URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
http://www.cityofmadison.com/planning/documents/UDCapplication.pdf

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: MARCH 30, 2015
UDC Meeting Date: APRIL 8, 2015
Combined Schedule Plan Commission Date (if applicable): APRIL 20, 2015

* ☐ Informational Presentation
☐ Initial Approval
☐ Final Approval

1. Project Address: 3414 MONROE STREET, MADISON, WI 53711
Project Title (if any): THE GLEN

2. This is an application for (Check all that apply to this UDC application):

☐ New Development ☐ Alteration to an Existing or Previously-Approved Development

A. Project Type:

☐ Project in an Urban Design District* (public hearing-$300 fee)
☐ Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) ($150 fee, Minor Exterior Alterations)
☐ Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
☐ Planned Development (PD)
  ☐ General Development Plan (GDP)
  ☐ Specific Implementation Plan (SIP)
☐ Planned Multi-Use Site or Planned Residential Complex

B. Signage:

☐ Comprehensive Design Review* (public hearing-$300 fee) ☐ Street Graphics Variance* (public hearing-$300 fee)
☐ Signage Exception(s) in an Urban Design District (public hearing-$300 fee)

C. Other:

☒ Please specify: * ADVISORY OPINION AT THE REQUEST OF CITY STAFF

3. Applicant, Agent & Property Owner Information:

Applicant Name: PATRICK CURCORAN
Company: PATRICK PROPERTIES.
Street Address: 2411 UNIVERSITY AVE.
City/State: MADISON / WI
Zip: 53726
Telephone: (608) 663-1778
Fax: (___) ___
Email: patrickproperties@tds.net

Project Contact Person: PAUL CUTIA / MARC SCHELLPFEPPER
Company: CASA ARCHITECTURE
Street Address: 3414 MONROE ST.
City/State: MADISON, WI
Zip: 53711
Telephone: (608) 709-1250
Fax: (___) N/A
Email: marc@casarch.com

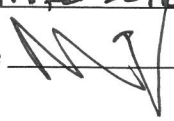
Project Owner (if not applicant): ___
Street Address: ___
City/State: ___
Zip: ___
Telephone: (___) ___
Fax: (___) ___
Email: ___

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with HEATHER STOUDER (name of staff person) on ___ (date of meeting).

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant MARC SCHELLPFEPPER
Relationship to Property ARCHITECT

Authorized Signature 
Date 3.30.2015

LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at: www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____

Date Received _____

Received By _____

Parcel No. _____

Aldermanic District _____

Zoning District _____

Special Requirements _____

Review Required By:

☐ Urban Design Commission ☐ Plan Commission

☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. Project Address: 3414 MONROE STREET

Project Title (if any): the GLEN

2. This is an application for (Check all that apply to your Land Use Application):

☐ **Zoning Map Amendment from** _____ to _____

☐ **Major Amendment to Approved PD-GDP Zoning** ☐ **Major Amendment to Approved PD-SIP Zoning**

☐ **Review of Alteration to Planned Development (By Plan Commission)**

☒ **Conditional Use, or Major Alteration to an Approved Conditional Use**

☒ **Demolition Permit**

☐ **Other Requests:** _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: PATRICK CORCORAN Company: PATRICK PROPERTIES

Street Address: 2417 UNIVERSITY AVE. City/State: MADISON, WI Zip: 53726

Telephone: (608) 663-1778 Fax: (608) 663-1557 Email: patrickproperties@tds.net

Project Contact Person: PAUL CUTA Company: CAS4 ARCHITECTURE, LLC

Street Address: 3414 MONROE STREET City/State: MADISON, WI Zip: 53711

Telephone: (608) 709-1250 Fax: ( ) N/A Email: paulc@cas4arch.com

Property Owner (if not applicant): N/A.

Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: _____

Development Schedule: Commencement MID AUGUST 2015 Completion MAY 1, 2016

5. Required Submittal Information

All Land Use applications are required to include the following:

☒ **Project Plans** including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- ***Seven (7) copies*** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- ***Twenty Five (25) copies*** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- ***One (1) copy*** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide ***Fourteen (14) additional 11x17 copies*** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- Project Team
- Existing Conditions
- Project Schedule
- Proposed Uses (and ft^2 of each)
- Hours of Operation
- Building Square Footage
- Number of Dwelling Units
- Auto and Bike Parking Stalls
- Lot Coverage & Usable Open Space Calculations
- Value of Land
- Estimated Project Cost
- Number of Construction & Full-Time Equivalent Jobs Created
- Public Subsidy Requested

☒ **Filing Fee**: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer.*
PREVIOUSLY PAID $600 PRIOR TO PULLING OUR INITIAL SUBMITTAL.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to *pcapplications@cityofmadison.com*.

☒ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.
INFO FOR DEMOLITION PERMIT.

6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations **in writing** no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

SEE ATTACHED EMAIL FROM ALDER BAILEY DATED 2.6.2015

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☒ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: _____ *Date:* _____ *Zoning Staff:* _____ *Date:* _____

DAT INITIAL - 7-10-2014 / PLANNING STAFF - 11.10.2014 / HEATHER, ANN, PAT ANDERSON - 2-11-2015

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant PAUL CUTA Relationship to Property: ARCHITECT.

Heather Stouder
City of Madison– Department of Planning
Department of Planning and Economic Development
215 Martin Luther King Jr. Blvd., Suite LL100
Madison, WI 53703

Re Planning Commission Submittal – Letter of Intent
the GLEN – A Patrick Properties Development

Dear Heather and Committee Members,

the GLEN – by Patrick Properties

Action Requested
Approval for conditional-use and demolition.

Introduction
The Glen is a proposed new mixed-use project located at 3414 Monroe Street. It is comprised of 35,798 gross square feet on four levels above grade and one level of below grade parking. The grade level includes limited commercial space, residential lobby and parking for commercial space use. Levels two through four provide a total of 19 rental residential units including a mix of studio, one, two, and three bedroom units. All units, except two, have exterior space in the form of a balcony or terrace and have been designed to maximize views to the adjoining amenities while trying to respect sensitive adjacencies. The below grade parking provides 20 spaces dedicated to the 19 residential units. In addition to the vehicle parking spaces below grade there are 22 bike parking stalls to serve the residence of the apartment units. The main level provides 6 exterior bicycle parking spaces and 9 exterior automobile parking spaces. The project also provides a dog water station along Glenway Street to provide community convenience and benefit to the many neighbors passing by this active corner.

Design
The architectural solution for the Glen is composed of a series of wood clad forms highlighted with details of natural plaster. These forms are supported by a masonry base that is eroded along the street scape, allowing the forms above to float over the commercial space. The step back at the first floor allows the building to present an improved pedestrian experience along the sidewalk while also improving street level views. The wood forms are modulated and scaled to transition to the single family residential scale ascending Glenway's street scape as well as the adjoining neighbors. The wood forms are articulated with a combination of large windows and natural plaster elements that step back to help articulate the massing. The forth level is set back on all four sides as it caps the building as a plaster clad form. Usable exterior space is provided for the residential units via balconies and terraces that are located and designed to maximize the views to the adjoining arboretum while trying to minimize impact on immediate neighbors. The building form is purposefully setback from the East and North property lines to help mitigate impact on adjoining neighbors. Extensive (tray system) green roofs are provided at the building step-backs/terraces. The primary

materials of masonry, wood, and plaster are purposely used and executed in the composition to be respectful of the neighborhood and adjoining properties while striving to represent a building of the period and continued evolution of our neighborhoods, city and its rich history.

Site / Landscape

The building massing is held back along the Monroe Street and Glenway elevations, to soften the pedestrian experience as one passes the building. The main mass sits on plinth that is 30" high along Monroe Street and tappers to at grade access as one moves up Glenway. A 24" wide band of hearty ornamental grasses line this plinth and soften the edge as the site abuts the public sidewalk. Groundwater is channeled to the East side of the site and passes through a series of weirs that terminate in a rain garden located at the SE corner of the site. This feature creates a visible landscape and water treatment feature along this side of the building and is intended to also soften the impact on the adjoining property. The North edge of the site is lined with screen landscape and a cedar fence to help protect the privacy of the adjoining property. The screening fence is designed with a horizontal wood slats to tie in with the neighbors carefully crafted wood rails and screens of a similar design. A similar wood screen wall is located along the East edge of the site to help control automobile headlights impact on the property to the East.

Zoning

The site is zoned TSS (Traditional Shopping Street District). The proposed design is in compliance with the prescribed City zoning requirements and the adopted neighborhood development plan. It is also the direct result of site responsive design informed by community concerns shared with the design team in previous neighborhood meetings, presentations to Landmarks Commission, and comments from City of Madison Planning. Several concerns addressed included but were not limited to looking at the breakdown of scale to avoid the perceived "big dumb box feel" of the neighboring development project, sensitivity to the pedestrian experience along the street, scale and massing stepping back a bit at the SE corner of the site to help preserve views of the adjoining property, material palette compatibility, parking / traffic concerns and sustainability.

Project Team

Owner	Patrick Properties	Patrick Corcoran
Architect	CāS$_4$ Architecture, LLC	Paul Cuta
Contractor	Krupp	Scott Vukobrat

Existing Conditions

See attached Photos

Proposed Uses

Commercial	3,492	Rentable Square Feet
Residential & General Use	22,426	Gross Square Feet
Below Grade Parking	9,880	Gross Square Feet

Hours of Operation

Typical hours of operation are:

Commercial	7:30 am – 6:00 pm	Monday – Friday
Residential	24/7	

Building Square Footage

35,798 gsf (within building exterior walls from below grade parking through 4th floor)

Number of Dwelling Units

Nineteen (19)

- 2 – Studio Units
- 8 – One-Bedroom Units
- 5 – Two-Bedroom Units
- 4 – Three-Bedroom Units

Auto & Bike Parking Stalls

Bicycle Parking	28	(22 Interior Residential, 2 Residential Guest, 4 Business)
Auto Parking	29	(9 Exterior for Commercial, 20 Interior for Residence)
Accessible	2	(1 Exterior for Commercial, 1 Interior for Residence)
Non-Accessible	27	(8 Exterior for Commercial, 19 Interior for Residence)

Lot Coverage and Usable Open Space:

Lot Size	13,168 sf
Pervious Area:	
Landscape	1,520 SF
Green Roof	2,170 SF
Pervious Pavement	1,317 SF
Total	5,007 SF
Proposed ISR	62%
Residential Balconies & Terraces	2,527 SF

Value of Land
$200,000 - $300,00

Estimated Project Cost
$3,500,000 ($2,900,000 construction cost)

Number of Construction & Full-Time Equivalent Jobs Created

Commercial Space	10 FTE's
Construction Jobs	15-30 FTE's

Public Subsidy Requested
None.

Paul M. Cuta, AIA
Partner

PMC/mds

Attachments:

Copied File

☒ Demolition Permits

In addition to items required for all land use applications, the following items are required for all proposed demolitions, as per MGO Section 28.185.

- Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City 30 days prior to filing their application using the online notification tool found at https://www.cityofmadison.com/developmentCenter/demolitionNotification/.
- Photos of the exterior and interior of the building shall be submitted with the application materials.
- Approval of a **Reuse and Recycling Plan** by the City's Recycling Coordinator is required prior to issuance of permits, pursuant to MGO Section 28.185(7)(a)5. Recycling Coordinator George Dreckmann can be reached at 608-267-2626 or gdreckmann@cityofmadison.com.
- Within 60 days of the completion of demolition activity, the applicant shall submit documentation showing compliance with the approved Reuse and Recycling Plan, pursuant to MGO Section 28.185(10).

☐ Lakefront Development (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for proposed lakefront development, as per MGO Section 28.138.

- Complete inventory of shoreline vegetation in any area proposed for building, filling, grading, or excavating
- Any trees and shrubs to be removed as a result of the proposed development (limit of 30% clearing of trees and shrubs within 35 feet of the Ordinary High Water Mark (OHWM))
- Measurement of the lot coverage within 35 feet of the OHWM (limit of 20%, with the exception of public paths within this area)
- Detailed plans for site grading, filling, and any retaining walls
- Contextual information related to the height and bulk of the five buildings on either side or within 300 feet on either side of the subject property (whichever is less)
- If utilizing as-built data from nearby properties to determine the lakefront yard, a survey completed by a Registered Land Surveyor in the State of Wisconsin showing the pertinent principal building setbacks of nearby properties must be included. The required minimum lakefront yard may be either:

  The average distance between the OHWM and the principal buildings on the two adjoining lots, assuming these distances are within 20' of one another.

  OR

  The median setback of the principal building on the five (5) developed lots or 300 feet on either side (whichever is less). If this method is utilized, the established setback must be no less than 30% of the lot depth of the subject property, and could be more, based on the placement of buildings as measured to establish the median.

☐ Outdoor Eating Areas (Conditional Use Application)

In addition to items required for all land use applications, the following items are required for outdoor eating area requests.

- Seating plan showing entrance and exit locations
- Operational details, including hours of operation, total proposed occupancy (seated and standing, inside and outside), and a description of how the area will be separated from parking areas or sidewalks

NOTE: The applicant should also contact the City Clerk regarding any changes to alcohol service permit.

From: **Patrick Corcoran** patrickproperties@tds.net
Subject: Fwd: 3414 Monroe St
Date: February 18, 2015 at 3:52 PM
To: Marc at CaS4 marc@cas4arch.com

----- Forwarded Message -----
From: "Lucas Dailey" <district13@cityofmadison.com>
To: "Heather Stouder" <HStouder@cityofmadison.com>
Cc: "patrickproperties tds.net" <patrickproperties@tds.net>
Sent: Friday, February 6, 2015 12:39:53 PM
Subject: FW: 3414 Monroe St

I'm fine waiving the waiting period for this. I assume Plan commission can only take it up with Landmarks had their crack at it first, of course.

Lucas Dailey
DISTRICT 13 ALDER
CITY OF MADISON
(608) 535-1214

Subscribe to District 13 updates at www.cityofmadison.com/council/district13/

_____
From: Patrick Corcoran <patrickproperties@tds.net>
Sent: Friday, February 6, 2015 11:39 AM
To: Dailey, Lucas
Subject: 3414 Monroe St

Dear Lucas,

This is notification of my intent to submit development plans to City of Madison Plan Commission on March 4, 2015, for the location; 3414 Monroe St.

I respectfully request you waive the 30 day requirement for this notification.

Thank you for your attention to the matter.

Sincerely,
Patrick J Corcoran

Department of Planning & Community & Economic Development
215 Martin Luther King, Jr. Blvd., Ste. LL-100
Madison, WI 53703
266-4551 FAX 267-8739

Parking Lot / Site Plan Approval Application Checklist

Instructions: Please complete this form and submit it with all the materials necessary for a parking lot plan review and approval. Check boxes for the items submitted that apply to your project. If you are not sure about what to show or submit, call the appropriate agency (*see Box G*). Once your application is accepted, staff will review, approve and return your application materials within 7 working days or sooner.

Site Address		
3414 MONROE STREET		
Contact Person	**Company**	**Phone/FAX**
PAUL CUTA	CAS4 ARCHITECTURE	608·709·1250
Contact Person Address		
3414 MONROE STREET, MADISON, WI 53711		

Project Type (check one): ☒ New ☐ Alteration

A. These items must be included with an application:

- ☒ 1. Scaled plan drawing(s): 1" = 20' or larger: 7 complete sets
- ☒ 2. Conditional Use or PUD/SIP approval letter (*if applicable*)
- ☒ 3. Driveway Opening Permit application
- ☒ 4. Easements for joint driveways or joined parking lots on separate parcels (*if applicable*)
- ☐ ~~5. Land Disturbing Activity Permit Application (*sizes 1 acre or more in size*)~~
- ☒ 6. Erosion Control Plan: 7 copies (*sizes 1 acre or more in size-See Example Plan 2*)
- ☒ 7. Landscape Worksheet (*sites with more than 3 parking stalls*)
- ☒ 8. Outdoor Lighting Plan and manufacturers specs (*if applicable*)

B. Information about your property that must be shown on your drawing(s). See Example Plan W:

- ☒ 9. Project information block on first page of plan
- ☒ 10. Property lines
- ☒ 11. Abutting right-of-way, roadways, driveways and terraces shown and dimensioned
- ☒ 12. Elevations of existing and proposed site to City datum
- ☒ 13. Elevation of top of curb
- ☒ 14. Storm sewers or drainage pattern (*See Example Plan Y*)
- ☒ 15. Proposed driveway radii
- ☒ 16. Type of surface on driveway, approach and lot (*grass, concrete, bituminous*)
- ☒ 17. Location of existing and proposed impervious surfaces
- ☒ 18. Means of separation between parking lot and sidewalk or adjoining property
- ☒ 19. Tree islands and protective curbing
- ☒ 20. Screening or landscaping (*See Example Plan X*)
- ☐ ~~21. On-site fire hydrants~~

C. Information about the structures that must be shown on your drawing:

- ☒ 22. Existing structures (*footprints and dimensions*)
- ☒ 23. Proposed structures (*footprints and dimensions*)
- ☒ 24. Setback distances (*front, rear and sides*)
- ☒ 25. Fencing and/or screening (type and location)

D. Parking layout information that must be on your drawing(s). See Example Plan W:

- ☒ 26. Dimensions of parking stalls and drive aisles
- ☒ 27. Location of accessible parking stalls
- ☒ 28. Location of accessible parking stall signs
- ☒ 29. Location and width of accessibility ramps
- ☒ 30. Location of loading facilities
- ☒ 31. Bicycle parking rack locations and rack style

E. "Off-property" information that must be shown on your drawing(s):

- ☒ 32. Trees, poles, signs in the right-of-way (*if applicable*)
- ☐ ~~33. Medians (*if applicable*)~~
- ☐ ~~34. Driveway openings directly across the street (*if applicable*)~~
- ☒ 35. Distance to nearest intersection
- ☒ 36. Fire hydrants within 500 feet of your property line

F. Other information you want staff to know:

G. Questions: Call City Staff for help.

ZONING	Building Use	266-4551
	Setbacks	
	Landscaping	
	Occupancy	
TRAFFIC ENGINEERING	Parking lot geometrics	266-4761
ENGINEERING	Drainage	266-4751
	Land disturbing activity	
	Soil erosion	
FIRE	Fire hydrants / access	266-4484
BUILDING INSPECTION	Parking lot lighting	266-4568

OFFICE USE ONLY:

Date/Time Received:	Accepted:
Staff Person	

3/3/09

City of Madison Fire Department

30 West Mifflin Street, 8th & 9th Floors, Madison, WI 53703-2579
Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: *fire@cityofmadison.com*

Project Address: 3414 MONROE STREET

Contact Name & Phone #: PAUL CUTA 709.1250

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system?	☒ Yes	☐ No	☐ N/A
If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall?	☐ Yes	☐ No	☒ N/A
If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall?	☒ Yes	☐ No	☐ N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs?	☒ Yes	☐ No	☐ N/A
a) Is the fire lane a minimum unobstructed width of at least 20-feet?	☒ Yes	☐ No	☐ N/A
b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet?	☒ Yes	☐ No	☐ N/A
c) Is the minimum inside turning radius of the fire lane at least 28-feet?	☒ Yes	☐ No	☐ N/A
d) Is the grade of the fire lane not more than a slope of 8%?	☒ Yes	☐ No	☐ N/A
e) Is the fire lane posted as fire lane? (Provide detail of signage.) CITY ROAD	☐ Yes	☒ No	☐ N/A
f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.)	☐ Yes	☒ No	☐ N/A
g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	☐ Yes	☒ No	☐ N/A
3. Is the fire lane obstructed by security gates or barricades? If yes:	☐ Yes	☒ No	☐ N/A
a) Is the gate a minimum of 20-feet clear opening?	☐ Yes	☐ No	☒ N/A
b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	☐ Yes	☐ No	☒ N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet?	☐ Yes	☒ No	☐ N/A
If yes, does the area for turning around fire apparatus comply with IFC D103?	☐ Yes	☐ No	☒ N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	☐ Yes	☒ No	☐ N/A
6. Is any part of the building greater than 30-feet above the grade plane?	☒ Yes	☐ No	☐ N/A
If yes, answer the following questions:			
a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter?	☒ Yes	☐ No	☐ N/A
b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building?	☒ Yes	☐ No	☐ N/A
c) Are there any overhead power or utility lines located across the aerial apparatus fire lane?	☐ Yes	☒ No	☐ N/A
d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species)	☐ Yes	☒ No	☐ N/A
e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet?	☒ Yes	☐ No	☐ N/A
f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	☒ Yes	☐ No	☐ N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants?	☒ Yes	☐ No	☐ N/A
Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.			
a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants?	☒ Yes	☐ No	☐ N/A
b) Is there at least 40' between a hydrant and the building?	☒ Yes	☐ No	☐ N/A
c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane?	☒ Yes	☐ No	☐ N/A
d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb?	☐ Yes	☒ No	☐ N/A
e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant?	☒ Yes	☐ No	☐ N/A
Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.			

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2012 Edition Chapter 5 and Appendix D**; please see the codes for further information.

CITY OF MADISON
LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address 3414 Monroe Street

Name of Project the Glen

Owner / Contact Jacob Blue, PLA, SAA Design Group, Inc.

Contact Phone 608-441-3564 Contact Email jblue@saa-madison.com

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.

(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.

(c) No demolition of a principal building is involved.

(d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area 5,465 sf

Total landscape points required 92

(b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

(c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			49	147
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			36	72
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.			115	46
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	36"	200* *only 27 pts counted		
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals				27		265

Total Number of Points Provided 292

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Parman Place along Glenway Street

View from site looking up Wyota Avenue

View of Residential up Glenway Street from site

View of Residential up Glenway Street from site

13002.00

Existing Site Context

the GLEN - Patrick Properties

Scale: NTS

February 9, 2015 - Landmarks Commission Submittal

CāS4 architecture, llc

View along Monroe Street from the West

View along Monroe Street from the East

Parman Place at Glenway Street and Monroe Street

Arbor House to the east of property along Monroe Street

Apartments along Monroe Street east of Arbor House

13002.00

Existing Site Context

the GLEN - Patrick Properties

Scale: NTS

February 9, 2015 - Landmarks Commission Submittal

cas4 architecture, llc

Existing Office Area within original building

Existing Office Area within original building

Mechanical room within original building

Existing Area within the building addition

Corridor to building addition

Restroom within original building

13002.00

Existing Building Interior Photos

the GLEN - Patrick Properties

Scale: NTS

February 9, 2015 - Landmarks Commission Submittal

CāS4 architecture, llc

Adjacent Site / Monroe Street Elevation Along West Tree Line

Adjacent Site / Monroe Street Elevation

Existing Tree Line Along East Edge of Project Site

Oblique View of Adjacent Site and West Edge Tree Line

13002.00

Existing Arbor House Annex and Plough Inn

the GLEN - Patrick Properties

Scale: NTS

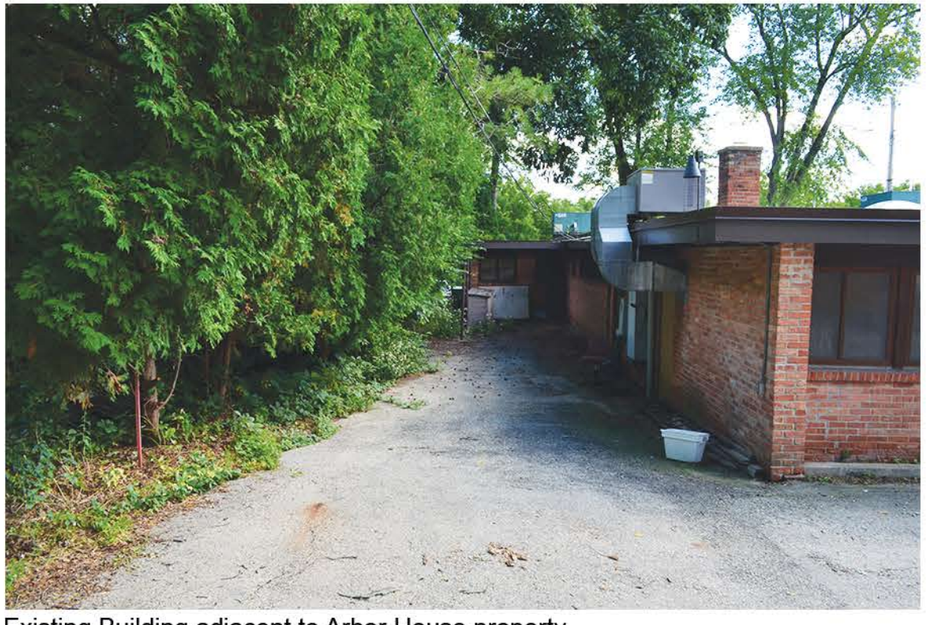
February 9, 2015 - Landmarks Commission Submittal

CāS4 architecture, llc

Existing Building along Glenway Street

Existing Building along Monroe Street

Existing Building parking accessed off of Glenway Street



Existing Building adjacent to Arbor House property

13002.00

Existing Building Exterior Photos

the GLEN - Patrick Properties

Scale: NTS

February 9, 2015 - Landmarks Commission Submittal

CāS4 architecture, llc

the GLEN - by Patrick Properties

3414 Monroe Street, Madison, WI 53711

Plan Commission Submittal

General Sheet

G001	Title Sheet
V100	Existing Conditions Survey

Civil / Landscape

SAA Design Group
101 E Badger Road
Madison, WI 53713

ph 608-255-0800

C200	Demolition & Erosion Control Plan
C300	Site Plan
C400	Site Grading Plan
C500	Site Utility Plan
C600	Landscape Plan
C700	Details
C701	Details
C702	Details
C703	Details
C800	Fire Access Plan

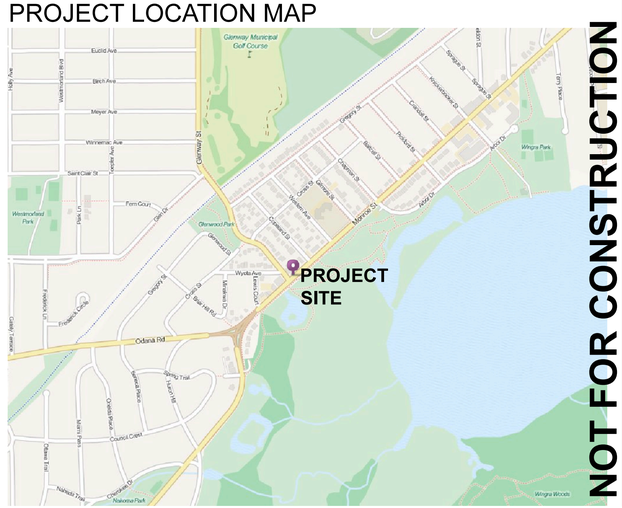
Architectural

CāS₄ Architecture, LLC
3414 Monroe Street
Madison, WI 53711

ph 608-709-1250

A100	Overall Floor Plans - Lower and Grade
A101	Overall Floor Plans - Second and Third
A102	Overall Floor Plans - Fourth and Roof
A200	Building Elevations
A201	Building Elevations and Window Layout
11x17	Rendered Building Images
E001	Exterior Photometrics - Grade and Second
E002	Exterior Photometrics - Third and Fourth
8.5x11	Light Fixture Cutsheets

