



Location
1924-1926 Tarragon Drive

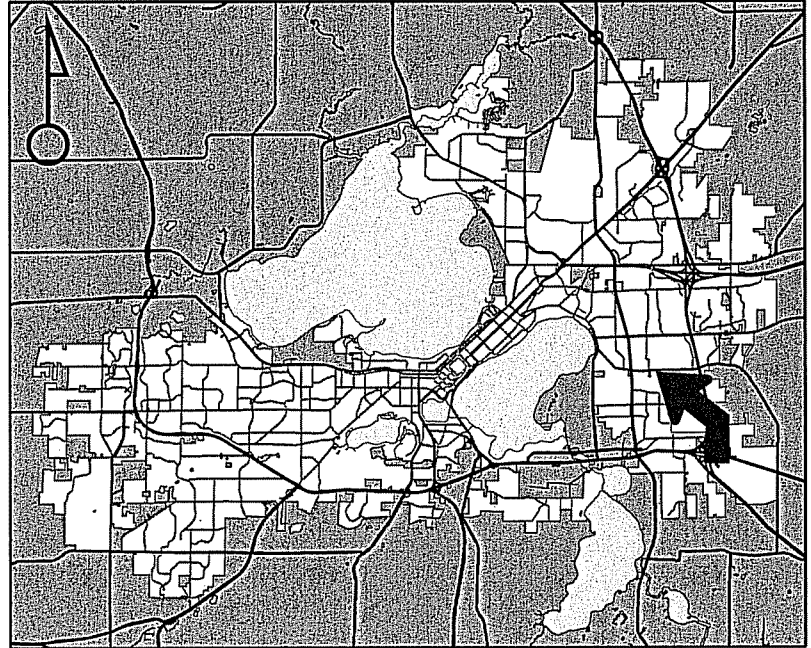
Project Name
Buckeye Meadows Condominiums

Applicant
Buckeye Meadows Condo Association/
James Dresen

Existing Use
Vacant land

Proposed Use
Construct two-family-twin residence

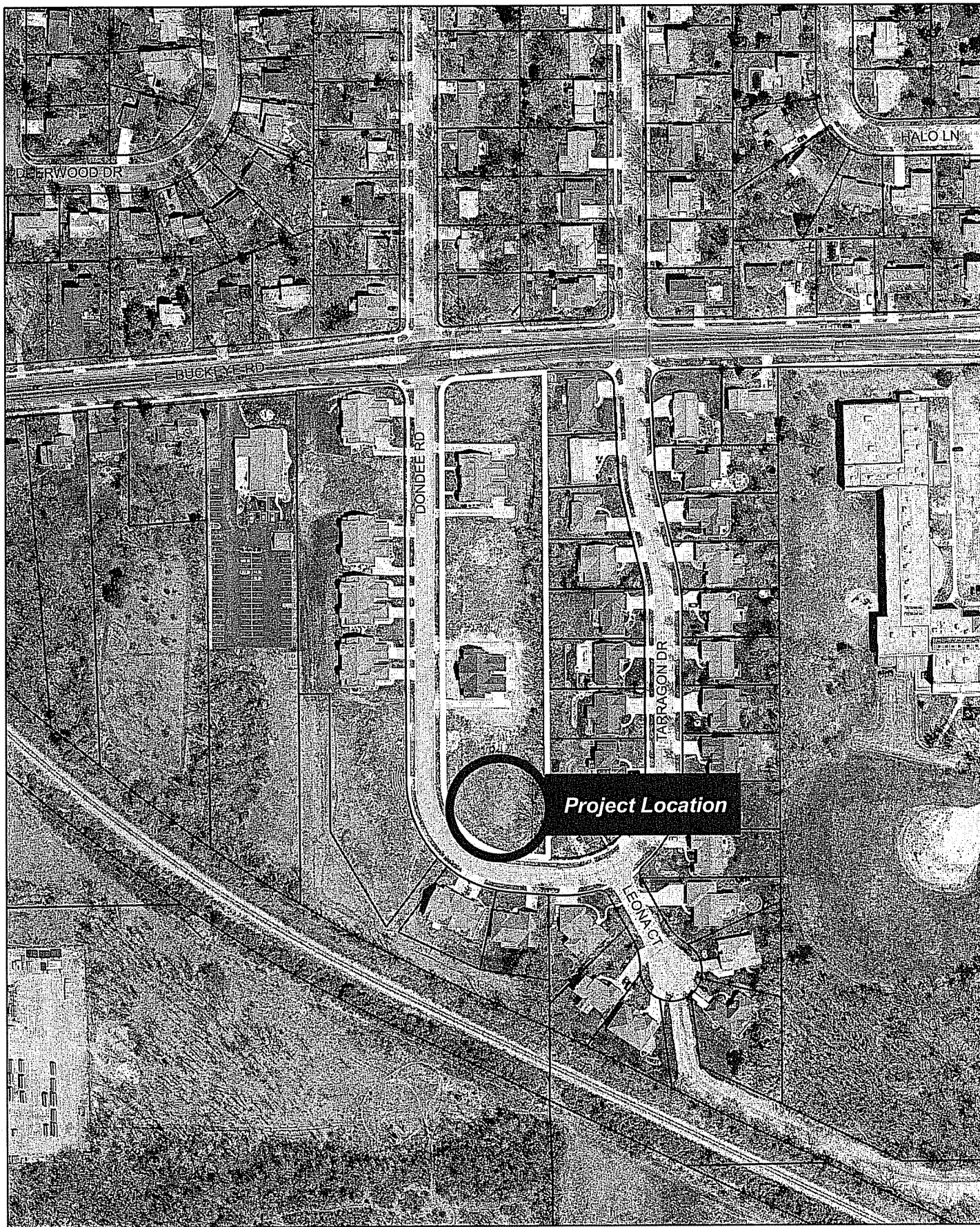
Public Hearing Date
Plan Commission
09 February 2015



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid \$600 Receipt No. 1601101
 Date Received 12/17/14
 Received By JLK
 Parcel No. 0710-152-1514-0
 Aldermanic District 14 Denise Demaree
 Zoning District SR-C3
 Special Requirements Hold BIPDA
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 1924-1926 TARRAGON DR. LOT 7
Project Title (if any): BUCKEYE MEADOWS CONDOMINIUMS

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JAMES + MARY JO DRESEN Company: _____
 Street Address: 5113 MELINDA DR City/State: MADISON, WI Zip: 53716
 Telephone: (608) 221-1718 Fax: () Email: JDRESEN51@GMAIL.COM

