

02-27-2023
UDC INITIAL/FINAL

This aerial map illustrates the project location, which is situated at the intersection of Rimrock Road and John Nolen Drive. The location is highlighted with a dashed black box and a line pointing to a label that reads "Project Location". To the right of the project area is Turville Bay (Lake Monona). A major highway, Beltline Highway, runs diagonally across the lower portion of the map. In the bottom left corner, there is a text box that reads "Office Furniture Used & New High Quality Used And New Office Furn.".

Food Service Designer
Kavanaugh Restaurant Supply
2920 Bryant Rd.
Madison, WI 53713
Contact: Wayne Hammer
Email: wayne@krarestequip.com
Phone: (608) 271-8514

[illegible]



IMAGE NO. 4



IMAGE NO. 3



IMAGE NO. 2



IMAGE NO. 1



SITE CONTEXT MAP

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLEN DRIVE
MADISON, WI 53713
CLIENT: DEFOOR BROTHERS, LLC
804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223
DRAWN BY: D&D
DATE:
SCALE: AS NOTED

10% PRICING SET 01/26/2023
UDC / 30% SET 02/01/2023



IMAGE NO. 6



IMAGE NO. 5

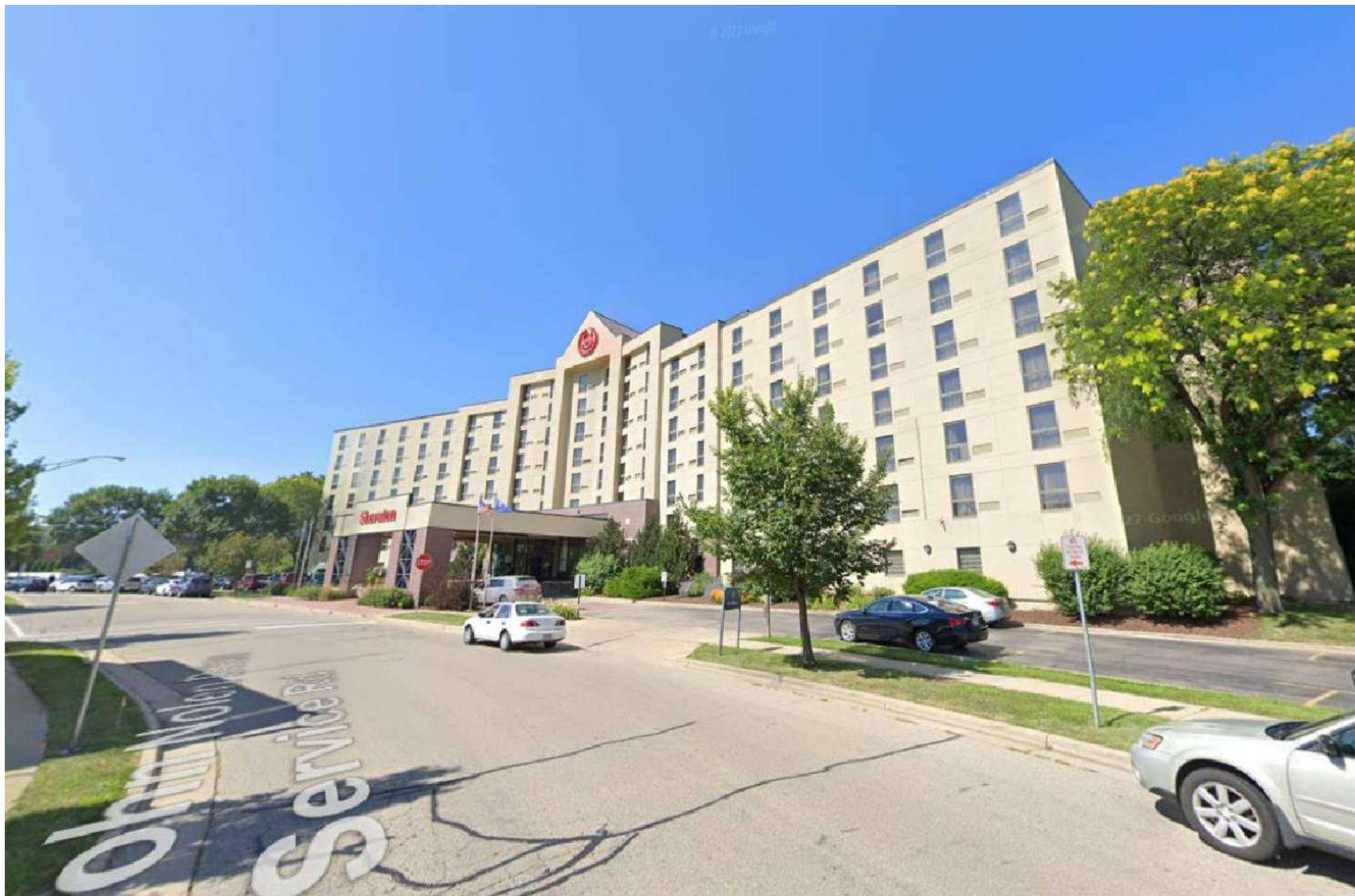


IMAGE NO. 4



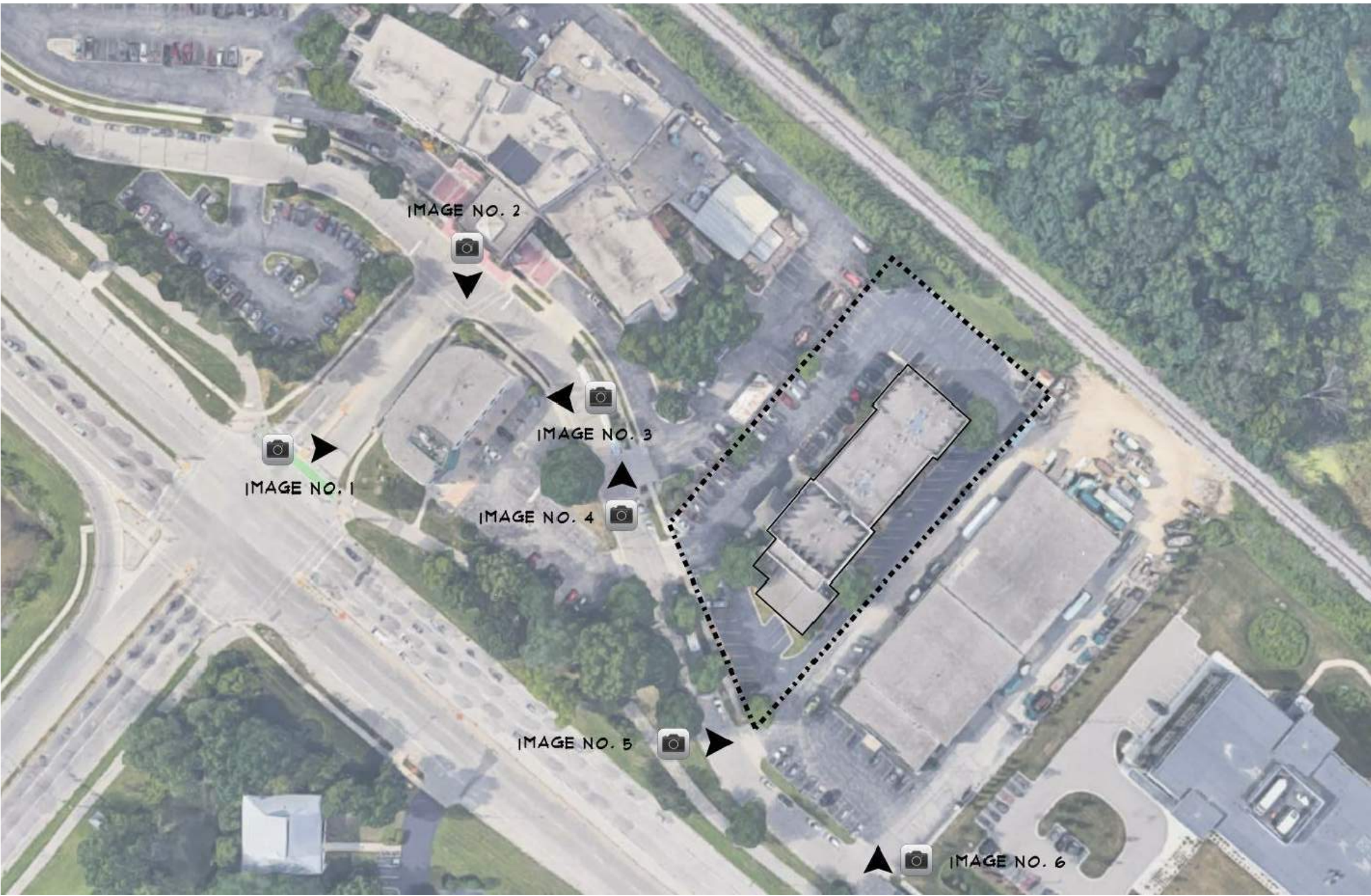
IMAGE NO. 3



IMAGE NO. 2



IMAGE NO. 1



SITE CONTEXT MAP

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLEN DRIVE
MADISON, WI 53713
CLIENT: DEFOOR BROTHERS, LLC
804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223
DRAWN BY: D&D
DATE:
SCALE: AS NOTED
10% PRICING SET 01/26/2023
UDC / 30% SET 02/01/2023

SURROUNDING
SITE
CONTEXT

File: 120223-21-10505DWG1-Landscape Sheets.dwg Layout: L1.0 User: mmslpcsls Printed: Feb 24, 2023, 3:10pm Xrefs: 2110505 Fairfield Irr. Madison

PLANT SCHEDULE					
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	GIBI	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	B & B	2.5" Cal	1
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	CAFL	Calycanthus floridus "SMNCAF" / Simply Scentational® Sweetshrub	#5	Min. 12"-24"	2
	COSE	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	#3	Min. 12"-24"	10
	SISE	Diervilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle	#3	Min. 18"-24" Ht.	26
	PHOPL	Physocarpus opulifolius 'Little Devil' TM / Dwarf Ninebark	#3	Min. 12"-24"	8
	RHAR	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	#3	Min. 12"-24"	22
	SPJA	Spiraea japonica 'SMNSJMR' TM / Double Play Red Spirea	#3	Min. 24" Ht.	7
	SYPA	Syringa x 'SMNJRP' TM / Blooming Dwarf Pink Lilac	#5	Min. 24" Ht.	28
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	BUGV	Buxus x 'Green Velvet' / Green Velvet Boxwood	3 gal	Min. 12"-24"	15
	RHOD	Rhododendron x 'P.J.M.' / P.J.M. Rhododendron	#5	Min. 12"-24"	3
	TAMEG	Taxus x media 'Dark Green' / Dark Green Yew	#3	Min. 12"-24"	32
	TAMEE	Taxus x media 'Everlow' / Everlow Yew	#3	Min. 12" Wide	12
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALSU	Allium x 'Summer Beauty' / Summer Beauty Allium	#1	Min. 8"-18"	25
	GERR	Geranium x 'Rozanne' / Rozanne Cranesbill	#1	Min. 8"-18"	24
	HEMC	Hemerocallis x 'Chicago Apache' / Daylily	#1	Min. 8"-18"	13
	PAVI	Panicum virgatum 'Shenadoah' / Shenadoah Switch Grass	#1	Min. 8"-18"	26
	RUFU	Rudbeckia fulgida sultivantii 'Goldsturm' / Goldsturm Coneflower	#1	Min. 8"-18"	17
	SCSC	Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem	#1	Min. 8"-18"	23
	SPHE	Sporobolus heterolepis 'Tara' / Prairie Dropseed	#1	Min. 8"-18"	51