PROJECT LOCATION MAP



NOT FOR CONSTRUCTION

CāS₄ architecture, llc
3414 Monroe Street
Madison, WI 53711
ph 608-709-1250

Structural Engineering:

ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:

SAA DESIGN GROUP, INC.
101 East Badger Rd.
Madison, WI 53713

The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Plan Commission Submittal	3-4-2015

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

Title Sheet

G001

Project Name: the Glen
Project #: 13002.00

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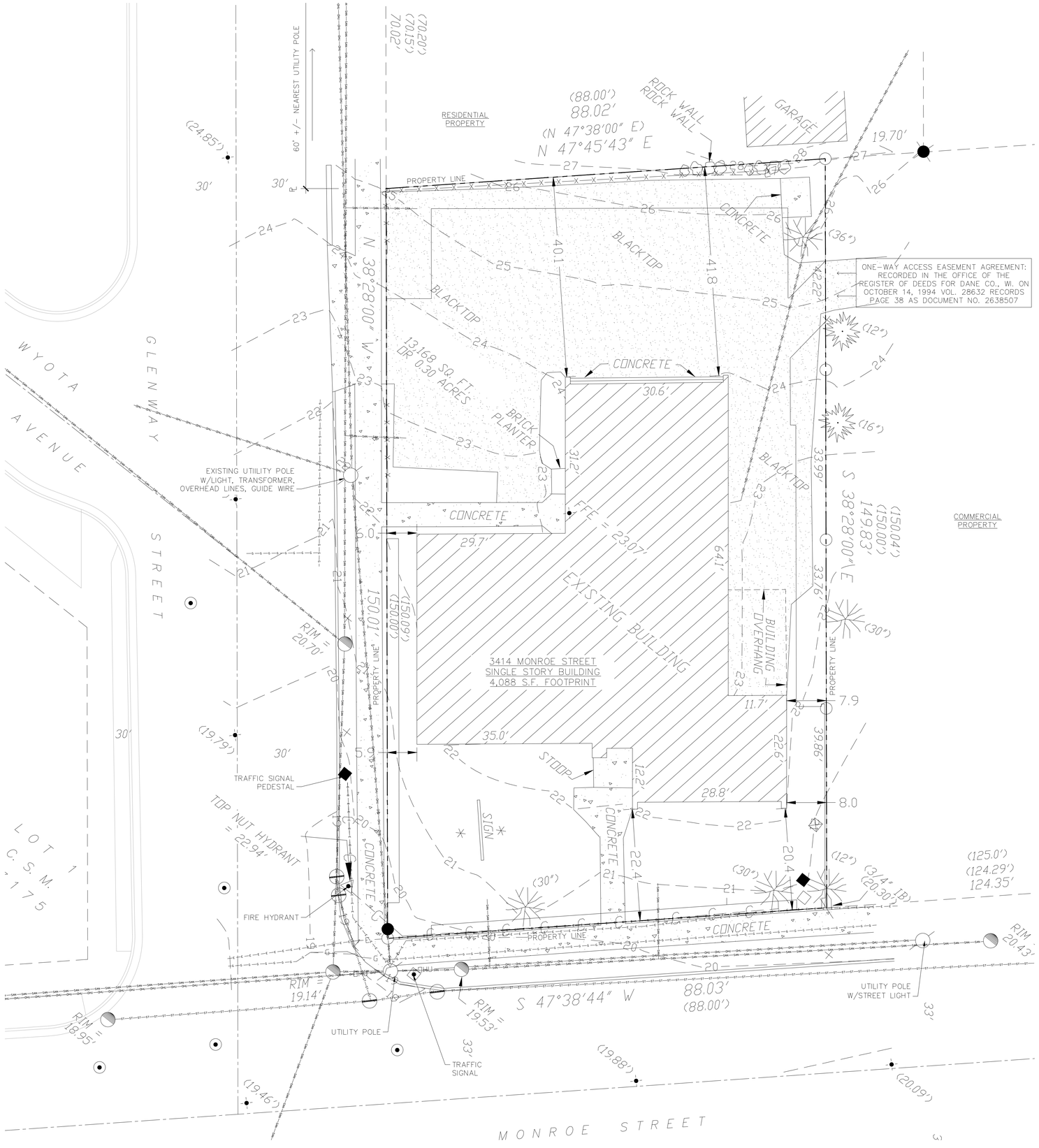

GENERAL NOTE:
ALL OVERHEAD AND UNDERGROUND UTILITIES SHOWN ON THE MAP ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY UTILITY COMPANIES OR CITY ENGINEERS. THE SURVEYOR CAN CERTIFY ONLY TO THE LOCATION OF UTILITIES AS PROVIDED BY OTHERS, EXCEPT WHERE SNOW AND OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. CONTRACTOR TO FIELD VERIFY.

1. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
2. ELEVATIONS ARE REFERENCED TO THE CITY OF MADISON DATUM. SITE BENCHMARK IS THE TOP NUT OF HYDRANT LOCATED AT THE NORTH CORNER OF THE INTERSECTION OF MONROE STREET GLENWAY STREET. ELEVATION = 22.94'.
3. TREES LOCATED ARE 12 INCHES OR LARGER.
4. FIELD WORK WAS COLLECTED ON OCTOBER 17, 2013.
5. WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
6. FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

*SITE SURVEYING PERFORMED BY
WILLIAMSON SURVEYING & ASSOCIATES
104A WEST MAIN STREET, WAUNAKEE, WI 53597
608-255-5705

ADDITIONAL UTILITY INFORMATION
WAS PROVIDED BY THE CITY OF MADISON.

LEGEND

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 1" PIPE
- = FOUND 3/4" PIPE
- = FOUND 3/4" REBAR
- (##) = RECORDED AS
- = SET WOOD LATH ON PROPERTY LINE
- = SPOT GRADE
- = GROUND LIGHT
- = STREET/PARKING SIGN
- = TRAFFIC LIGHTS
- = STORM INLET/ GRATE INLET
- = MANHOLE
- = FIRE HYDRANT
- = POWERPOLE
- = WATER VALVE
- = UTILITY PEDESTAL
- = UTILITY BOX
- = UTILITY BASE VAULT
- = ROCK WALL
- = DECIDUOUS TREE (SIZE NOTED)
- = CONIFEROUS TREE (SIZE NOTED)

LINE LEGEND

- —SAN— = SANITARY SEWER
- —ST— = STORM SEWER
- —C— = UNDERGROUND COMMUTATION
- —W— = WATER MAIN
- —T— = UNDERGROUND TELEPHONE
- —E— = UNDERGROUND ELECTRIC
- —G— = UNDERGROUND GAS MAIN
- —X—X— = WOOD FENCE

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BEFORE CONSTRUCTION CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES.

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CāS4 architecture, llc
3414 Monroe Street
Madison, WI 53711
ph 608-709-1250

Structural Engineering:
ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:
SAA DESIGN GROUP #2573
101 East Badger Rd.
Madison, WI 53713

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The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
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Issued for:

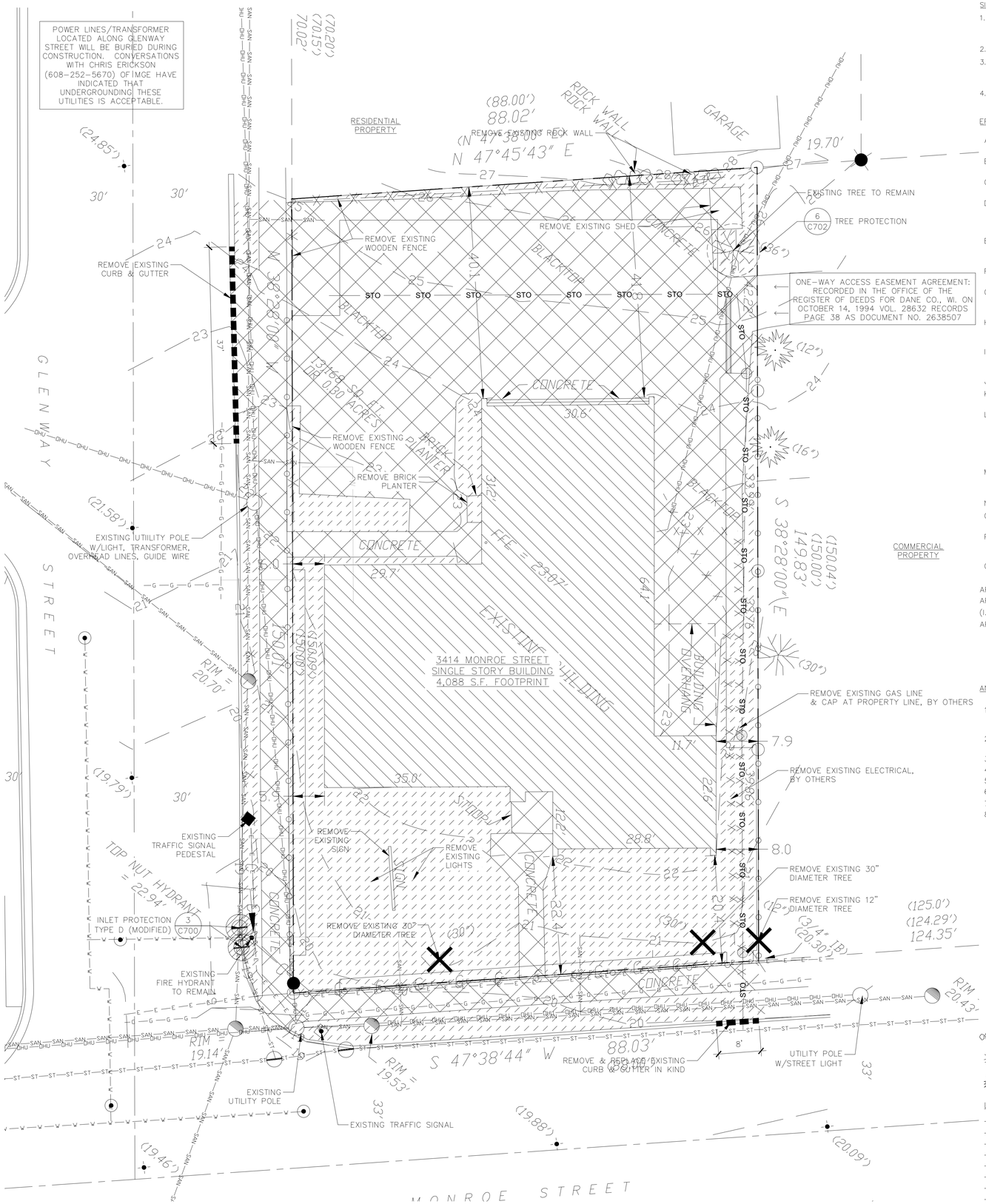
No.	Description	Date
1	Plan Commission Submittal	3-4-2015

This sheet by: SAA Design Group, Inc.

EXISTING CONDITIONS SURVEY

V100

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



SITE DEMOLITION NOTES:

1. ALL BUILDINGS, FOUNDATIONS, STRUCTURES AND ABOVE GROUND APPURTENANCES WITHIN THE PROPERTY LINE SHALL BE REMOVED AS A PART OF THE DEMOLITION WORK UNLESS OTHERWISE NOTED.
2. SAWCUT EDGE OF PAVEMENT AND CURB TO BE REMOVED.
3. REMOVE ANY EXISTING SITE ELEMENT THAT CONFLICTS WITH THE PROPOSED CONSTRUCTION INCLUDING, BUT NOT LIMITED TO SIGNS, WALLS, FENCING, LANDSCAPING, PAVEMENTS AND CURB AND GUTTER.
4. PROTECT EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION.

GENERAL NOTE:

ALL OVERHEAD AND UNDERGROUND UTILITIES SHOWN ON THE MAP ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY UTILITY COMPANIES OR CITY ENGINEERS. THE SURVEYOR CAN CERTIFY ONLY TO THE LOCATION OF UTILITIES AS PROVIDED BY OTHERS, EXCEPT WHERE SNOW AND OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. CONTRACTOR TO FIELD VERIFY.

EROSION NOTES:

A. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED TO THE CITY FOR APPROVAL AND INDICATED ON THE PLAN.
B. INSTALL TYPE D MODIFIED INLET PROTECTION AT ALL INLETS SHOWN ON THE PLANS. IF OTHER INLETS ARE FOUND WITHIN THE DRAINAGE AREA. THE CONTRACTOR SHALL PLACE INLET PROTECTION.
C. CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE FROM THE EXISTING ENTRY ON GLENWAY. CONTRACTOR SHALL ENSURE THAT ACCESS TO THE SITE AND NEARBY STREETS ARE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY.
D. CONTRACTOR SHALL POST A COPY OF THE COVERAGE UNDER WPDES GENERAL PERMIT APPROVAL AT A CONSPICUOUS LOCATION ON THE PROJECT SITE FOR AT LEAST FIVE DAYS PRIOR TO CONSTRUCTION, AND REMAINING AT LEAST FIVE DAYS AFTER CONSTRUCTION. CONTRACTOR MUST ALSO HAVE A COPY OF THE PERMIT AND APPROVED PLAN AVAILABLE AT THE PROJECT SITE AT ALL TIMES UNTIL THE PROJECT IS COMPLETE.
E. CONTRACTOR SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE CITY OF MADISON STANDARD SPECIFICATIONS, WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE TECHNICAL STANDARDS AND THE WISDOT EROSION CONTROL PRODUCT ACCEPTABILITY LISTS (PAL).
F. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
G. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE BUT NOT LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY. WRITTEN REPORTS WILL BE KEPT OF ALL EROSION AND SEDIMENT CONTROL INSPECTIONS AS REQUIRED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR).
H. SILT SOCK SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS PER DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT SOCK WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT SOCK WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
I. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED. SITE STABILIZATION INVOLVING SEEDING WHICH IS NOT COMPLETED PRIOR TO SEPTEMBER 15 SHALL BE COMPLETED WITH DORMANT SEEDING BY NOVEMBER 1.
J. EROSION CONTROL MEASURES MUST BE IN PLACE AT THE END OF EACH WORK DAY.
K. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
L. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE BEEN TEMPORARILY SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION SHALL BE IMPLEMENTED WITHIN SEVEN DAYS. TEMPORARY STABILIZATION PRACTICES SUCH AS MULCH/TACKIFIER, EROSION MAT, OR WISDOT TYPE B SOIL STABILIZER SHALL BE APPLIED TO THE SOIL SURFACE WHEN THE SITE IS NOT READY FOR PERMANENT RESTORATION. WHEN STABILIZATION IS NOT POSSIBLE DUE TO SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL USE BIODEGRADEABLE CLASS I URBAN TYPE B EROSION MATTING ON ALL SWALE CENTERLINES AND SIDE SLOPES STEEPER THAN 4:1 (25%)
M. STORM WATER AND GROUND WATER PUMPED FROM EXCAVATIONS AND/OR THE DEWATERING WELLS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WISCONSIN STATUTES. SEDIMENT BASINS, SEDIMENT TRAPS AND/OR THE USE OF POLYMERS TO CONTROL SEDIMENT SHALL BE UTILIZED AND MEET THE REQUIREMENTS OF THE WISCONSIN WDNR TECHNICAL STANDARDS.
N. EROSION MAT SHALL CONSIST ENTIRELY OF BIODEGRADABLE COMPONENTS (NO PHOTOBIODEGRADEABLE).
O. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
P. ALL DIMENSIONS SHOWN ARE TO DECIMAL FEET AND MEASURED TO EDGE OF PAVEMENT, UNLESS SPECIFIED OTHERWISE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE.
Q. PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED TO MAINTAIN SAFE CONDITIONS FOR WORKERS AND THE PUBLIC.

AFTER SEPTEMBER 15TH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
AFTER OCTOBER 15TH, A DORMANT SEEDING COVER CROP MUST BE APPLIED
(I.E. WINTER WHEAT)
AFTER NOVEMBER 15TH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLIMIDE)

ANTICIPATED CONSTRUCTION SCHEDULE:

1. INSTALL EROSION CONTROL MEASURES AS DETAILED ON THE PLAN. SITEWORK MAY NOT COMMENCE UNTIL EROSION CONTROL MEASURES ARE IN PLACE.
2. CONTRACTOR TO DEMOLISH AREA (BUILDINGS, CONCRETE, ASPHALT, UTILITIES ETC) AS PROPOSED, CLEAR & GRUB TREES AS NECESSARY.
3. ABANDON SANITARY, GAS, ELECTRICAL AND WATER UTILITIES AS SHOWN.
4. CONSTRUCT UTILITIES.
5. CONSTRUCT NEW BUILDING.
6. CONSTRUCT CONCRETE CURB & PAVEMENT.
7. TOPSOIL, SEED AND MULCH/EROSION MAT ALL DISTURBED AREAS.
8. REMOVE EROSION CONTROL ITEMS ONCE DISTURBED AREA IS 80% VEGETATED.

SYMBOL LEGEND

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- = FOUND 1" PIPE
- = FOUND 3/4" PIPE
- = FOUND 3/4" REBAR
- = GROUND LIGHT
- = STREET/PARKING SIGN
- = TRAFFIC LIGHTS
- = STORM INLET/ GRATE INLET
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- = UTILITY PEDESTAL
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- = UTILITY BASE VAULT
- = ROCK WALL
- = DECIDUOUS TREE (SIZE NOTED)
- = CONIFEROUS TREE (SIZE NOTED)

LINE LEGEND

- SAN — = SANITARY SEWER
- ST — = STORM SEWER
- C — = UNDERGROUND COMMUNICATION
- W — = WATER MAIN
- T — = UNDERGROUND TELEPHONE
- E — = UNDERGROUND ELECTRIC
- G — = UNDERGROUND GAS MAIN
- X — = WOOD FENCE

DEMOLITION LEGEND:

- ABANDON OR REMOVE UTILITY
- REMOVE CURB
- TREE REMOVAL
- ASPHALT/CONCRETE REMOVAL
- BUILDING REMOVAL
- LANDSCAPING/LAWN REMOVAL

EROSION CONTROL LEGEND:

- SILT SOCK
- TREE PROTECTION
- INLET PROTECTION

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CāS4 architecture, llc
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ph 608-709-1250

Structural Engineering:
ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:
SAA DESIGN GROUP #2573
101 East Badger Rd.
Madison, WI 53713

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The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

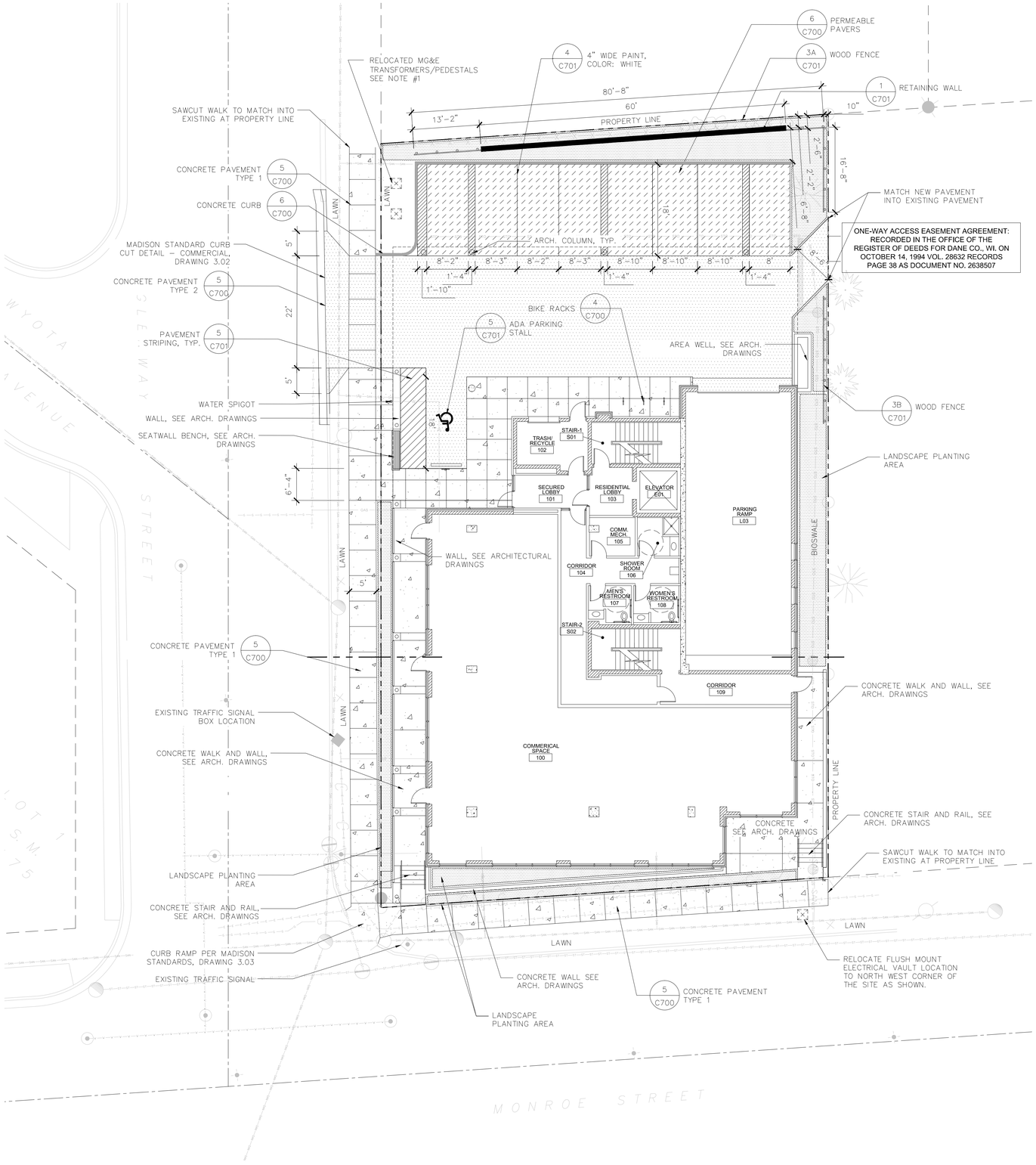
No.	Description	Date
1	Plan Commission Submittal	3-4-2015

This sheet by: SAA Design Group, Inc.

DEMOLITION & EROSION CONTROL PLAN

C200

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



NOTES:

1. CURRENTLY OVERHEAD POWER LINE ARE LOCATED ALONG THE EAST SIDE OF GLENWAY STREET. CONVERSATIONS WITH CHRIS ERICKSON (608-252-5670) OF MGE HAVE INDICATED THAT RELOCATION (UNDERGROUNDING) OF THESE UTILITIES IS ACCEPTABLE. THIS IS THE LAST STRETCH OF OVERHEAD TO BE DIPPED ALONG THIS SEGMENT. THERE WILL BE NO OVERHEAD POWER LINES ALONG GLENWAY STREET.
2. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
3. CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
4. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
5. ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN EPOXY.
6. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS.
7. ALL DRIVEWAYS , CURBS ADJACENT TO DRIVEWAYS AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
8. BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.11.

PROPERTY LINE

CONCRETE CURB, TYPE 1

CONCRETE PAVEMENT, TYPE 1

CONCRETE PAVEMENT, TYPE 2

PERMEABLE PAVERS

N

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NOT FOR CONSTRUCTION

CāS4 architecture, llc
3414 Monroe Street
Madison, WI 53711
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Structural Engineering:

ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:

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101 East Badger Rd.
Madison, WI 53713

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The Glen
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3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

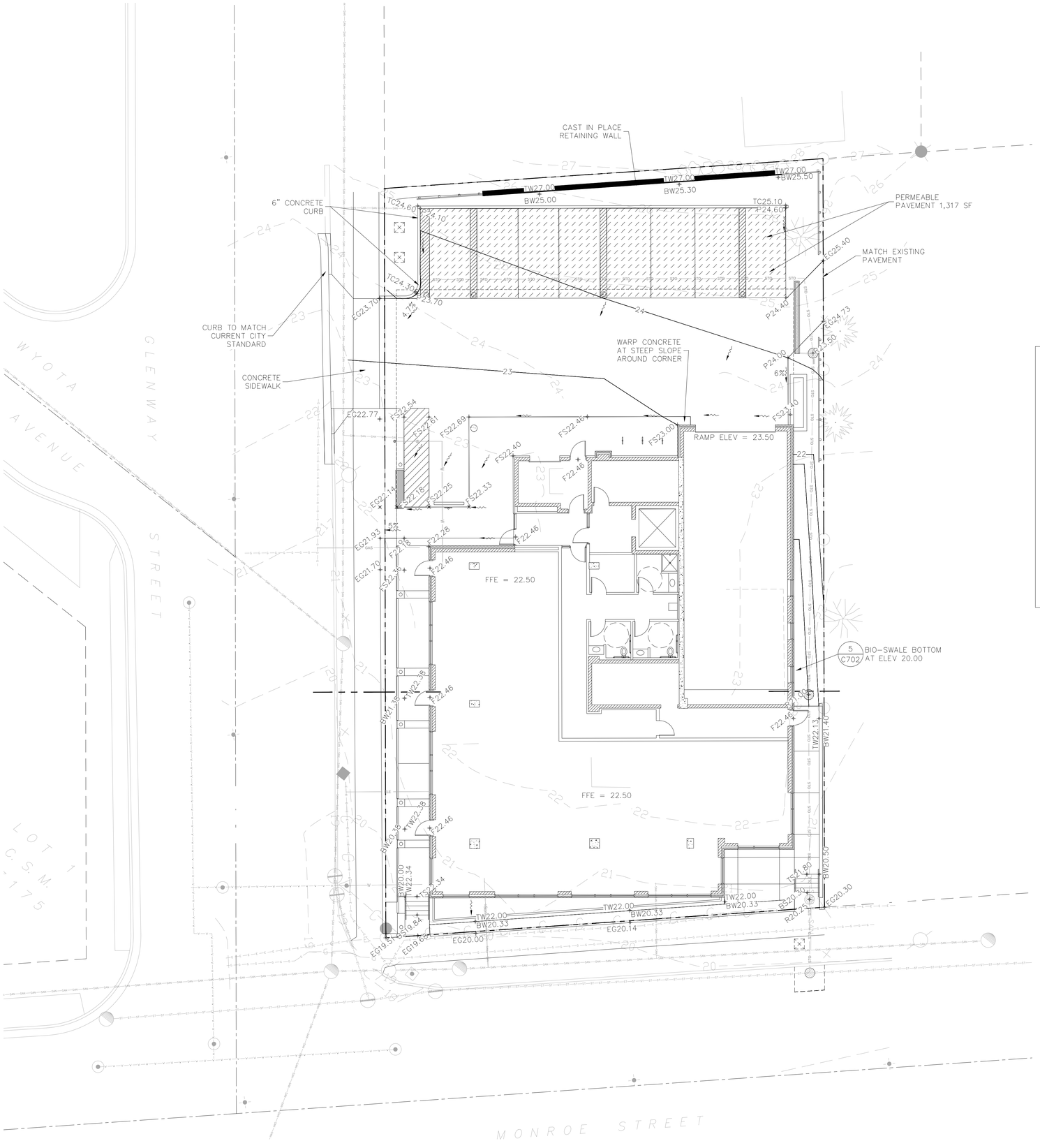
No.	Description	Date
1	Plan Commission Submittal	3-4-2015

This sheet by: SAA Design Group, Inc.