Project Contact Person: JAMES DRESEN Company: _____
 Street Address: 5113 MELINDA DR City/State: MADISON, WI Zip: 53716
 Telephone: (608) 221-1718 Fax: () Email: JDRESEN51@GMAIL.COM

Property Owner (if not applicant): Buckeye Meadows Condo Association
 Street Address: 1822 Dundee Rd City/State: MADISON, WI Zip: 53716
Judy Kuehlinger President

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: TWIN HOME / DUPLEX

Development Schedule: Commencement SPRING 2015 Completion SUMMER 2015

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

ALDER DENISE DEMARS & BULKEPE NEIGHBORHOOD ASSOC. 12-2-14 & 12-9-14

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: TIM PARKS Date: 12-3-14 Zoning Staff: MATT TUCKER Date: 12-3-14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant JAMES DRESEN Relationship to Property: OWNER

Authorizing Signature of Property Owner [Signature] Date 12-12-14 8

12-16-14

*City of Madison Zoning
City of Madison Plan Commission*

Conditional Use Application

**James and Mary Jo Dresen
1924-1926 Tarragon Dr
Lot 7 Buckeye Meadows Condominiums**

Letter of Intent:

It is our intention to construct a two-family twin dwelling on a lot platted for two-family residences as part of the approved and ongoing implementation of the Buckeye Meadows development. The applicant for this conditional use request will commence construction as soon as all regulatory approvals have been granted. Each side of the duplex will have approximately 1757 SF finished on first floor with potential for another 962 SF finished on the Lower level. Lot coverage is 33.9% (impervious area 6312 SF / overall lot 19011 SF.)

Thank you,

James A Dresen

Faint, illegible text, possibly a signature or stamp.

LEGEND

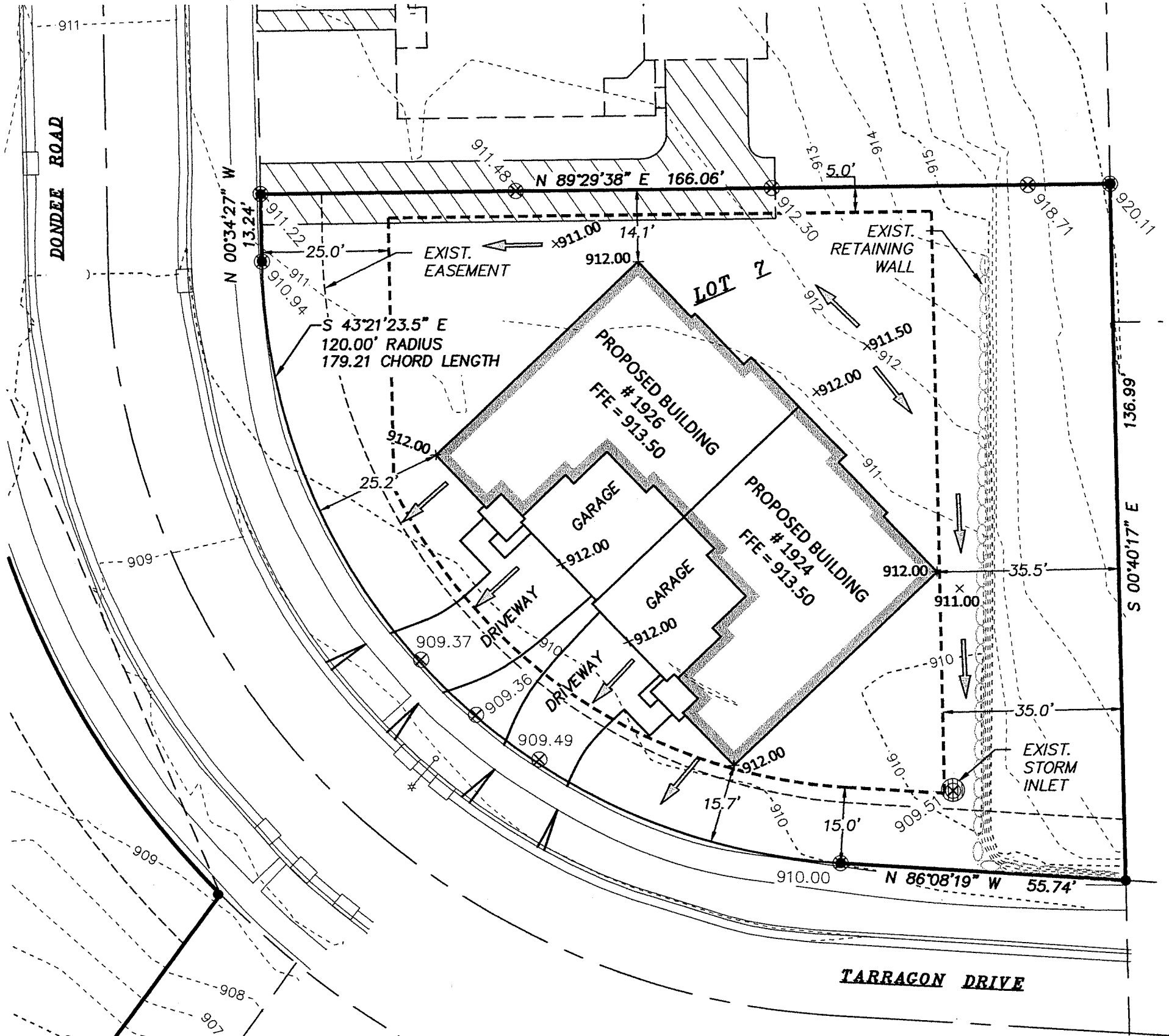
- × 905.00 PROPOSED SPOT ELEVATION
- ⊗ 901.47 EXISTING SPOT ELEVATION
- ← DRAINAGE ARROW
- - - - BUILDING SETBACK LINE
- - - - 12' EXISTING UTILITY EASEMENT

DESCRIPTION:

UNIT 1924 & 1926, BUCKEYE MEADOWS, RECORDED IN THE DANE COUNTY REGISTER OF DEEDS AS DOCUMENT NUMBER 4143116, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

NOTE:

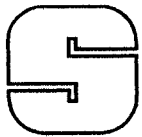
THE LOT COVERAGE AS DEFINED BY SECTION 28.211 OF THE ZONING CODE ON THIS LOT IS 33.2% (IMPERVIOUS AREA 6312 SQ.FT. / OVERALL LOT 19011 SQ.FT.)