CONTRACTOR SHALL SAW CUT 10- FEET OF CURB HEAD AND INSTALL RIP RAP ABOVE WEED FABRIC (TYP) WITHIN EXTENTS TO REMEDY STANDING WATER

GRASS SEED, FERTILIZER & MULCH

CONTRACTOR SHALL SAW CUT 10- FEET OF CURB HEAD AND INSTALL RIP RAP ABOVE WEED FABRIC (TYP) WITHIN EXTENTS TO REMEDY STANDING WATER

EXISTING HONEYLOCUST TO REMAIN (PRUNE ACCORDINGLY TO SATISFY CITY OF MADISON CHAPTER 10 LIGHTING REQUIREMENTS)

PROPOSED FENCING (REFER TO ARCHITECTURAL)

EXISTING HONEYLOCUST TO REMAIN (PRUNE ACCORDINGLY TO SATISFY CITY OF MADISON CHAPTER 10 LIGHTING REQUIREMENTS)

EXISTING HONEYLOCUST TO REMAIN

EXISTING BUILDING

JOHN NOLEN DRIVE SERVICE ROAD

SHERATON MADISON

LANDSCAPE REQUIREMENTS

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS			
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.			
(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.			
Total square footage of developed area:	34,343 SF		
Total landscape points required:	873 POINTS		
(B) For lots larger than five (5) acres, points shall be provided as five (5) points per three hundred (300) square feet for the first five (5) developed acres; and one (1) point per one hundred (100) square feet for all additional acres.			
Total square footage of developed area:			
Five (5) acres =			
First five (5) developed acres =			
Remainder of developed area:			
Total landscape points required:			
(C) For the Industrial - Limited (I-1) and Industrial - General (IG-1) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.			
Total square footage of developed area:			
Total landscape points required:			

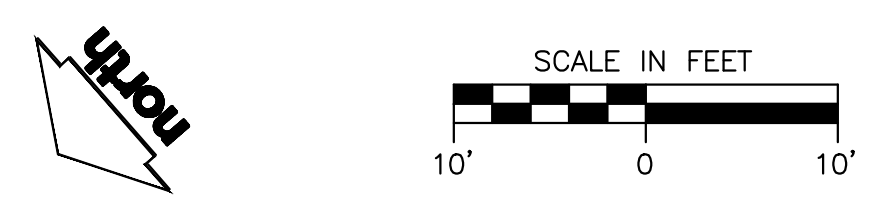
- #### CITY TRAFFIC ENGINEERING NOTES

 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.
- #### CITY FORESTRY NOTES

 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 - IF APPLICABLE, RIGHT-OF-WAY STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
 - IF APPLICABLE, AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

TABULATION OF LANDSCAPE CREDITS AND POINTS						
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	7	245	1	35
TALL EVERGREEN TREE	5-6" TALL MIN.	35	0	0	0	0
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	0	0
UPRIGHT EVERGREEN SHRUB	3-4" TALL, MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	103	309
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	62	248
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	179	358
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	14 POINTS / CAL. (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICLY ACCESSIBLE DEVELOPED AREA, CANNOT COMPRISE MORE THAN 50% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL				245		950
TOTAL NUMBER OF POINTS PROVIDED					1,195	

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	ALUMINUM EDGING
	BOLLARD
	BIKE RACK
	PROTECT & PRESERVE EXISTING TREE
	VISION TRIANGLE
	DECORATIVE STONE MULCH
	SOD - BLUEGRASS BLEND
	SEED - BLUEGRASS BLEND
	RIP RAP



PROJECT: **PROPOSED FAIRFIELD CONVERSION**

722 JOHN NOLEN DRIVE
MADISON, WI 53713

CLIENT: **DEFOOR BROTHERS, LLC**

804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any other party is prohibited unless prior written authorization is received from GBA.

PROJECT: 202223

DRAWN BY:

DATE: 01/30/2023

SCALE: AS NOTED

10% PRICING SET 01/30/2023

UOC / 30% SET 02/27/2023

LANDSCAPE PLAN

L1.0

GBA
architecture | design

2248 DEMING WAY, SUITE 120
MIDDLETON, WI 53562
608-828-1750
www.garybrink.com

JSD
Judson Inc.

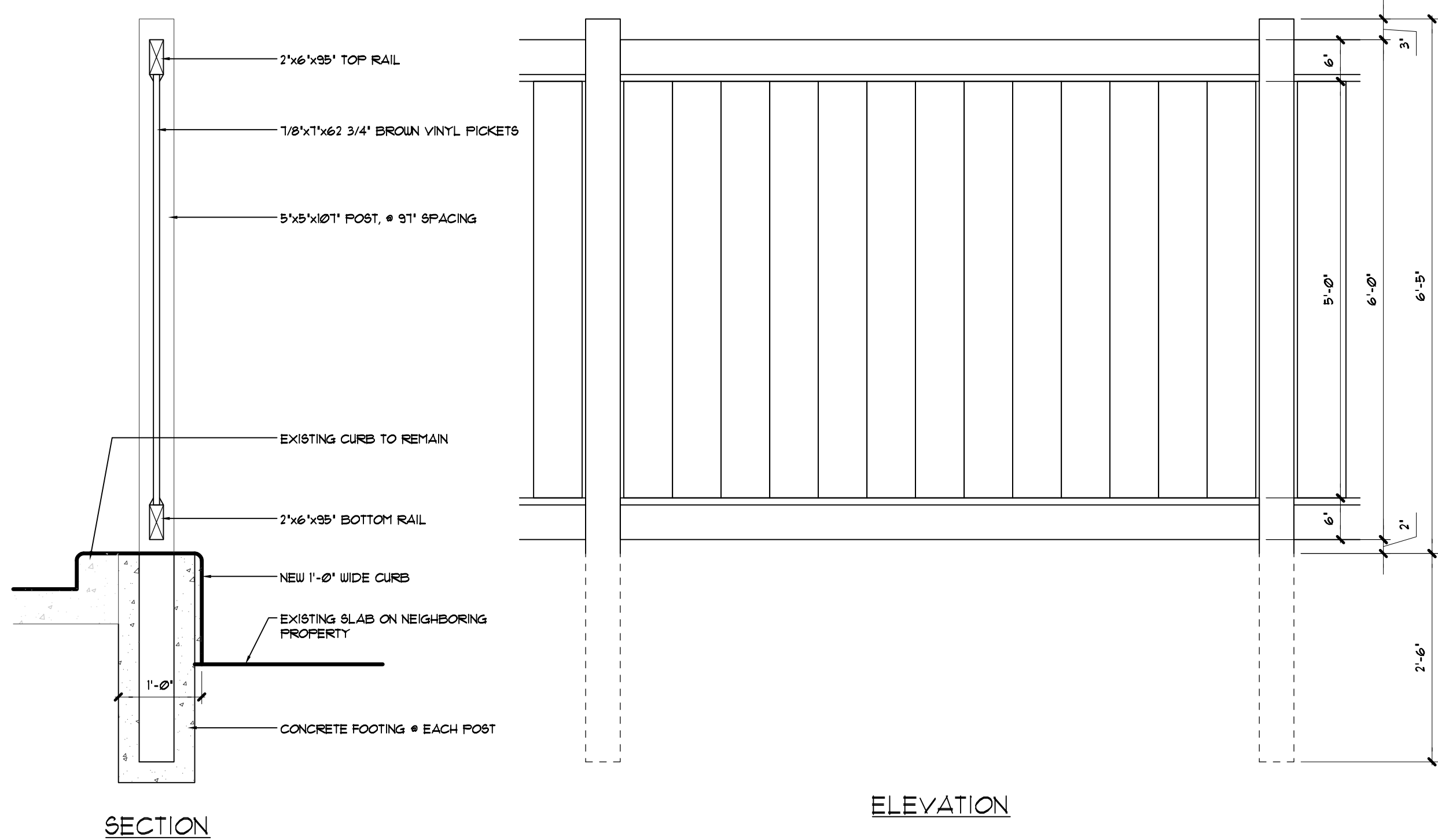
MADISON REGIONAL OFFICE
1000 UNIVERSITY AVENUE
MADISON, WI 53706
608-261-8800

