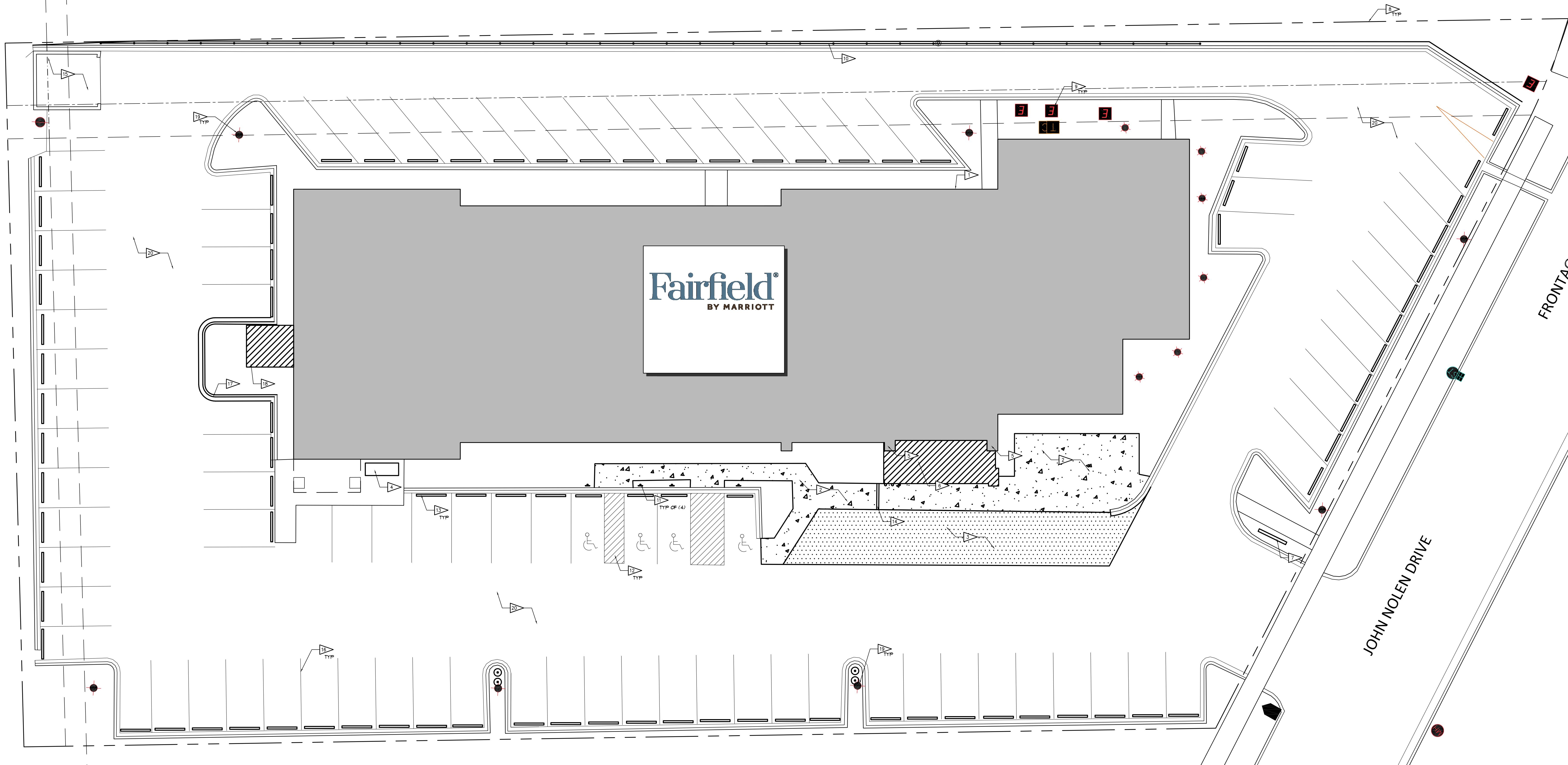
► GENERAL SITE PLAN NOTES

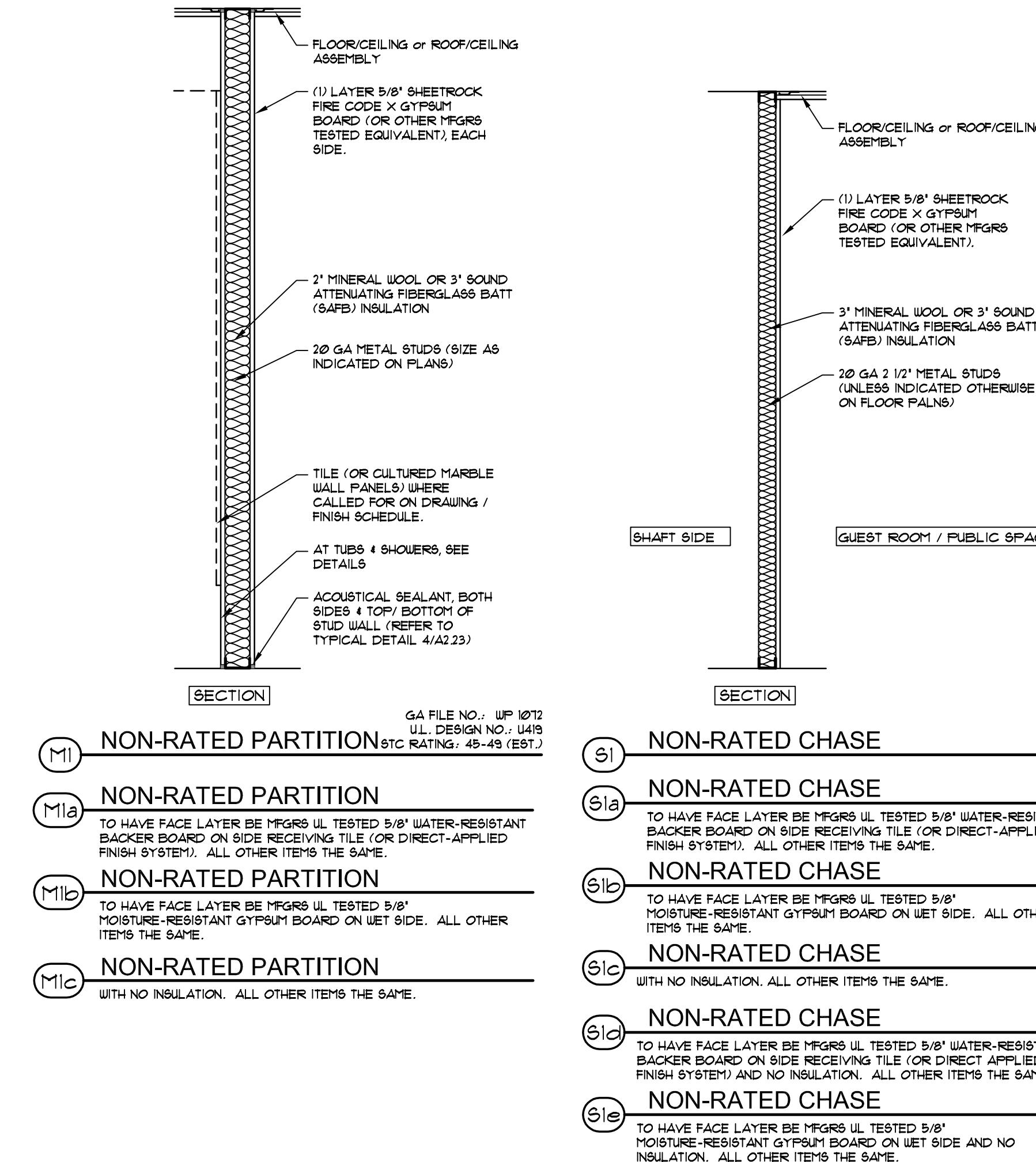
- ALL CONTRACTORS & SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND DETERMINING ACTUAL SITE CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SITES THAT SHOULD HAVE BEEN ANTICIPATED.
- REFER TO CIVIL SHEET(S) FOR SCOPE OF WORK WITHIN THE DESIGNATED LOT THAT IS TO BE PROVIDED BY THE SITE WORK CONTRACTOR. THE CONTRACTOR SHALL NOTIFICATION THE ARCHITECT/ENGINEER IMMEDIATELY AND REFRAIN FROM STARTING OR COMPLETING SUCH WORK UNTIL CLARIFICATION HAS BEEN ISSUED IN WRITING FROM THE ARCHITECT/ENGINEER.
- UNLESS NOTED OR SHOWN OTHERWISE, DIMENSIONS ON SITE PLAN ARE TO FACE-OF-CURB TO BUILDING SHEATHING AND / OR GRID LINES. REFER TO CIVIL DRAWINGS FOR INTRICATE SITE PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN.
- REFER TO CIVIL SHEETS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL APPLICABLE PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING TO REMAIN UTILITIES.
- PROVIDE POSITIVE DRAINSAGE AWAY FROM BUILDING AT 1/4" PER FOOT, MINIMUM. DO NOT EXCEED MAX-ADA SLOPE OR CROSS-SLOPE REQUIREMENTS WHERE GRADE IS PART OF AN ACCESSIBLE ROUTE.
- ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WISCONSIN STANDARDS OR GUIDELINES, WHICHEVER IS MORE STRINGENT.
- ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WISCONSIN STANDARDS OR GUIDELINES, WHICHEVER IS MORE STRINGENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN CIVIL AND LANDSCAPE AND EXTENSION / CONNECTION TO WORK PROVIDED UNDER THIS CONTRACT.
- ANY DAMAGE OR DISRUPTION TO AREAS (OR BUILDINGS / STRUCTURES) ADJACENT TO OR OUTSIDE THE LIMITS OF CONSTRUCTION SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ETC. SHALL BE RESTORED TO THE NEW CONDITIONS IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN STANDARDS, AND PROVIDED FOR BY A LICENSED CONTRACTOR.
- ALL DAMAGE TO STREET PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL CONTRACTORS SHALL COORDINATE WITH DRY AND WET UTILITY COMPANIES TO DETERMINE EXTENT OF WORK REQUIRED. ANY EXISTING IMPROVEMENTS THAT ARE AFFECTED DURING THE COURSE OF UTILITY WORK, INCLUDING BUT NOT LIMITED TO LANDSCAPING, STREETS, SIDEWALKS, ETC. SHALL BE RETURNED TO EXISTING OR BETTER CONDITION.
- SITE PLUMBING / UTILITY CONTRACTOR SHALL VERIFY AND MARK THE LOCATION OF EXISTING SANITARY & SEWER LINE WITH THE CONTRACTOR.