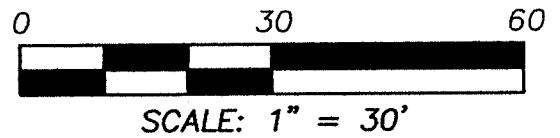
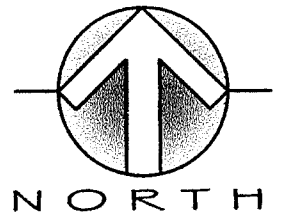
LOT 7 PROPOSED GRADING AND DRAINAGE PLAN

FRONT SETBACK AREA CALCULATIONS

A	25' FRONT YARD SETBACK AREA	2,853 SQ. FT.
B	DRIVEWAY AREA WITHIN 25' FRONT YARD SETBACK (25'X17')	794 SQ. FT.
C	25' FRONT YARD SETBACK IMPERVIOUS AREA (B/A)	27.8% COVERAGE



SNYDER & ASSOCIATES
 Engineers and Planners
 5010 Voges Road
 Madison, Wisconsin 53718
 608-838-0444



P:\PROJECTS\B\BMC01-Buckeye\DESIGN\Grading Plan Lot 7.dwg

LEGEND

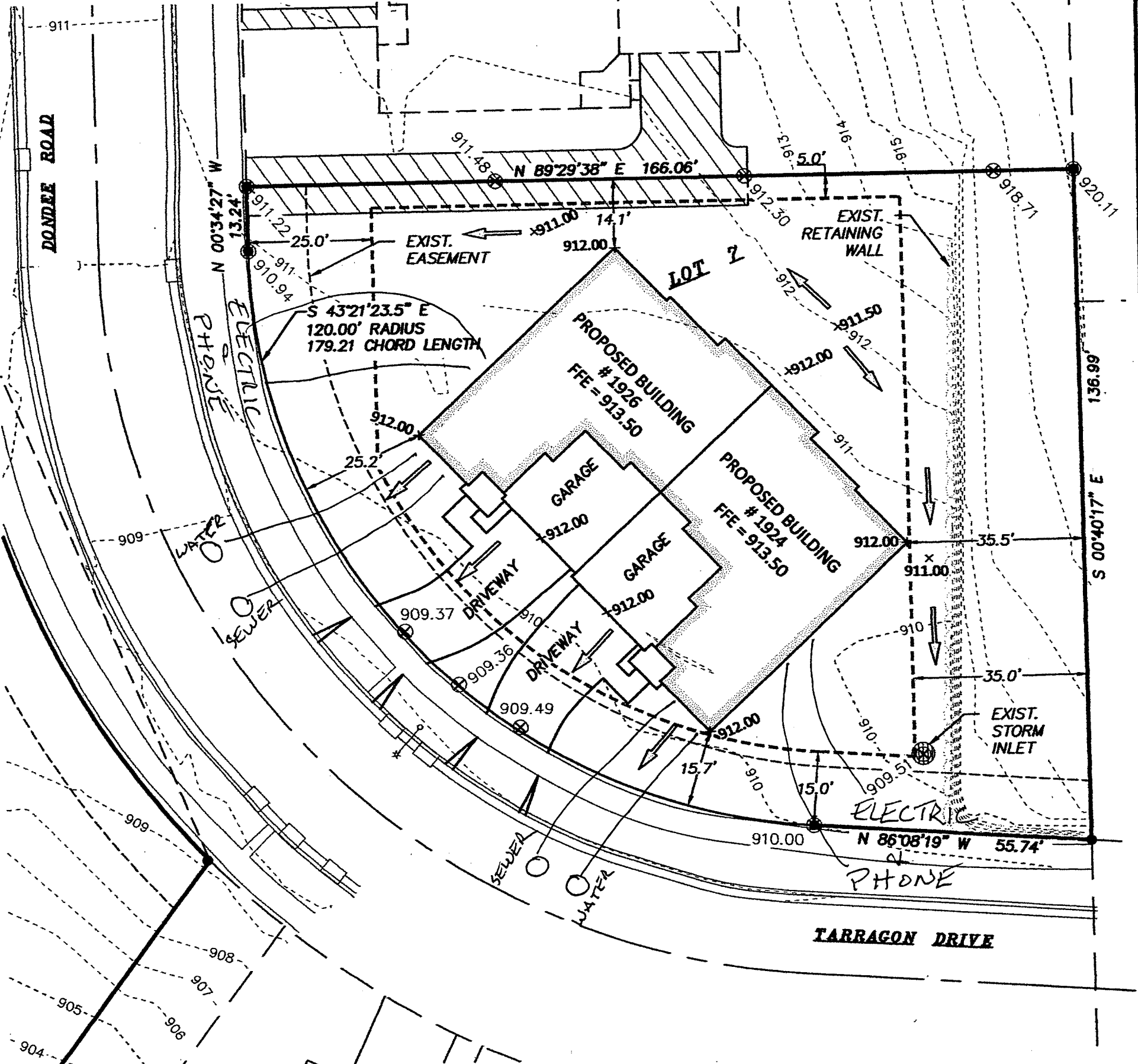
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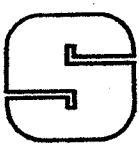
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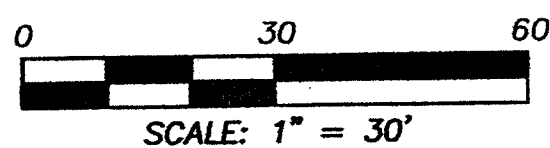
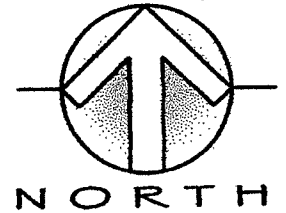


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 Madison, Wisconsin 53718
 608-838-0444

LOT 7 [REDACTED]

FRONT SETBACK AREA CALCULATIONS

A	25' FRONT YARD SETBACK AREA	2,853 SQ. FT.
B	DRIVEWAY AREA WITHIN 25' FRONT YARD SETBACK (25'X17')	794 SQ. FT.
C	25' FRONT YARD SETBACK IMPERVIOUS AREA (B/A)	27.8% COVERAGE