SITE PLAN KEY NOTES

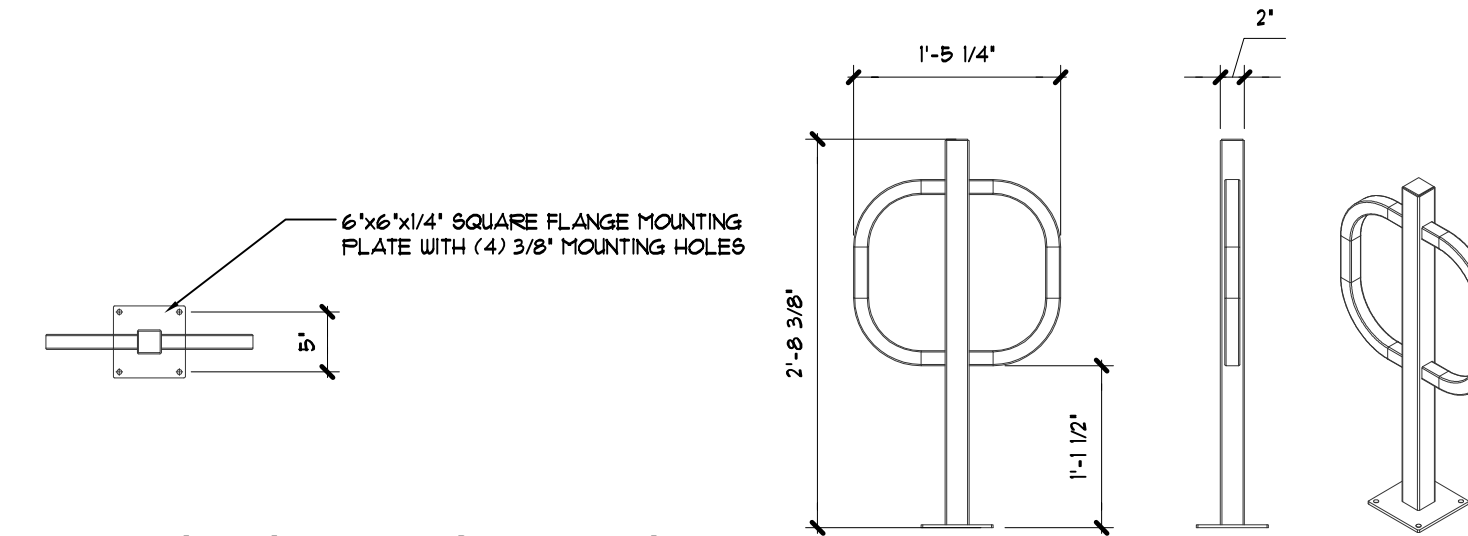
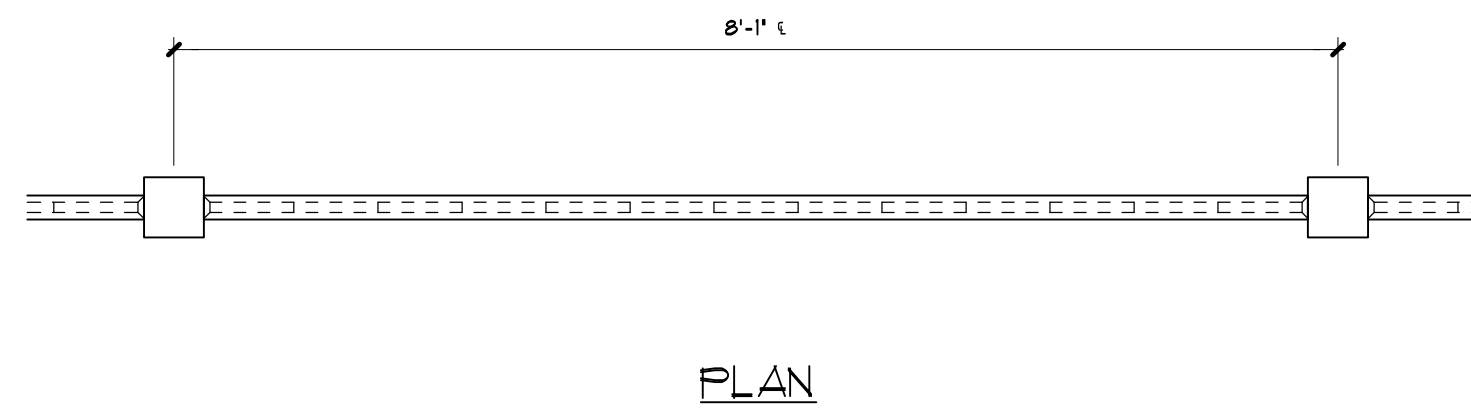
- EXISTING FIRE DEPARTMENT CONNECTION (FDC).
- NEW PEDESTRIAN SIDE WALK TO MEET ADA REQUIREMENTS.
- NEW PASSENGER DROP-OFF AREA TO BE REPAIRED AND REGRADED TO WORK WITH NEW VESTIBULE.
- NEW BICYCLE RACK TO MEET LOCAL DESIGN REQUIREMENTS. REFER TO DETAIL 3/A1.01.
- EXISTING COLUMN TO REMAIN.
- NEW VESTIBULE FOOTPRINT.
- NEW MONUMENTAL HOTEL SIGN.
- PROPERTY LINE. REFER TO CIVIL DRAWINGS.
- EXISTING UTILITY EQUIPMENT.
- NEW PRIVACY FENCE OUTSIDE OF DRIVE AISLE CURB. REFER TO DETAIL 3/A1.01.
- NEW ACCESSIBLE PARKING SIGNAGE ON POST. REFER TO DETAILS ON CIVIL DRAWINGS.
- RE-PAINTED PARKING STRIPES. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL INFORMATION AND ACCESSIBLE PARKING SYMBOLS.
- NEW CONCRETE WHEEL STOPS.
- NEW THREE-SIDEWALK DRAIN PATH WITH ADA COMPLIANT GRATE COVER. COORDINATE SIZE & LOCATION WITH DOWNSPOUT.
- EXISTING TRASH ENCLOSURE TO REMAIN. TO BE RE-PAINTED AND REPAIRED AS NEEDED.
- RE-PAINTED PARKING STALLS. TYPICAL OF ALL PARKING PAINT.
- NEW CURBS TO DIE INTO EXISTING CURBS.
- NEW BUILDING FOOTPRINT FOR ADDITIONAL ELEVATOR SHAFT.
- REFER TO ELECTRICAL SITE PLAN FOR SITE LIGHTING.
- PATCH REPAIR & SEAL EXISTING ASPHALT.

GENERAL SITE PLAN NOTES

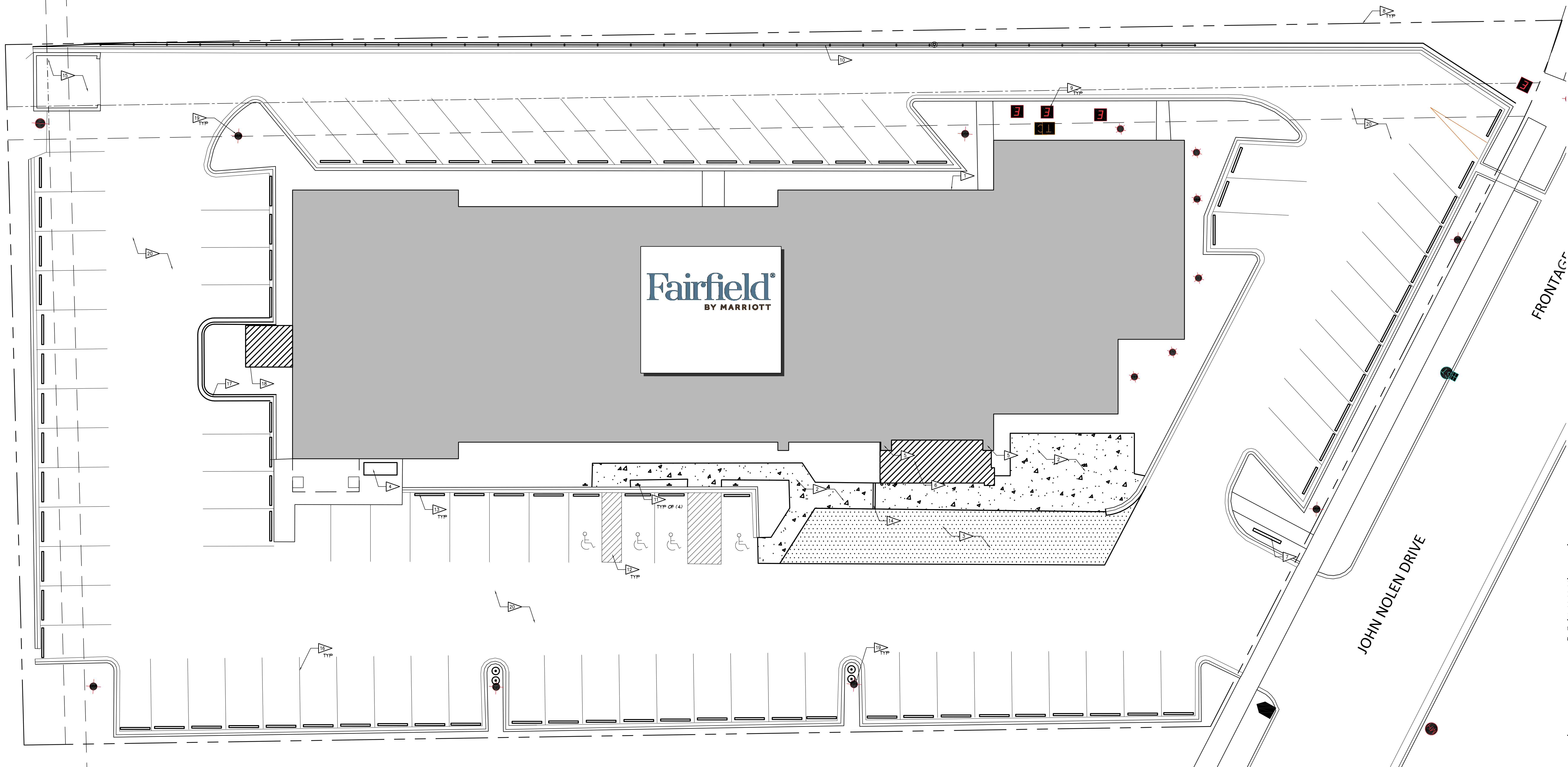
- ALL CONTRACTORS & SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND DETERMINING ACTUAL SITE CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SCOPE THAT SHOULD HAVE BEEN ANTICIPATED.
- REFER TO CIVIL SHEET(S) FOR SCOPE OF WORK WITHIN THE DESIGNATED LOT THAT IS TO BE PROVIDED BY THE SITE WORK. CONTRACTOR: WHERE THERE IS A DISCREPANCY AND/OR THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY AND REPAIR FROM STATING OR COMPLETING SUCH WORK UNTIL CLARIFICATION HAS BEEN ISSUED IN WRITING FROM THE A/E.
- UNLESS NOTED OR SHOWN OTHERWISE, DIMENSIONS ON SITE PLAN ARE TO FACE-OF-CURB TO BUILDING SHEETING AND / OR GRID LINES. DIMENSIONS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN.
- REFER TO CIVIL SHEETS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL APPLICABLE PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING-TO-REMAIN UTILITIES.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT 1/4" PER FOOT. MINIMUM DO NOT EXCEED MAX-ADA SLOPE OR CROSS-SLOPE REQUIREMENTS WHERE GRADE IS PART OF AN ACCESSIBLE ROUTE.
- ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WISCONSIN STANDARDS OR GUIDELINES, WHICHEVER IS MORE STRINGENT.
- ALL WORK SHOWN AT OUTSIDE PERIMETER OF BUILDING TO CURB SHALL FOLLOW THE CITY OF MADISON, WISCONSIN STANDARDS AND GUIDELINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN CIVIL AND LANDSCAPE AND EXTENSION / CONNECTION TO WORK PROVIDED UNDER THIS CONTRACT.
- ANY DAMAGE OR DISRUPTION TO AREAS (OR BUILDINGS / STRUCTURES) ADJACENT TO OR OUTSIDE THE LIMITS OF CONSTRUCTION, SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ETC. SHALL BE REPAIRED TO "AS NEW" CONDITIONS IN ACCORDANCE WITH THE CITY OF MADISON, WISCONSIN STANDARDS, AND PERFORMED BY A CITY LICENSED CONTRACTOR.
- ALL DAMAGE TO STREET PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
- ALL CONTRACTORS SHALL COORDINATE WITH DRY AND WET UTILITY COMPANIES TO DETERMINE EXTENT OF WORK REQUIRED. ANY EXISTING IMPROVEMENTS THAT ARE AFFECTED DURING THE COURSE OF UTILITY WORK INCLUDING BUT NOT LIMITED TO LANDSCAPING, STREETS, SIDEWALKS, ETC. SHALL BE RETURNED TO EXISTING OR BETTER CONDITION.
- SITE PLUMBING / UTILITY CONTRACTOR SHALL VERIFY AND MARK THE LOCATION OF EXISTING SANITARY & SEWER LINE WITHIN THE PROPERTY PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT / CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY IF THEY IMPACT THE CONSTRUCTION OF THE PROJECT.
- THE SITE SHALL BE FENCED OFF AND THE EXTENT OF THIS AREA SHALL BE COORDINATED WITH OWNER.
- THE ARCHITECT / CIVIL ENGINEER SHALL OBTAIN BUILDING PERMIT. ALL ADDITIONAL PERMITS AND TRADE PERMITS & INSPECTIONS AND FEES (SUCH AS FIRE SPRINKLER, ELECTRICAL, PLUMBING, TAP FEES, STREET OR LANE CLOSURES) SHALL BE THE RESPONSIBILITY OF THE SUB-CONTRACTORS.
- COORDINATE TRAFFIC CONTROL AND LANE CLOSURES WITH AUTHORITIES HAVING JURISDICTION (AAU) / OWNER.
- ALL SITE DEPOSITION AND REMOVAL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS FOR DISPOSAL.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN CURBS AND SIDEWALK AND EXTEND AT LEAST 5'-0" FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5'-0" OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5'-0" OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4884) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY.
- REPLACE ALL SIDEWALK CURBS AND GUTTER ABUTTING THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK CURBS AND GUTTER WHICH BY THE DETERMINATION OF THE CITY ENGINEER NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- ANY DAMAGE ON ADJACENT PROPERTIES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER.
- REFER TO CIVIL DRAWINGS FOR PROPERTY LINES AND EASEMENTS.
- SIDEWALK WORK COMPLETED AT THE RIGHT-OF-WAY SHALL MATCH ADJACENT SIDEWALK AND HAVE EXPOSED AGGREGATE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY THE CITY. THE STONE USED AS EXPOSED AGGREGATE SHALL BE APPROVED BY THE CITY.
- ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE REVIEWED BY THE CITY FORESTRY DEPARTMENT.
- CONTRACTOR IS REQUIRED TO INSTALL STREET TRAFFIC SIGNS PER THE CITY OF MADISON, WISCONSIN REQUIREMENTS.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR REQUIRED PLANTER IRRIGATION (INCLUDING WITHIN RIGHT OF WAY).