SITE PLAN

C300

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



SPOT ELEVATION ABBREVIATIONS:

P	=	PAVEMENT
C	=	CONCRETE
EP	=	EXISTING PAVEMENT
EC	=	EXISTING CONCRETE
EW	=	EXISTING SIDEWALK
FS	=	FINISHED SURFACE
FG	=	FINISHED GRADE
TS	=	TOP OF STAIRS
BS	=	BOTTOM OF STAIRS
TC	=	TOP OF CURB
TW	=	TOP OF WALL
BW	=	BOTTOM OF WALL
IE	=	INVERT ELEVATION
R	=	RIM ELEVATION

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Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
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GRADING GENERAL NOTES:

1. ALL PROPOSED PAVING, CURBS, HARDSCAPE, AND PLANTING AREAS SHALL TRANSITION SMOOTHLY TO EXISTING ADJACENT FEATURES. ENSURE POSITIVE DRAINAGE ON ALL PAVING AND THROUGHOUT ALL PLANTING AREAS.
2. NO ORGANIC MATERIAL SHALL BE APPROVED FOR FILL UNDER ANY PAVEMENTS OR STRUCTURES. EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILLING SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE.
3. CONTOUR INTERVAL IS ONE (1) FOOT.
4. SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER THE DETAILS.
5. REPAIR PAVEMENT, SIDEWALK AND LAWN AREAS DAMAGED BY CONSTRUCTION ACTIVITIES IN KIND.
6. CONTRACTOR SHALL MATCH IN TO EXISTING GRASSED SLOPES WITH A MAXIMUM SLOPE OF 4:1. UNLESS SHOWN OTHERWISE ON THE PLANS)
7. EXCEPT WHERE DESIGNATED ON THE PLANS, THE CONTRACTOR SHALL MAINTAIN A MAXIMUM OF 5% SLOPES ON ALL PAVED AREAS AND 2% CROSS SLOPES ON SIDEWALKS. THE CONTRACTOR SHALL CHECK ALL SLOPES PRIOR TO ACTUAL CONSTRUCTION AND IF THERE IS AN AREA WHERE SLOPES ARE GREATER THAN DESIGN, THE CONTRACTOR SHALL NOTIFY THE A/E SO THAT IT CAN BE RECTIFIED PRIOR TO INSTALLATION.
8. ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
9. CONTRACTOR SHALL INSTALL EXPANSION JOINTS OR ASPHALTIC SEALANT BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES, IN ADDITION TO AREAS SPECIFIED ON PLANS.
10. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
11. CAD FILE TO BE PROVIDED UPON REQUEST.

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Civil Engineering/Landscape Architecture:
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The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

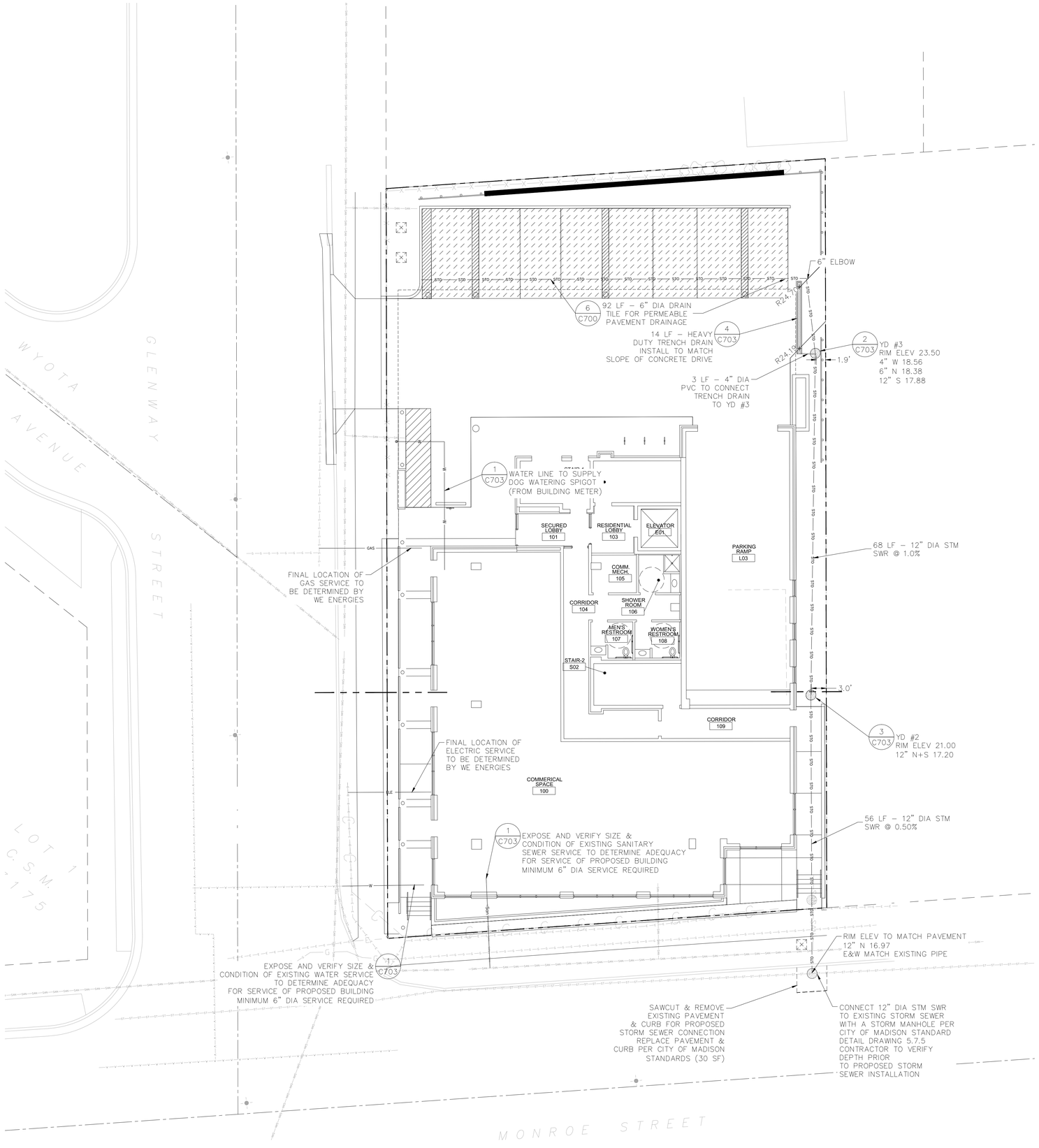
No.	Description	Date
1	Plan Commission Submittal	3-4-2015

This sheet by: SAA Design Group, Inc.

SITE GRADING PLAN

C400

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SPOT ELEVATION ABBREVIATIONS:

P	=	PAVEMENT
C	=	CONCRETE
EP	=	EXISTING PAVEMENT
EC	=	EXISTING CONCRETE
EW	=	EXISTING SIDEWALK
FS	=	FINISHED SURFACE
FG	=	FINISHED GRADE
TS	=	TOP OF STAIRS
BS	=	BOTTOM OF STAIRS
TC	=	TOP OF CURB
TW	=	TOP OF WALL
BW	=	BOTTOM OF WALL
IE	=	INVERT ELEVATION

UTILITY NOTES:

THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR SHALL VERIFY THE INVERTS OF EXISTING STRUCTURES PRIOR TO EXCAVATION AND SHALL NOTIFY THE ENGINEER IF ELEVATIONS ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN ON THE PLAN.

STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:

–THE CURRENT CITY OF MADISON'S STANDARD SPECIFICATIONS.

–"STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (WSWS) LATEST EDITION

–STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WISDOT) LATEST EDITION

INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.

WITHIN THE RIGHT–OF–WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SPOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.

A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.

WATER DISTRIBUTION SYSTEM:

MAIN:

–DUCTILE IRON (D.I.) AWWA C–151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR

–POLYVINYL CHLORIDE (PVC) AWWA C–900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)

–ALL WATER MAIN JOINTS SHALL BE RESTRAINED.

LATERALS:

–6" – PVC AWWA, C–900, CL150, SDR 18 OR DUCTILE IRON AWWA C–151, CLASS–52

–2" & SMALLER – HIGH DENSITY POLYETHYLENE (HDPE) AWWA C–901, SDR 11

–WATER LATERAL AND HYDRANT TEES SHALL BE ANCHORED.

–VALVES & VALVE BOXES SHALL BE PER CITY OF MADISON STANDARD SPECIFICATIONS

SANITARY SEWER
MAIN:
–8" & 12"– POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR–35 (BURY DEPTH 16' OR LESS)
–8" & 12"– POLYVINYL CHLORIDE (PVC) ASTM D 3034, SDR–26 (BURY DEPTH 22' TO 16')

–WHERE LARGER 10" SANITARY SEWER IS REPLACING EXISTING 6" SEWER, CONTRACTOR SHALL REMOVE THE BENCH OF THE EXISTING
MANHOLE AND OBTAIN THE LOWEST INVERT ELEVATIONS POSSIBLE
FOR THE ENTIRE RUN.

STORM SEWER:

–STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS:

12" DIA – CLASS V RCP
15" DIA – CLASS IV RCP
18+" DIA – CLASS III RCP

–STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR.

–STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C–76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D–471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F–477.

–ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITHOUT A FILTER SOCK.

–AT EACH POINT WHERE A STORM SEWER "DAYLIGHTS", A MARKER POST EQUIVALENT TO THOSE SPECIFIED BY WISDOT, SHALL BE INSTALLED AT THE END TO MARK THE LOCATION.

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Project #: 13002.00

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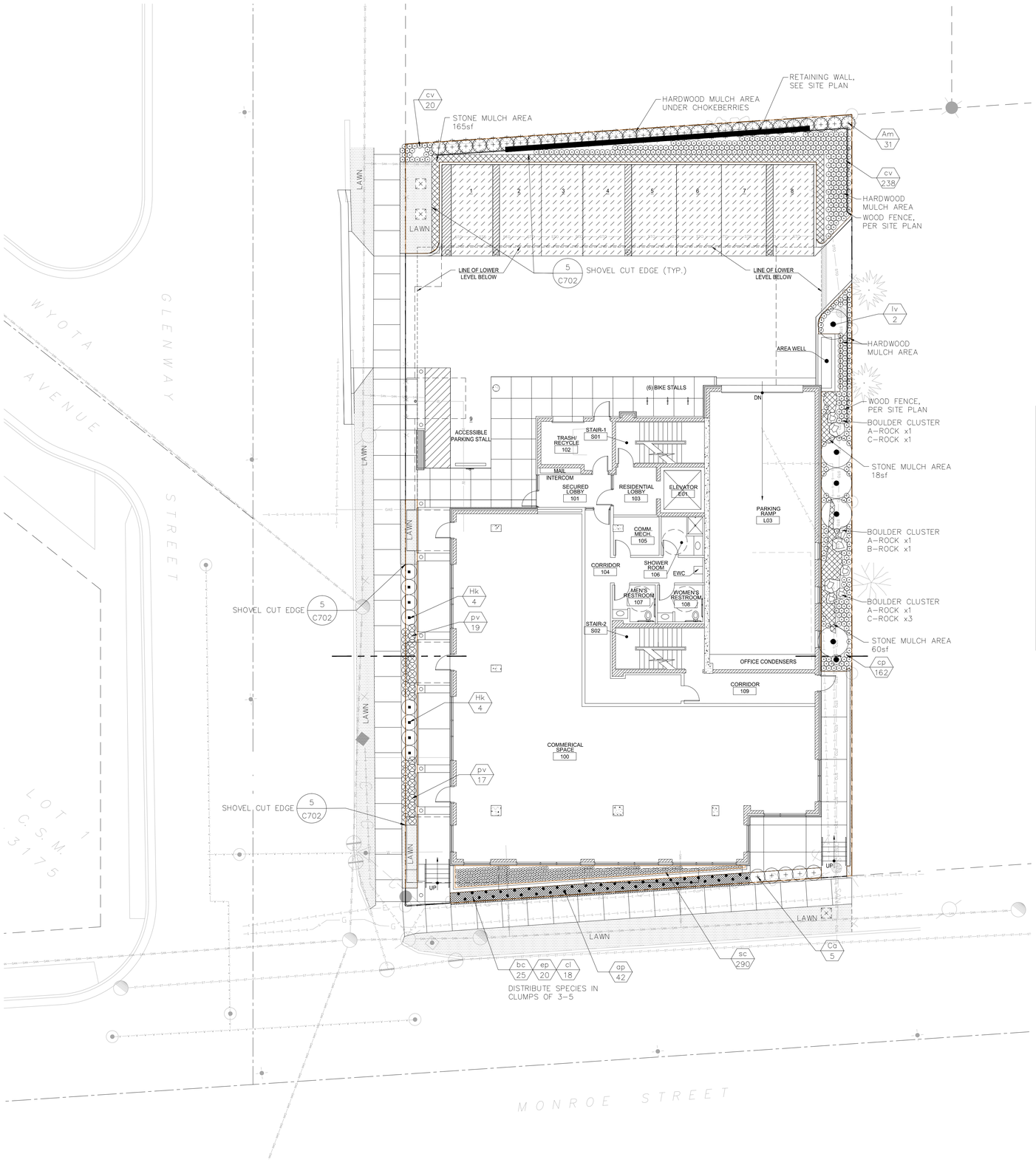
This sheet by: SAA Design Group, Inc.

SITE UTILITY PLAN

C500

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



LANDSCAPE POINTS

DEVELOPED AREA REQUIREMENTS:

DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	5,470 SF
DEVELOPED AREA POINTS REQUIRED (8,321/300)x5	92 POINTS

DEVELOPMENT FRONTAGE LANDSCAPING:

NOT REQUIRED: BUILDING ABUTS SIDEWALK

INTERIOR PARKING LOT LANDSCAPING:

NOT REQUIRED: ALL PARKING IS COVERED

FOUNDATION PLANTING LANDSCAPING:

NOT REQUIRED: BUILDING ABUTS HARDSCAPE

TOTAL LANDSCAPE POINTS REQUIRED	92 POINTS
TOTAL LANDSCAPE POINTS PROVIDED	292 POINTS

SITE STATISTICS

SITE AREA	13,168sf
EXISTING PERVIOUS SURFACES	3,594sf
EXISTING IMPERVIOUS SURFACES	12,452sf
EXISTING ISR	0.94
PROPOSED PERVIOUS SURFACES:	
GREEN ROOF	2,170sf
PERVIOUS PAVEMENT	1,317sf
LANDSCAPE	1,520sf
TOTAL	5,007sf
PROPOSED IMPERVIOUS SURFACES	8,260sf
PROPOSED ISR	0.63

USABLE OPEN SPACE
NOT REQUIRED

Symbol	Botanical name	Common Name	Size	Root	Quantity	Spacing
SHRUB						
Am	Aronia melanocarpa	Black Chokeberry	5 Gal.	Cont.	31	3'
Ca	Ceoanthus americanus	New Jersey Tea	5 Gal.	Cont.	5	3'
Hk	Hypericum kalmianum	St. John's Wort	5 Gal.	Cont.	8	3'
lv	Ilex verticillata	Winterberry	5 Gal.	Cont.	5	6'
PERENNIAL						
ap	Anemone patens	Pasque flower	2"	Plug	42	As Shown
bc	Bouteloua curtipendula	Side Oats Grama	Quart	Cont.	25	12"
cl	Coreopsis lancealata	Lance-leaf Coreopsis	Quart	Cont.	18	12"
cp	Carex pensylvanica	Pennsylvania Sedge	2"	Plug	162	12"
cv	Carex vulpinoidea	Fox Sedge	2"	Plug	258	12"
ep	Echinacea purpurea	Purple coneflower	Quart	Cont.	20	12"
pv	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 Gal.	Cont.	36	18"
sc	Sisyrinchium campestre	Blue-eyed grass	Quart	Cont.	290	8"
TURF						
	WI DOT Seed Mix No. 40		lb	Seed	4.5	

NOTES:

1. BOULDER CLUSTER SCHEDULE
   A-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 36"x36"x36" (WxHxL)
   B-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 18"x18"x30" (WxHxL)
   C-ROCK: OUTCROPPING AQUA BLUE BOULDER SIZE RANGE MIN. 24"x30"x24" (WxHxL)
2. STONE MULCH AREA SHALL BE COMPRISED OF EAU CLAIRE RIVER STONE IN TWO DIFFERENT SIZES, REFER TO THE DETAIL FOR LAYING PATTERN.
3. COMPOSED LEAF MULCH SHALL BE USED IN ALL BIOSWALE AREAS.
4. DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED IN ALL AREAS OTHER THAN THE BIOSWALE AREA.
5. LAWN MIX SHALL BE IN ACCORDANCE WITH WI DOT MIX NO. 40; APPLIED AT 4LB/1,000 SF.

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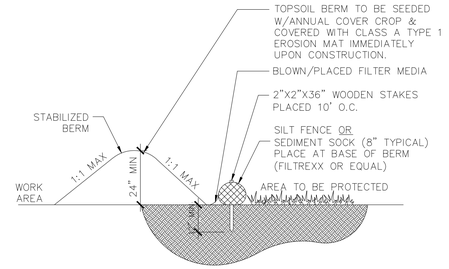
LANDSCAPE PLAN

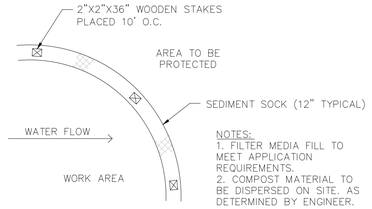
C600

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



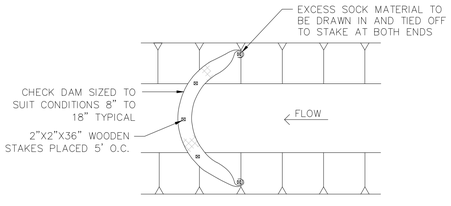
SECTION – BERM & SILT FENCE OR SEDIMENT SOCK

STABILIZED BERM NOTES:
1. SEDIMENT SHOULD BE REMOVED FROM BEHIND BERM ONCE THE ACCUMULATED HEIGHT HAS REACHED ½ THE HEIGHT OF THE BERM.
2. BERM SHALL BE DIRECT SEEDED AND STABILIZED AT THE TIME OF INSTALLATION.
3. STABILIZED BERM SHALL HAVE STONE OVERFLOW WEIRS PLACED IN LOCATIONS AS SPECIFIED IN THE PLANS. OVERFLOW WEIR SHALL BE A MINIMUM OF 4' WIDE AND CONSTRUCTED COMPLETELY OF #2 CLEAR STONE. TOP ELEVATION OF STONE WEIR SHALL BE 6–12" BELOW TOP OF ADJACENT STABILIZED BERM.



NOTES:
1. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
2. COMPOST MATERIAL TO BE DISPERSED ON SITE. AS DETERMINED BY ENGINEER.

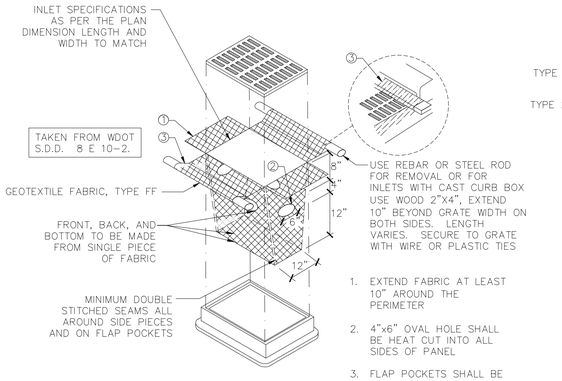
PLAN



NOTES:
1. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED ½ THE HEIGHT OF THE CHECK DAM.
2. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.

1 C700 SEDIMENT SOCK

SCALE NTS

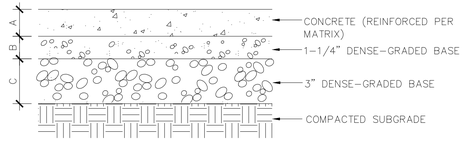


1. EXTEND FABRIC AT LEAST 10" AROUND THE PERIMETER
2. 4"x6" OVAL HOLE SHALL BE HEAT CUT INTO ALL SIDES OF PANEL
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT 2x4 WOOD

3 C700 INLET PROTECTION

SCALE NTS

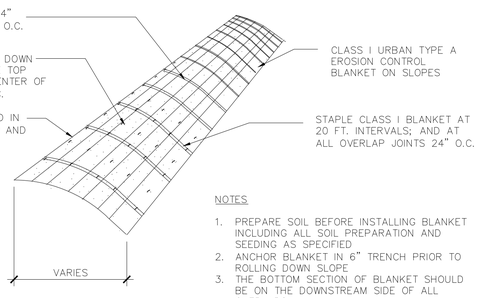
	PAVEMENT TYPE:	CONCRETE THICKNESS (A)	BASE THICKNESS (B)	SUBBASE THICKNESS (C)
TYPE 1	CONCR. PAVEMENT–PEDESTRIAN LOAD	5"	6"	COMPACTED
TYPE 2	CONCR. PAVEMENT–VEHICULAR LOAD	6" FIBER REINFORCED	4"	8"



NOTES:
1. MEDIUM BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL, UNLESS OTHERWISE STATED
2. PROVIDE EXPANSION JOINTS 30' ALL WAYS, MINIMUM OR AS NOTED ON PLANS
3. STANDARD COLOR CONCRETE.
4. VEHICULAR LOAD CONCRETE: LONGITUDINAL (EXPANSION) JOINTS SHALL HAVE 24" LONG #4 EPOXY COATED REBAR AT 39" O.C. AT A DEPTH OF 3 3/4" ± 1"
5. VEHICULAR LOAD CONCRETE: TRANSVERSE JOINTS SHALL HAVE 18" LONG, 1 ¼" DIA. EPOXY COATED, SMOOTH DOWEL BARS AT 72" O.C. AT 4" DEPTH.

5 C700 CONCRETE PAVEMENT

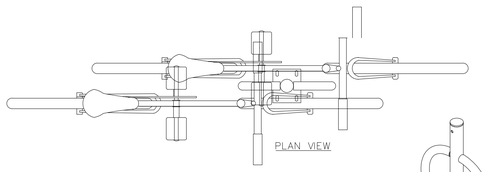
SCALE 1"=1'–0"

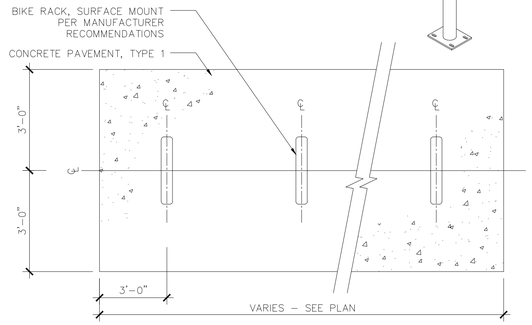


NOTES
1. PREPARE SOIL BEFORE INSTALLING BLANKET INCLUDING ALL SOIL PREPARATION AND SEEDING AS SPECIFIED
2. ANCHOR BLANKET IN 6" TRENCH PRIOR TO ROLLING DOWN SLOPE
3. THE BOTTOM SECTION OF BLANKET SHOULD BE ON THE DOWNSTREAM SIDE OF ALL OVERLAPS

2 C700 EROSION CONTROL MAT

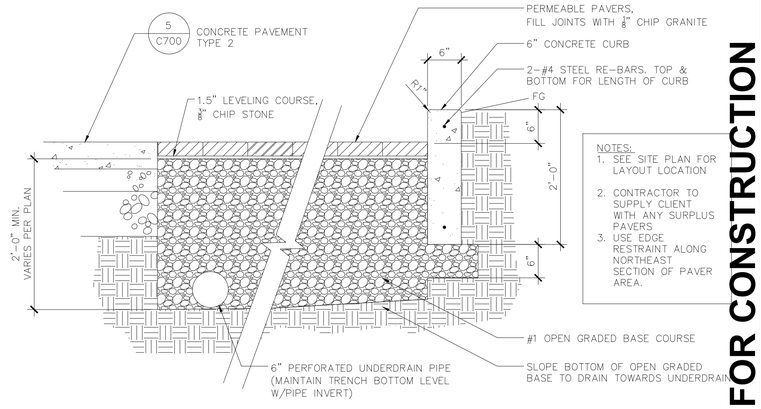
SCALE NTS





4 C700 BIKE PARKING

SCALE 1"=1'–0"



NOTES:
1. SEE SITE PLAN FOR LAYOUT LOCATION
2. CONTRACTOR TO SUPPLY CLIENT WITH ANY SURPLUS PAVERS
3. USE EDGE RESTRAINT ALONG NORTHEAST SECTION OF PAVER AREA.