UTILITY

LEGEND

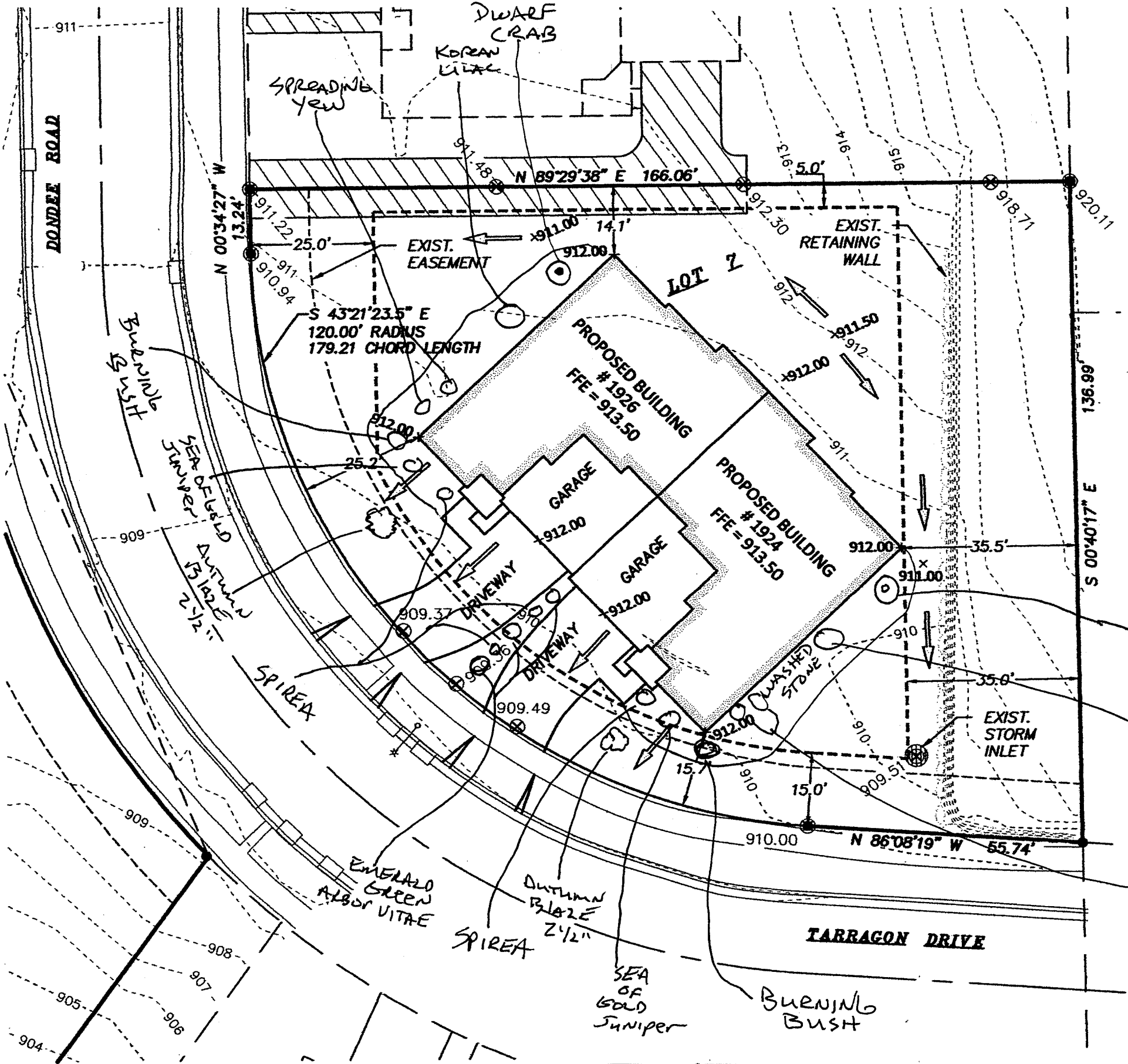
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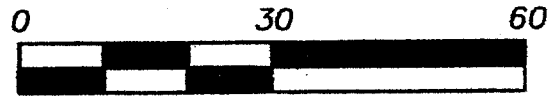
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NORTH



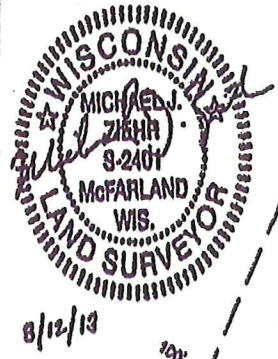
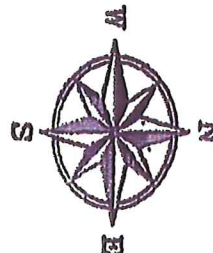
SCALE: 1" = 30'

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Engineers and Planners
5010 Voges Road
Madison, Wisconsin 53718
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LANDSCAPE PLAN

by STOUGHTON GARDEN CO

P:\PROJECTS\B\BMC01-Buckeye\DESIGN\Grading Plan Lot 7.dwg



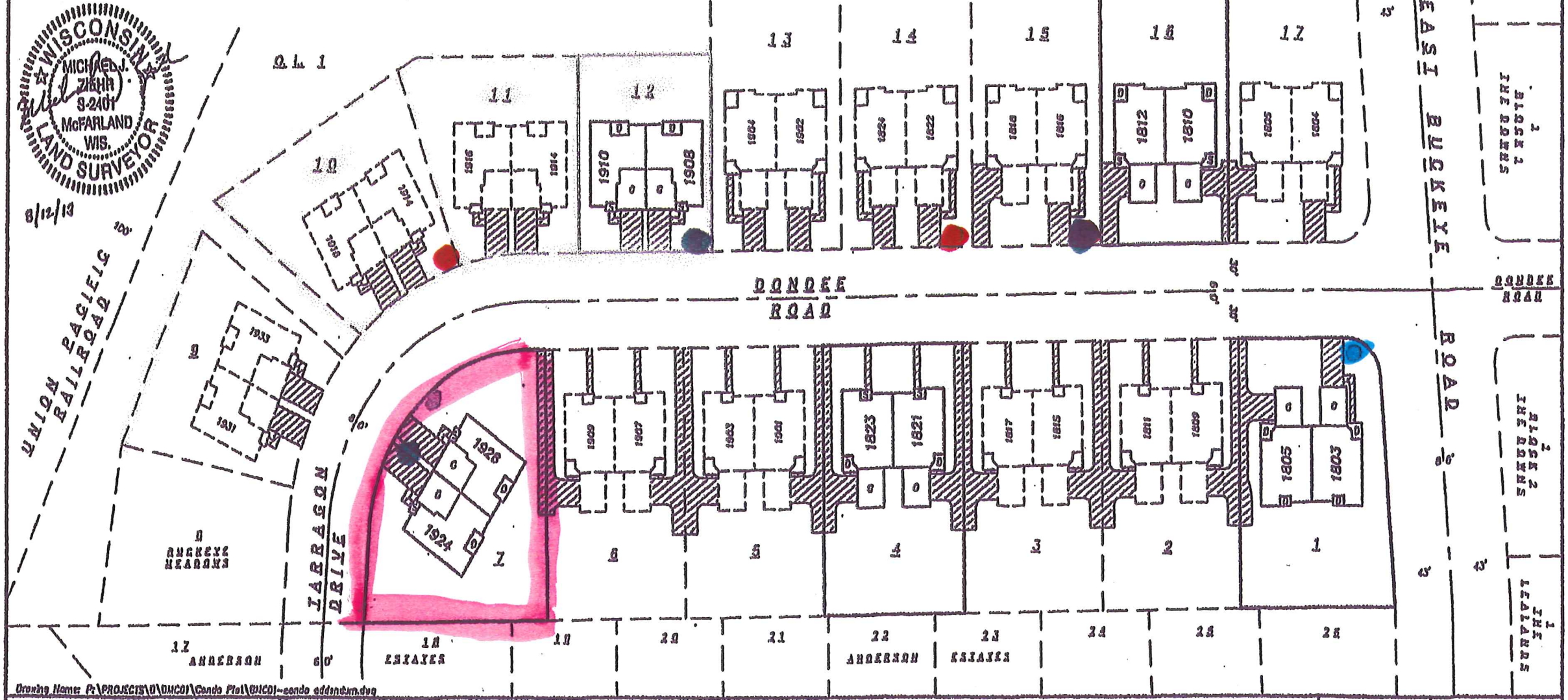
- NOTES:**
1. THE GARAGES ARE PART OF THE UNIT.
 2. THE DECKS/PATIOS ARE LIMITED COMMON ELEMENTS APPURTENANT TO THE UNITS TO WHICH THEY ARE ATTACHED.
 3. THE CONCRETE WALKS/DRIVES ARE LIMITED COMMON ELEMENTS.
 4. EVERYTHING OUTSIDE OF THE UNIT BOUNDARIES AND LIMITED COMMON ELEMENTS ARE COMMON ELEMENTS.