2 SARIS BIKE RACK DETAILS

SCALE: 1 1/2"-1'-0"

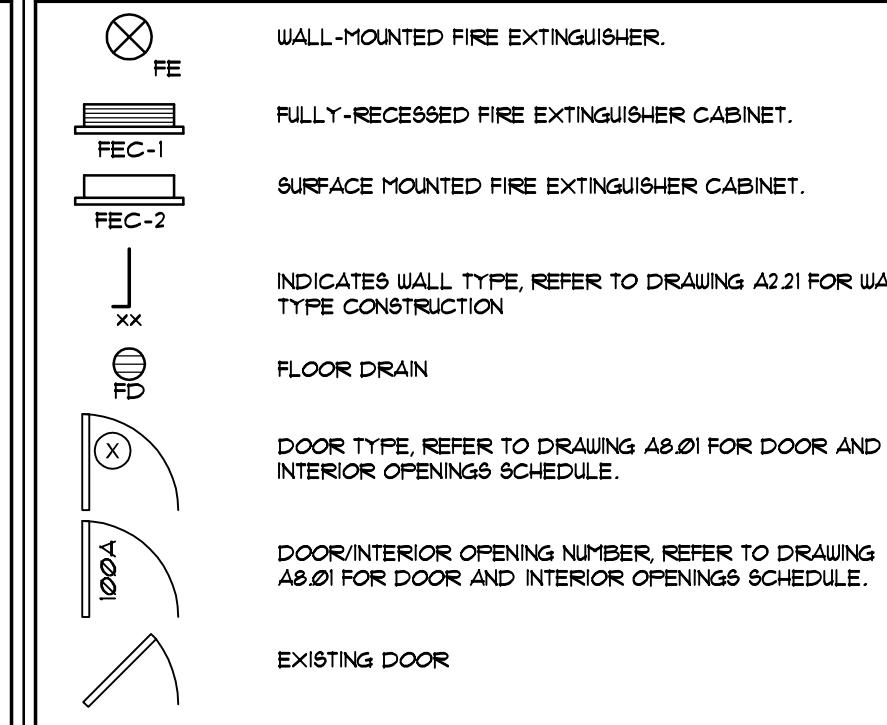




FLOOR PLAN KEY NOTES

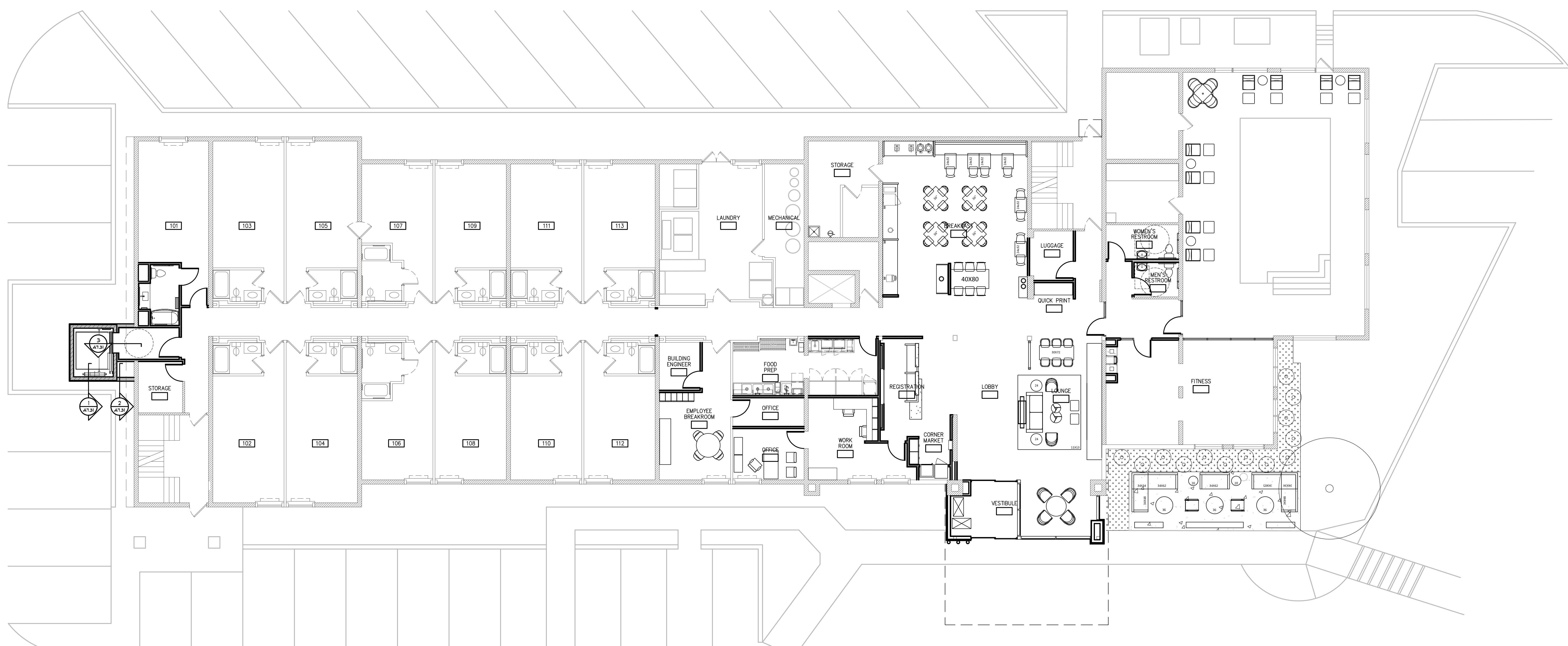
1. KITCHEN EQUIPMENT, REFER TO KE PLANS.
2. BUILT IN MILLWORK. REFER TO INTERIOR DESIGN DRAWING. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3. FACE OF WALLS TO ALIGN.
4. RELOCATE ELECTRIC FIREPLACE. REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5. NEW ELEVATOR.
- 6.
- 7.
- 8.
- 9.
- 10.