2 TYPICAL FENCE DETAILS
SCALE: 1/2"=1'-0"



2 SARRIS BIKE RACK DETAILS
SCALE: 1/2"=1'-0"



1 PROPOSED SITE PLAN
1/8" = 1'-0"

0' 5' 10' 20' 40'

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLEN DRIVE
MADISON, WI 53713

CLIENT: DEFOOR BROTHERS, LLC
804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

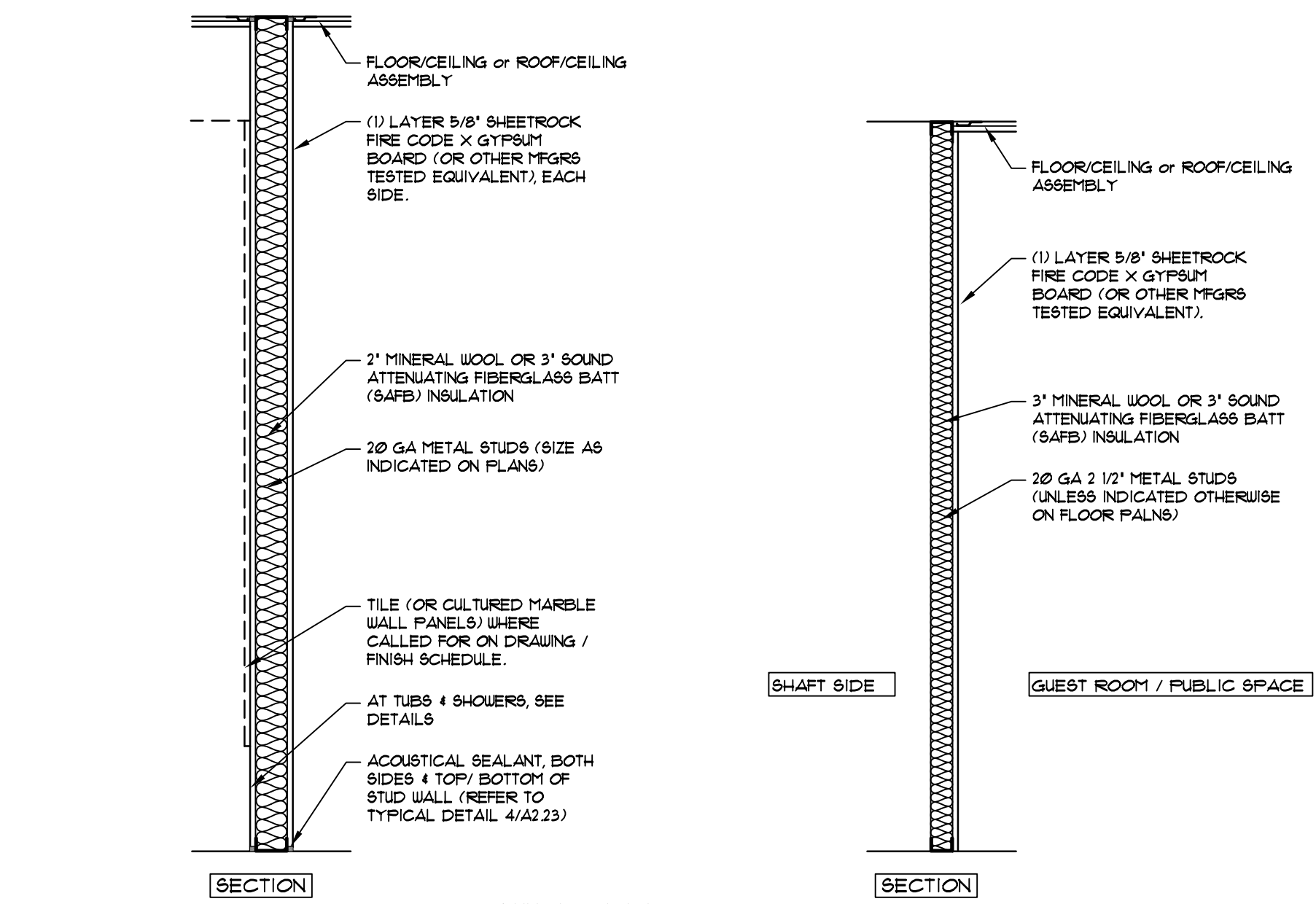
2023 GBA.
Any duplication, reproduction, or use by any other party is prohibited unless prior written authorization is received from GBA.

PROJECT: 202223
DRAWN BY: GJA
DATE:
SCALE: AS NOTED

10% PRICING SET 01/30/2023
UDC / 30% SET 02/01/2023

PROPOSED
SITE PLAN

A1.01



GA FILE NO.: WP 1072
UL DESIGN NO.: U49
STC RATING: 45-49 (EST.)

- (M1) **NON-RATED PARTITION**
TO HAVE FACE LAYER BE MFGS UL TESTED 5/8" WATER-RESISTANT BACKER BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM). ALL OTHER ITEMS THE SAME.
- (M1a) **NON-RATED PARTITION**
TO HAVE FACE LAYER BE MFGS UL TESTED 5/8" MOISTURE-RESISTANT GYPSUM BOARD ON WET SIDE. ALL OTHER ITEMS THE SAME.
- (M1c) **NON-RATED PARTITION**
WITH NO INSULATION. ALL OTHER ITEMS THE SAME.

GA FILE NO.: WP 1072
UL DESIGN NO.: U49
STC RATING: 45-49 (EST.)

- (S1) **NON-RATED CHASE**
TO HAVE FACE LAYER BE MFGS UL TESTED 5/8" WATER-RESISTANT BACKER BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM). ALL OTHER ITEMS THE SAME.
- (S1a) **NON-RATED CHASE**
TO HAVE FACE LAYER BE MFGS UL TESTED 5/8" MOISTURE-RESISTANT GYPSUM BOARD ON WET SIDE. ALL OTHER ITEMS THE SAME.
- (S1c) **NON-RATED CHASE**
WITH NO INSULATION. ALL OTHER ITEMS THE SAME.
- (S1e) **NON-RATED CHASE**
TO HAVE FACE LAYER BE MFGS UL TESTED 5/8" WATER-RESISTANT BACKER BOARD ON SIDE RECEIVING TILE (OR DIRECT-APPLIED FINISH SYSTEM) AND NO INSULATION. ALL OTHER ITEMS THE SAME.

FLOOR PLAN KEY NOTES

- KITCHEN EQUIPMENT, REFER TO KE PLANS.
- BUILT IN MILLWORK, REFER TO INTERIOR DESIGN DRAWINGS, GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
- FACE OF WALLS TO ALIGN.
- RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
- NEW ELEVATOR.
-
-
-
-
-
-

PLAN SYMBOLS

⊗ FE
WALL-MOUNTED FIRE EXTINGUISHER.

FEC-1
FULLY-RECESSED FIRE EXTINGUISHER CABINET.

FEC-2
SURFACE MOUNTED FIRE EXTINGUISHER CABINET.

XX
INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION.

⊗
FLOOR DRAIN

DOOR
DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

EXISTING DOOR

GENERAL PLAN NOTES:

A. DO NOT SCALE DRAWINGS.

B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNBROKEN FINISHED SURFACE.

C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.

D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.

E. REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.

F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.

G. ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.

H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILING'S REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT UNPATCHED SURFACES.

I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.

J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.

K. REFER TO THE 'T' SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.

L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / 'BRAND' DESIGN STANDARDS / ELECTRICAL CONTRACTOR.

M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL HEIGHT, AT LOWER CEILING, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILING ABOVE 11'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.

N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.

O. DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED 9" DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO 'T' SERIES DRAWINGS.

P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER DPO, DPCI OR DPCI).

Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE 'X' GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.

R. PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.

S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.

T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.