LEGEND

- D DECK/PATIO
- S STOOP
- G GARAGE
- L.C.E. (LIMITED COMMON ELEMENTS)

- NOTES:**
1. For the recorded plat of BUCKEYE MEADOWS, each lot within this plat is subject to a non-exclusive easement for drainage purposes and shall be a minimum of six (6) feet in width measured from the property line to the interior of each lot, except that the easement shall be twelve (12) feet in width on the perimeter of the plat. Easements shall not be required on property lines shared with graveyards or public streets.
 2. For the recorded plat of BUCKEYE MEADOWS, the two black drainage easements shall be graded with the construction of each principal structure in accordance with the approved stormwater drainage plan on file with the city engineer and the zoning administrator, as amended in accordance with the Madison General Ordinance.
 3. For the recorded plat of BUCKEYE MEADOWS, this subdivision is subject to the Subdivision zoning section of Chapter 23 of the Madison General Ordinance. This requirement shall be satisfied by a separate recorded restriction.
 4. For the recorded plat of BUCKEYE MEADOWS, lands south of the railroad are zoned M-1 and will be developed with 3-3 units. Lots on this plat may be subject to rules from this area, or other impacts.
 5. For the recorded plat of BUCKEYE MEADOWS, Garages shall be "atio-located" with shared driveways where possible on lots 1-7, and 8-17.

SITE LAYOUT



Drawing Name: F:\PROJECTS\DMCO\Condo Plat\DMCO-condo addendum.dwg

SNYDER & ASSOCIATES
Engineers and Planners

PREPARED FOR:
BUCKEYE MEADOWS
CONDOMINIUMS
1822 DONDEE ROAD
MADISON, WI 53716

PREPARED BY:
SNYDER & ASSOCIATES, INC.
5010 YOGES ROAD
MADISON, WI 53710
(608) 838-0444
www.snyder-associates.com

**FIRST ADDENDUM TO BUCKEYE MEADOWS
CONDOMINIUMS, A CONDOMINIUM PLAT**

LOTS 1, 4, 7, 12 AND 16, BUCKEYE MEADOWS, AS RECORDED IN VOLUME 58-098B OF PLATS, ON PAGES 499-500, AS DOCUMENT NUMBER 4143116, DANE COUNTY REGISTRY AND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

PK: DMCO
DATE: 08-20-2013

REVISIONS:

**SHEET
2 OF 3**

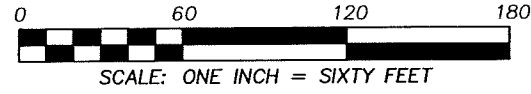
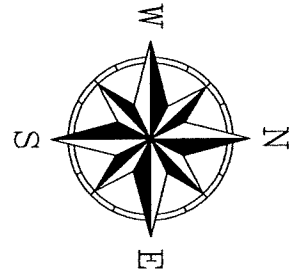
● STREET LIGHT
● FIRE HYDRANT
● STOP SIGN

RECORDING DATA

CERTIFICATE OF REGISTER OF DEEDS

Received for recording this _____ day of _____, 2015, at _____ o'clock _____ M. and recorded in Volume _____ of Condominium Plats, on pages _____, as Doc. No. _____.

Dane County Register of Deeds



NOTES:

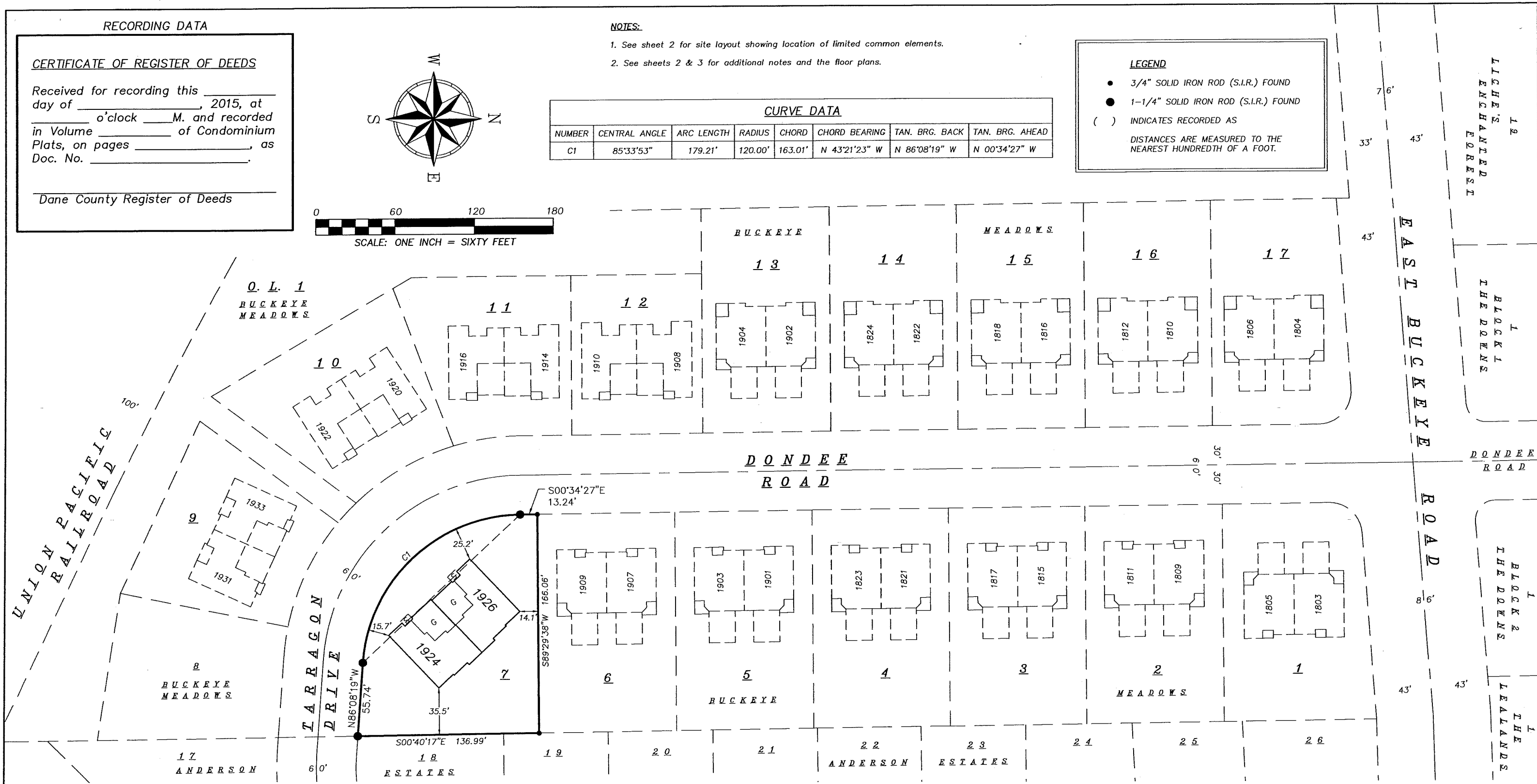
1. See sheet 2 for site layout showing location of limited common elements.
2. See sheets 2 & 3 for additional notes and the floor plans.

CURVE DATA

NUMBER	CENTRAL ANGLE	ARC LENGTH	RADIUS	CHORD	CHORD BEARING	TAN. BRG. BACK	TAN. BRG. AHEAD
C1	85°33'53"	179.21'	120.00'	163.01'	N 43°21'23" W	N 86°08'19" W	N 00°34'27" W

LEGEND

- 3/4" SOLID IRON ROD (S.I.R.) FOUND
 - 1-1/4" SOLID IRON ROD (S.I.R.) FOUND
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.



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SNYDER & ASSOCIATES
Engineers and Planners

PREPARED FOR:

BUCKEYE MEADOWS
CONDOMINIUMS
1822 DONDEE ROAD
MADISON, WI 53716

PREPARED BY:

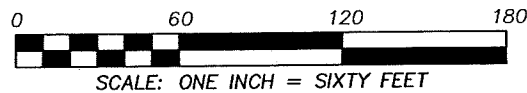
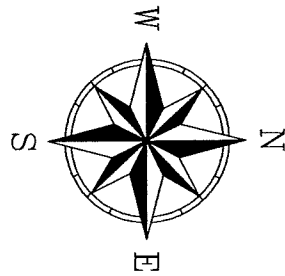
SNYDER & ASSOCIATES, INC.
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**THIRD ADDENDUM TO BUCKEYE MEADOWS
CONDOMINIUMS, A CONDOMINIUM PLAT**

LOT 7, BUCKEYE MEADOWS, AS RECORDED IN VOLUME 58-096B OF PLATS, ON PAGES 499-500, AS DOCUMENT NUMBER 4143116, DANE COUNTY REGISTRY AND LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

FN: BMC01
DATE: 12-01-2014

REVISIONS:



NOTES:

1. THE GARAGES ARE PART OF THE UNIT.
2. THE DECKS/PATIOS ARE LIMITED COMMON ELEMENTS APPURTENANT TO THE UNITS TO WHICH THEY ARE ATTACHED.
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4. EVERYTHING OUTSIDE OF THE UNIT BOUNDARIES AND LIMITED COMMON ELEMENTS ARE COMMON ELEMENTS.