PLAN SYMBOLS



GENERAL PLAN NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/OFFSET STUD FACE (IF NECESSARY) TO ACHIEVE UNBROKEN FINISHED SURFACE.
- C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
- E. REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
- F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
- G. ALL DOORS ARE TO BE MOUNTED 4' FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAMAGED SURFACES.
- I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
- J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
- K. REFER TO THE 'T SERIES' FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
- L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL, DATA, VOICE, FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / 'BRAND' DESIGN STANDARDS / ELECTRICAL CONTRACTOR
- M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL-HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 12'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
- N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
- O. DASHED RECTANGLE INDICATES MINIMUM FIXTURE ACCESS CLEARANCE. DASHED 5' DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO T SERIES DRAWINGS.
- P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER OFO, OFCI OR CFCI).
- Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY, IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- R. PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
- S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 30 00 TILE FOR ADDITIONAL INFORMATION.
- T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- V. REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
- W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
- X. WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
- Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS

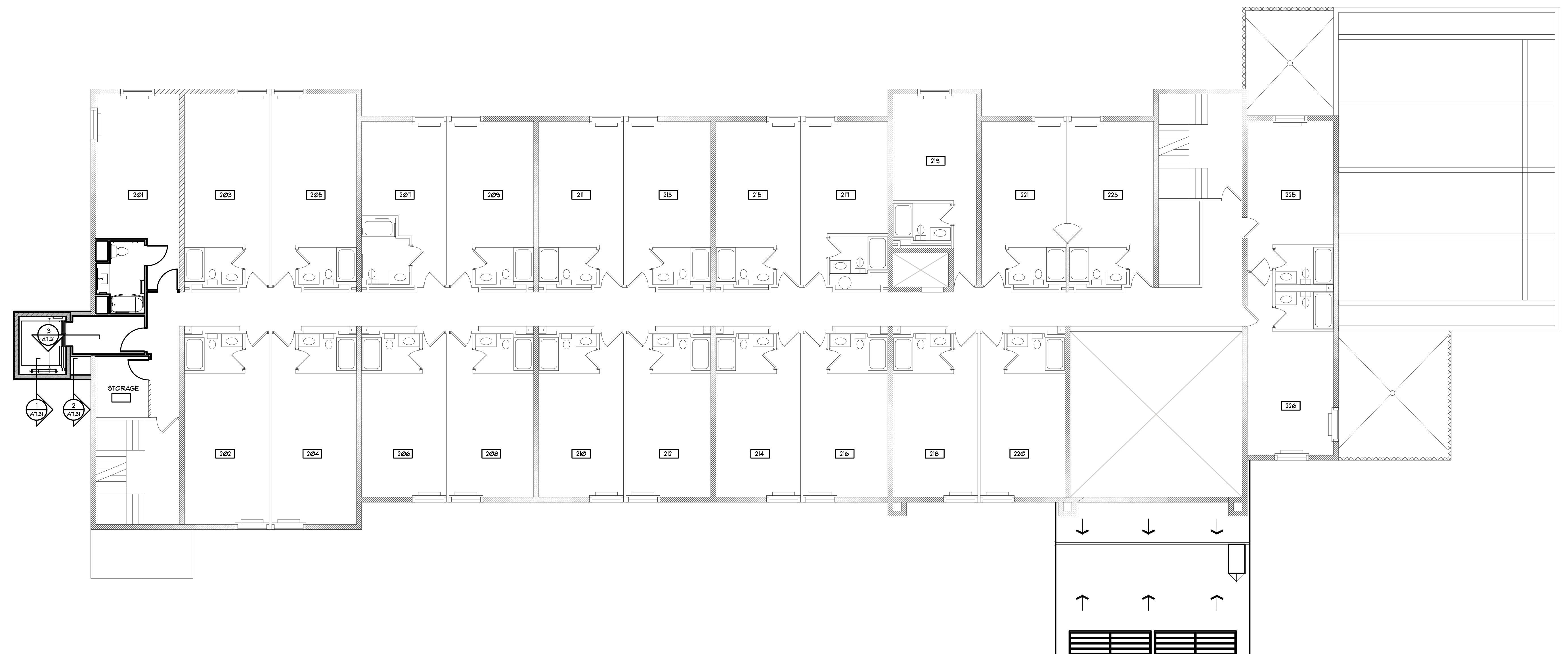


PROJECT: PROPOSED FAIRFIELD CONVERSION

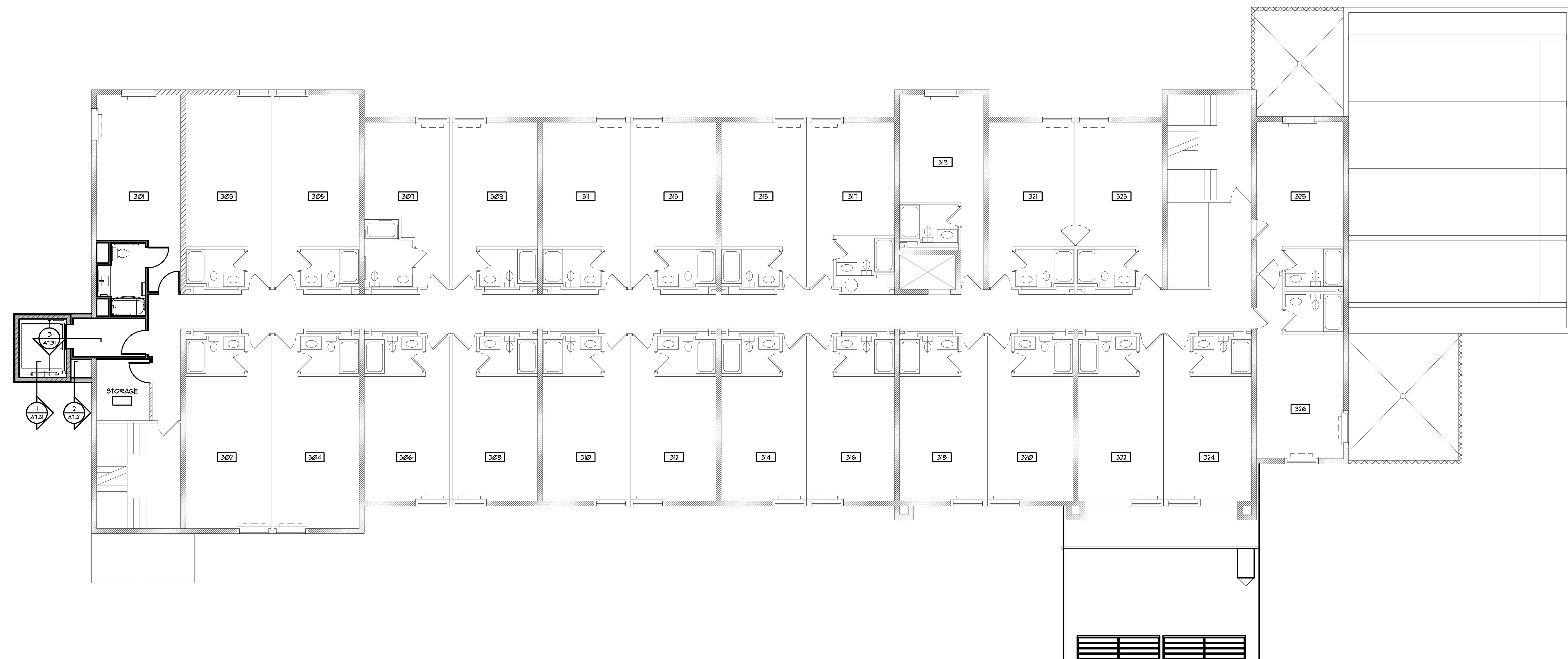
2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223
DRAWN BY: DSD
DATE:

SCALE: AS NOTED



FLOOR PLAN KEY NOTES		PLAN SYMBOLS		GENERAL PLAN NOTES:	
1. KITCHEN EQUIPMENT, REFER TO KE PLANS. 2. 24' X 36' MILLION, REFER TO INTERIOR DESIGN DRAWING, GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP. 3. FACE OF WALLS TO ALIGN. 4. RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS. 5. NEW ELEVATOR. 6. 7. 8. 9. 10.		 WALL-MOUNTED FIRE EXTINGUISHER. FULLY-RECESSSED FIRE EXTINGUISHER CABINET. SURFACE MOUNTED FIRE EXTINGUISHER CABINET. INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION. FLOOR DRAIN. DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE. EXISTING DOOR.		<p>A. DO NOT SCALE DRAWINGS.</p> <p>B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD, IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/OFFSET STUD FACE (IF NECESSARY) TO ACHIEVE INSIDE DIMENSIONS.</p> <p>C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS, IF DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.</p> <p>D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD TO FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.</p> <p>E. REFER TO UPGRADED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES FOR UPGRADED ASSEMBLIES.</p> <p>F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.</p> <p>G. ALL DOORS ARE TO BE MOUNTED 4' FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.</p> <p>H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT HAVE BEEN REMOVED AND REVELED AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT UNPAGED SURFACES.</p> <p>I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.</p> <p>J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL CODE.</p> <p>K. REFER TO THE T SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.</p> <p>L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE, FIRE ALARMS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / BRAND DESIGN STANDARDS / ELECTRICAL CONTRACTOR.</p> <p>M. PROVIDE ACCESS TO ALL OUTSIDE CORNERS 8' HIGH, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 8', OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.</p> <p>N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.</p> <p>O. DASHED RECTANGLES INDICATE HIDDEN CEILINGS, PROVIDE 18" CLEARANCE, DASH 2" DIAMETER, AND 12" DIAMETER TURNING CLEARANCE FOR IMPEDIMENT ACCESS. REFER TO T SERIES DRAWINGS.</p> <p>P. PROVIDE BLOCKING BEHIND WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND DOORS, WHETHER GRC, CPC OR PCP.</p> <p>Q. UNRATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING. SUBSTITUTE 5/8" TYPE X GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY, IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE NEAR TO BUILDING BEING IN THE DRY.</p> <p>R. PERIODICLY CHECK ALL EXISTING WALLS FOR HOLLOW SPOTS AND REPAIR AS HOLLOW ASSEMBLY. DO NOT USE EXISTING WALLS AS A SUPPORT FOR NEW CONSTRUCTION IN FIRE-RATED HORIZONTAL ASSEMBLY INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.</p> <p>S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 8" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT DUE TO TILES BEING TURNED UP. PROVIDE WATERPROOFING UNDER TILES. REFER TO SPECIFICATION SECTION 09 30 00 TILE FOR ADDITIONAL INFORMATION.</p> <p>T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.</p> <p>U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE REPAVED.</p> <p>V. REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.</p> <p>W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS, NO CLEAN-OUTS IN KITCHEN, CARPETED AREAS, ALL CLEAN-OUTS ARE TO BE PLUMB UNDER ADJACENT FLOOR / WALL SURFACES.</p> <p>X. WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.</p> <p>Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.</p>	



FLOOR PLAN KEY NOTES	
1.	KITCHEN EQUIPMENT, REFER TO KE PLANS.
2.	301-3 IN MILLION, REFER TO INTERIOR DESIGN DRAWING, GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3.	FACE OF WALLS TO ALIGN.
4.	RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5.	NEW ELEVATOR.
6.	
7.	
8.	
9.	
10.	

PLAN SYMBOLS	
FE	WALL-MOUNTED FIRE EXTINGUISHER.
FEC-1	FULLY-RECESSED FIRE EXTINGUISHER CABINET.
FEC-2	SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
xx	INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.
FD	FLOOR DRAIN.
DOOR	DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
DOOR	DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	EXISTING DOOR.

GENERAL PLAN NOTES:	
A.	DO NOT SCALE DRAWINGS.
B.	DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD, IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/OFFSET STUD FACE (IF NECESSARY) TO ACHIEVE INSIDE DIMENSIONS.
C.	REFER TO SHEET A2.01 FOR WALL TYPES.
D.	ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD TO FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
E.	REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES FOR ADDED SURFACES.
F.	REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
G.	ALL DOORS ARE TO BE MOUNTED 4' FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
H.	FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT ADJACENT UNPAGED SURFACES ARE TO MATCH ADJACENT UNPAGED SURFACES.
I.	OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
J.	ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL REQUIREMENTS.
K.	REFER TO THE T-1 SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
L.	GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE, FIRE ALARMS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / BRAND DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
M.	PERIODIC INSPECTIONS WILL BE MADE AT ALL OUTSIDE CORNERS 8' HIGH, AT LOWER CEILINGS, CONFER HEIGH WITH OWNERS AT LOCATIONS WITH CEILINGS ABOVE 8', OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
N.	REFER T-14 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
O.	DASHED RECTANGLE LINE INDICATES 30" CLEARANCE FOR TURNING CLEARANCE, DASH 2" DIAMETER, AND HORIZONTAL ASSEMBLY INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
P.	PROVIDE BLOCKING BEHIND WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND DOORS, WHETHER GRC, CPC OR PCP.
Q.	WALL RATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING. SUBSTITUTE 5/8" TYPE X GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY, IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE BEYOND THE BUILDING BEING IN THE DRY.
R.	PERIODIC INSPECTIONS WILL BE MADE AT ALL OUTSIDE CORNERS 8' HIGH, AT LOWER CEILINGS, CONFER HEIGH WITH OWNERS AT LOCATIONS WITH CEILINGS ABOVE 8', OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
S.	PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 8" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT DUE TO TILES BEING TURNED UP. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT DUE TO TILES BEING TURNED UP. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT DUE TO TILES BEING TURNED UP. REFER TO SPECIFICATION SECTION 09 30 00 TILE FOR ADDITIONAL INFORMATION.
T.	REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
U.	ALL MECHANICAL, PLUMBING, ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE REINFORCED.
V.	REFER TO INTERIOR DESIGN DRAWINGS FOR FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
W.	TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS ARE TO BE LOCATED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE PLUGGED UP AFTER CONCRETE FLOOR / WALL SURFACE.
X.	WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
Y.	GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.

FLOOR PLAN KEY NOTES

1. KITCHEN EQUIPMENT, REFER TO KE PLANS.
2. BUILT IN MILLWORK. REFER TO INTERIOR DESIGN DRAWING. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3. FACE OF WALLS TO ALIGN.
4. RELOCATE ELECTRIC FIREPLACE. REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5. NEW ELEVATOR.
- 6.
- 7.
- 8.
- 9.
- 10.