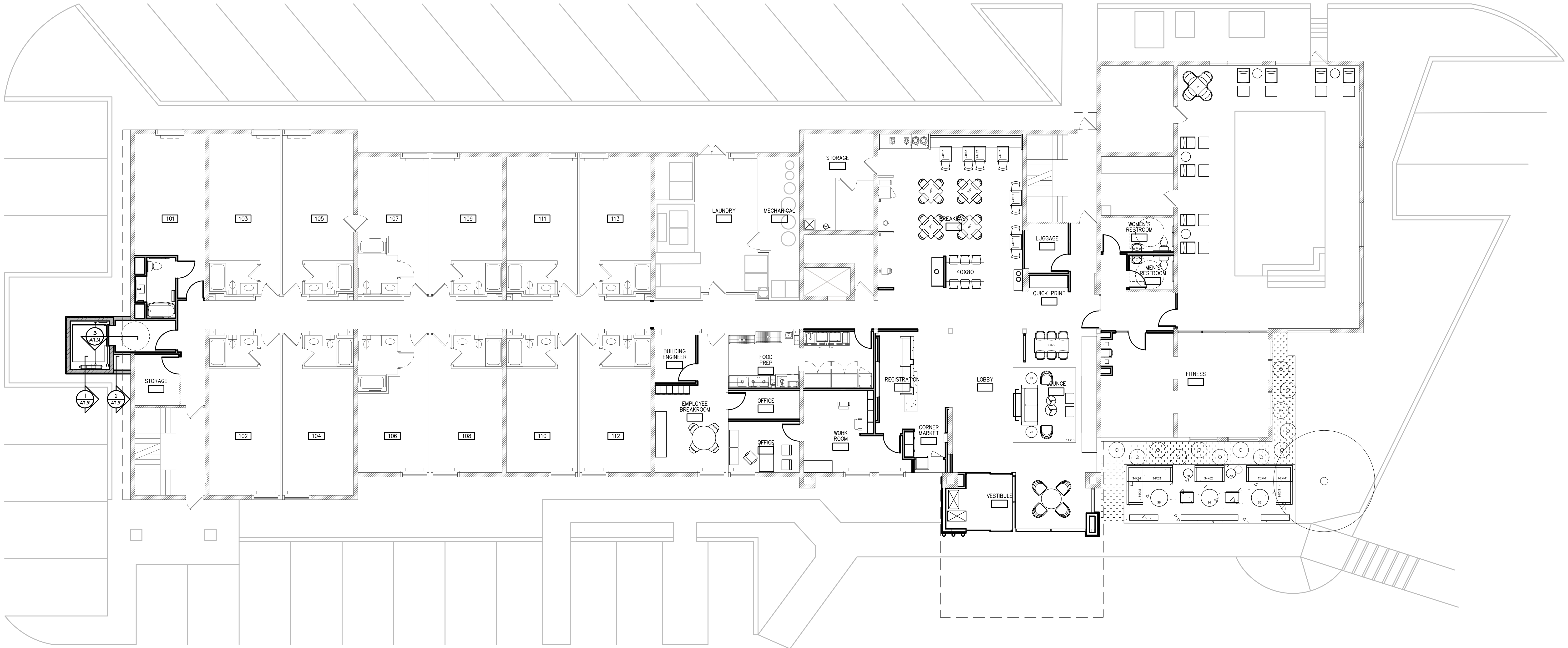
U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.

V. REFER TO INTERIOR DESIGN DRAWINGS FOR: FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.





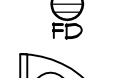

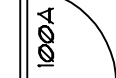
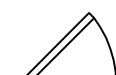
W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.

X. WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.

Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



FLOOR PLAN KEY NOTES
1. KITCHEN EQUIPMENT, REFER TO KE PLANS.
2. BUILT IN MILLWORK, REFER TO INTERIOR DESIGN DRAWINGS. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3. FACE OF WALLS TO ALIGN.
4. RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5. NEW ELEVATOR.
6.
7.
8.
9.
10.
11.

PLAN SYMBOLS
 WALL-MOUNTED FIRE EXTINGUISHER.
 FULLY-RECESSED FIRE EXTINGUISHER CABINET.
 SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
 INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION
 FLOOR DRAIN
 DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
 DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
 EXISTING DOOR

GENERAL PLAN NOTES:
A. DO NOT SCALE DRAWINGS.
B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNBROKEN FINISHED SURFACE.
C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
E. REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
G. ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAHAGED SURFACES.
I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
K. REFER TO THE "T" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "BRAND" DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 10'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
O. DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED 9" DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "T" SERIES DRAWINGS.
P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER DPO, DPC1 OR DPC2).
Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
R. PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09.50 AND TILE FOR ADDITIONAL INFORMATION.
T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
V. REFER TO INTERIOR DESIGN DRAWINGS FOR: FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN COMPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
X. WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



SECOND FLOOR

1/8" = 1'-0"

0' 4' 8' 16' 24'

PROJECT: PROPOSED FAIRFIELD CONVERSION

722 JOHN NOLEN DRIVE
MADISON, WI 53713

CLIENT: DEFOOR BROTHERS, LLC

804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223

DRAWN BY: DSD

DATE:

SCALE: AS NOTED

10% PRICING SET 01/30/2023

UDC / 30% SET 02/01/2023

SECOND
FLOOR PLAN

A2.02

FLOOR PLAN KEY NOTES

1. KITCHEN EQUIPMENT, REFER TO KE PLANS.
2. BUILT IN MILLWORK, REFER TO INTERIOR DESIGN DRAWINGS. GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3. FACE OF WALLS TO ALIGN.
4. RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5. NEW ELEVATOR.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.

PLAN SYMBOLS

- WALL-MOUNTED FIRE EXTINGUISHER.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET.
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
- INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION
- FLOOR DRAIN
- DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- EXISTING DOOR

GENERAL PLAN NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNBROKEN FINISHED SURFACE.
- C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
- E. REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
- F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
- G. ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAHAGED SURFACES.
- I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
- J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
- K. REFER TO THE "T" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
- L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "BRAND" DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
- M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL-HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 11'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
- N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
- O. DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED Ø DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "T" SERIES DRAWINGS.
- P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER DPO, DPC1 OR DPC2).
- Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- R. PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
- S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
- T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- V. REFER TO INTERIOR DESIGN DRAWINGS FOR: FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
- W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
- X. WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
- Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



FLOOR PLAN KEY NOTES

1. KITCHEN EQUIPMENT, REFER TO KE PLANS.
2. BUILT IN MILLWORK, REFER TO INTERIOR DESIGN DRAWINGS, GC TO COORDINATE WITH MILLWORKER'S SHOP DRAWINGS, KITCHEN EQUIPMENT'S DRAWINGS AND TO COORDINATE WITH OWNERSHIP.
3. FACE OF WALLS TO ALIGN.
4. RELOCATE ELECTRIC FIREPLACE, REFER TO INTERIOR DESIGN DRAWINGS FOR DETAILS.
5. NEW ELEVATOR.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.

PLAN SYMBOLS

- WALL-MOUNTED FIRE EXTINGUISHER.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET.
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
- INDICATES WALL TYPE, REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION
- FLOOR DRAIN
- DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- EXISTING DOOR

GENERAL PLAN NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD, IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/FORSET STUD FACE (IF NECESSARY) TO ACHIEVE UNBROKEN FINISHED SURFACE.
- C. FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS, IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- D. ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
- E. REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
- F. REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
- G. ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- H. FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAHAGED SURFACES.
- I. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
- J. ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
- K. REFER TO THE "T" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
- L. GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS / "BRAND" DESIGN STANDARDS / ELECTRICAL CONTRACTOR.
- M. PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 10'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
- N. REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
- O. DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED 9" DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "T" SERIES DRAWINGS.
- P. PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHETHER DPO, DPC1 OR DPC2).
- Q. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY, IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- R. PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
- S. PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09 50 00 TILE FOR ADDITIONAL INFORMATION.
- T. REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- U. ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- V. REFER TO INTERIOR DESIGN DRAWINGS FOR: FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
- W. TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN COMPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
- X. WATER CLOSET WASTE LINES, WATER LINES AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
- Y. GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



FOURTH FLOOR

1/8" = 1'-0"

0' 4' 8' 16' 24'

PROJECT: PROPOSED FAIRFIELD CONVERSION

722 JOHN NOLEN DRIVE
MADISON, WI 53713

CLIENT: DEFOOR BROTHERS, LLC

804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223

DRAWN BY: DSD

DATE:

SCALE: AS NOTED

10% PRICING SET 01/30/2023

UDC / 30% SET 02/01/2023

FOURTH
FLOOR PLAN

A2.04

ROOF KEY NOTES

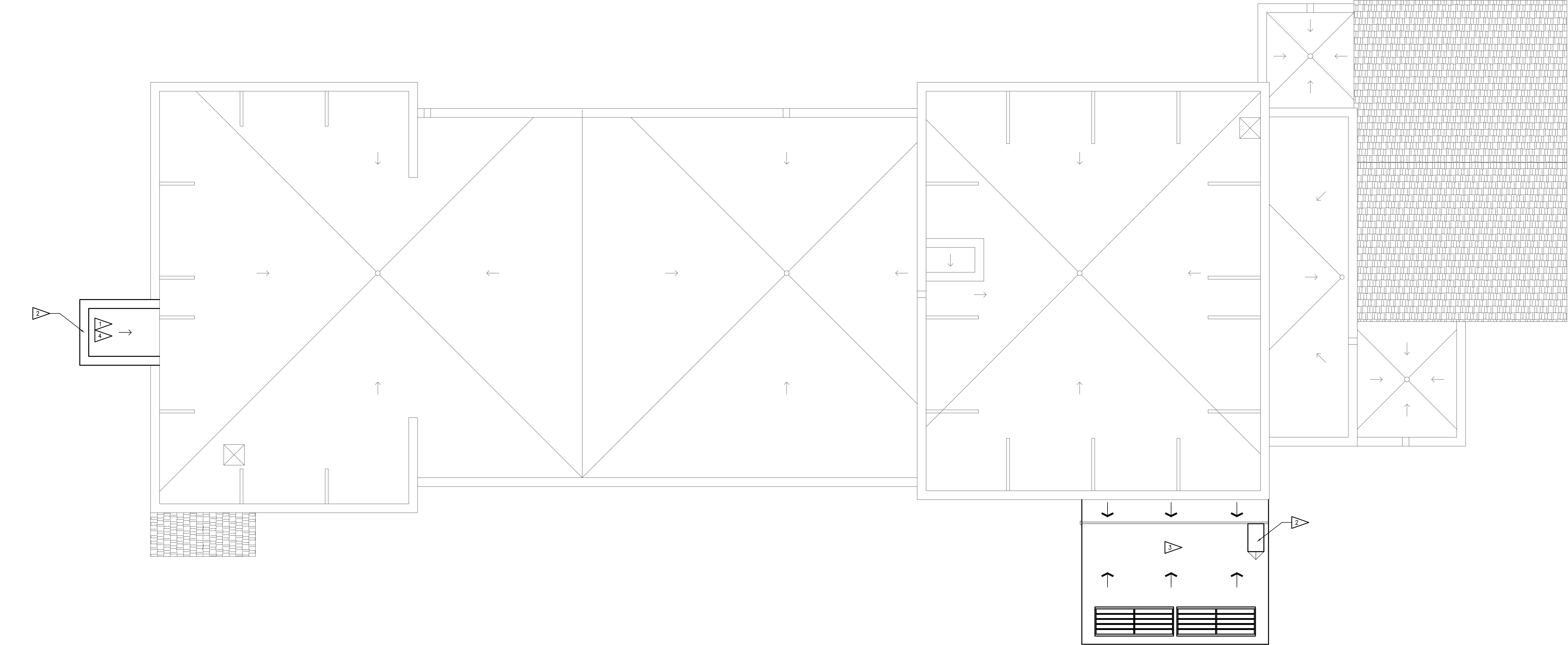
- AT AREAS INDICATED WITH AN ARROW, INDICATED INTENDED FLOW. PROVIDE TAPERED INSULATION AS REQUIRED TO ACHIEVE POSITIVE FLOW OF 1/4" PER FT. TO ROOF DRAINS.
- PRE-FINISHED METAL COPING PER DETAILS INDICATED. JOINTS TO BE 10'-0" MAX. AND AS SHOWN.
- NEW PORTE-COCHERE ROOF. SEE SHEET A1.31 FOR DETAILS.
- NEW ELEVATOR OVERRN. REFER TO SHEET A1.31 FOR DETAILS.