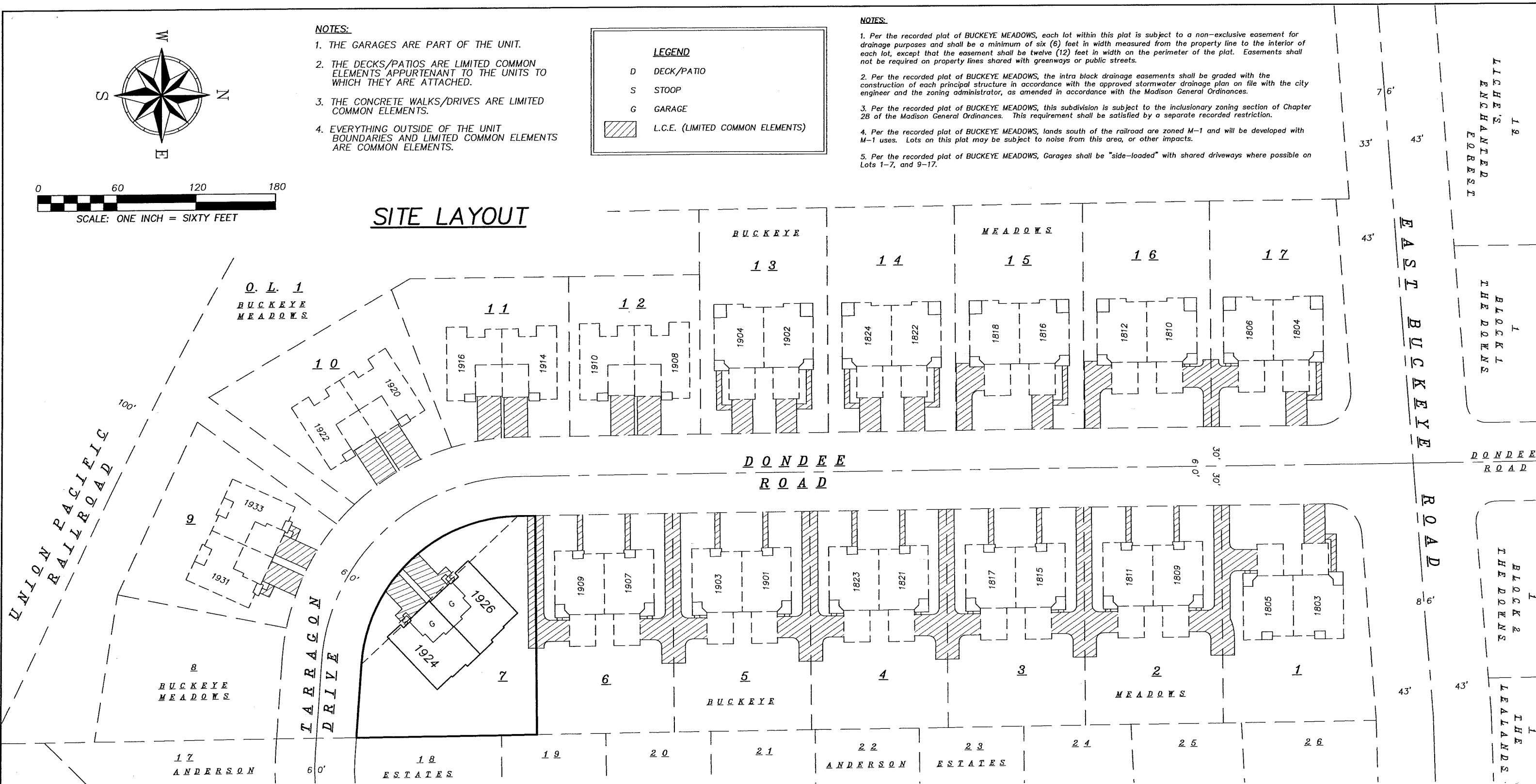
LEGEND

- D DECK/PATIO
- S STOOP
- G GARAGE
- L.C.E. (LIMITED COMMON ELEMENTS)

NOTES:

1. Per the recorded plat of BUCKEYE MEADOWS, each lot within this plat is subject to a non-exclusive easement for drainage purposes and shall be a minimum of six (6) feet in width measured from the property line to the interior of each lot, except that the easement shall be twelve (12) feet in width on the perimeter of the plat. Easements shall not be required on property lines shared with greenways or public streets.
2. Per the recorded plat of BUCKEYE MEADOWS, the intra block drainage easements shall be graded with the construction of each principal structure in accordance with the approved stormwater drainage plan on file with the city engineer and the zoning administrator, as amended in accordance with the Madison General Ordinances.
3. Per the recorded plat of BUCKEYE MEADOWS, this subdivision is subject to the inclusionary zoning section of Chapter 28 of the Madison General Ordinances. This requirement shall be satisfied by a separate recorded restriction.
4. Per the recorded plat of BUCKEYE MEADOWS, lands south of the railroad are zoned M-1 and will be developed with M-1 uses. Lots on this plat may be subject to noise from this area, or other impacts.
5. Per the recorded plat of BUCKEYE MEADOWS, Garages shall be "side-loaded" with shared driveways where possible on Lots 1-7, and 9-17.

SITE LAYOUT



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S **SNYDER & ASSOCIATES**
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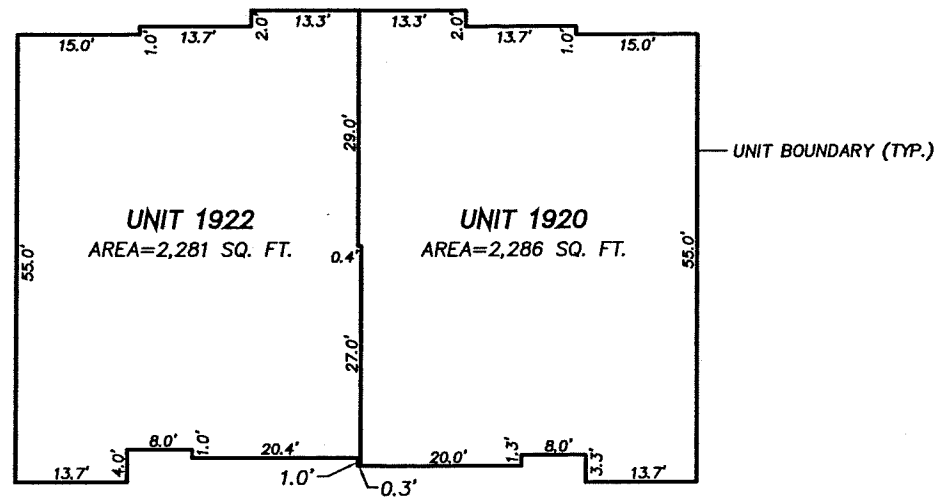
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FN: BMC01
DATE: 12-01-2014

REVISIONS:

SHEET
2 OF 3

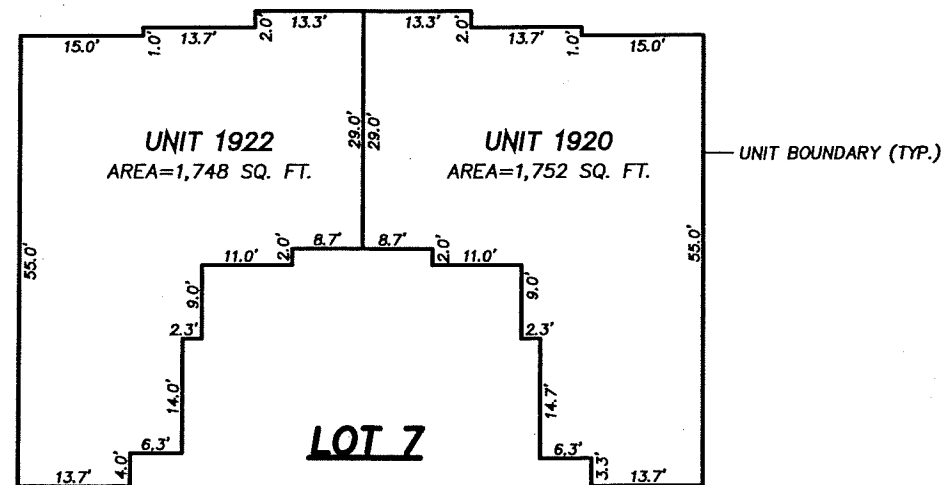


LOT 7

FIRST FLOOR PLANS

SCALE: 1" = 20'

NOTE: Dimensions for floor plans are based upon drawings furnished by the architect to the surveyor.