6 C700 PERMEABLE PAVERS AT PARKING LOT

SCALE 1"=1'–0"

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DETAILS

C700

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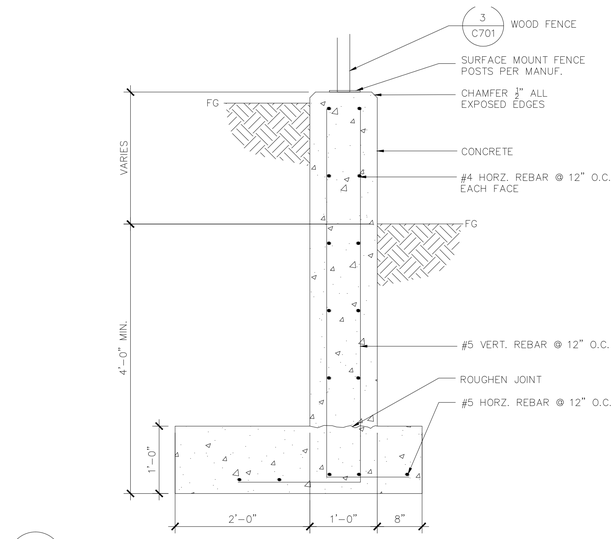
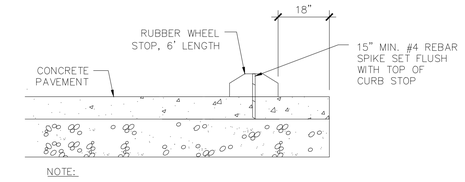
Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



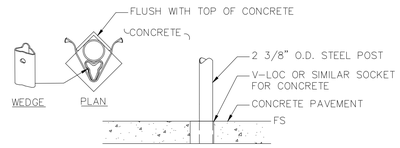
1 C701 RETAINING WALL

SCALE NTS



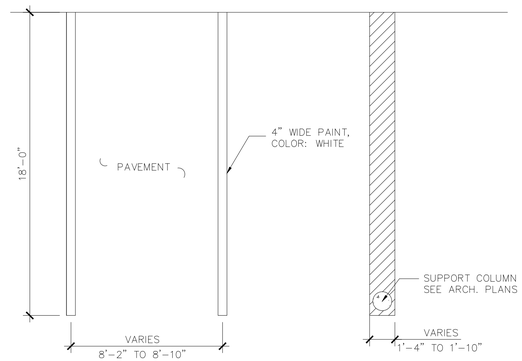
2 C701 WHEEL STOP

SCALE NTS



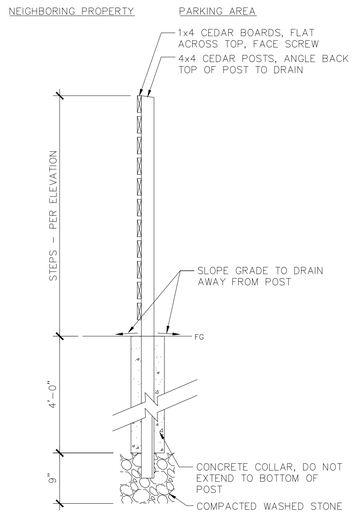
7 C701 POLE INSTALL-CONCRETE

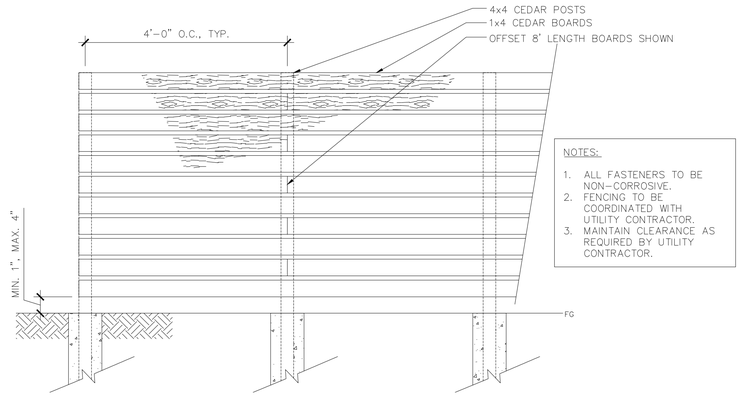
SCALE: 1"=1'-0"



4 C701 PARKING STRIPING

SCALE NTS





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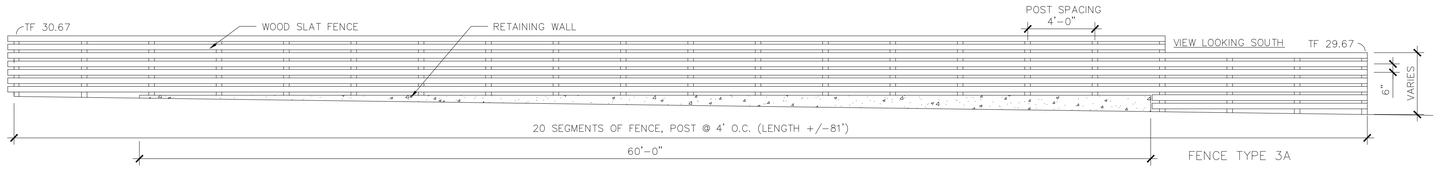
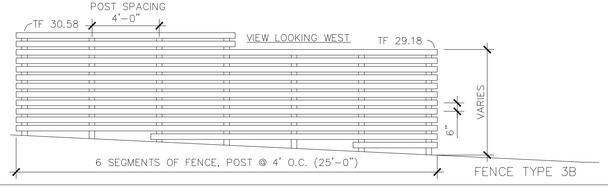
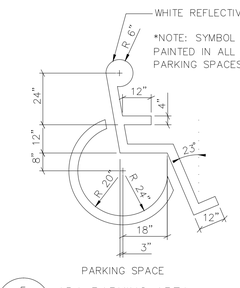
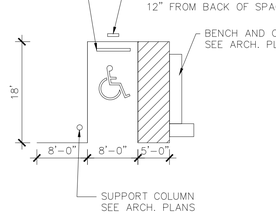




3 C701 WOOD FENCE

SCALE 1"=1'-0"

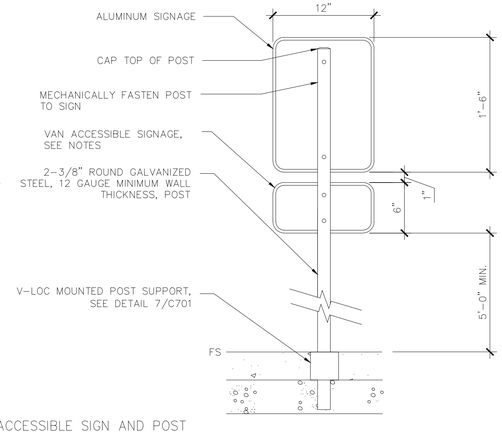




5 C701 ADA PARKING AREA

SCALE NTS

NOTES:
1. MOUNT SIGNAGE WITH ALUMINUM, VANDAL PROOF HARDWARE
2. ADA PARKING SIGN MUST BE A WHITE RECTANGLE WITH LONGER DIMENSION VERTICAL; HAVING A GREEN MESSAGE, AND A BLUE AND WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE SIGN MAY BE EITHER REFLECTIVE OR NON-REFLECTIVE.
3. ADD "VAN ACCESSIBLE" SIGNAGE WHERE INDICATED ON PLANS.



6 C701 ACCESSIBLE SIGN AND POST

SCALE NTS

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DETAILS

C701

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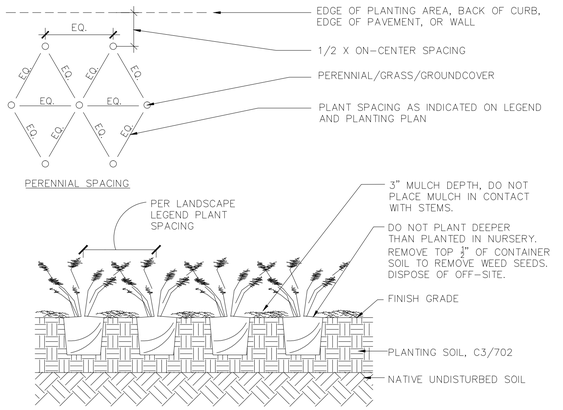
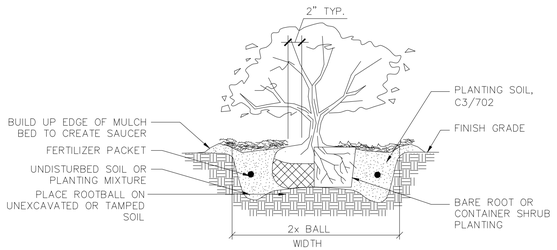


1 / C702 GROUNDCOVER/PERENNIAL PLANTING

SCALE NTS

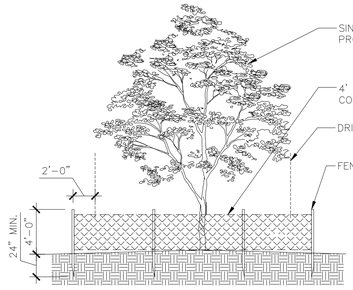
NOTES:

1. PLANT EACH SHRUB SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
2. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOTBALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN HALF THE ROOTBALL DISTANCE. REMOVE TWINE, ROPE, AND REMOVE TOP 1/3 OF BURLAP FROM ROOTBALL.
3. DO NOT PLACE MULCH IN CONTACT WITH STEMS.



2 / C702 SHRUB PLANTING DETAIL

SCALE 1"=1'-0"

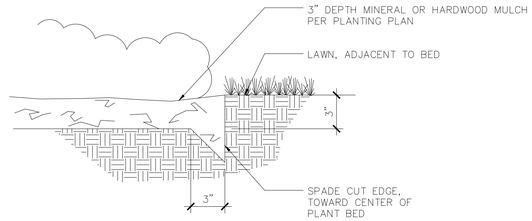


NOTES:

1. CONSTRUCTION FENCING AT LEAST 4' HIGH AND SUPPORTED AT A MAXIMUM 10' INTERVALS BY APPROVED METHODS SUFFICIENT ENOUGH TO KEEP FENCE UPRIGHT AND IN PLACE. FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL.
2. NO ENTRY, NO STORAGE AND NO TRENCHING IN TREE PROTECTION ZONE DURING ENTIRE SITE CONSTRUCTION.
3. FENCING TO BE LOCATED 2'-0" MIN. BEYOND DRIP LINE OF TREE WHERE POSSIBLE.
4. ALL FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

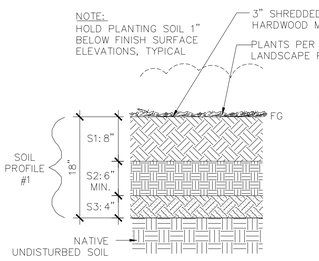
4 / C702 TREE PROTECTION DETAIL

SCALE 1"=1'-0"



5 / C702 SHOVEL CUT EDGE

SCALE 1"=1'-0"



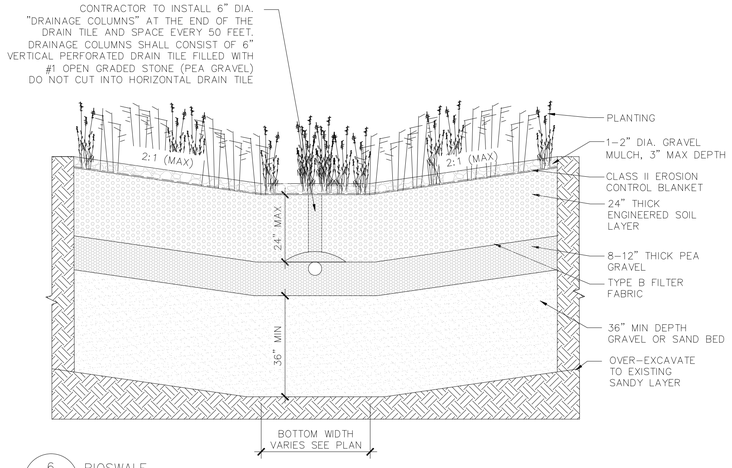
S1 LAYER: ENRICHED SOIL, A LAYER OF SAND TO LOAMY SAND AMENDED WITH ORGANIC MATTER.
1. NO COARSE FRAGMENTS OVER 2.5cm
2. AT LEAST 4% ORGANIC MATTER, NO MORE THAN 8% BY DRY WEIGHT. THE pH RANGE SHALL BE 5.5-6.5

S2 LAYER: HORTICULTURAL SUBSOIL, A LAYER OF SAND TO LOAMY SAND.
1. NO COARSE FRAGMENTS OVER 2.5cm
2. AT LEAST 1% ORGANIC MATTER, NO MORE THAN 4% BY DRY WEIGHT. THE pH RANGE SHALL BE 5.5-6.5

S3 LAYER: DRAINAGE LAYER, A LAYER OF COARSE SAND.
1. pH BETWEEN 4.5-7.0
2. COEFFICIENT OF UNIFORMITY (Cu) = 3.5 OR LARGER

3 / C702 PLANTING SOIL

SCALE NTS



6 / C702 BIOSWALE

SCALE NTS

1. ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 – BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
2. CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 75% ASTM C33 SAND AND 25% CERTIFIED COMPOST (S-100). FILL BIO-SWALE AREA 2-3" ABOVE SURROUNDING FINISH GRADE TO ACCOMMODATE SETTLING OF BIO-SWALE MATERIAL.
3. CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
4. SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
5. FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
6. ANNUAL RYE GRASS SHALL BE SEEDED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN.
7. RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
8. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
9. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
10. BIO-SWALE AREAS SHALL BE HAND OR BACK HOE LAID. EQUIPMENT SHALL NOT BE DRIVEN ON SOIL M DURING OR AFTER INSTALLATION.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

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Madison, WI 53713

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The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
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Issued for:

No.	Description	Date
1	Plan Commission Submittal	3-4-2015

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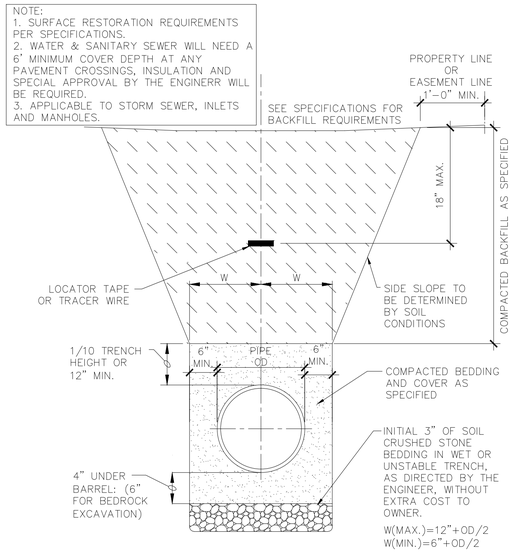
DETAILS

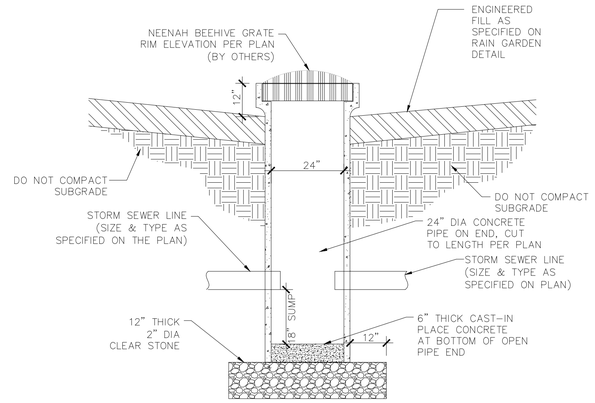
C702

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



3 L505 UNDERGROUND UTILITY BEDDING & TRENCH SECTION

NTS

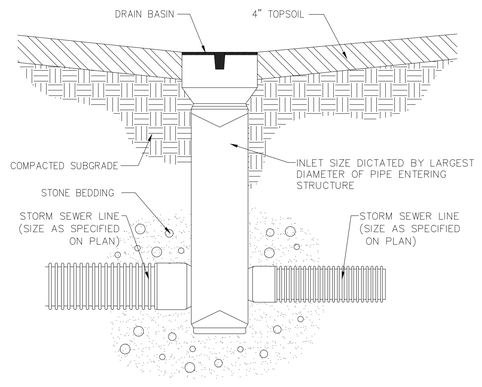


NOTES:

- SEE STORM SEWER PLANS (SHEETS LP210-211, LP220-222 & LP231-232) FOR GRATE AND OUTLET PIPE ELEVATIONS
- SEE DETAIL 10/LP-620 FOR BIO-SWALE CONSTRUCTION

3 C703 BIO-SWALE OUTLET STRUCTURE

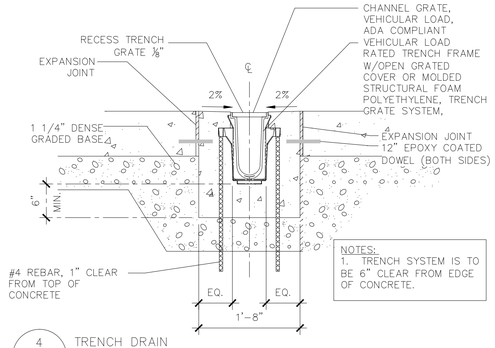
SCALE NTS



NOTE:
- SEE SITE UTILITY PLAN C500 FOR GRATE AND OUTLET PIPE ELEVATIONS - SEE MANUFACTURER'S SPECIFICATIONS FOR PROPER BASIN INSTALLATION

2 C703 PVC FIELD INLET

SCALE NTS



4 C703 TRENCH DRAIN

SCALE 1" = 1'-0"

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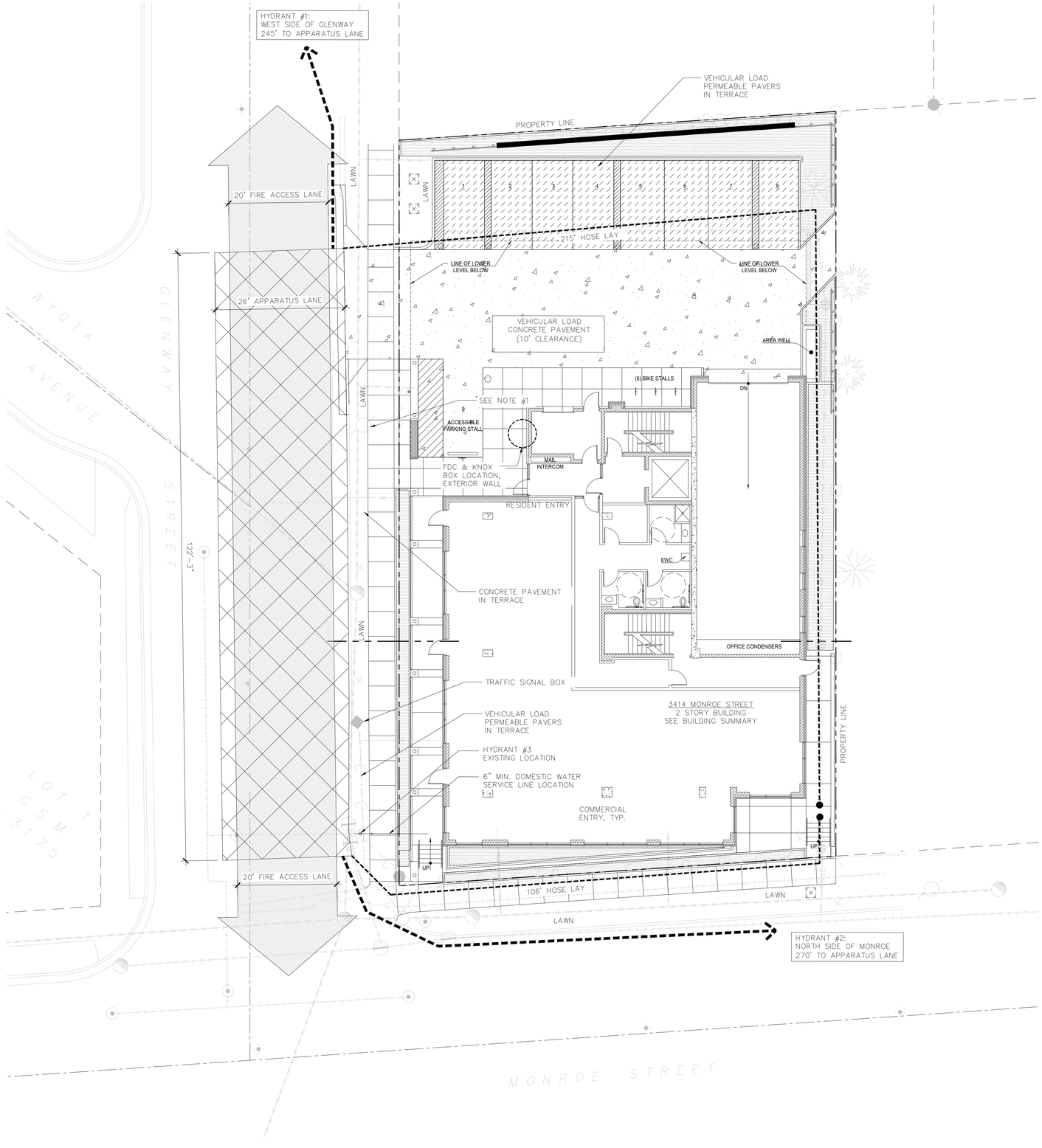
DETAILS

C703

Project Name: the Glen
Project # 13002.00
SAA Project # 2573



NOTES:

1. CURRENTLY OVERHEAD POWER LINE ARE LOCATED ALONG THE EAST SIDE OF GLENWAY STREET. CONVERSATIONS WITH CHRIS ERICKSON (608-252-5670) OF MGE HAVE INDICATED THAT RELOCATION (UNDERGROUNDING) OF THESE UTILITIES IS ACCEPTABLE. THIS IS THE LAST STRETCH OF OVERHEAD TO BE DIPPED ALONG THIS SEGMENT. THERE WILL BE NO OVERHEAD POWER LINES ALONG GLENWAY STREET.
2. ALL VEGETATION BETWEEN THE BUILDING AND FIRE LANE IS BELOW 36" IN HEIGHT.
3. REFER TO THE SUBMITTED FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET FOR ADDITIONAL INFORMATION.
4. THE FIRE LANE/APPARATUS LANE IS SLOPED AT 5% (GLENWAY STREET SLOPE)

- DISTANCE TO NEAREST HYDRANTS
- HOSE LAY DISTANCE
- PROPERTY LINE
- FIRE ACCESS LANE (20' WIDTH-GLENWAY STREET)
- FIRE APPARTUS LANE (26' WIDTH)
- VEHICULAR LOAD CONCRETE PAVEMENT
- VEHICULAR LOAD PERMEABLE TERRACE PAVERS

N

0 5 10 20

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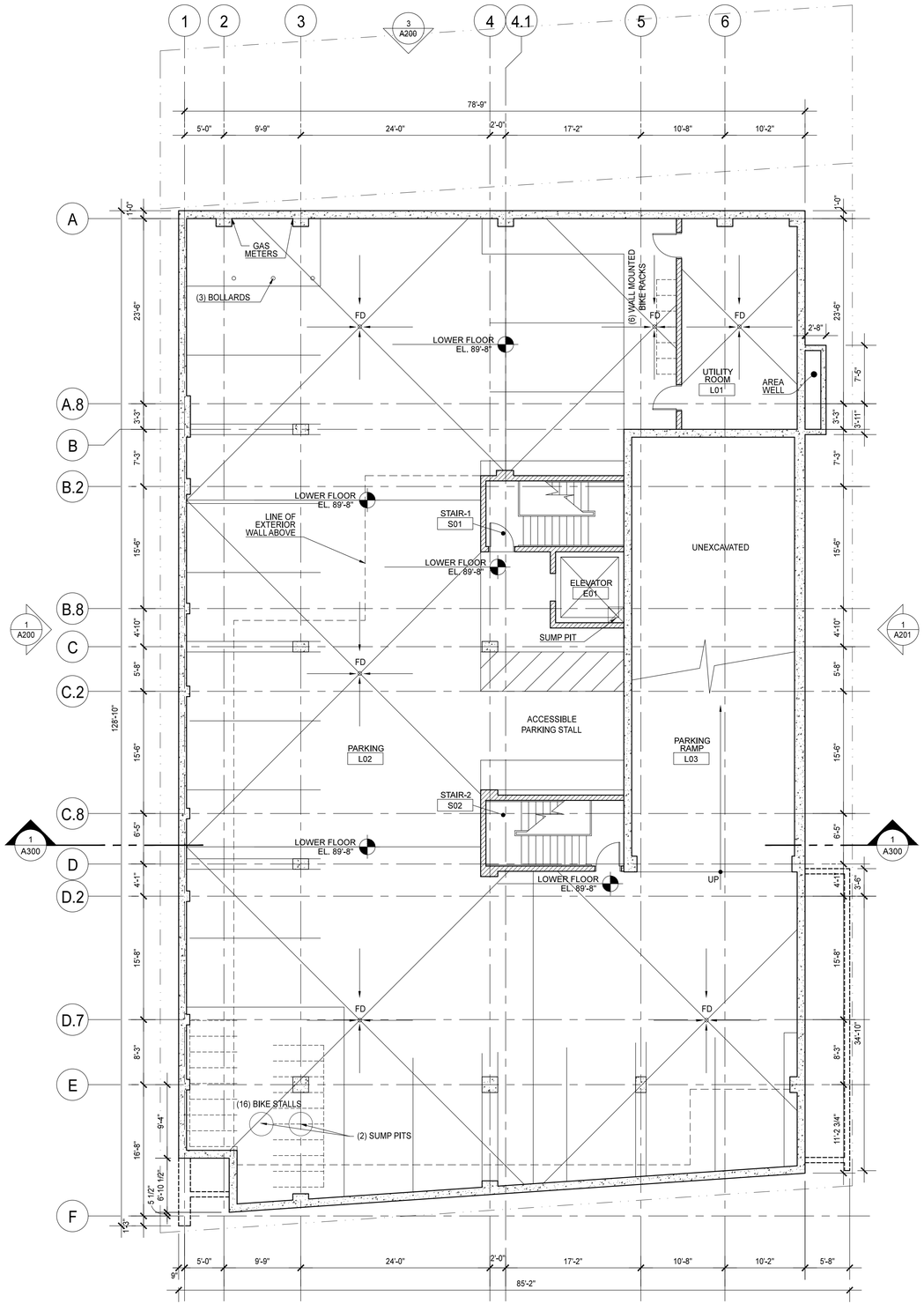
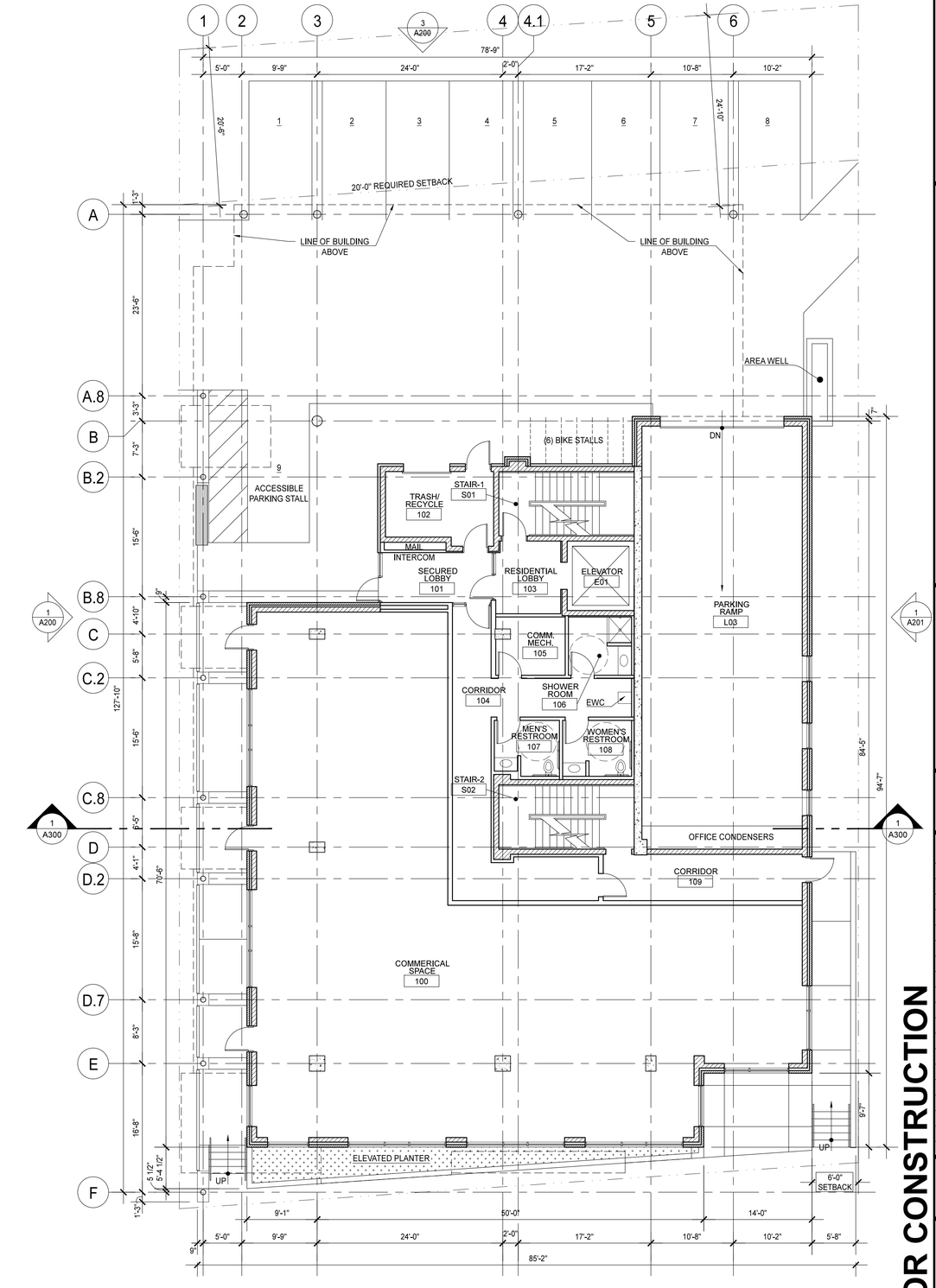
FIRE ACCESS PLAN