PLAN SYMBOLS

- WALL-MOUNTED FIRE EXTINGUISHER.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET.
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET.
- INDICATES WALL TYPE. REFER TO DRAWING A2.21 FOR WALL TYPE CONSTRUCTION
- FLOOR DRAIN
- DOOR TYPE. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER. REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- EXISTING DOOR

GENERAL PLAN NOTES:

- DO NOT SCALE DRAWINGS.
- DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. IN ORDER TO ACHIEVE LISTED WALL TYPES, ADJUST/OFFSET STUD FACE (IF NECESSARY) TO ACHIEVE UNKNOWN FINISHED SURFACE.
- FIELD VERIFY ALL DIMENSIONS PERTAINING TO EXISTING BUILDING COMPONENTS. IF, DURING THE LAYOUT PROCESS, A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE FROM FACE OF EXISTING GYPSUM BOARD-TO-FACE OF STUD OR FACE OF STUDS-TO-FACE OF STUDS, UNLESS NOTED OTHERWISE.
- REFER TO ENLARGED PLAN ON SHEET A4.01 FOR DIMENSIONS, WALL TYPES AND KEY NOTES OF SPECIFIC AREAS.
- REFER TO SHEET A2.01 FOR WALL ASSEMBLIES.
- ALL DOORS ARE TO BE MOUNTED 4" FROM ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- FILL AND PATCH ALL HOLES IN EXISTING WALLS, FLOORS, AND CEILINGS REMAINING AFTER REMOVAL OF ANY MECHANICAL, ELECTRICAL, PLUMBING, OR THE LIKE. PATCHED AREAS THAT REMAIN EXPOSED TO VIEW AFTER INSTALLATION OF NEW CONSTRUCTION ARE TO MATCH ADJACENT, UNDAHAGED SURFACES.
- OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS ON ALL REQUIRED DOORS.
- ALL BATHROOM ACCESSORIES MUST COMPLY WITH ADA ACCESSIBILITY STANDARDS OR LOCAL AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT.
- REFER TO THE "I" SERIES FOR TYPICAL MOUNTING HEIGHTS AND DIAGRAMS.
- GENERAL CONTRACTOR VERIFY ALL ELECTRICAL DATA, VOICE FIRE HORNS, HEARING IMPAIRED DEVICES ARE LOCATED & COORDINATED WITH ELECTRICAL DRAWINGS & "BRAND" DESIGN STANDARDS / ELECTRICAL CONTRACTOR
- PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS, FULL HEIGHT, AT LOWER CEILINGS, CONFIRM HEIGHT WITH OWNER AT LOCATIONS WITH CEILINGS ABOVE 10'. OWNER TO VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.
- REFER T-4 FOR TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHT REQUIREMENTS.
- DASHED RECTANGLE INDICATES MINIMUM FUTURE ACCESS CLEARANCE. DASHED 9" DIAMETER RADIUS INDICATES MINIMUM TURNING CLEARANCE FOR WHEELCHAIR ACCESS. REFER TO "I" SERIES DRAWINGS.
- PROVIDE BLOCKING WITHIN WALLS AS REQUIRED FOR ALL ADA GRAB BARS, FIXTURES, FINISHES AND EQUIPMENT (WHEELER, DCO, DFCI OR DFCI).
- WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" GLASS FIBER-FACED GYPSUM SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
- PERIMETER BATHROOM WALLS TO BE FULL HEIGHT TO BOTTOM OF STRUCTURE ABOVE (OR RATED HORIZONTAL ASSEMBLY) INCLUDING GYPSUM BOARD AND INSULATION, UNLESS NOTED OTHERWISE.
- PROVIDE WATERPROOFING UNDER TILE IN ALL BATHROOMS AND SHOWER AREAS AND TURN UP WALL 5" HIGH BEHIND TILE BASE. WATERPROOFING FOR SHOWERS TO TURN UP WALLS FOR FULL HEIGHT BEHIND TILE AND RUN 3'-0" PAST SHOWER OPENING BEHIND FULL HEIGHT TILE. REFER TO SPECIFICATION SECTION 09.50.00 TILE FOR ADDITIONAL INFORMATION.
- REFER TO PLUMBING AND KITCHEN EQUIPMENT DRAWINGS FOR FLOOR DRAIN LOCATIONS.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE-STOPPED.
- REFER TO INTERIOR DESIGN DRAWINGS FOR: FOR TOILET, BATH & LAUNDRY ACCESSORIES MATRIX AND MOUNTING HEIGHTS.
- TO THE EXTENT POSSIBLE, FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS. ALL CLEAN-OUTS ARE TO BE FLUSH WITH THE ADJACENT FLOOR / WALL SURFACES.
- WATER CLOSET WASTE LINES, WATER LINES, AND SIMILAR PLUMBING SUPPLY LINES ARE TO BE LOCATED IN WALL CHASES (AND THE LIKE) AND NOT IN EXTERIOR WALLS.
- GENERAL CONTRACTOR WILL PROVIDE ALL SCAFFOLDING ON THE BUILDING EXTERIOR FOR ALL TRADES. DO NOT INCLUDE CRANES AND HOISTING IN SUB-CONTRACTOR PROPOSALS.



FOURTH FLOOR

1/8" = 1'-0"

0' 4' 8' 16' 24'

PROJECT: PROPOSED FAIRFIELD CONVERSION

722 JOHN NOLEN DRIVE
MADISON, WI 53713

CLIENT: DEFOOR BROTHERS, LLC

804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223

DRAWN BY: D&D

DATE:

SCALE: AS NOTED

10% PRICING SET 01/30/2023

UDC / 30% SET 02/01/2023

ROOF PLAN

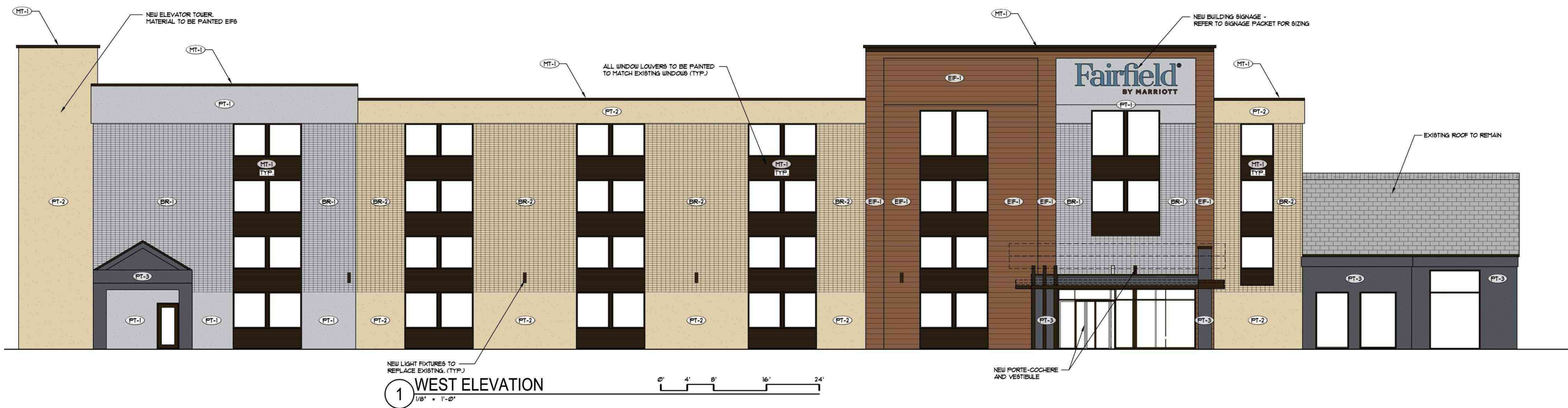
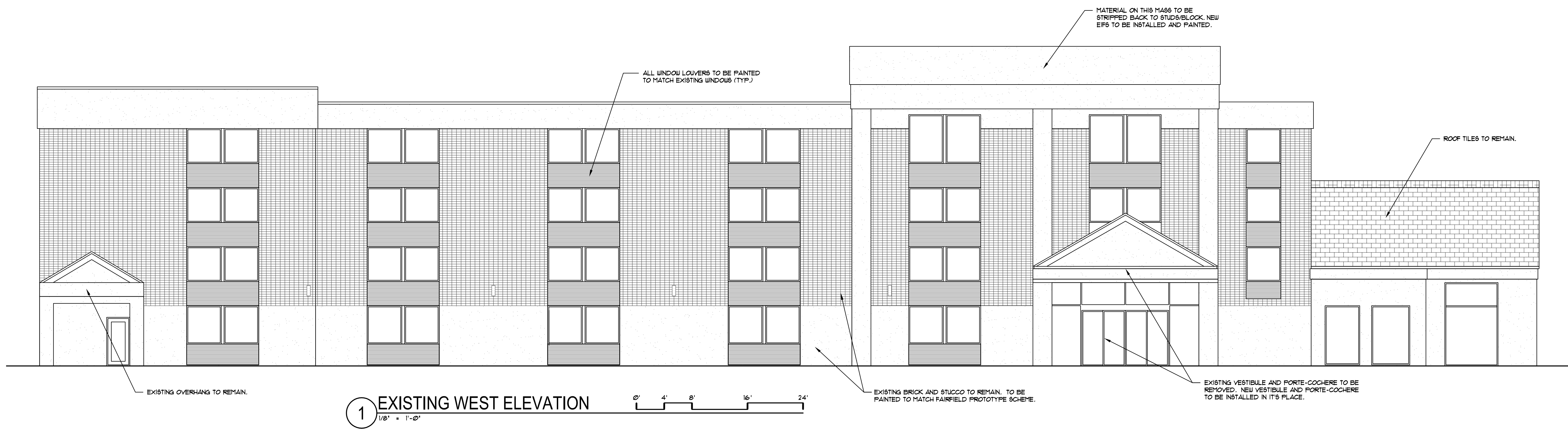
A2.05



Existing Building Looking East



Existing Building Looking South



GRAPHIC	EXTERIOR FINISH KEY
	(BR-1) PAINTED BRICK NO. 1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
	(BR-2) PAINTED BRICK NO. 2 - PAINTED BRICK, COLOR: WILMINGTON TAN
	(PT-1) PAINT NO. 1 - MFR: TBD, COLOR: TWILIGHT GRAY
	(PT-2) PAINT NO. 2 - MFR: TBD, COLOR: WILMINGTON TAN
	(PT-3) PAINT NO. 3 - MFR: TBD, COLOR: DEEP SPACE
	(EF-1) EPS NO. 1 - MFR: TBD, COLOR: LOG CABIN
	(MT-1) METAL COATING & TRIM - PAINTED METAL, COLOR: DARK BRONZE

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLAN DRIVE
MADISON, WI 53713
CLIENT: DEFOOR BROTHERS, LLC
801 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA
Any duplication, reproduction, or use by any other party is prohibited unless prior written authorization is received from GBA.