PLAN SYMBOLS

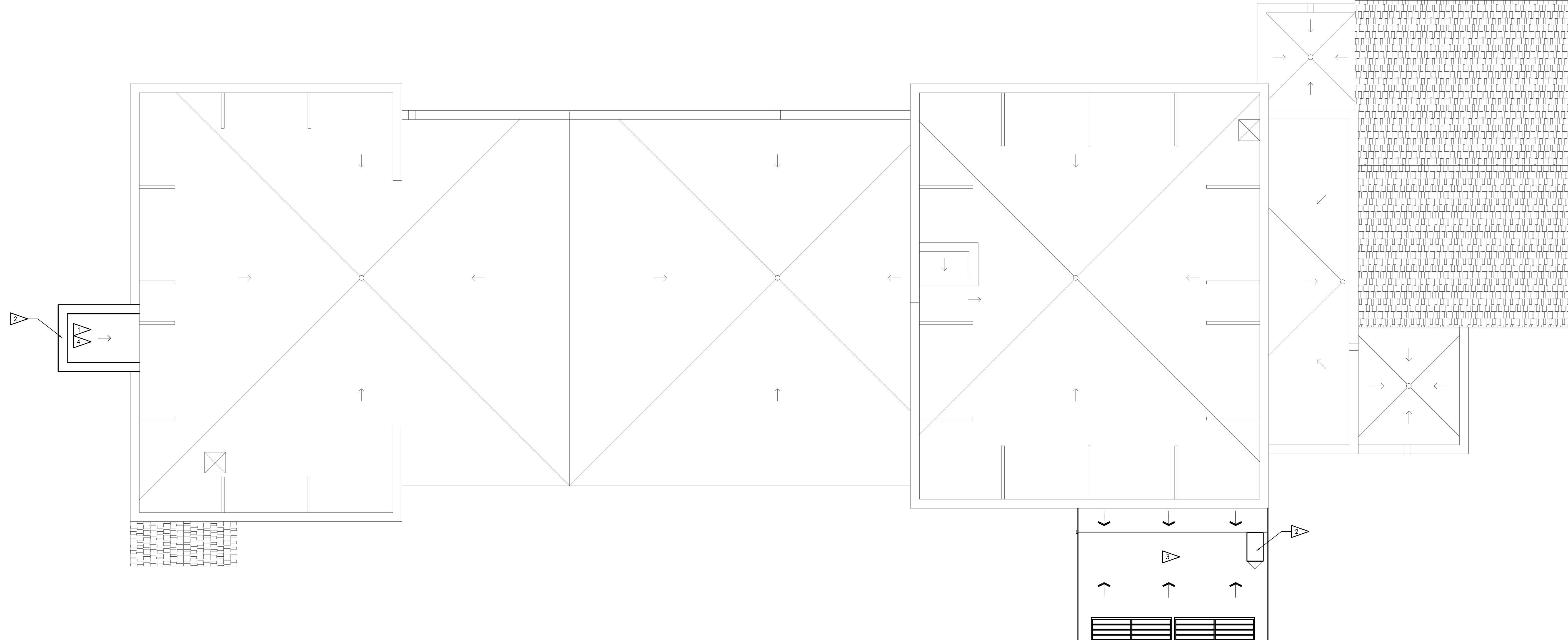
	WALL-MOUNTED FIRE EXTINGUISHER.
	FULLY-RECESSED FIRE EXTINGUISHER CABINET.
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
	INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION
	FLOOR DRAIN
	DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
	EXISTING DOOR

GENERAL PLAN NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/OFFSET STUD FACE (IF NECESSARY) TO ACHIEVE UNBROKEN FINISHED SURFACE.
- C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
- E. REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
- F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
- G. ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAMAGED SURFACES.
- I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
- J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
- K. REFER TO THE 'T SERIES' FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
- L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL, DATA, VOICE, FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / 'BRAND' DESIGN STANDARDS / ELECTRICAL CONTRACTOR
- M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL-HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 12'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
- N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
- O. DASHED RECTANGLE INDICATES MINIMUM FIXTURE ACCESS CLEARANCE. DASHED 5' DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO 'T' SERIES DRAWINGS.
- P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER OFOI, OFCI OR CFCI).
- Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY, IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- R. PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
- S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5' HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 30 00 TILE FOR ADDITIONAL INFORMATION.
- T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- V. REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
- W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
- X. WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
- Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS



ROOF KEY NOTES		PLAN SYMBOLS		GENERAL PLAN NOTES:	
1. AT AREAS INDICATED WITH AN ARROW, INDICATED INTENDED FLOW. PROVIDE TAPERED INSULATION AS REQUIRED TO ACHIEVE POSITIVE FLOW OF 14' PER FT. TO ROOF DRAINS.		WALL-MOUNTED FIRE EXTINGUISHER.		A. DO NOT SCALE DRAWINGS.	
2. PRE-FINISHED METAL COPING PER DETAILS & INDICATED. JOINTS TO BE 10'-0" MAX. AND AS SHOWN.		FULLY-RECESSED FIRE EXTINGUISHER CABINET.		B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD, IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/OFFSET STUD FACE (IF NECESSARY) TO ACHIEVE INSIDE DIMENSIONS AS SHOWN.	
3. NEW PORTE-COCHEERE ROOF. SEE SHEET A132 FOR DETAILS.		SURFACE MOUNTED FIRE EXTINGUISHER CABINET.		C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS, IF DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.	
4. NEW ELEVATOR OVERRUM. REFER TO SHEET A131 FOR DETAILS.		XX INDICATES WALL TYPE. REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.		D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD TO FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.	
		TD FLOOR DRAIN		E. REFER TO DRAWN PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES FOR FLOOR DRAINS.	
		DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.		F. ALL DOORS ARE TO BE MOUNTED 4' FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.	
		DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.		G. ALL DOORS ARE TO BE MOUNTED 4' FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.	
		EXISTING DOOR		H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REQUIRE REPAINTING OR REFINISHING AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT UNPAINTED SURFACES.	
				I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.	
				J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL CODES.	
				K. REFER TO THE T-1 SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.	
				L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE, FIRE ALARMS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / BRAND DESIGN STANDARDS.	
				M. PERIODICLY INSPECT ALL OUTSIDE CORNERS FULL-HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 10'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.	
				N. REFER T-14 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.	
				O. DASHED RECTANGLES INDICATE HALLS. DASHED LINES INDICATE CLEARANCE, DASH 2" DIAMETER, DASH 1" DIAMETER, DASH 1" DIAMETER TURNING CLEARANCE FOR IMPEDIMENT ACCESS. REFER TO T-1 SERIES DRAWINGS.	
				P. PROVIDE BLOCKING BEHIND WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND DOORS. REFER TO T-10 CPC DRAWINGS.	
				Q. UNRATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING. SUBSTITUTE 5/8" TYPE X GLAB FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY, IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE NEAR TO BUILDING BEING IN THE DRY.	
				R. PERIODICLY INSPECT ALL OUTSIDE CORNERS FULL-HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 10'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.	
				S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 8" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT DUE TO TILES BEING TURNED UP. REFER TO T-10 CPC DRAWINGS FOR WATERPROOFING TILE. REFER TO SPECIFICATION SECTION 09 30 000 FOR ADDITIONAL INFORMATION.	
				T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.	
				U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIELD-FABRICATED.	
				V. REFER TO INTERIOR DESIGN DRAWINGS FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.	
				W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS ARE TO BE LOCATED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE PLUMB WITH ADJACENT FLOOR / WALL SURFACES.	
				X. WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.	
				Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.	