C800

Project Name: the Glen
Project #: 13002.00
SAA Project #: 2573



1 A100 OVERALL LOWER FLOOR PLAN
SCALE: 1/8"=1'-0"



2 A100 OVERALL GRADE FLOOR PLAN
SCALE: 1/8"=1'-0"

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OVERALL FLOOR PLANS - LOWER AND GRADE

A100

Project Name: the Glen
Project #: 13002.00

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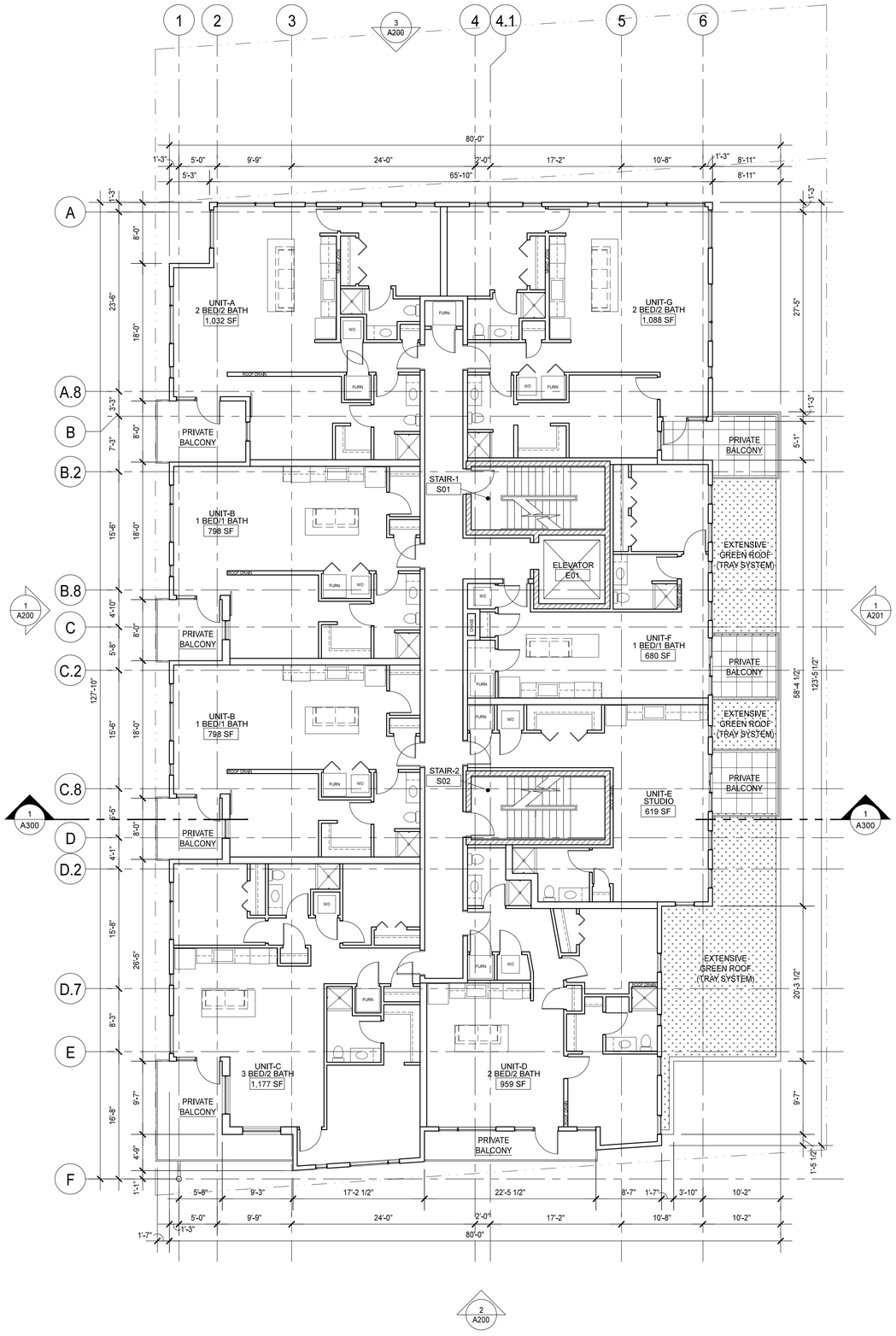
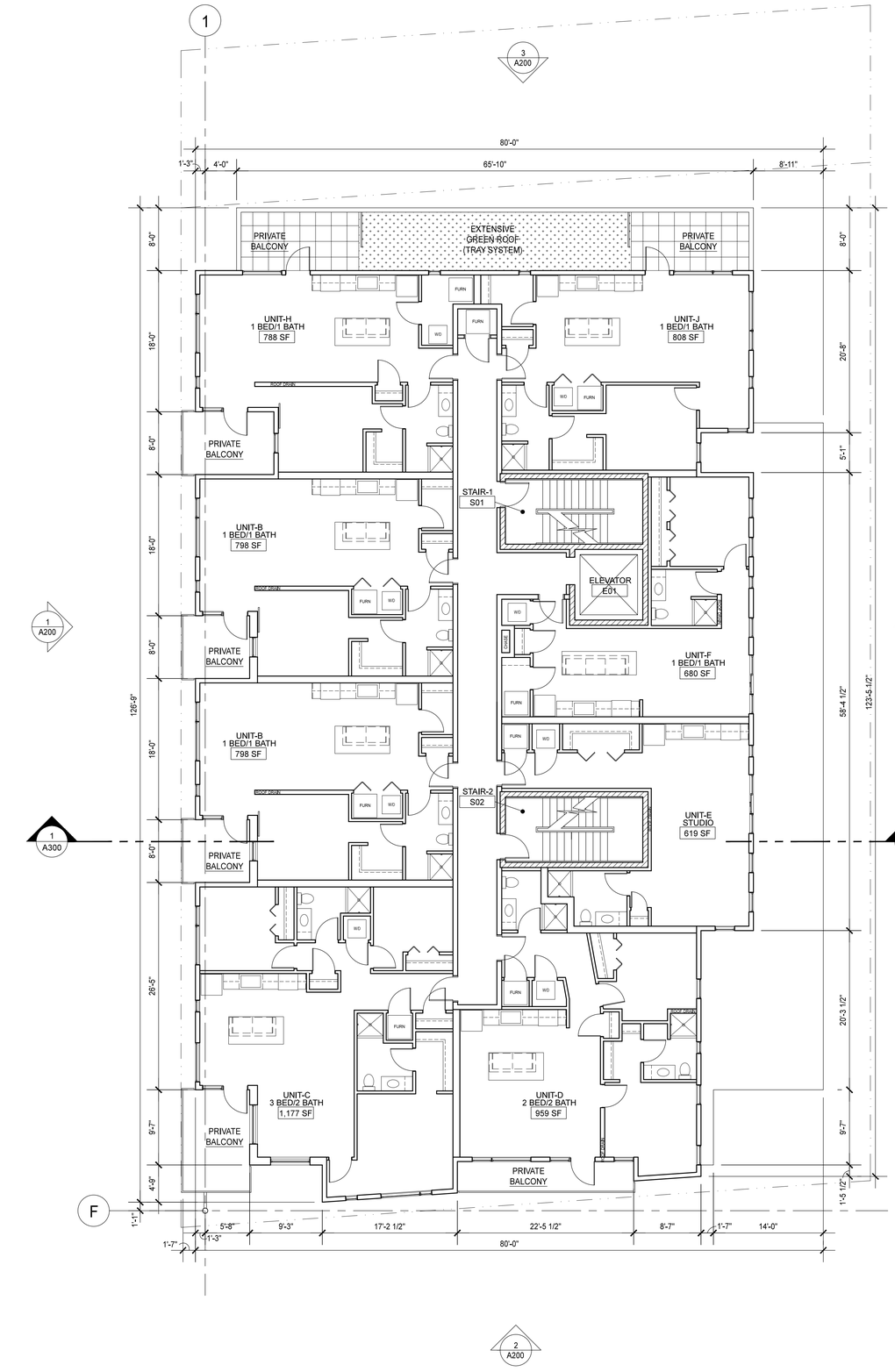


1 A101 OVERALL SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



2 A101 OVERALL THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

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OVERALL FLOOR PLANS - SECOND AND THIRD

A101

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Project Name: the Glen
Project #: 13002.00

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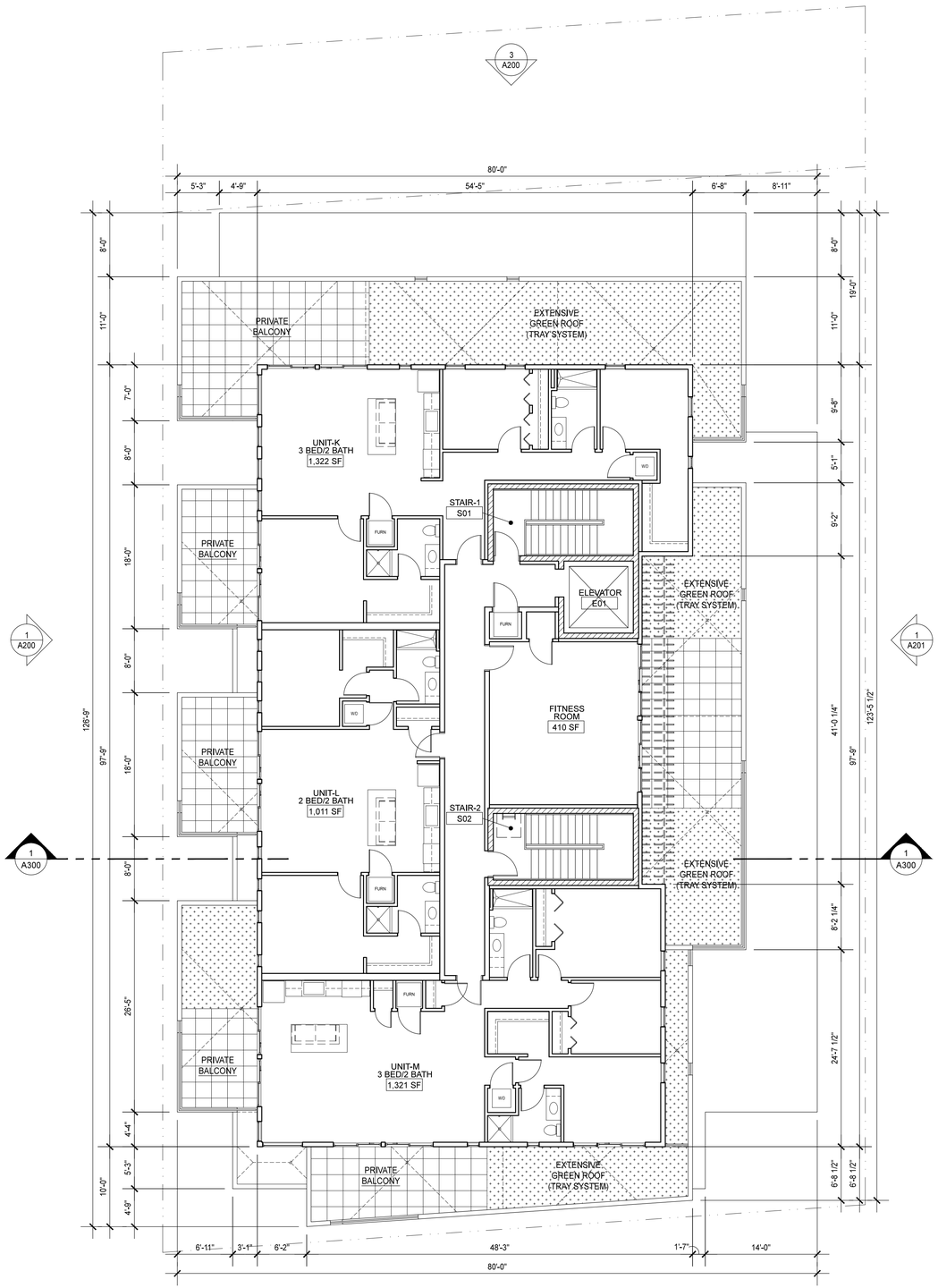
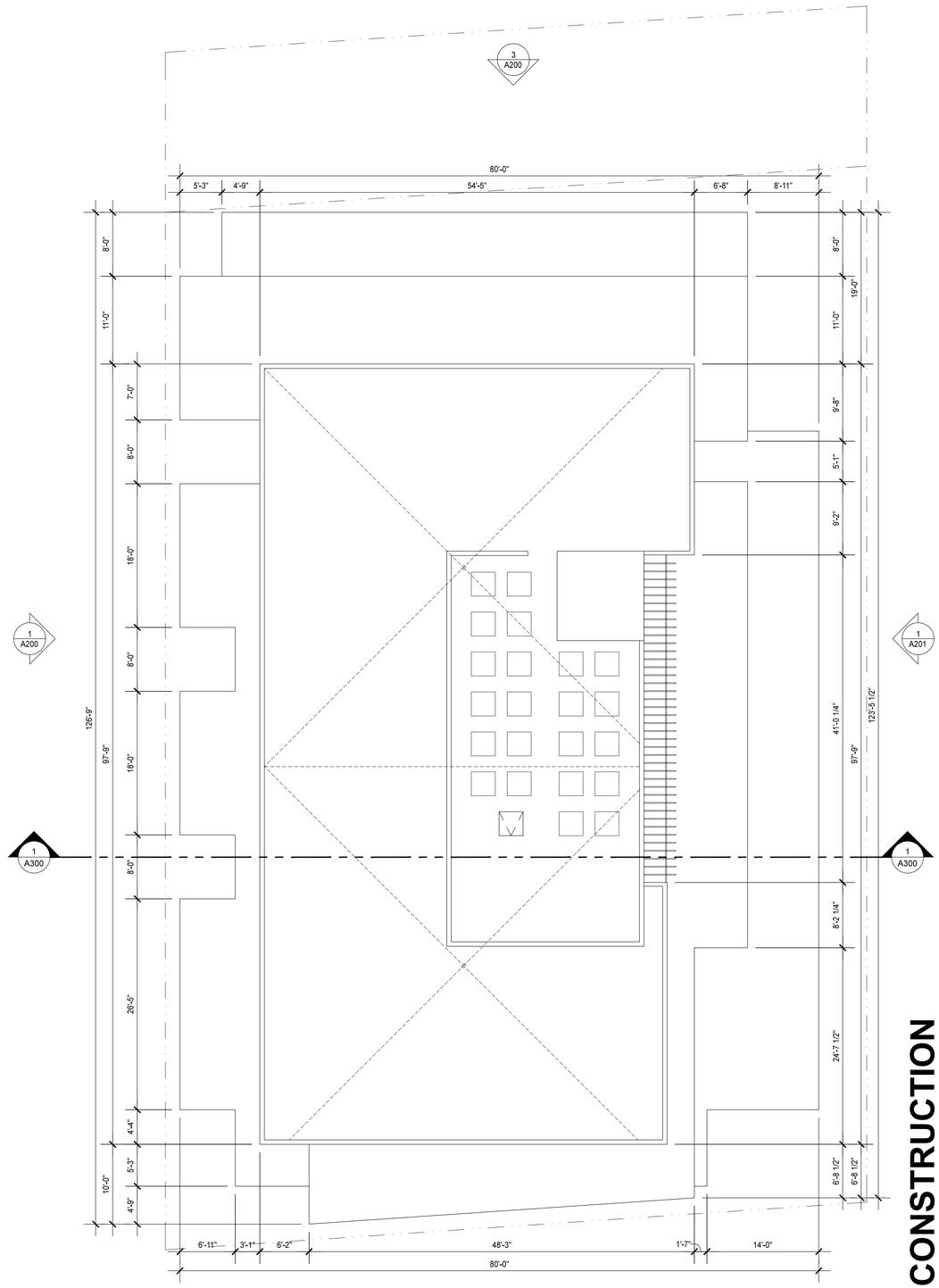


1 A102 OVERALL FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"



2 A102 OVERALL ROOF PLAN
SCALE: 1/8"=1'-0"

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OVERALL FLOOR PLANS - FOURTH AND ROOF

A102

NOT FOR CONSTRUCTION

Project Name: the Glen
Project #: 13002.00

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ELEVATION KEY NOTES:

1. CAST CONCRETE - SANDBLASTED NATURAL
2. GROUND FACE MASONRY - DARK GRAY
3. 6" T&G FIBER CEMENT SIDING - NAT. CEDAR COLOR
4. NATURAL PLASTER - WARM WHITE
5. PRE-FINISHED METAL COPING
6. GALVANIZED STEEL COLUMN
7. GALVANIZED STEEL BEAM
8. PRE-FINISHED ALUMINUM RAILING
9. FIBERGLASS WINDOW WITH INSULATED GLASS
10. CLAD WOOD DOOR
11. INSULATED METAL DOOR
12. INSULATED OVERHEAD DOOR
13. CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLASS
14. ALUMINUM LOUVER
15. CEDAR FENCE / PRIVACY SCREEN
16. GALVANIZED STEEL ANGLE LIGHT SHIELD FOR LINEAR LED LIGHT ROPE
17. PRE-FINISHED LED SIGN LIGHT
18. SIGNAGE LOCATION - RAISED ANODIZED ALUMINUM LETTER (1'-4" x 6' along Glenway, 20" h along Monroe).
19. ROOFTOP MECHANICAL SCREEN WALL - SEE NOTE 3.
20. WOOD BENCH ON CAST CONCRETE WALL

WINDOW & DOOR CALCULATIONS

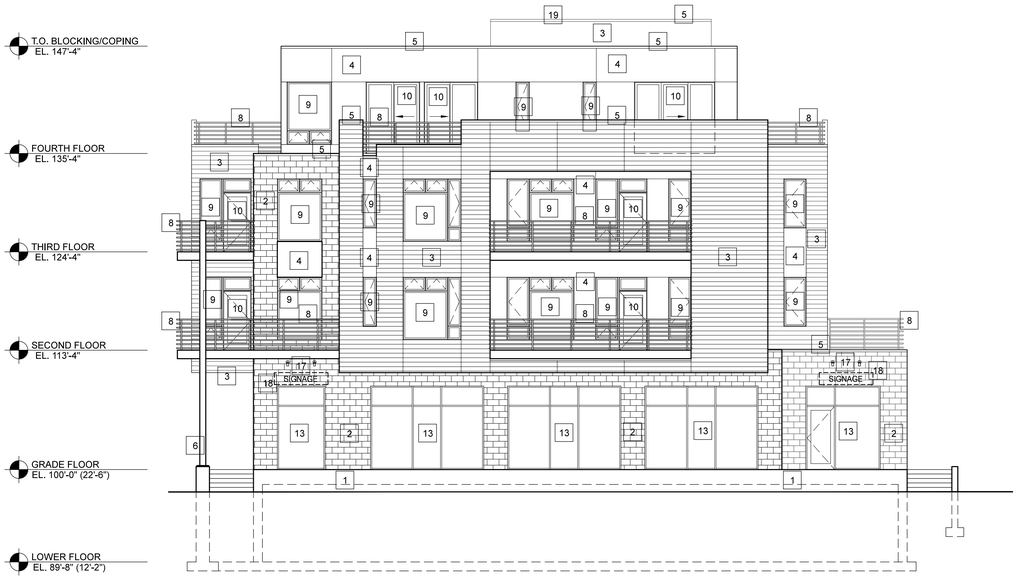
Monroe Street, First Floor Elevation (Primary Street Façade)

a.)	Length of Elevation	73.1	Feet
	Length of Windows	51.7	Feet
	Percent of Window Length	70.73%	
	Minimum Required % of Window Length	60.00%	
b.)	Façade Area	974	SF
	Area of Windows	483	SF
	Percent of Window Area	49.59%	
	Minimum Required % of Window Area	40.00%	
c.)	Total Length of Window	51.7	Feet
	Length of Window w/Sill below 3' Above Grade	51.7	Feet
	Percent of Window Length w/Sill Below 3' A.G.	100.00%	
	Minimum Required % of Length	50.00%	

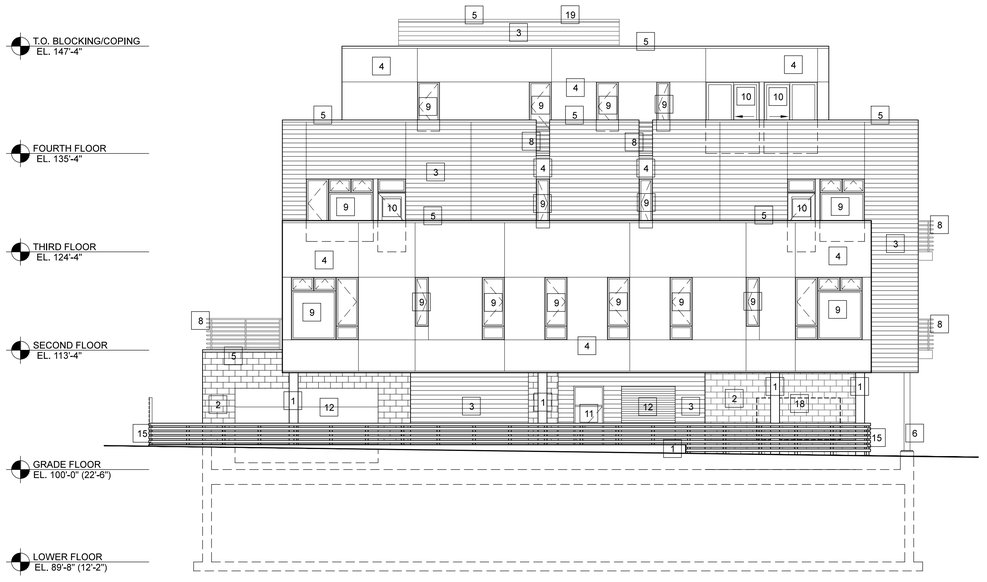
Window Area Calc. for Levels 2-4

Side of Bldg.	Wall Area	Window & Door Area	Percent Window & Door
South	2,205	709.00	32.15%
West	3,980	1,183.00	29.72%
North	2,279	489.00	21.46%
East	4,044	873.25	21.59%

1 A200 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 A200 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 A200 NORTH ELEVATION
SCALE: 1/8"=1'-0"

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The Glen

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3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
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Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

BUILDING ELEVATIONS

A200

NOT FOR CONSTRUCTION

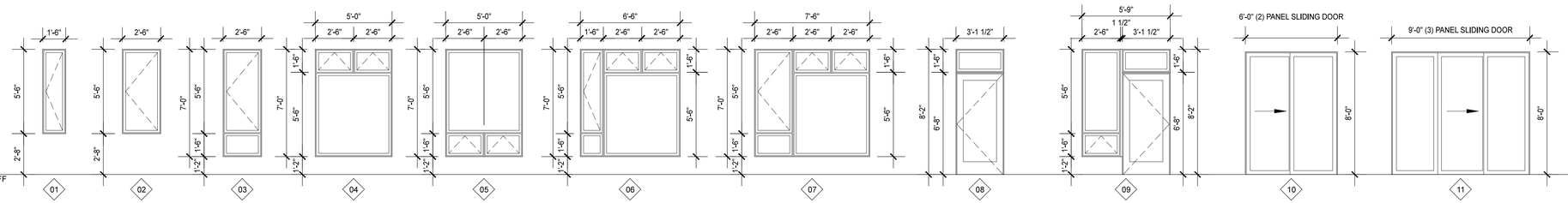
ELEVATION KEY NOTES:

1	CAST CONCRETE - SANDBLASTED NATURAL	10	CLAD WOOD DOOR	18	SIGNAGE LOCATION - RAISED ANODIZED ALUMINUM LETTER (1'-4" x 6' along Glenway, 20" h along Monroe).
2	GROUND FACE MASONRY - DARK GRAY	11	INSULATED METAL DOOR	19	ROOFTOP MECHANICAL SCREEN WALL - SEE NOTE 3.
3	6" T&G FIBER CEMENT SIDING - NAT. CEDAR COLOR	12	INSULATED OVERHEAD DOOR	20	WOOD BENCH ON CAST CONCRETE WALL
4	NATURAL PLASTER - WARM WHITE	13	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLASS		
5	PRE-FINISHED METAL COPING	14	ALUMINUM LOUVER		
6	GALVANIZED STEEL COLUMN	15	CEDAR FENCE / PRIVACY SCREEN		
7	GALVANIZED STEEL BEAM	16	GALVANIZED STEEL ANGLE LIGHT SHIELD FOR LINEAR LED LIGHT ROPE		
8	PRE-FINISHED ALUMINUM RAILING	17	PRE-FINISHED LED SIGN LIGHT		
9	FIBERGLASS WINDOW WITH INSULATED GLASS				

1 A201 EAST ELEVATION
SCALE: 1/8"=1'-0"

NOTE REGARDING WINDOW ORIENTATION:
REFER TO ELEVATIONS FOR SWING AND ORIENTATION OF WINDOW TYPES AS WELL AS PULL DIRECTION OF SLIDING DOOR SYSTEMS.