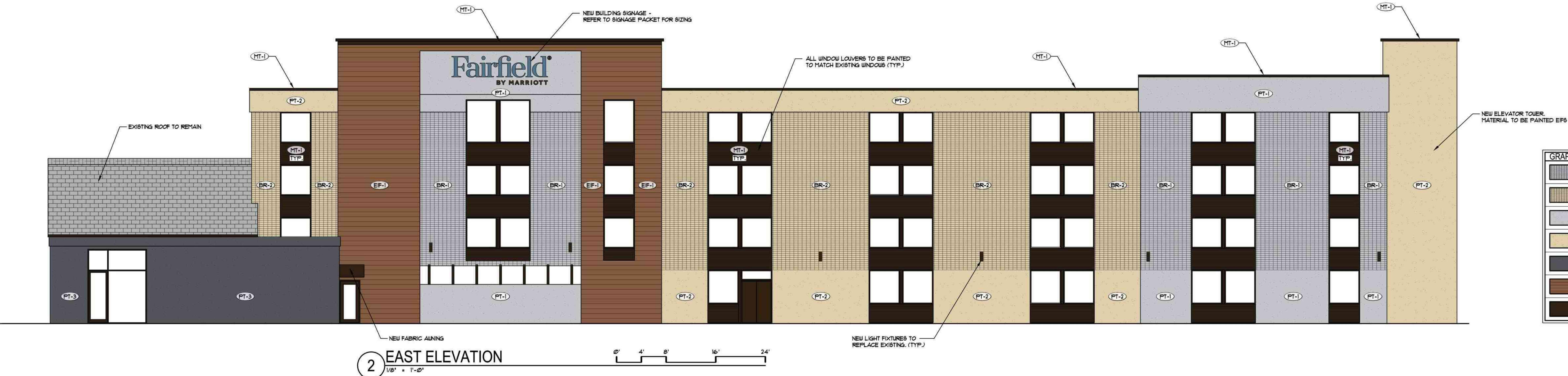
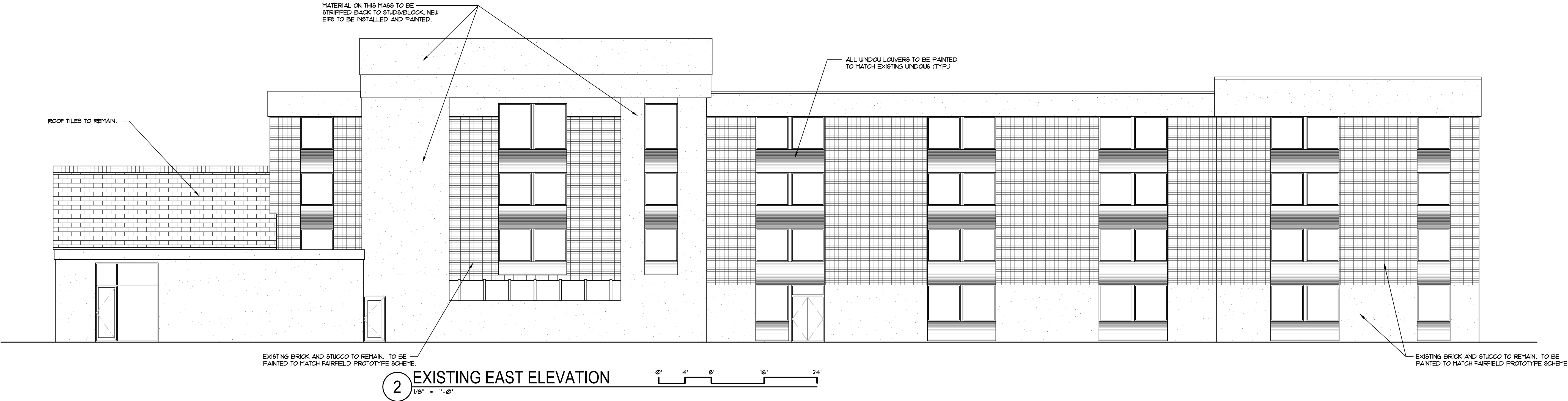
PROJECT: 202223
DRAWN BY: D&D
DATE: AS NOTED
10% PRICING SET 01/30/2023
UDC / 30% SET 02/27/2023



Existing Building Looking North



Existing Building Looking North



GRAPHIC	EXTERIOR FINISH KEY
	(BR-1) PAINTED BRICK NO. 1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
	(BR-2) PAINTED BRICK NO. 2 - PAINTED BRICK, COLOR: WILMINGTON TAN
	(PT-1) PAINT NO. 1 - MFG: TBD, COLOR: TWILIGHT GRAY
	(PT-2) PAINT NO. 2 - MFG: TBD, COLOR: WILMINGTON TAN
	(PT-3) PAINT NO. 3 - MFG: TBD, COLOR: DEEP SPACE
	(EIF-1) EIFS NO. 1 - MFG: TBD, COLOR: LOG CABIN
	(MT-1) METAL COATING 1 TYP - PAINTED METAL, COLOR: DARK BRONZE

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLEN DRIVE
MADISON, WI 53713
CLIENT: DEFOOR BROTHERS, LLC
804 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

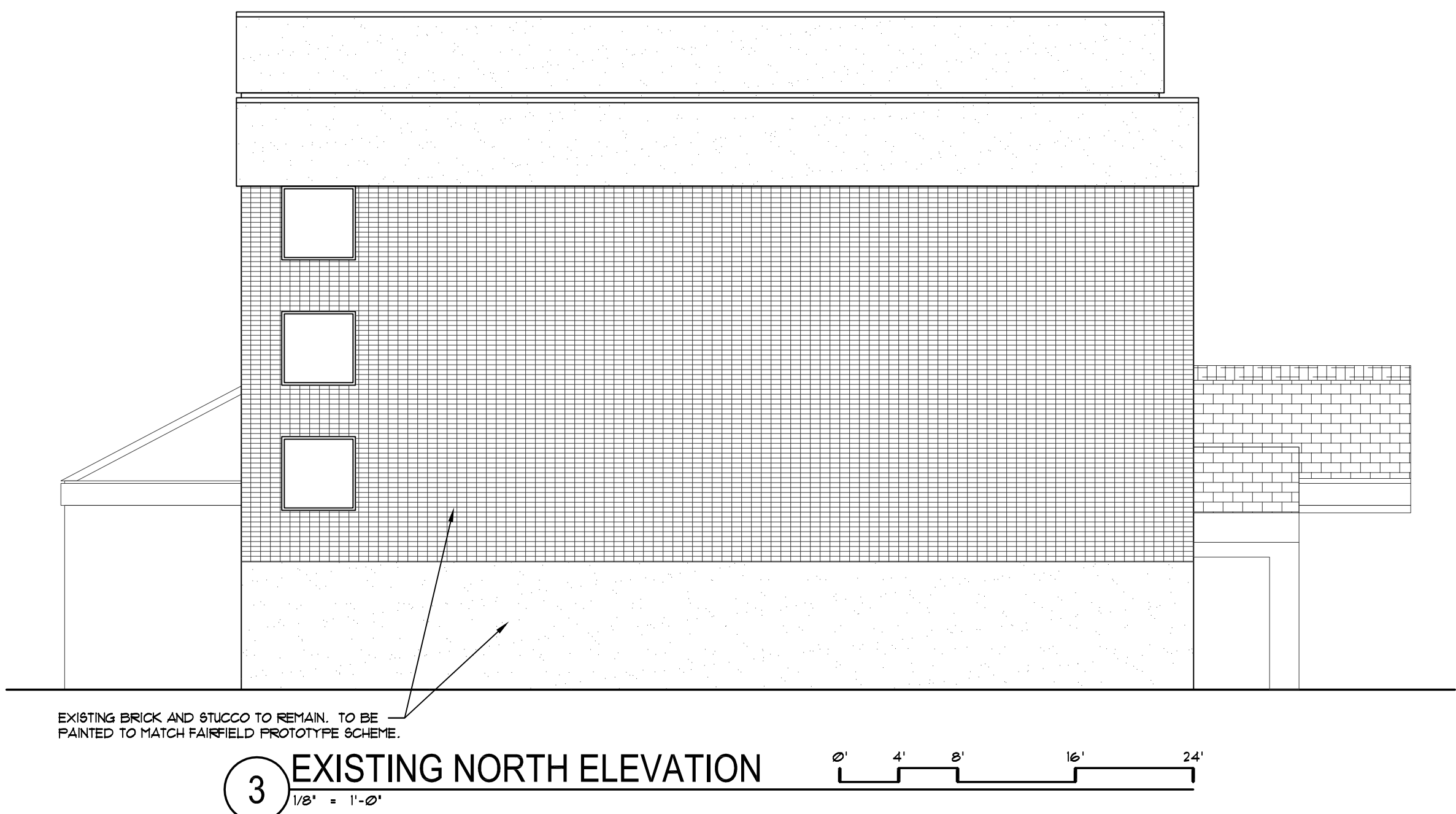
PROJECT: 202223
DRAWN BY: D&D
DATE:
SCALE: AS NOTED
10% PRICING SET 01/26/2023
UDC / 30% SET 02/01/2023