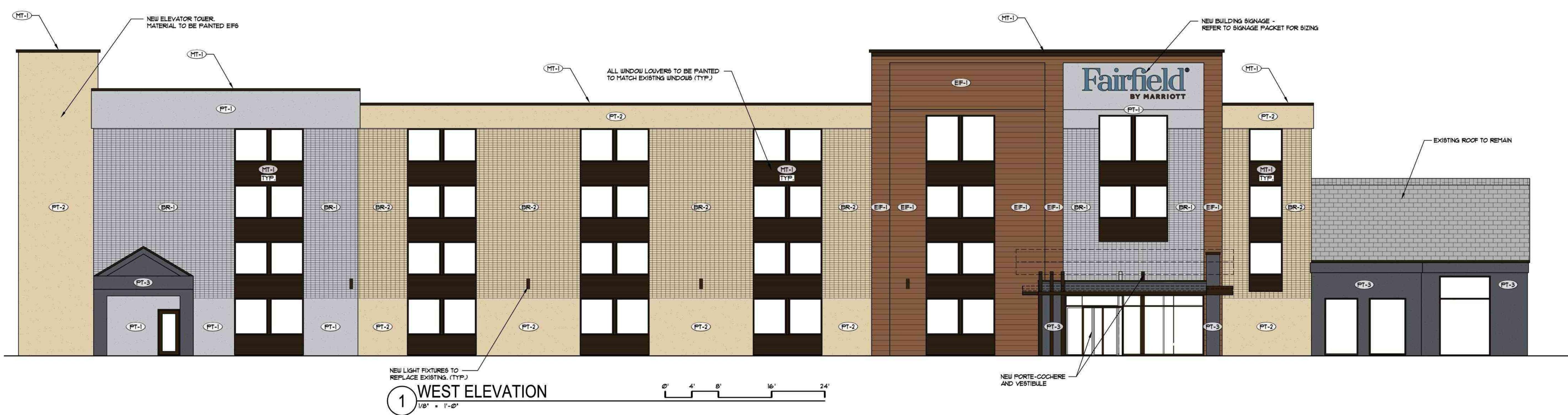
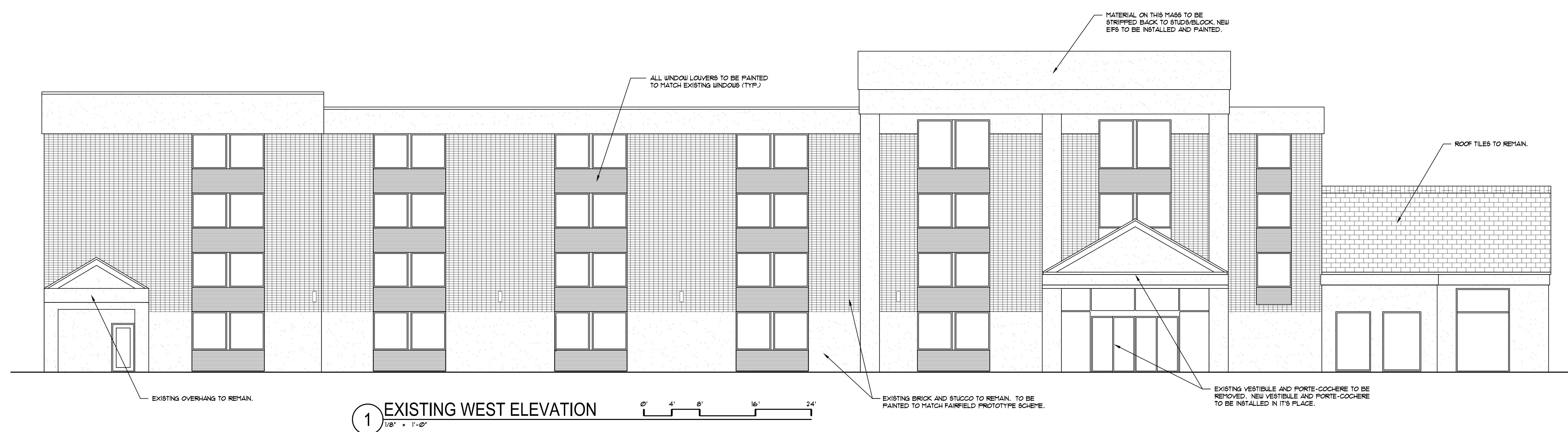




Existing Building Looking East



Existing Building Looking South



GRAPHIC	EXTERIOR FINISH KEY
(BR-1)	PAINTED BRICK NO.1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
(BR-2)	PAINTED BRICK NO.2 - PAINTED BRICK, COLOR: WILMINGTON TAN
(PT-1)	PAINT NO.1 - MGR. TBD, COLOR: TWILIGHT GRAY
(PT-2)	PAINT NO.2 - MGR. TBD, COLOR: WILMINGTON TAN
(PT-3)	PAINT NO.3 - MGR. TBD, COLOR: DEEP SPACE
(EF-1)	EIFS NO.1 - MGR. TBD, COLOR: LOG CABIN
(MT-1)	METAL COPING & TRIM - PAINTED METAL, COLOR: DARK BRONZE

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLEN DRIVE
MADISON, WI 53713
CLIENT: DEFOOR BROTHERS, LLC
801 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223
DRAWN BY: DSD
DATE: 02/01/2023
SCALE: AS NOTED
10% PRICING SET
UDC / 30% SET
02/01/2023

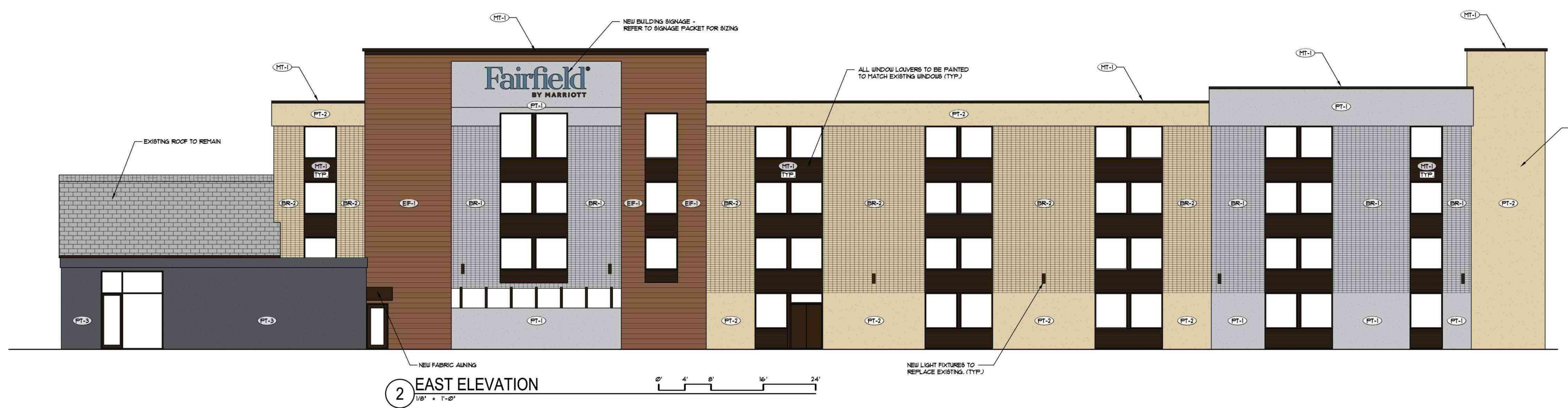
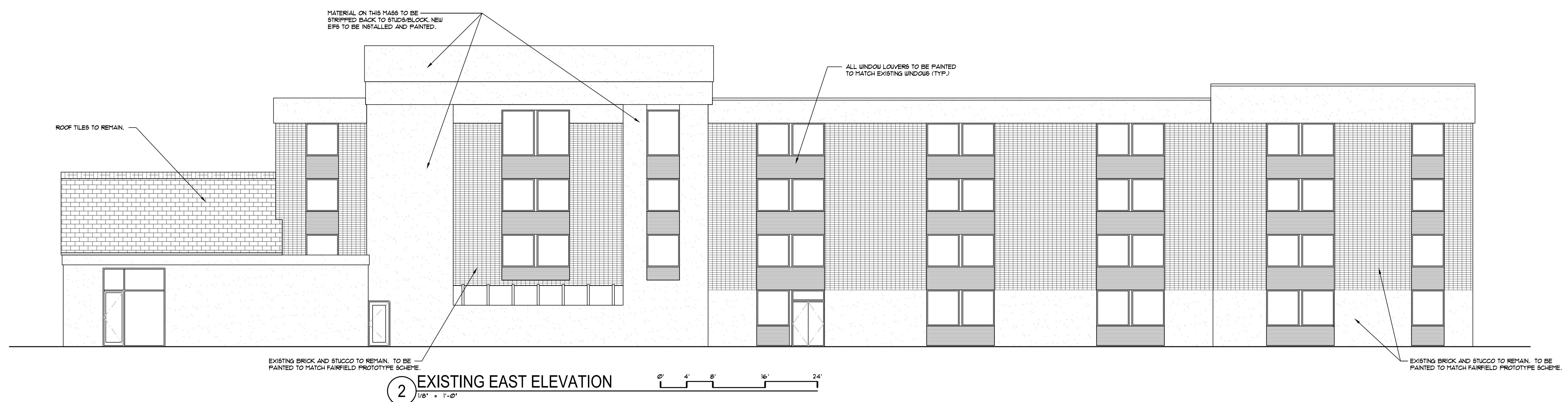
EXTERIOR
BUILDING
ELEVATIONS
A6.01