SECOND AND THIRD FLOOR ELEVATION
FOURTH FLOOR ELEVATION SET HEADS AT 8'-0" AFF



2 A201 WINDOW AND DOOR LAYOUT
SCALE: 1/4"=1'-0"

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Project #: 13002.00

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Checked by: CaS4 Architecture

BUILDING ELEVATIONS AND WINDOW LAYOUT

A201

Project Name: the Glen
Project #: 13002.00

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Building along Glenway Street

Building from Glenway Street and Monroe Street

Building along Monroe Street

Building along Monroe Street

13002.00

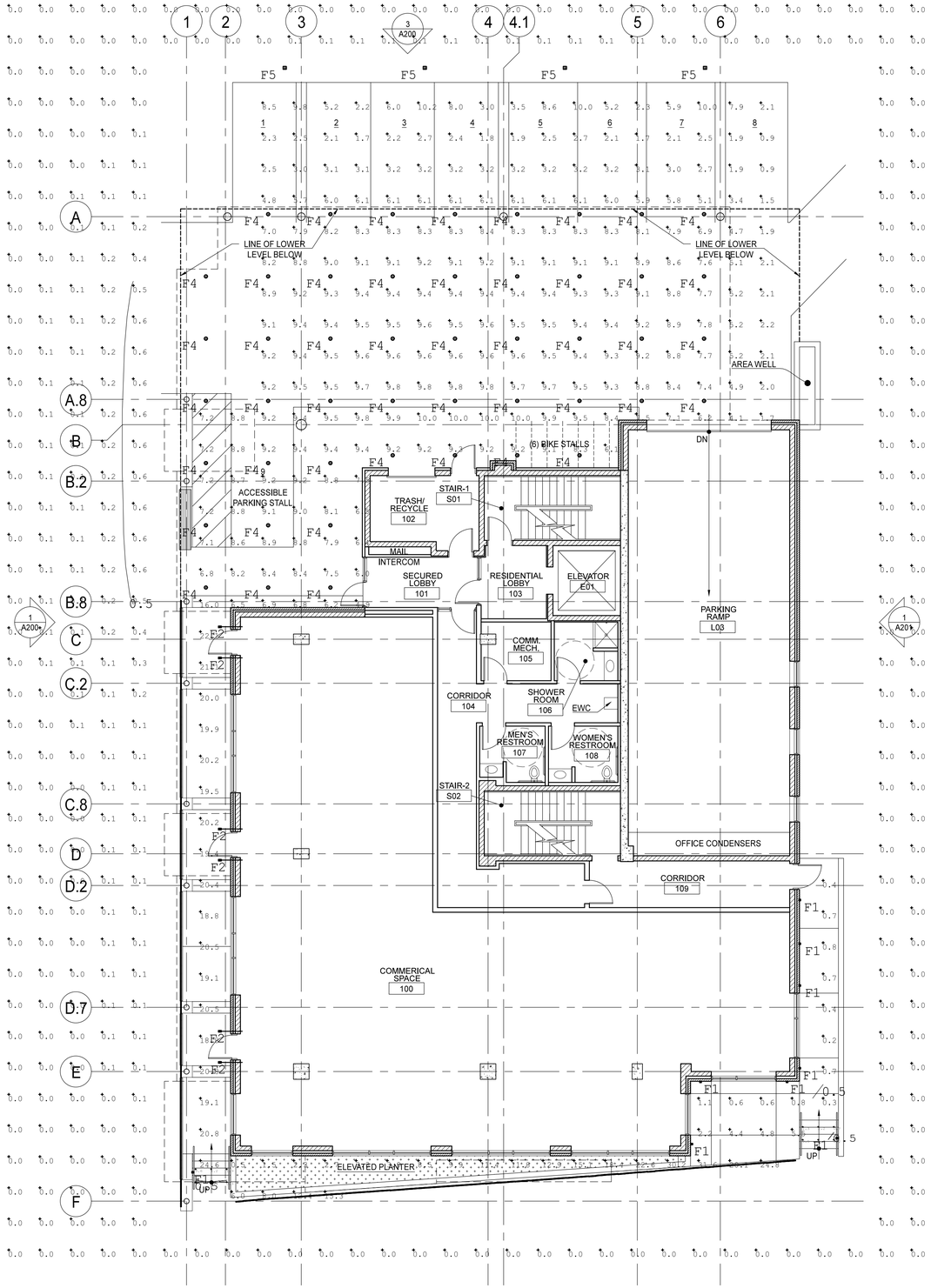
Building Images

the GLEN - Patrick Properties

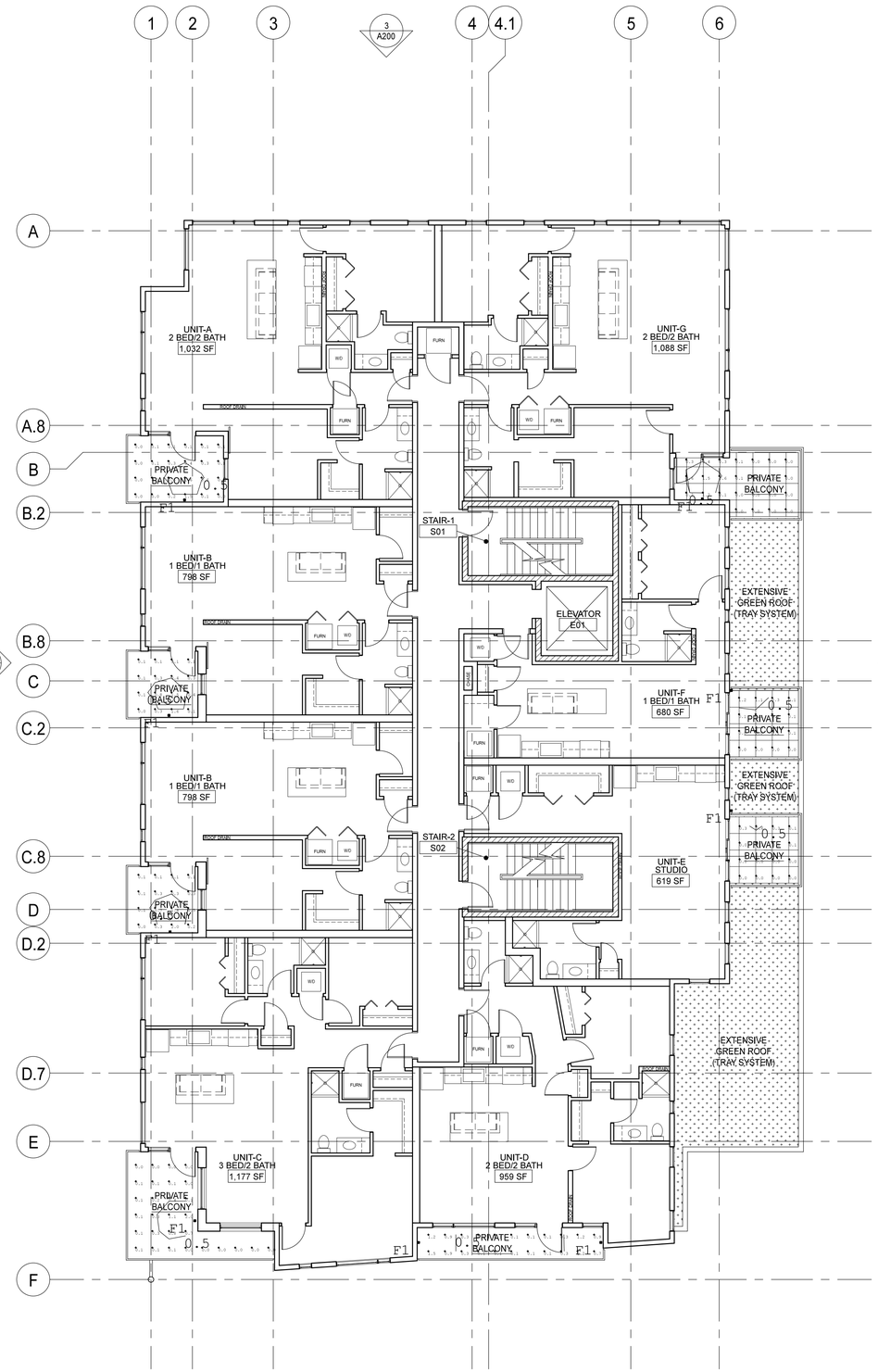
Scale: NTS

February 9, 2015 - Landmarks Commission Submittal

cās4 architecture, llc



1 E001 GRADE FLOOR EXTERIOR PHOTOMETRICS PLAN
SCALE: 1/8"=1'-0"



2 E001 SECOND FLOOR EXTERIOR PHOTOMETRICS PLAN
SCALE: 1/8"=1'-0"

CaS4 architecture, llc
3414 Monroe Street
Madison, WI 53711
ph 608-709-1250

Structural Engineering:
ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:
SAA DESIGN GROUP, INC.
101 East Badger Rd.
Madison, WI 53713

The Glen
by Patrick Properties
3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Plan Commission Submittal	3-4-2015

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

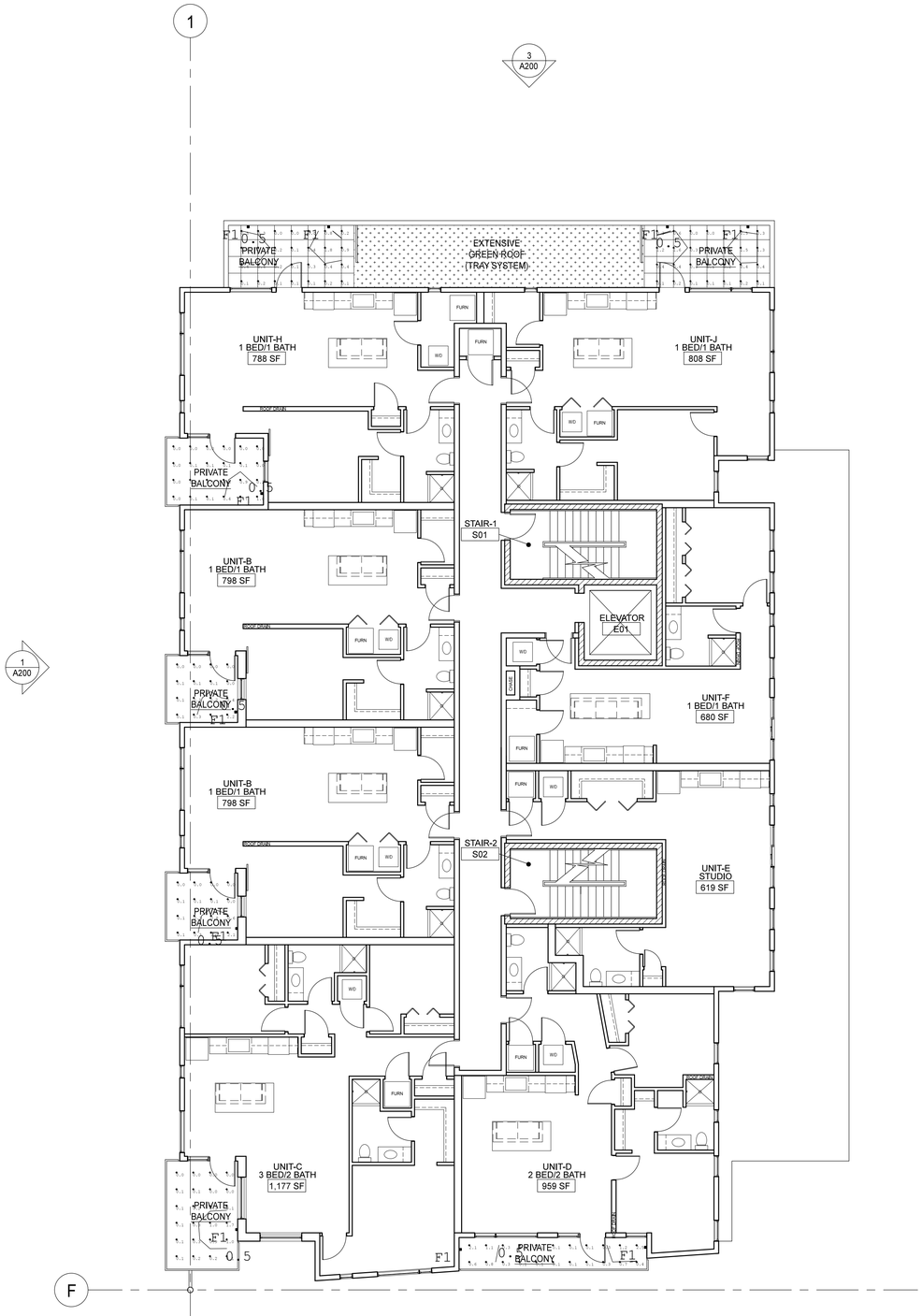
EXTERIOR PHOTOMETRICS - GRADE AND SECOND

E001

NOT FOR CONSTRUCTION

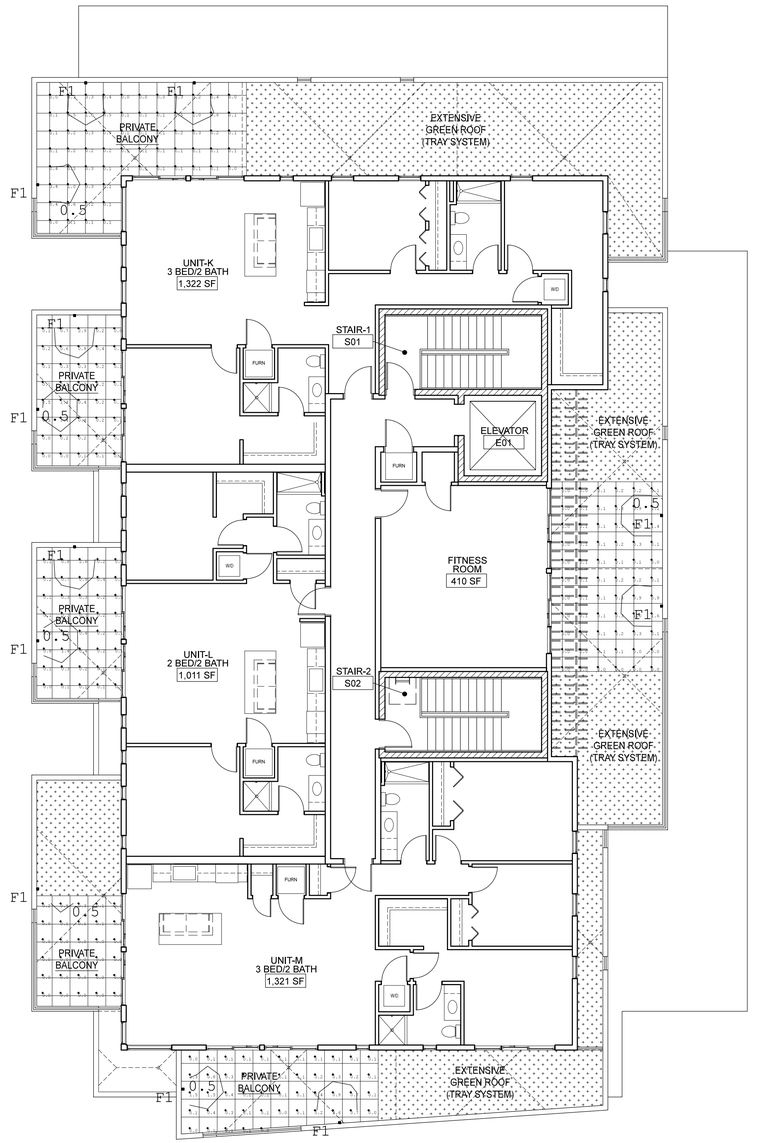
Project Name: the Glen
Project #: 13002.00

/Volumes/01 Project Folders/13002.00-the GLEN/01 Drawings/E001.dwg



1 E002 THIRD FLOOR EXTERIOR PHOTOMETRICS PLAN

SCALE: 1/8"=1'-0"



2 E002 FOURTH FLOOR EXTERIOR PHOTOMETRICS PLAN

SCALE: 1/8"=1'-0"

CaS4 architecture, llc

3414 Monroe Street
Madison, WI 53711
ph 608-709-1250

Structural Engineering:

ECHELON STRUCTURES, LLC
1521 Sunset Ct.
Middleton, WI 53562

Civil Engineering/Landscape Architecture:

SAA DESIGN GROUP, INC.
101 East Badger Rd.
Madison, WI 53713

The Glen

by Patrick Properties

3414 Monroe Street
Madison, WI 53711

Project #: 13002.00

Design Development
NOT FOR CONSTRUCTION

Issued for:

No.	Description	Date
1	Plan Commission Submittal	3-4-2015

Drawn by: CaS4 Architecture
Checked by: CaS4 Architecture

EXTERIOR PHOTOMETRICS - THIRD AND FOURTH

E002

NOT FOR CONSTRUCTION

Project Name: the Glen
Project #: 13002.00

/Volumes/01 Project Folders/13002.00-the GLEN/01 Drawings/E001.dwg

LUMIÈRE®

DESCRIPTION

Rio architectural step lights provide beauty, performance and durability. Transitional styling, low profile design and no visible fasteners provide seamless integration with architectural styles of all kinds. Logical, modular design elements facilitate fast and foolproof installation in all types of wall surfaces including drywall, concrete pour or brick/masonry. All models include IP68 rated outdoor protection, but are also suitable for indoor wall-mounted applications, including those with direct insulation contact (IC). All models are ADA compliant.

		Type
Catalog #		F1
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Construction
Back box and painted fascia are die-cast from corrosion-resistant Type 383 aluminum alloy. Back box is painted white. Natural metal fascia is precision-machined from solid brass or stainless steel.

B ... Finish
Back box and fascia are double protected by a chromate conversion undercoating and polyester powdercoat paint finish. Machined, natural finish brass or stainless steel fascia is unpainted to reveal the natural beauty of the material. Brass will patina naturally over time in outdoor environments.

C ... Electrical
Fixture includes integral, electronic ballast, transformer or LED driver mounted to Lumiere's factory-assembled POWER-TRAY(TM) optical/electrical module. The POWER-TRAY(TM) module plugs directly into the back box providing fast, easy installation.

D ... Mounting
Back box is available to ship in advance for rough-in purposes. Back box includes four (4) 3/4" conduit entry ports, concrete pour cover, UP arrow and two level vials to facilitate proper alignment. Fixture also includes the patent pending FASCIAlign(TM) fascia alignment system which provides rotation of the fascia +/- 10 degrees (total of 20 degrees), insuring proper alignment.

E ... Classification / Code Compliance
UL and cUL listed, standard wet label. IP68 rated. Also suitable for indoor recessed wall-mount applications, including insulation contact (IC). Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

F ... Lamp
Lamp for LED source included as standard. Lamps for other sources not included (available from Lumiere as an accessory - order separately).

G ... Warranty
Lumiere warrants its fixtures against defects in materials and workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.

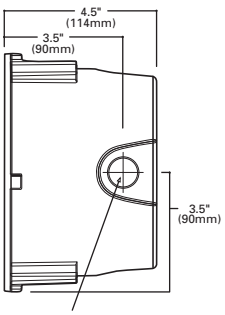
Recessed Housing
Recessed housing is available to ship in advance of complete fixture for rough-in purposes. Specify option -LBB and order separately accompanying recessed housing from below:

1237-BB-C
7" back box and pour cover for concrete pour wall

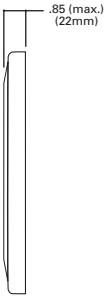
1237-BB-D
7" back box and pour cover for drywall/frame construction wall

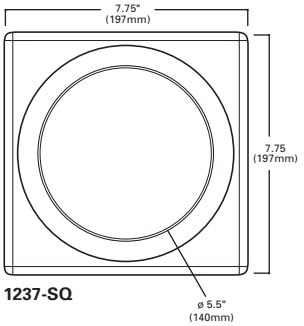
1237-BB-M
7" back box and pour cover for masonry wall



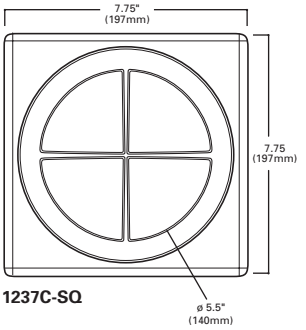



4 x ¾-14 NPT THREADED HOLE
Plug should be flush to 1.33mm max
Apply thread sealant on plug before inserting

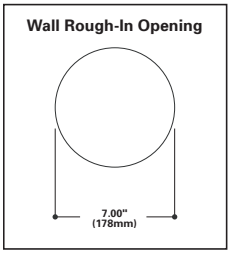


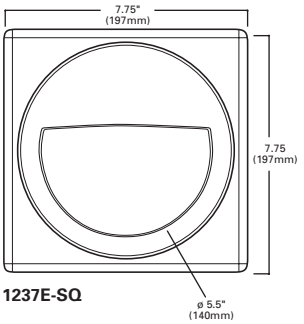


1237-SQ

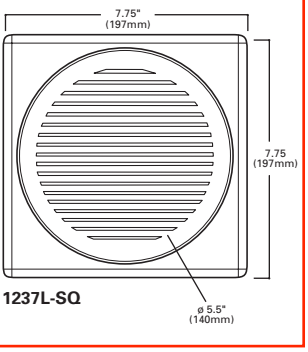


1237C-SQ





1237E-SQ



1237L-SQ

RIO

1237-SQ
1237C-SQ
1237E-SQ
1237L-SQ

12W (max.) LED
20W (max.) T3 Halogen
Low Voltage

13W (max.) CFL
Line Voltage

20W (max.) T4.5
Metal Halide

STEP LIGHT

ADA IP68

ORDERING INFORMATION

Verify

Model
1237-SQ=7" square, open fascia w/ clear, diffused lens
1237C-SQ=7" square, cross/guard fascia w/ clear, diffused lens
1237E-SQ= 7" square, eyelid fascia w/ clear, diffused lens
1237L-SQ= 7" square, louvered fascia w/ clear lens

Wall Type
C=Concrete Pour
D=Drywall
M=Masonry

Source [1]
12V Halogen or LED
20T3=20W / T3 / G4
12LED=12W / LED (LED lamps included)
Compact Fluorescent
CF13= 13W / triple tube / GX24q-1
Metal Halide
MH20T4= 20W / T4.5 / G8.5

Volts
12V Halogen
120/12= 120/12V electronic transformer
277/12= 277/12V electronic transformer
LED
120/12= 120V electronic LED driver
Compact Fluorescent or Metal Halide
120= 120V electronic ballast
277= 277V electronic ballast

Finish
Painted
BK=black
BZ=bronze
CS= city silver
VE= verde
WT= white
Metal
NBR= brass
NSS= stainless steel

Options
LBB=Housing and Pour Cover Shipped in Advance (select LBB option and order recessed housing separately)

Recessed Housing (order separately)
Select housing from Recessed Housing section on previous page

Notes: 1 Unless noted otherwise, lamps not included.

Photometric Report (Type C)

Filename: F1_1237E-12LED.ies
[TEST] P10177
[TESTLAB] PEACHTREE CITY
[ISSUEDATE] 08/14/06
[MANUFAC] COOPER LIGHTING - LUMIERE
[LUMCAT] 1237E-RD-x-LED
[LUMINAIRE] LUMIERE 7 INCH LED STEP LIGHT WITH EYELID FACEPLATE, SAND BLASTED LENS W/O REFLECTOR
[LAMPCAT] 12 SMT LED CIRCUIT BOARD
[BALLAST] B137

Maximum Candela = 33.2999992370605 at 0 H 67.5 V

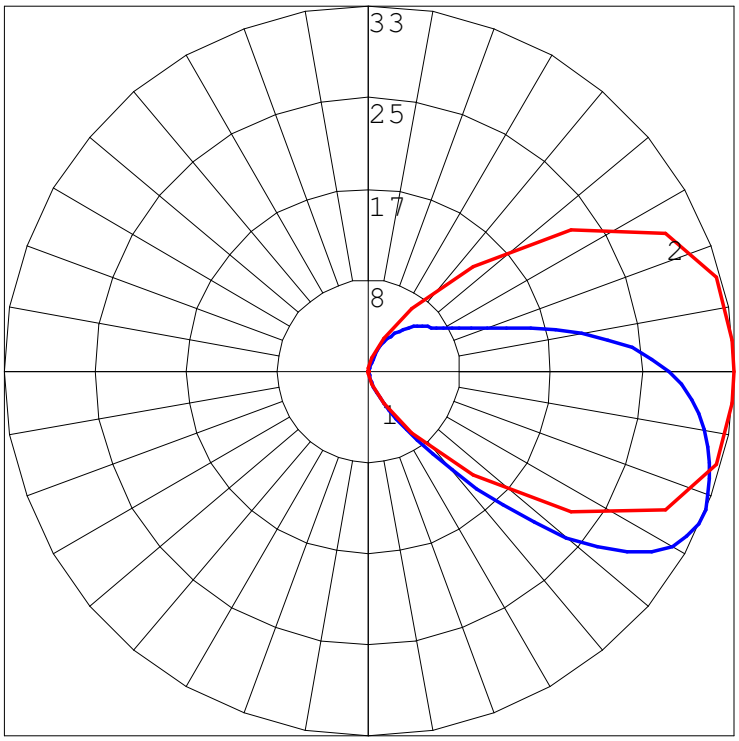
Classification:

Road Classification: Type IV, Very Short, Non-Cutoff (deprecated)
Upward Wast Light Ratio: 0.35
Luminaire Efficacy Rating (LER): 3
Indoor Classification: Semi-Direct
BUG Rating : B0-U2-G0

Polar Candela Curves:

Vertical Plane Through:
1) 0 - 180 Horizontal

Horizontal Cone Through:
2) 67.5 Vertical



Photometric Report (Type C)

Filename: F1_1237E-12LED.ies
[TEST] P10177
[TESTLAB] PEACHTREE CITY
[ISSUEDATE] 08/14/06
[MANUFAC] COOPER LIGHTING - LUMIERE
[LUMCAT] 1237E-RD-x-LED
[LUMINAIRE] LUMIERE 7 INCH LED STEP LIGHT WITH EYELID
FACEPLATE, SAND BLASTED LENS W/O REFLECTOR
[LAMPCAT] 12 SMT LED CIRCUIT BOARD
[BALLAST] B137

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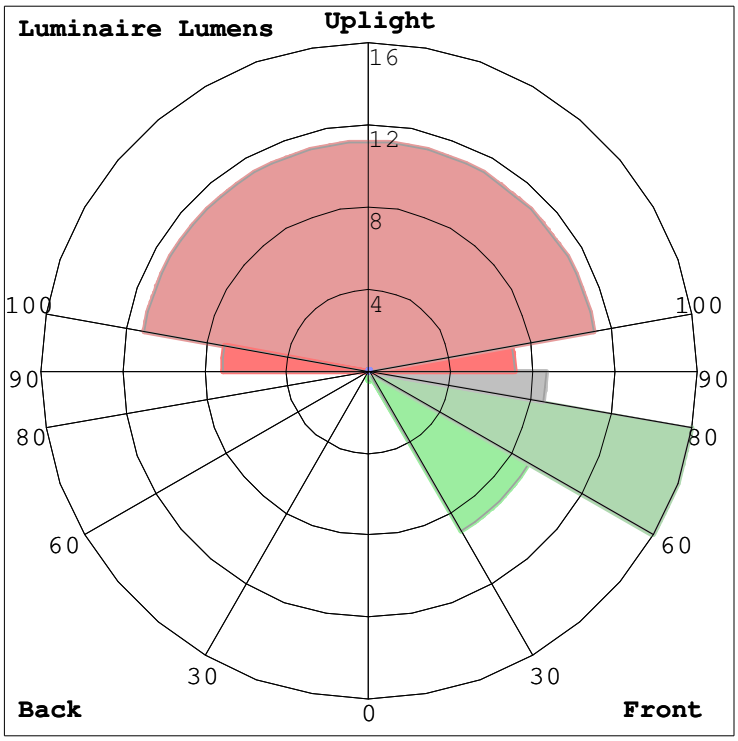
Road Classification: Type IV, Very Short, Non-Cutoff (deprecated)
Upward Waste Light Ratio: 0.35
Luminaire Efficacy Rating (LER): 3
Indoor Classification: Semi-Direct
BUG Rating : B0-U2-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	0.5	0.2	0.9
FM (30-60)	9.3	4.7	17.2
FH (60-80)	16.5	8.4	30.5
FVH (80-90)	8.9	4.6	16.5
BL (0-30)	< 0.05	0.0	0.0
BM (30-60)	0.0	0.0	0.0
BH (60-80)	< 0.05	0.0	0.0
BVH (80-90)	< 0.05	0.0	0.0
UL (90-100)	7.3	3.8	13.6
UH (100-180)	11.5	5.9	21.3
Total	54.0	27.6	100.0
BUG Rating	B0-U2-G0		



LUMIÈRE®

DESCRIPTION

Cambria 922 is a small dimmable LED or MR16 low voltage sign lighting luminaire. It attaches to a wall mounted straight arm and delivers full vertical adjustment for easy aiming. Optional 24", 30" or 36" straight arms are available in lieu of the standard 14-3/8" arm. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. Lumiere's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

Catalog #		Type
Project		F1
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Material
Housing, hood, straight arm and wall mounting plate are precision-machined from corrosion-resistant billet stock 6061-T6 aluminum, C360 brass, C932 bronze, C110 copper or 303/304 stainless steel.