Existing Building Looking West



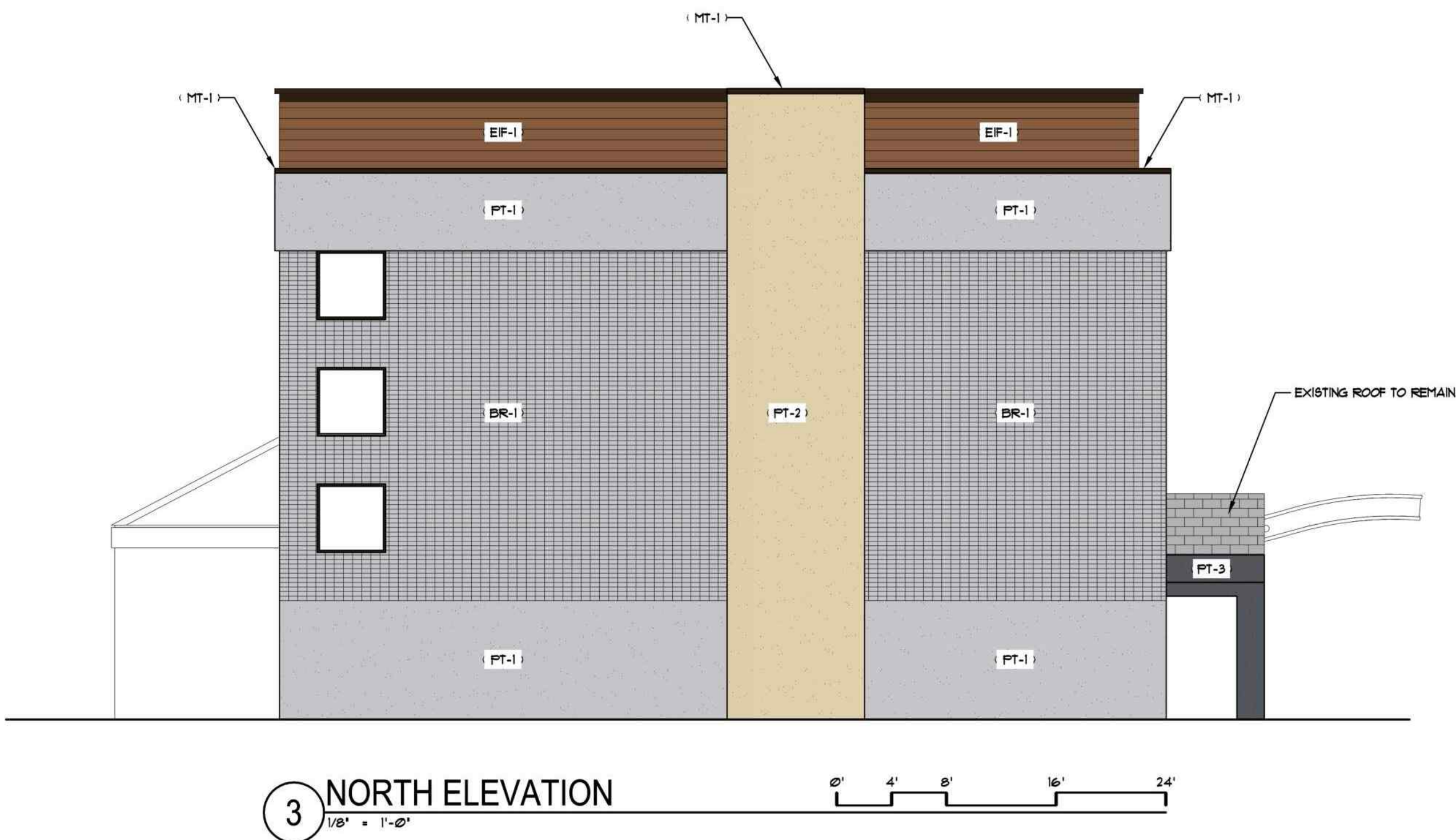
Existing Building Looking North



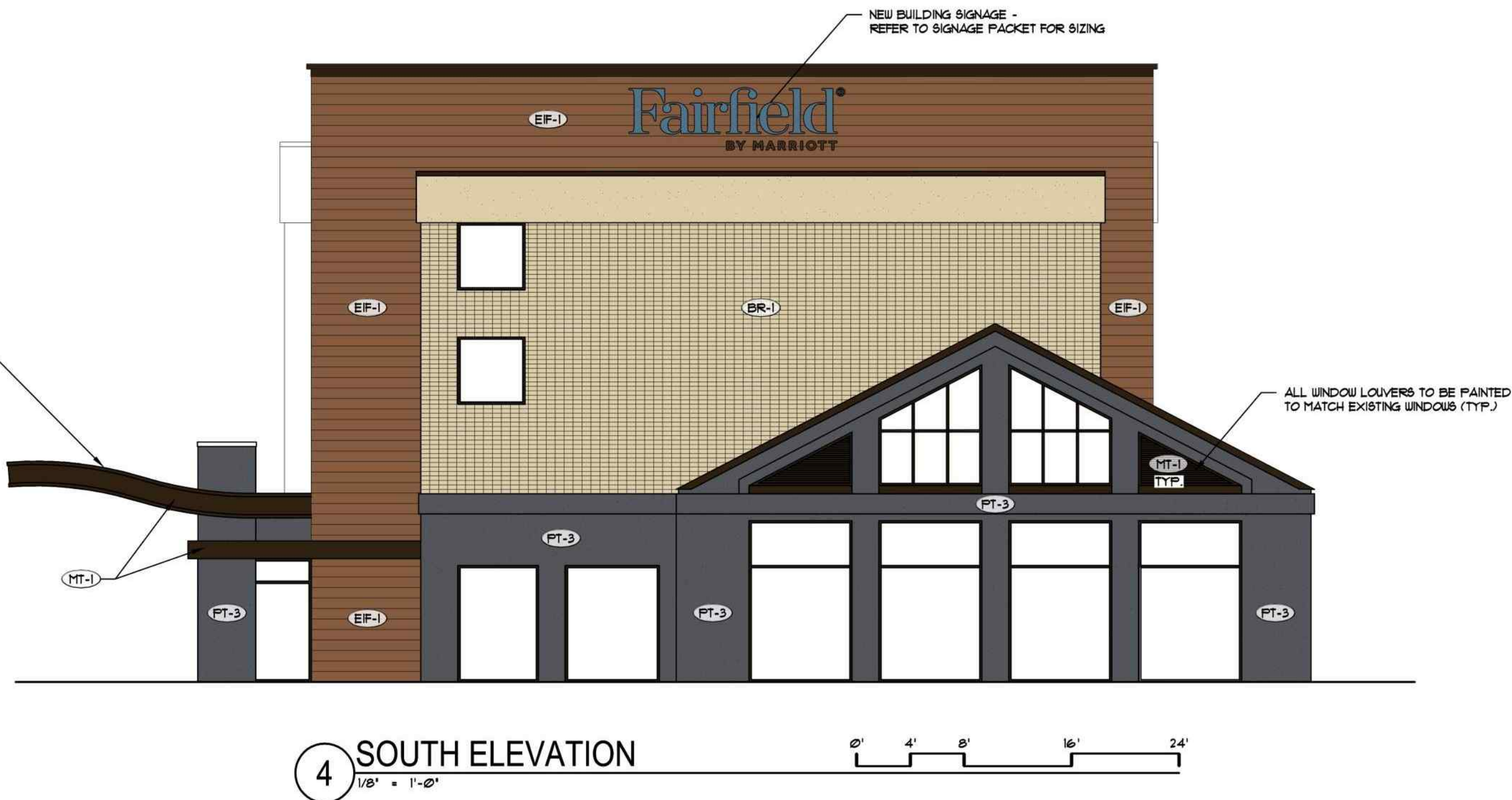
3 EXISTING NORTH ELEVATION
1/8" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

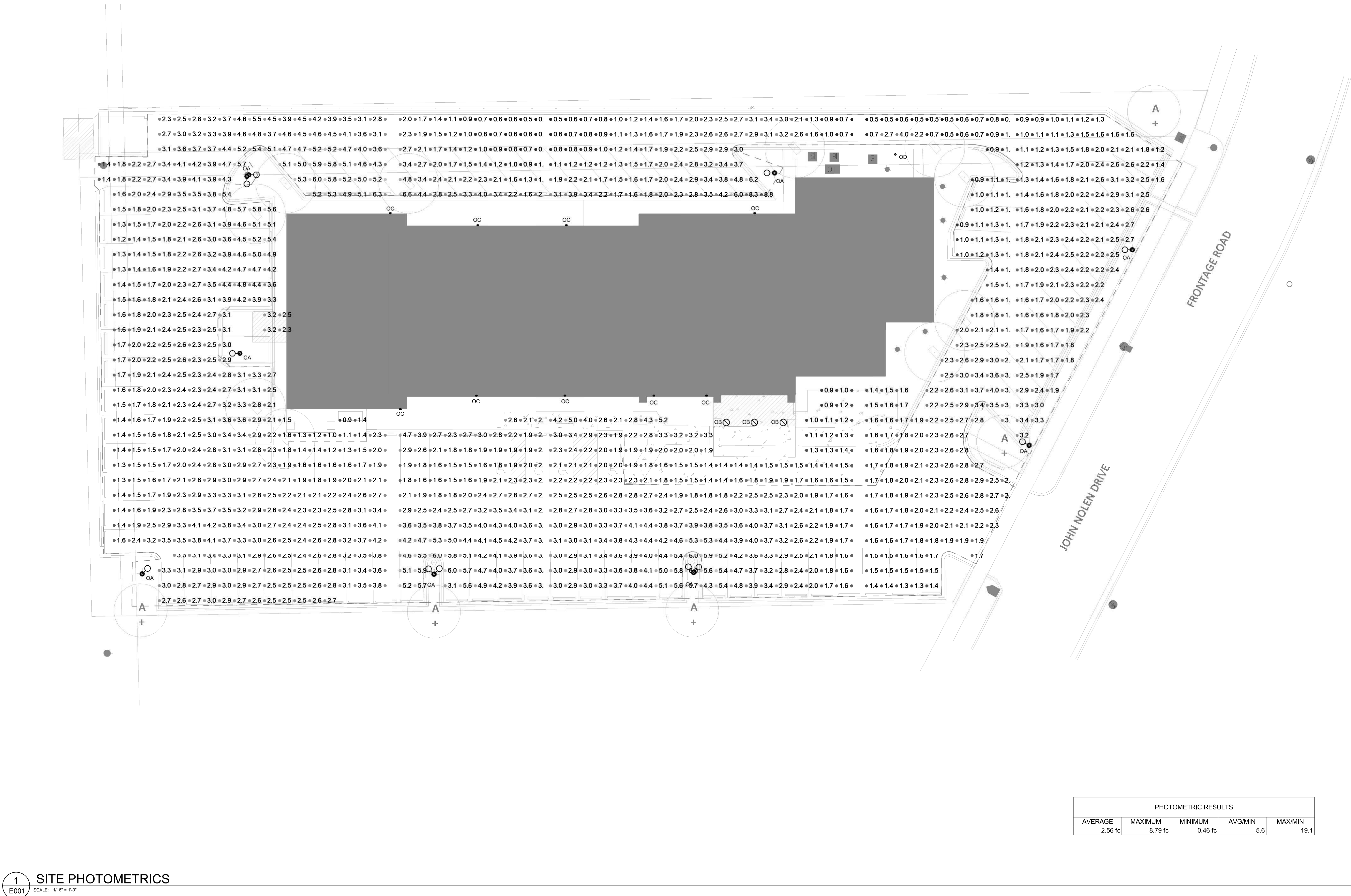


3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	(BR-1) PAINTED BRICK NO. 1 - PAINTED BRICK, COLOR: TWILIGHT GRAY
	(BR-2) PAINTED BRICK NO. 2 - PAINTED BRICK, COLOR: WILMINGTON TAN
	(PT-1) PAINT NO. 1 - MFG: TBD, COLOR: TWILIGHT GRAY
	(PT-2) PAINT NO. 2 - MFG: TBD, COLOR: WILMINGTON TAN
	(PT-3) PAINT NO. 3 - MFG: TBD, COLOR: DEEP SPACE
	(EF-1) EIFS NO. 1 - MFG: TBD, COLOR: LOG CABIN
	(MT-1) METAL COILING 4 TBSI - PAINTED METAL, COLOR: DARK BRONZE



1 SITE PHOTOMETRICS
E001 SCALE: 1/16" = 1'-0"

PROJECT: PROPOSED FAIRFIELD CONVERSION
722 JOHN NOLEN DRIVE
MADISON, WI 53713
CLIENT: DEFOOR BROTHERS, LLC
801 BROAD STREET, SUITE 200
CHATTANOOGA, TN 37402

2023 GBA.
Any duplication, reproduction, or use by any
other party is prohibited unless prior written
authorization is received from GBA.

PROJECT: 202223
DRAWN BY: JDR
DATE:
SCALE: 1/16" = 1'-0"
UDC / 30% SET 02/27/2023