Existing Building Looking North



Existing Building Looking North



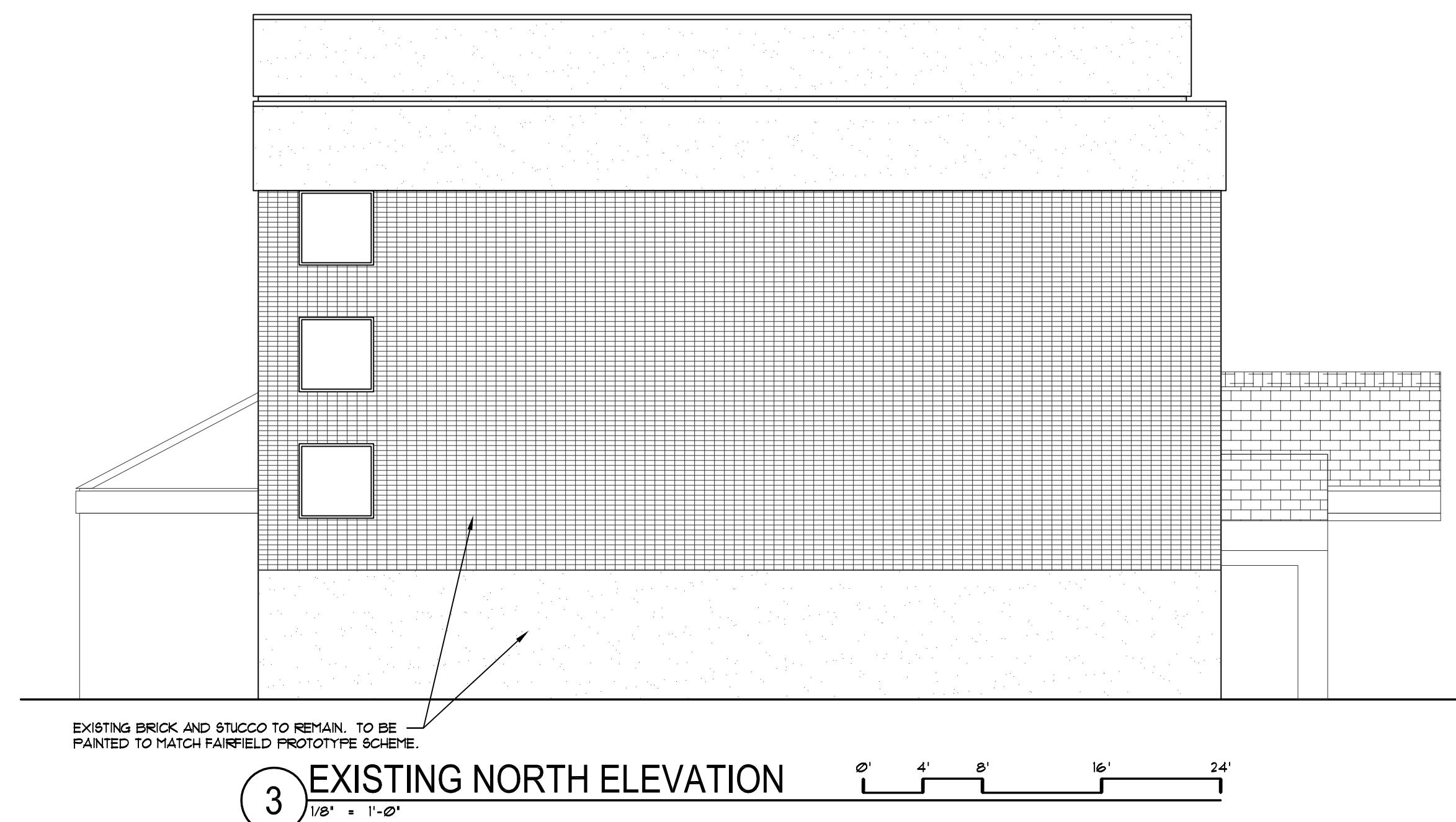
GRAPHIC	EXTERIOR FINISH KEY
	BR-1 PAINTED BRICK NO.1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
	BR-2 PAINTED BRICK NO.2 - PAINTED BRICK, COLOR: WILMINGTON TAN
	PT-1 PAINT NO.1 - MGR. TBD, COLOR: TWILIGHT GRAY
	PT-2 PAINT NO.2 - MGR. TBD, COLOR: WILMINGTON TAN
	PT-3 PAINT NO.3 - MGR. TBD, COLOR: DEEP SPACE
	EIF-1 EIFS NO.1 - MGR. TBD, COLOR: LOG CABIN
	MT-1 METAL COPING & TRIM - PAINTED METAL, COLOR: DARK BRONZE