B ... Finish
Fixtures constructed from 6061-T6 aluminum are double protected by a chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

D ... Hood
Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position.

E ... Gasket
Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

F ... Lens
Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

G ... Adjustable Mounting Arm
Standard 14-3/8" straight arm with adjustable side swivel provides 340° of vertical adjustment for easy aiming. Center rear swivel also available and has 33-1/6? straight arm as standard, providing 195° of vertical adjustment. Optional 24", 30" or 36" straight arms are available in lieu of standard length arms (specify option -SA24, -SA30 or -SA36). Stainless steel aim-locking mechanisms are standard. 4-1/4" diameter wall mounting plate attaches directly to standard J-box with provided screws. Lumiere's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

H ... Hardware
Stainless steel hardware is standard to provide maximum corrosion-resistance.

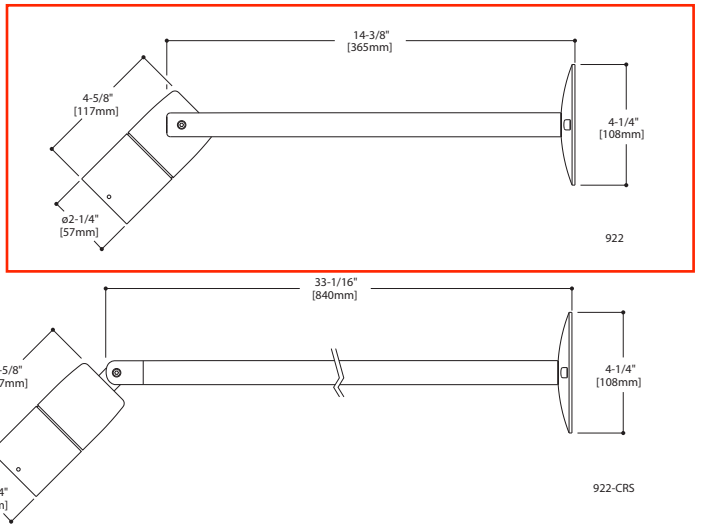
I ... Socket
Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

J ... Electrical
Remote 12V transformer required (not included). Transformers used in conjunction with LED's must be magnetic only, not electronic. Available from Lumiere as an accessory - see the Accessories & Technical Data section of the catalog for details.

K ... Lamp
Halogen lamp not included. Available from Lumiere as an accessory - see reverse side for details and catalog logic. LED modules are included and are available in three color temperatures (warm, neutral and cool) and three distributions (spot, narrow and flood). Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. Due to the onboard thermal feedback control circuitry, LED modules are non-dimmable.

L ... Labels & Approvals
UL and cUL listed, standard wet label. IP65 rated. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

M ... Warranty
Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.



CAMBRIA

922

10W LED
6W LED
50W (max.) MR16
LED
Halogen
Low Voltage

Sign Light

LAMP INFORMATION

Lamp	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
6LED2712	6	12°	3358	2700	50000	GU5.3 bi-pin	12
6LED2721	6	21°	937	2700	50000	GU5.3 bi-pin	12
6LED2741	6	41°	472	2700	50000	GU5.3 bi-pin	12
6LED3012	6	12°	3694	3000	50000	GU5.3 bi-pin	12
6LED3021	6	21°	1019	3000	50000	GU5.3 bi-pin	12
6LED3041	6	41°	646	3000	50000	GU5.3 bi-pin	12
6LED4012	6	12°	4280	4000	50000	GU5.3 bi-pin	12
6LED4021	6	21°	1179	4000	50000	GU5.3 bi-pin	12
6LED4041	6	41°	754	4000	50000	GU5.3 bi-pin	12
6LED5712	6	12°	4496	5700	50000	GU5.3 bi-pin	12
6LED5721	6	21°	1275	5700	50000	GU5.3 bi-pin	12
6LED5741	6	41°	792	5700	50000	GU5.3 bi-pin	12
10LED2712	10	12°	5037	2700	50000	GU5.3 bi-pin	12
10LED2721	10	21°	1406	2700	50000	GU5.3 bi-pin	12
10LED2741	10	41°	708	2700	50000	GU5.3 bi-pin	12
10LED3012	10	12°	5513	3000	50000	GU5.3 bi-pin	12
10LED3021	10	21°	1521	3000	50000	GU5.3 bi-pin	12
10LED3041	10	41°	964	3000	50000	GU5.3 bi-pin	12
10LED4012	10	12°	6389	4000	50000	GU5.3 bi-pin	12
10LED4021	10	21°	1759	4000	50000	GU5.3 bi-pin	12
10LED4041	10	41°	1125	4000	50000	GU5.3 bi-pin	12
10LED5712	10	12°	6711	5700	50000	GU5.3 bi-pin	12
10LED5721	10	21°	1903	5700	50000	GU5.3 bi-pin	12
10LED5741	10	41°	1182	5700	50000	GU5.3 bi-pin	12
50MR16/NSP	50	12°	11,000	3050	4000	GU5.3 bi-pin	12
50MR16/NSL	50	25°	3200	3050	4000	GU5.3 bi-pin	12
50MR16/FL	50	40°	2000	3050	4000	GU5.3 bi-pin	12
50MR16/WFL	50	60°	1200	3050	4000	GU5.3 bi-pin	12

PHOTOMETRIC DATA

Cambria 922
Lamp=50MR16/NSP (EXT)
CBCP=11,000

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	45	4'0"
10'0"	102	3'0"
8'0"	159	2'0"
6'0"	283	1'6"
4'0"	638	1'0"
2'0"	2550	0'6"

Lamp Wattage Multiplier
20W x 0.32

Cambria 922
Lamp=50MR16/NFL (EXZ)
CBCP=3200

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	13	10'0"
10'0"	29	6'6"
8'0"	45	5'0"
6'0"	81	4'0"
4'0"	181	2'6"
2'0"	725	1'0"

Cambria 922
Lamp=50MR16/FL (EXN)
CBCP=2000

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	7	12'0"
10'0"	17	8'0"
8'0"	27	6'6"
6'0"	48	5'0"
4'0"	106	3'0"
2'0"	431	1'6"

Lamp Wattage Multiplier
20W x 0.30
35W x 0.57

Cambria 922
Lamp=50MR16/WFL (FNV)
CBCP=1200

Cone of Light

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	5	17'0"
10'0"	11	11'6"
8'0"	17	9'0"
6'0"	30	7'0"
4'0"	67	4'6"
2'0"	269	2'0"

NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.
- Bare lamp data shown. Consult lamp manufacturers to obtain detailed specifications for their lamps.

Sample Number: 922-10LED2712-120/12-BK-F70

Series

922 = LED or MR16 Cambria Sign Light, Standard 14-3/8" Straight Arm, Side Stem, Single Head

922-CRS = LED or MR16 Cambria Sign Light, Standard 33-1/16" Straight Arm, Center Rear Swivel, Single Head

Source

50MR16 = 50W Max Halogen MR16, GU5.3 Base
6LED2712 = 6W 2700K, 12° Spot, GU5.3 Base
6LED2721 = 6W 2700K, 21° Narrow, GU5.3 Base
6LED2741 = 6W 2700K, 41° Wide, GU5.3 Base
6LED3012 = 6W 3000K, 12° Spot, GU5.3 Base
6LED3021 = 6W 3000K, 21° Narrow, GU5.3 Base
6LED3041 = 6W 3000K, 41° Wide, GU5.3 Base
6LED4012 = 6W 4000K, 12° Spot, GU5.3 Base
6LED4021 = 6W 4000K, 21° Narrow, GU5.3 Base
6LED4041 = 6W 4000K, 41° Wide, GU5.3 Base
6LED5712 = 16W 5700K, 12° Spot, GU5.3 Base
6LED5721 = 6W 5700K, 21° Narrow, GU5.3 Base
6LED5741 = 6W 5700K, 41° Wide, GU5.3 Base
10LED2712 = 10W 2700K, 12° Spot, GU5.3 Base
10LED2721 = 10W 2700K, 21° Narrow, GU5.3 Base
10LED2741 = 10W 2700K, 41° Wide, GU5.3 Base
10LED3012 = 10W 3000K, 12° Spot, GU5.3 Base
10LED3021 = 10W 3000K, 21° Narrow, GU5.3 Base
10LED3041 = 10W 3000K, 41° Wide, GU5.3 Base
10LED4012 = 10W 4000K, 12° Spot, GU5.3 Base
10LED4021 = 10W 4000K, 21° Narrow, GU5.3 Base
10LED4041 = 10W 4000K, 41° Wide, GU5.3 Base
10LED5712 = 10W 5700K, 12° Spot, GU5.3 Base
10LED5721 = 10W 5700K, 21° Narrow, GU5.3 Base
10LED5741 = 10W 5700K, 41° Wide, GU5.3 Base

Voltage

12 = 12 Volt Remote Transformer Required

Finish

Painted

BK = Black
BZ = Bronze
CS = City Silver
VE = Verde
WT = White

Accessories

Filters

F71 =Peach Dichroic Filter, 2.00" Dia
F72 =Amber Dichroic Filter, 2.00" Dia
F73 =Green Dichroic Filter, 2.00" Dia
F74 =Medium Blue Dichroic Filter, 2.00" Dia
F75 =Yellow Dichroic Filter, 2.00" Dia
F76 =Red Dichroic Filter, 2.00" Dia
F77 =Dark Blue Dichroic Filter, 2.00" Dia
F78 =Light Blue Dichroic Filter, 2.00" Dia
F79 =Neutral Density Dichroic Filter, 2.00" Dia
F80 =Magenta Dichroic Filter, 2.00" Dia
F22 =Red Color Filter, 2.00" Dia
F33 =Blue Color Filter, 2.00" Dia
F44 =Green Color Filter, 2.00" Dia
F55 =Yellow Color Filter, 2.00" Dia
F66 = Mercury Vapor Color Filter, 2.00" Dia

Optical Lenses

LSL = Linear Spread Lens (elongate standard beam spread), 2.00" Dia
OSL = Overall Spread Lens (increase beam spread), 2.00" Dia
DIF = Diffused Lens (provide even illumination), 2.00" Dia

Optical Louver

LVR = Hex Cell Louver (reduce glare), 2.00" Dia

Lamps for MR16

EZX = 20W MR16 GU5.3 Bi-Pin Very Narrow Spot
BAB = 20W MR16 GU5.3 Bi-Pin Flood
FRA = 35W MR16 GU5.3 Bi-Pin Spot
EXT = 50W MR16 GU5.3 Bi-Pin Narrow Spot
EXN = 50W MR16 GU5.3 Bi-Pin Flood
ESX = 20W MR16 GU5.3 Bi-Pin Narrow Spot
FRB = 35W MR16 GU5.3 Bi-Pin Narrow Spot
FMW = 35W MR16 GU5.3 Bi-Pin Flood
EXZ = 50W MR16 GU5.3 Bi-Pin Narrow Flood
FNV = 50W MR16 GU5.3 Bi-Pin Very Wide Flood

Notes:
* Lamp not included in MR16 version.
* See ACCESSORIES & TECHNICAL DATA section of the Lumière catalog for Mounting Accessories.
* Consult your Cooper Lighting representative for additional options and finishes.

Photometric Report (Type C)

Filename: F2_922-10LED3021.ies
[TEST] 29529
[TESTLAB] LIGHTING SCIENCES, INC.
[ISSUEDATE] 9/16/2011
[MANUFAC] COOPER LIGHTING - LUMIERE
[LUMCAT] 203-10LED
[LUMINAIRE] WITH FROSTED LENSES ON LEDS AND CLEAR FLAT GLASS LENS
[LAMP] THREE LEDS

Maximum Candela = 1520.97 at 0 H 0 V

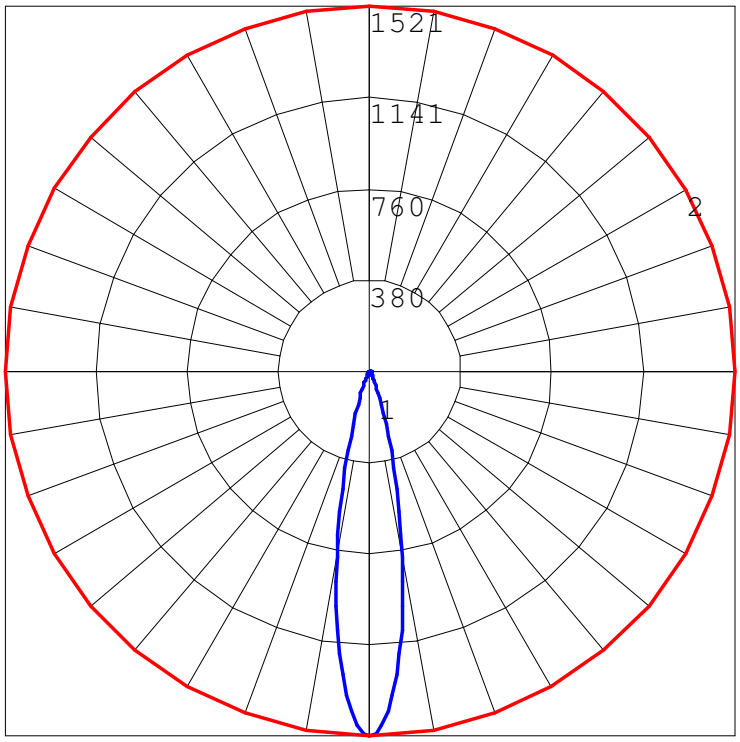
Classification:

Road Classification: Type V, Very Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 26
Indoor Classification: Direct
BUG Rating : B1-U0-G0

Polar Candela Curves:

Vertical Plane Through:
1) 0 - 180 Horizontal

Horizontal Cone Through:
2) 0 Vertical



Photometric Report (Type C)

Filename: F2_922-10LED3021.ies
[TEST] 29529
[TESTLAB] LIGHTING SCIENCES, INC.
[ISSUEDATE] 9/16/2011
[MANUFAC] COOPER LIGHTING - LUMIERE
[LUMCAT] 203-10LED
[LUMINAIRE] WITH FROSTED LENSES ON LEDS AND CLEAR FLAT GLASS LENS
[LAMP] THREE LEDS

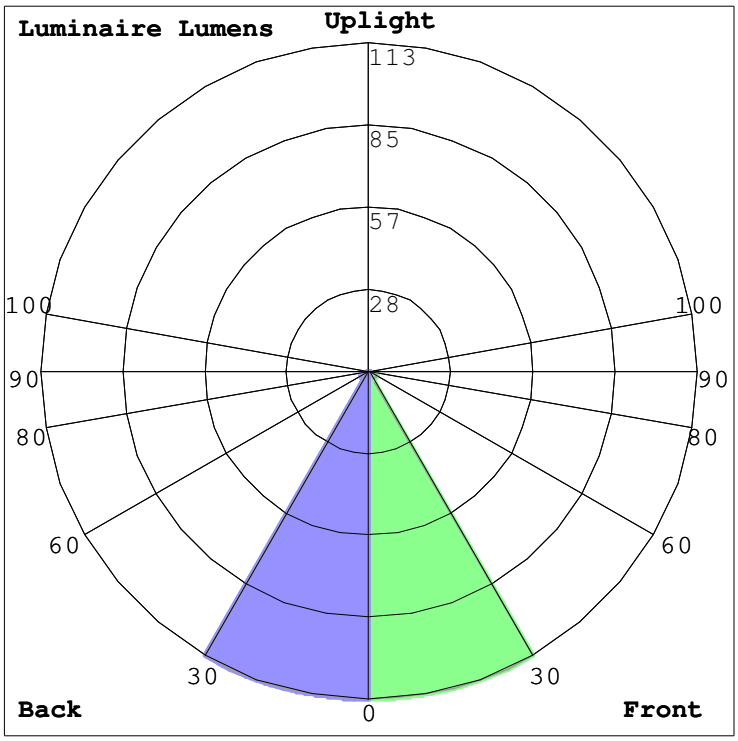
Maximum Candela = 1520.97 at 0 H 0 V

Classification:

Road Classification: Type V, Very Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 26
Indoor Classification: Direct
BUG Rating : B1-U0-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	113.2	N.A.	48.7
FM (30-60)	3.0	N.A.	1.3
FH (60-80)	0.1	N.A.	0.0
FVH (80-90)	0.0	N.A.	0.0
BL (0-30)	113.2	N.A.	48.7
BM (30-60)	3.0	N.A.	1.3
BH (60-80)	0.1	N.A.	0.0
BVH (80-90)	0.0	N.A.	0.0
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	232.6	N.A.	100.0
BUG Rating	B1-U0-G0		



AQUAFLEX™ 3000k

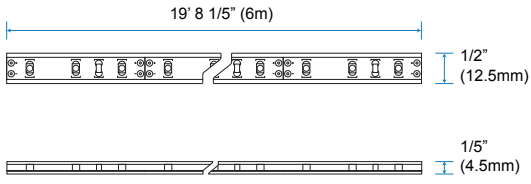
F3

SPECIFICATION

Dimmable Wet Location LED Linear Flex System:

AQUAFLEX provides stable, consistent, energy efficient, ultra flexible solid state lighting. With a super low-profile it is able to meet any custom length at the designated cutting points. AQUAFLEX is housed in a high quality silicone sleeve and is supplied with mounting clips and end caps for simple installation. See MODA Metal for extrusion options.

Dimensions:



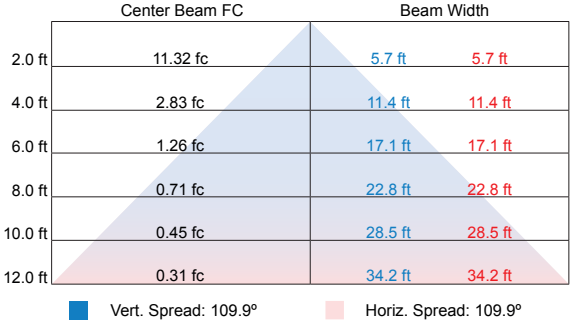
LED Spacing: 3/5" (14mm)
Cutting Distance: 2" (50mm)
Max Continuous Length: 19' 8 1/5" (6m)

Output:

Delivered Lumens	127.52 lm / ft
CCT	3000k
Chromaticity Ordinates	x: 0.4445 y: 0.4288 u: 0.2450 v: 0.5318
Color Bin Tolerance	+ 3% / - 3%
Efficacy (lm/w)	86.16
CRI	82
Lumen Maintenance	70,000 Hours L70 @ 25°C : 90,000 Hours L50 @ 25°C 50,000 Hours L70 @ 50°C : 70,000 Hours L50 @ 50°C
Testing Data	Light Data LM-79-08 & LM-80-08

Illuminance at a Distance: Data Shown for 120°

(For lux multiply fc by 10.7)



Electrical:

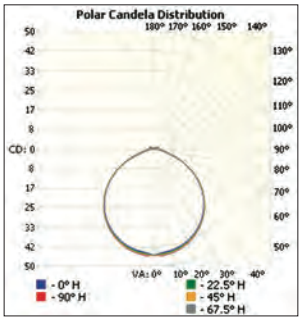
Input Voltage	12v DC
Power Consumption	1.48w / ft (0.12A) - Varies based on length of run & driver
Power Factor	≤ 1
Dimming	100-277v 0-10v & Magnetic Low Voltage
Emergency	N/A

Physical:

Applications	Wet Locations, Cabinet, Cove, Display, Niches, Perimeter Lighting
Dimensions	Length 19' 8 1/5" (6m) Width 1/2" (12.5mm) Height 1/5" (4.5mm)
Weight	14.4 oz (408.2g) Per Reel
Construction	Constant Voltage Design Protects LEDs And Prolongs Life. White FPCB Inside a Silicone Sleeve
Thermal Management	N/A
Optics	N/A
Fixture Connections	Solder joints
Operating Temperature	-4ºF ~ 122ºF (-20ºC ~ 50ºC)
Storage Temperature	-40ºF ~ 176ºF (-40ºC ~ 80ºC)
Humidity	0-95% Non Condensing

Polar Candela Distribution:

Data Shown for 120°



Lumens per Zone:

Zone	Lumens	% Total
0-10	4.28	3.36%
10-20	12.30	9.65%
20-30	18.69	14.66%
30-40	22.59	17.71%
40-50	23.29	18.26%
50-60	20.40	16.00%
60-70	13.91	10.91%
70-80	6.27	4.92%
80-90	2.25	1.76%
90-100	1.27	1.00%

Project Name:	Company:	P/O:	Type:	Date:
Notes:				

VDC20100805

S P E C I F I C A T I O N

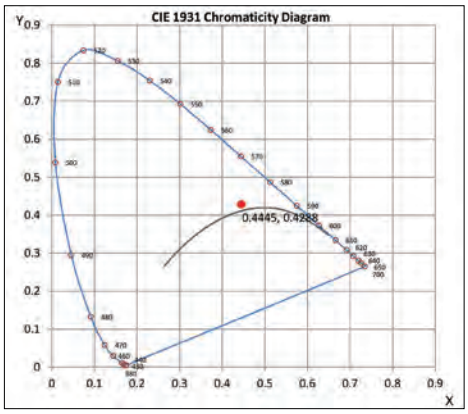
Zonal Lumen Summary:

Zone	Lumens	% Lamp	% Fixt
0-30	35.28	N.A.	27.70%
0-40	57.87	N.A.	45.40%
0-60	101.55	N.A.	79.60%
60-80	20.18	N.A.	15.80%
0-90	123.99	N.A.	97.20%
90-180	3.53	N.A.	2.80%
0-180	127.52	N.A.	100%

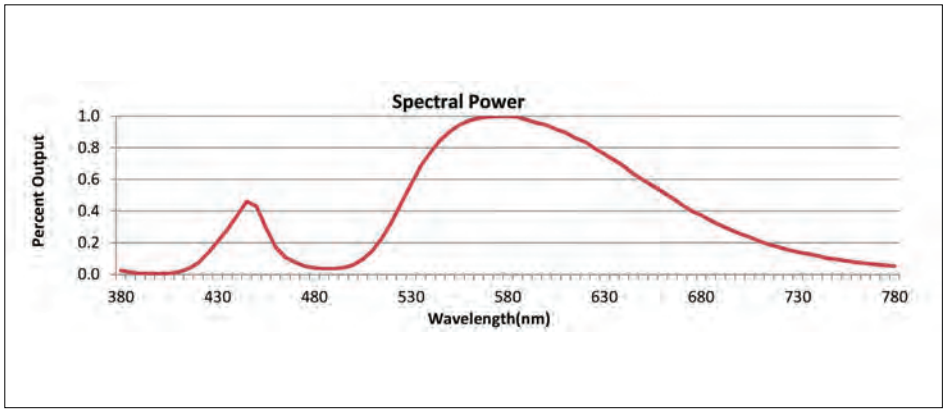
Luminance Data (cd/sq.m):

Angle in Degrees	Average 0-Deg	Average 45-Deg	Average 90-Deg
45	12047	9044	8217
55	11159	7593	6678
65	9023	5416	4654
75	4849	2698	2366
85	3674	1272	1072

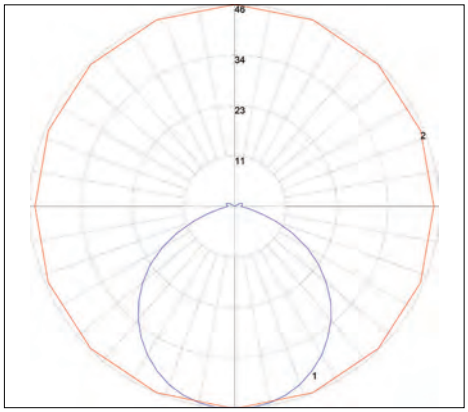
CIE 1931 Chromaticity Diagram:



Spectral Power:



Polar Graph: Data Shown for 120º



Accessories:

						
MRT50 Mounting Clips (20 Clips Supplied With Reel)	**MRT51** Silicon Glue (1 Tube Supplied With Reel)	**MRT52** End Cap (4 Caps Supplied With Reel)	**MP16** 12v DC 132w	**MP18** 12v DC 50w	**MP82** 12v DC 150w	**MP82-277v** 12v DC 150w
Screws Into Surface To Hold AQUAFLEX	Applied Between AQUAFLEX and Connectors or Caps to Seal From Exposure	Attaches To AQUAFLEX To Protect FPCB From Dust or Water	Wet Location LED Power Supply	0-10v Dimming LED Power Supply	MLV Dimming LED Power Supply	MLV Dimming LED Power Supply
L: 1 1/5" (30mm) W: 1/5" (6mm) H: 1/5" (5mm) 2 Screws 1/2" (13mm)		L: 3/5" (15mm) W: 1/ 5" (5mm) H: 1/5" (5mm)	Non-Dimmable			

Standards and Certifications:

Certification	Tested to UL & CSA by ETL For Use in USA & CANADA, Complies with California Title 24 Requirements, Lighting Facts. Exceeds ANSI C78.377A, CE & RoHS Compliant.
Class	Class III
Environment	Wet Location - IP67
Warranty	5 Year Limited Warranty

Ordering:

SKU: AQUAFLEX-3000K

Photometric Report (Type C)

Filename: F3_aquaflex-3000k.ies
[TEST] L04132233
[TESTLAB] LIGHT LABORATORY, INC.
[ISSUEDATE] 04/16/2013
[MANUFAC] MODA LIGHT
[LUMCAT] AQUAFLEX-3000K
[LUMINAIRE] 12"L. X 1/2"W. X 3/16"H. POLYEPOXIDE
LINEAR FLEX LEDs CLEAR LENS
[LAMPCAT] N/A

Maximum Candela = 45.55 at 90 H 5 V

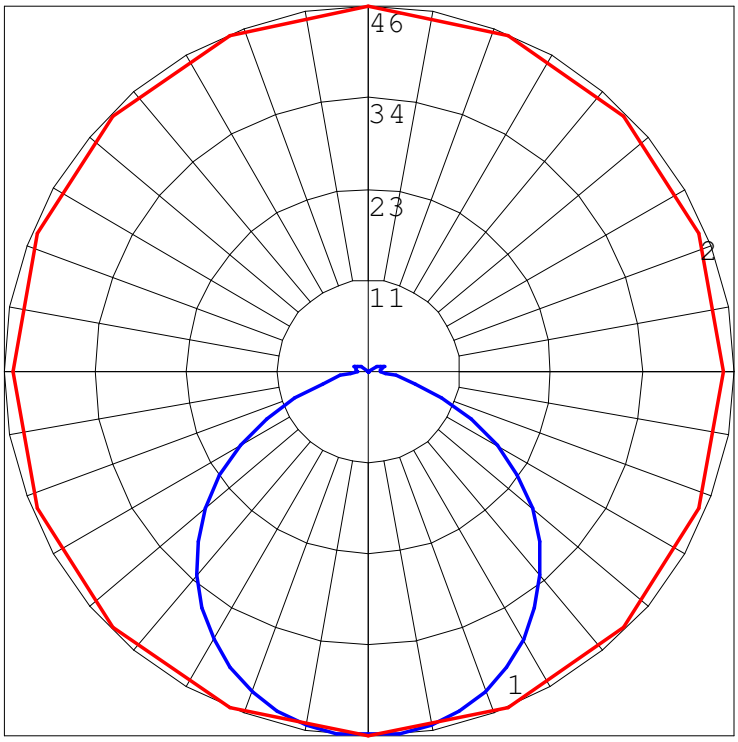
Classification:

Road Classification: Type VS, Very Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.03
Luminaire Efficacy Rating (LER): 43
Indoor Classification: Direct
BUG Rating : B0-U1-G0

Polar Candela Curves:

Vertical Plane Through:
1) 90 - 270 Horizontal

Horizontal Cone Through:
2) 5 Vertical



Photometric Report (Type C)

Filename: F3_aquaflex-3000k.ies
[TEST] L04132233
[TESTLAB] LIGHT LABORATORY, INC.
[ISSUEDATE] 04/16/2013
[MANUFAC] MODA LIGHT
[LUMCAT] AQUAFLEX-3000K
[LUMINAIRE] 12"L. X 1/2"W. X 3/16"H. POLYEPOXIDE
LINEAR FLEX LEDs CLEAR LENS
[LAMPCAT] N/A

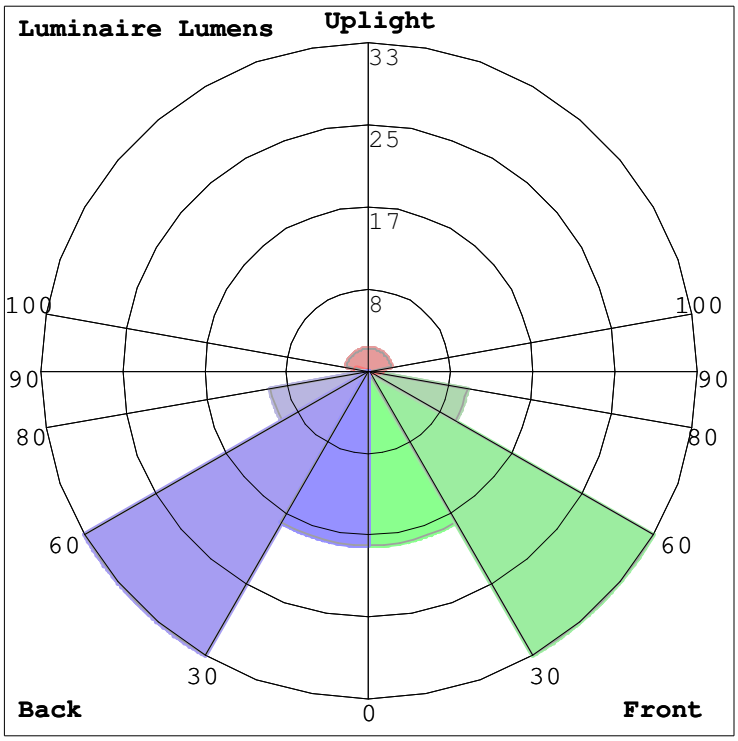
Maximum Candela = 45.55 at 90 H 5 V

Classification:

Road Classification: Type VS, Very Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.03
Luminaire Efficacy Rating (LER): 43
Indoor Classification: Direct
BUG Rating : B0-U1-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	17.6	N.A.	13.8
FM (30-60)	33.1	N.A.	26.0
FH (60-80)	10.1	N.A.	7.9
FVH (80-90)	1.1	N.A.	0.9
BL (0-30)	17.6	N.A.	13.8
BM (30-60)	33.1	N.A.	26.0
BH (60-80)	10.1	N.A.	7.9
BVH (80-90)	1.1	N.A.	0.9
UL (90-100)	1.3	N.A.	1.0
UH (100-180)	2.3	N.A.	1.8
Total	127.4	N.A.	100.0
BUG Rating	B0-U1-G0		



CR6™

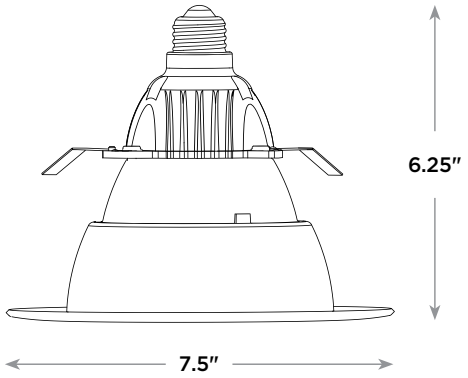
6" LED Downlight

Product Description

The CR6™ LED downlight delivers up to 800 lumens of exceptional 90+ CRI light while achieving up to 67 lumens per watt. This breakthrough performance is achieved by combining the high efficacy and high-quality light of Cree TrueWhite® Technology. The CR6 is available in a warm color temperature and has a variety of trim options. It easily installs into most standard six-inch recessed IC or non-IC housings, making the CR6 perfect for use in both residential and light commercial, new construction or retrofit, applications.

Performance Summary

- Utilizes Cree TrueWhite® Technology
- **Delivered Light Output**: 625, 800 lumens
- **Input Power**: 9.5, 12 watts
- **CRI**: 90
- **CCT**: 2700K, 3000K, 3500K, 4000K
- **Limited Warranty**†: 5 years
- **Lifetime**: Designed to last 50,000 hours
- **Dimming**: Dimmable to 5%*



Housings & Accessories

Reference Housing & Accessory documents for more details.

Trims & Reflectors	
CT6A Diffuse silver reflector	**CT6AB** Diffuse black reflector
CT6AW Diffuse wheat reflector	**CT6BB** Flat black flange and reflector

Housings (GU24 Only)	
H6 Architectural	**SC6** Cylindrical Surface Mount
RC6 New Construction	**SC6-CM** Cylindrical Cord Mount
RR6 Retrofit	**SC6-WM** Cylindrical Wall Mount

Ordering Information

Example: CR6-625L-27K-12-E26

QUICK SHIP™

For full list of Cree Quick Ship products visit **www.cree.com/lighting/quickship**

CR6				12	
Series	**Size**	**Source Lumen Output**	**CCT**	**Voltage**	**Base Type**
CR6	**6** 6 inch	**625L** 625 Lumens **800L** 800 Lumens	**27K** 2700K **30K** 3000K **35K** 3500K **40K** 4000K	**12** 120 Volts	**E26** Edison Base **GU24** GU24 Base (Title 24 Compliant)

† See www.cree.com/lighting/products/warranty for warranty terms

* Reference www.cree.com/lighting for recommended dimmers

CREE TRUE WHITE TECHNOLOGY

ENERGY STAR

c UL us

Rev. Date V2 08/25/2014

CREE®

US: www.cree.com/lighting T (800) 236-6800 F (262) 504-5415

Canada: www.cree.com/canada T (800) 473-1234 F (800) 890-7507

Product Specifications

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, beautiful light characteristics, and lifelong color consistency, all while maintaining high luminous efficacy - a true no compromise solution.

CONSTRUCTION & MATERIALS

- Durable upper housing protects LEDs, driver and power supply. Adjustable flip clips resist heat while providing retention for flush ceiling fit.
- Thermal management system uses both upper housing and lower reflector to conduct heat away from LEDs and transfer it to the plenum space for optimal performance. LED junction temperatures stay below specified maximum even when installed in insulated ceilings.
- Suitable for insulated and non-insulated ceilings
- One-piece aluminum lower reflector redirects light while also conducting heat away from LEDs. It creates a comfortable visual transition from the lens to the ceiling plane and easily accommodates CT6 snap-in trims

OPTICAL SYSTEM

- Unique combination of reflective and refractive optical components achieves a uniform, comfortable appearance while eliminating pixelation and color fringing. This ensures smooth light patterns are projected with no hot spots and minimal striations
- Components work together to optimize distribution, balancing the delivery of high illuminance levels on horizontal surfaces with an ideal amount of light on walls and vertical surfaces. This increases the perception of spaciousness
- Diffusing lens shields direct view of LEDs while lower reflector balances brightness of lens with the ceiling to create a low-glare high angle appearance

ELECTRICAL SYSTEM

- Integral, high-efficiency driver and power supply
- **Power Factor:** > 0.9
- **Input Voltage:** 120V, 60Hz
- **Dimming**: Dimmable to 5% with most incandescent dimmers*

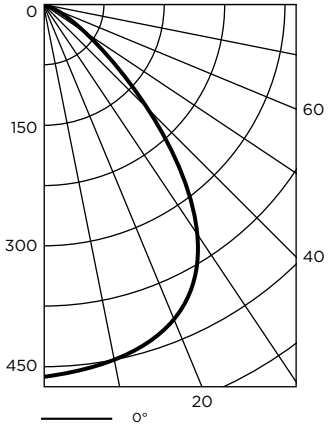
REGULATORY & VOLUNTARY QUALIFICATIONS

- ENERGY STAR® qualified
- cULus Listed
- Exceeds California Title-24 high efficacy luminaire requirements
- Suitable for wet locations

* Reference www.cree.com/lighting for recommended dimmers

Photometry

CR6 BASED ON ONSPEX REPORT #: 30014047-3
CR6-625L: MULTIPLY BY 0.78



Zonal Lumen Summary

Zone	Lumens	% Lamp	% Fix
0-30	336	42.10%	42.10%
0-40	516	64.60%	64.60%
0-60	724	90.60%	90.60%
0-90	800	100%	100%

Intensity (Candlepower) Summary

Angle	Mean CP
0°	456
5°	453
15°	432
25°	386
35°	293
45°	174
55°	85
65°	42
75°	25
85°	6
90°	0

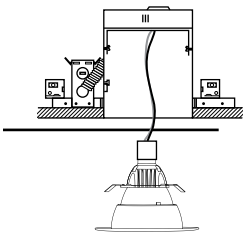
Reference www.cree.com/lighting for detailed photometric data.

Installation

- Designed to easily install in standard 6" downlight housings from Cree and other manufacturers*
- Quick install system utilizes a unique retention feature. Simply attach socket to CR6. Move light to ready position and slide into housing

NOTE: Reference www.cree.com/lighting for detailed installation instructions.

*Reference www.cree.com/lighting for a list of compatible housings



Application Reference

Open Space					
Spacing	**Lumens**	**Wattage**	**LPW**	**w/ft²**	**Average FC**
4 x 4	625	9.5	61	0.60	36
6 x 6				0.28	18
8 x 8				0.15	10
10 x 10				0.10	7
4 x 4	800	12	67	0.76	47
6 x 6				0.35	22
8 x 8				0.19	13
10 x 10				0.13	8

10' Ceiling, 80/50/20 Reflectances, 2.5 workplane.
LLF: 1.0 Initial. Open Space: 50' x 40' x 10'

Corridor					
Spacing	**Lumens**	**Wattage**	**LPW**	**w/ft²**	**Average FC**
4' on Center	625	9.5	61	0.40	13
6' on Center				0.27	9
8' on Center				0.20	7
10' on Center				0.17	6
4' on Center	800	12	67	0.51	17
6' on Center				0.34	11
8' on Center				0.25	8
10' on Center				0.21	7

10' Ceiling, 80/50/20 Reflectances, Light levels on the ground.
LLF: 1.0 Initial. Corridor: 6' Wide x 100' Long

US: www.cree.com/lighting T (800) 236-6800 F (262) 504-5415 **Canada: www.cree.com/canada** T (800) 473-1234 F (800) 890-7507

Photometric Report (Type C)

Filename: F4_CR6-625L LED Downlight IES Files.IES
[TEST] 11646-G
[TESTLAB] Cree Inc. - Durham Technology Center
[ISSUEDATE] 9/26/2012
[MANUFAC] Cree Lighting - Recessed Downlight
[LUMCAT] ECO-575L (CR6Y)
[LUMINAIRE] With Flat Diffused Plastic Lens and White Trim
[LAMPCAT] True White Technology Array. LUMINAIRE OUTPUT = 594 LMS.
[LAMP] Cree LED

Maximum Candela = 392.3 at 0 H 0 V

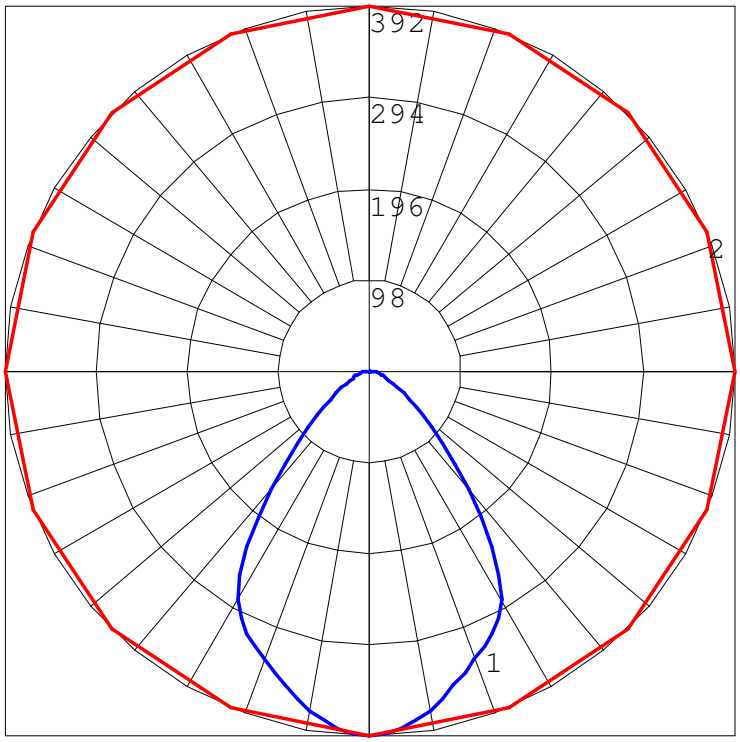
Classification:

Road Classification: Type VS, Very Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 62
Indoor Classification: Direct
BUG Rating : B1-U0-G0

Polar Candela Curves:

Vertical Plane Through:
1) 0 - 180 Horizontal

Horizontal Cone Through:
2) 0 Vertical



Photometric Report (Type C)

Filename: F4_CR6-625L LED Downlight IES Files.IES
[TEST] 11646-G
[TESTLAB] Cree Inc. - Durham Technology Center
[ISSUEDATE] 9/26/2012
[MANUFAC] Cree Lighting - Recessed Downlight
[LUMCAT] ECO-575L (CR6Y)
[LUMINAIRE] With Flat Diffused Plastic Lens and White Trim
[LAMPCAT] True White Technology Array. LUMINAIRE OUTPUT = 594 LMS.
[LAMP] Cree LED

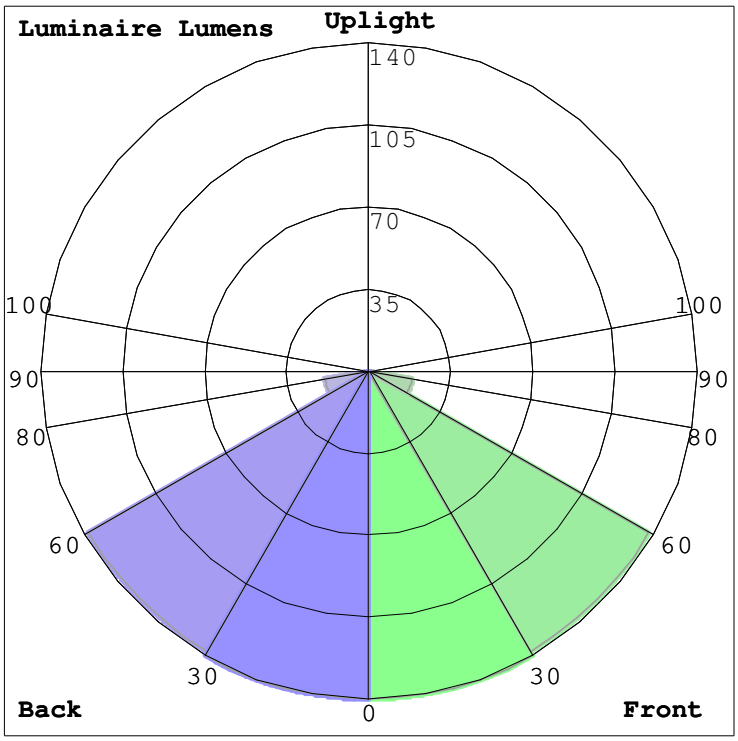
Maximum Candela = 392.3 at 0 H 0 V

Classification:

Road Classification: Type VS, Very Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 62
Indoor Classification: Direct
BUG Rating : B1-U0-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	139.6	N.A.	23.5
FM (30-60)	137.6	N.A.	23.1
FH (60-80)	18.9	N.A.	3.2
FVH (80-90)	1.4	N.A.	0.2
BL (0-30)	139.6	N.A.	23.5
BM (30-60)	137.6	N.A.	23.1
BH (60-80)	18.9	N.A.	3.2
BVH (80-90)	1.4	N.A.	0.2
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	595.0	N.A.	100.0
BUG Rating	B1-U0-G0		



lumière

DESCRIPTION

Eon 303 - B1 and 303 - B2 are compact, low profile, dimmable, LED bollards that provide downlight only via a fixed head. 303 - B1 has a single head on one side of the luminaire and 303 - B2 has two, integrated heads coming off opposite sides of the luminaire. 303 - B1 and 303 - B2 come standard with universal input LED drivers (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. Our patented LumaLevelTM leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

		Type
Catalog #		F5
Project	The Glen	
Comments		Date
Prepared by		

SPECIFICATION FEATURES

A ... Material

Head is precision-machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and mounting base is cast from corrosion resistant silicone aluminum alloy.

B ... Finish

Fixture and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Mounting base is painted black. Fixture housing and head are available in a variety of standard colors. In addition to the standard five colors offered by Lumiere, the Eon bollards are also available in colors to match other outdoor Cooper brands, such as Invue. See the Finish section in the ordering detail for more information.

C ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LIT option: when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brigher line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

D ... Adjustable Mounting Base

Cast aluminum mounting base is equipped with the patented LumaLevelTM leveling system that includes mounting chassis, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. It provides quick installation, easy adjustment, secure mounting and protection from vibration.

E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

F ... Electrical

Both models come standard with universal input LED drivers (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable.

G ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. 303 - B1 comes standard with two mini lightbars and 303 - B2 comes standard with four mini lightbars.

H ... Labels & Approvals

UL and cUL listed, standard wet label. IP66 rated.

I ... Warranty

Lumiere warrants it's fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

EON

303-B1 / 303-B2

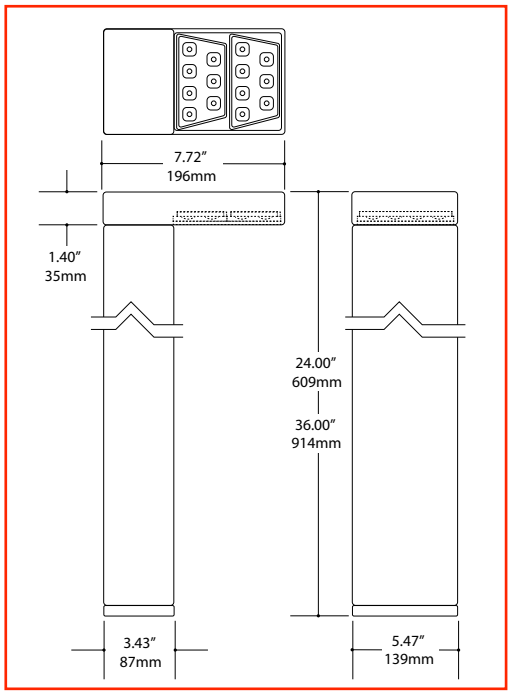
15.5 W LED
31 W LED

LED

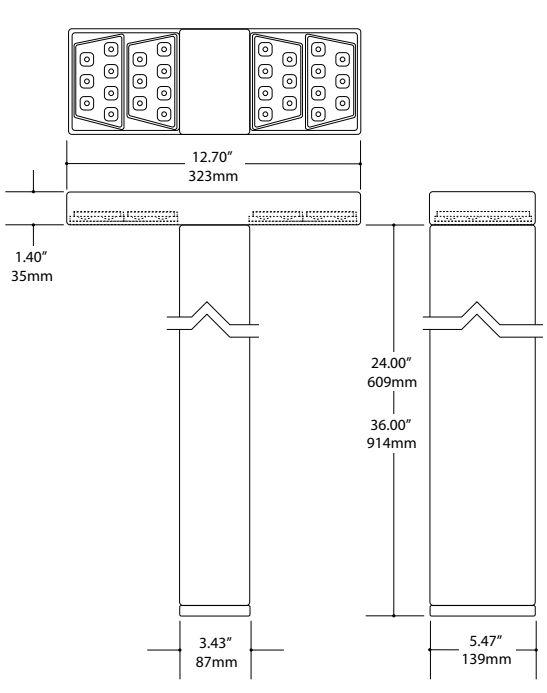
BOLLARD

IP66

303-B1



303-B2



Specification and Dimensions subject to change without notice.

Consult your representative for additional options and finishes.

LED INFORMATION

LED	Watts	Distribution	Total Lumens	CRI	°K	Life (hrs.)	Volts
LEDB2 - 2700 - T2	15.5	Type II - Lateral Throw	725	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T4	15.5	Type IV - Forward Throw	709	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T5X	15.5	Type V - Flood	626	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T2	15.5	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T4	15.5	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T5X	15.5	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T2	15.5	Type II - Lateral Throw	1209	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T4	15.5	Type IV - Forward Throw	1181	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T5X	15.5	Type V - Flood	1044	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T2	31	Type II - Lateral Throw	1436	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T4	31	Type IV - Forward Throw	1410	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T5X	31	Type V - Flood	1247	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T2	31	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T4	31	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T5X	31	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T2	31	Type II - Lateral Throw	2393	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T4	31	Type IV - Forward Throw	2350	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T5X	31	Type V - Flood	2078	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)

NOTES AND FORUMULAS

- Apply appropriate light loss factors where necessary.
- Photometry is LM-79 compliant.

ORDERING INFORMATION

Sample Number: 303 - B1 - LEDB1 - 3000 - UNV - T2 - BZ

Series
303-B1 = LED single head bollard
303-B2 = LED dual head bollard

Quantity of Mini Lightbars
LEDB2 = Light Emitting Diode, Rev B., Two Mini Lightbar (B1 only)
LEDB4 = Light Emitting Diode, Rev B., Four Mini Lightbars (B2 only)

Color Temperature
2700 = 2700K
3000 = 3000K
4000 = 4000K

Input Voltage
UNV = Universal 120 - 277V, 50/60Hz

Optics
T2 = Type II, Lateral Throw
T4 = Type IV, Forward Throw
T5X = Type V, Extra Wide Flood
Consult factory for other optics

Dimming
DIMELV = Trailing Edge Phase Dimming Driver

Finish
Painted
BK = Black
BZ = Bronze
CS = City Silver
VE = Verde
WT = White
AP = Grey (Invue)
DP = Dark Platinum (Invue)
GM = Graphite Metallic (Invue)

Height
24 = 24" Height
36 = 36" Height

Options
EDGE = Edgelit Clear Tempered Glass Lens

Specification and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.

Photometric Report (Type C)

Filename: 303-B1-T4.IES
[TEST] ITL73544
[TESTLAB] INDEPENDENT TESTING LABORATORIES, INC.
[ISSUEDATE] 07/09/12
[MANUFAC] COOPER LIGHTING - LUMIERE
[LUMCAT] 303-B1 TYPE IV
[LUMINAIRE] FABRICATED BLACK PAINTED METAL LOWER
HOUSING, CAST BLACK PAINTED METAL OPTICAL ASSEMBLY
CONSISTING OF 2 OPPOSING LIGHT HEADS, EACH LIGHT HEAD CONSISTING OF: CAST METAL CIRCUIT BOARD MO
[LAMP] FOURTEEN WHITE LIGHT EMITTING DIODES (LEDS)
EACH WITH CLEAR HEMISPHERICAL INTEGRAL LENS, VERTICAL
BASE-UP POSITION.

Maximum Candela = 743 at 46 H 65 V

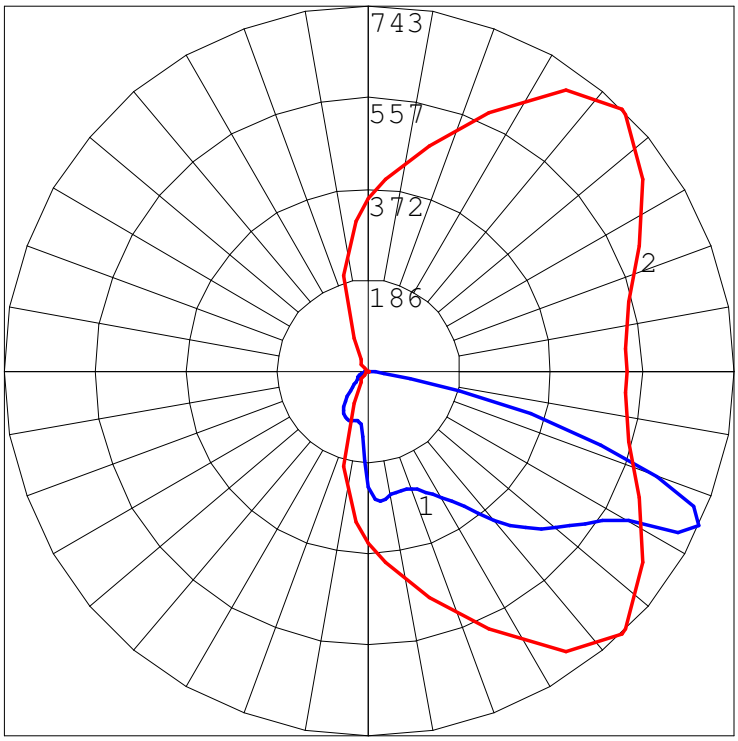
Classification:

Road Classification: Type IV, Short, N.A. (deprecated)
Upward Wast Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 76
Indoor Classification: Direct
BUG Rating : B0-U0-G0

Polar Candela Curves:

Vertical Plane Through:
1) 46 - 226 Horizontal

Horizontal Cone Through:
2) 65 Vertical



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Road Classification: Type IV, Short, N.A. (deprecated)
Upward Waste Light Ratio: 0.00
Luminaire Efficacy Rating (LER): 76
Indoor Classification: Direct
BUG Rating : B0-U0-G0

LCS Summary:

LCS Zone	Lumens	%Lamp	%Lum
FL (0-30)	111.3	N.A.	9.4
FM (30-60)	467.5	N.A.	39.6
FH (60-80)	401.3	N.A.	34.0
FVH (80-90)	8.8	N.A.	0.7
BL (0-30)	46.0	N.A.	3.9
BM (30-60)	95.6	N.A.	8.1
BH (60-80)	48.6	N.A.	4.1
BVH (80-90)	1.4	N.A.	0.1
UL (90-100)	0.0	N.A.	0.0
UH (100-180)	0.0	N.A.	0.0
Total	1180.5	N.A.	100.0
BUG Rating	B0-U0-G0