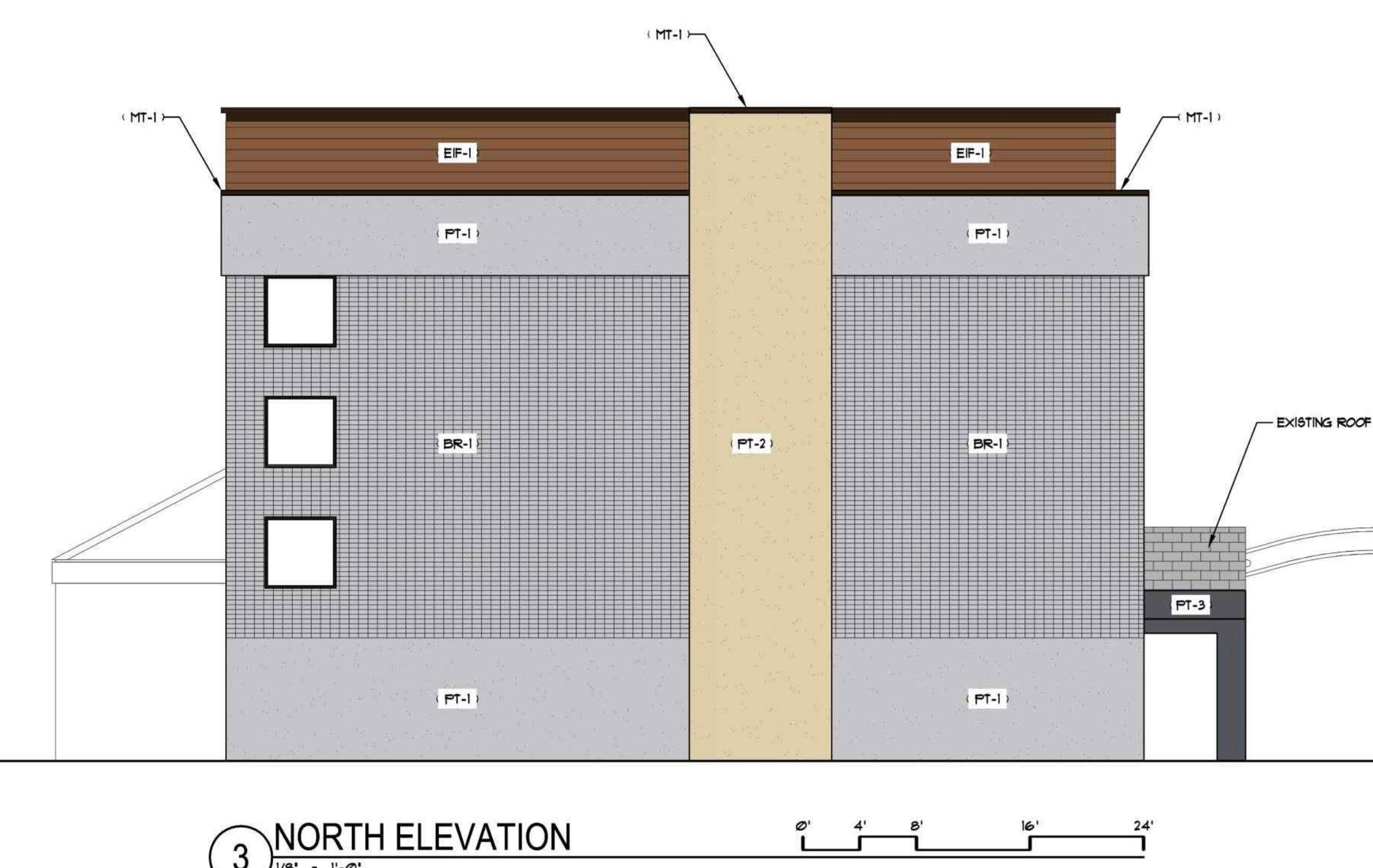
Existing Building Looking West



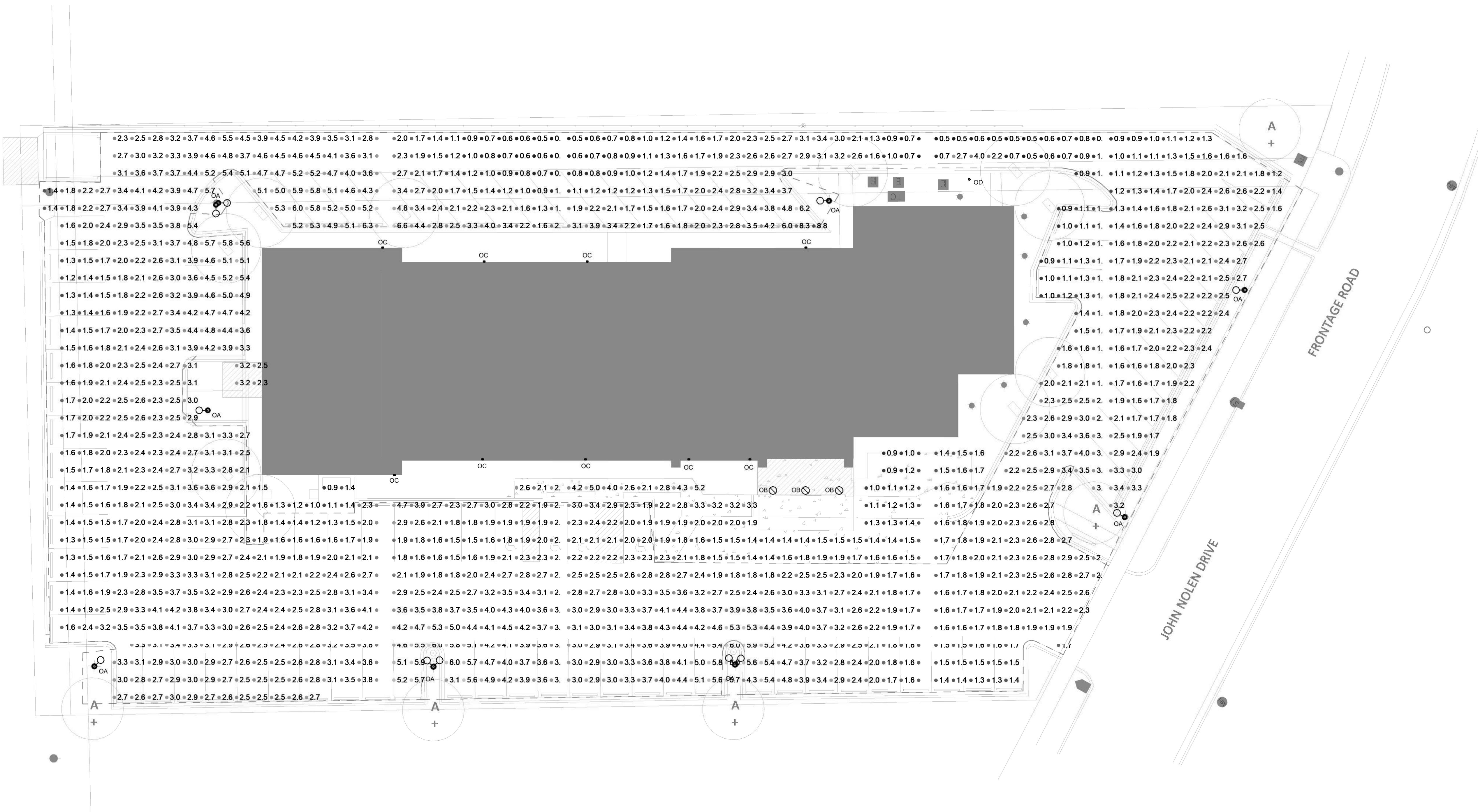
Existing Building Looking North



EXISTING VESTIBULE AND PORTE-COCHERE TO BE REMOVED AND RELOCATED, AND PORTE-COCHERE TO BE INSTALLED IN ITS PLACE.



GRAPHIC EXTERIOR FINISH KEY	
(BR-1)	PAINTED BRICK NO.1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
(BR-2)	PAINTED BRICK NO.2 - PAINTED BRICK, COLOR: WILMINGTON TAN
(PT-1)	PAINT NO.1 - MGR. TBD, COLOR: TWILIGHT GRAY
(PT-2)	PAINT NO.2 - MGR. TBD, COLOR: WILMINGTON TAN
(PT-3)	PAINT NO.3 - MGR. TBD, COLOR: DEEP SPACE
(EF-1)	EF-NO.1 - MGR. TBD, COLOR: LOG CABIN
(MT-1)	METAL COPING & TRIM - PAINTED METAL, COLOR: DARK BRONZE



PHOTOMETRIC RESULTS					
AVERAGE	MAXIMUM	MINIMUM	Avg/Min	Max/Min	
2.56 fc	8.79 fc	0.46 fc	5.6	19.1	

1 SITE PHOTOMETRICS

E001

SCALE: 1/16" = 1'-0"

PROJECT: PROPOSED FAIRFIELD CONVERSION

CLIENT: DEFOOR BROTHERS, LLC

PROJECT: 202223

DRAWN BY: JDR

DATE:

SCALE: 1/16" = 1'-0"

000 / 308 SET 02/27/2023