LOT 7

BASEMENT FLOOR PLANS

SCALE: 1" = 20'

SURVEYOR'S CERTIFICATE

I, Adam R. Gross, Professional Land Surveyor, hereby certify that in full compliance with the provisions of Chapter 703 of the Wisconsin Statutes, I have surveyed and mapped the following described lands:

Lot 7, Buckeye Meadows, as recorded in Volume 58-096B of Plats, on pages 499-500, as Document Number 4143116, Dane County Registry and located in the Southwest Quarter of the Northwest Quarter of Section 15, Township 7 North, Range 10 East, City of Madison, Dane County, Wisconsin.

I further certify that this condominium plat correctly represents the condominium described; that the floor plans are reproduced from plans furnished by the architect; and the location and identification of each unit and the common elements can be determined from the plat.

Dated this _____ day of _____, 2015.

Signed: _____
Adam R. Gross, P.L.S. No. 3017

*There are no objections to this condominium or condominium amendment with respect to Chapter 703 Wis. Stats. and it is hereby approved for recording.

Director of Planning and Community & Economic
Development City of Madison

Date

P:\PROJECTS\B\BMC01-Buckeye\Condo Plat-3rd Addendum\BMC01-3rd addendum.dwg



SNYDER & ASSOCIATES
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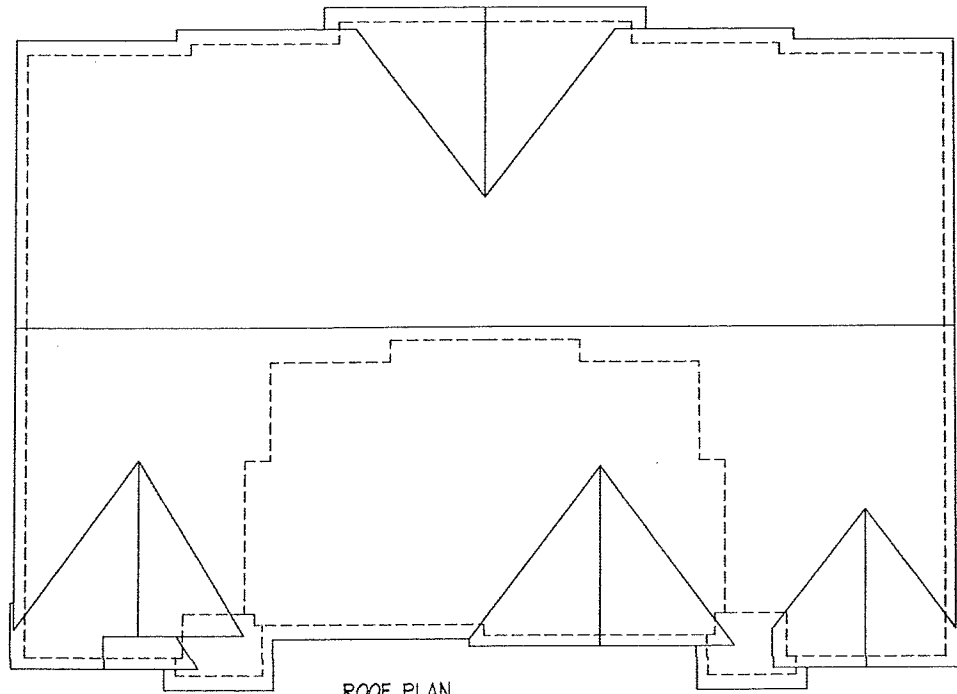
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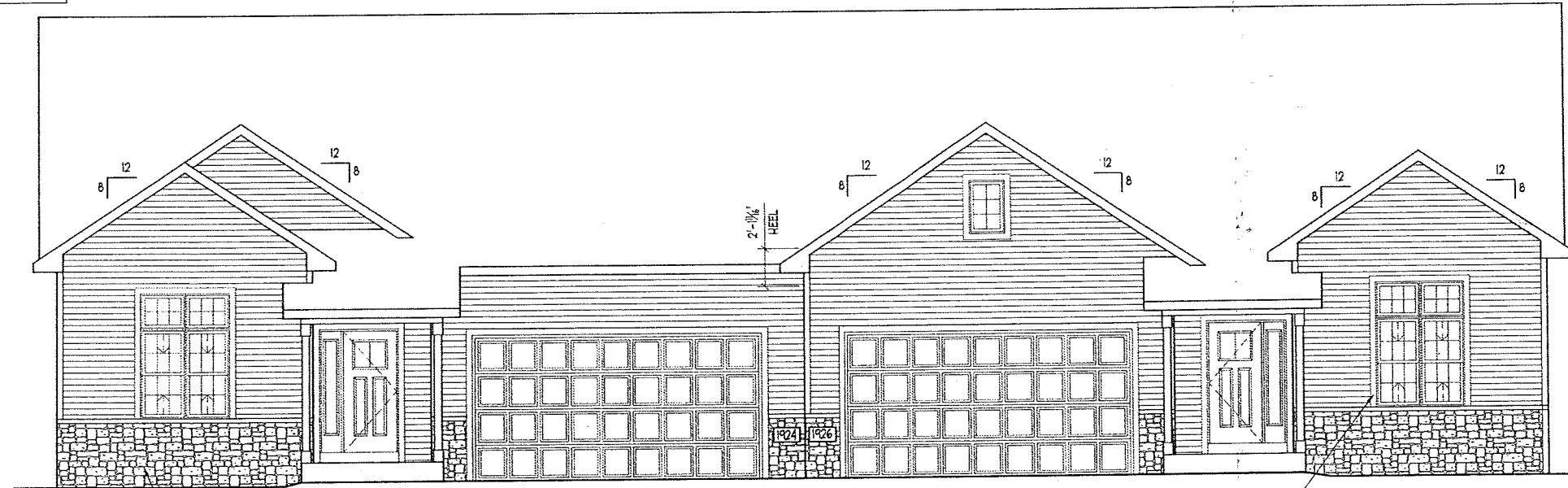
REVISIONS:

**SHEET
3 OF 3**

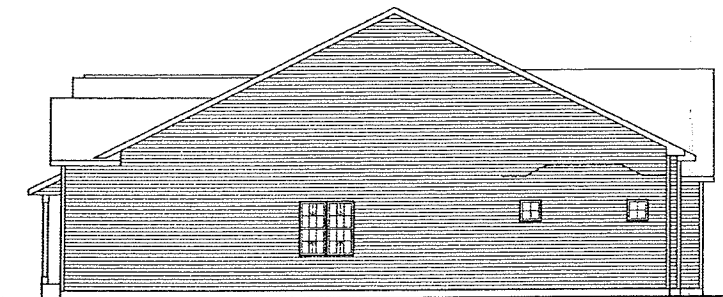


ROOF PLAN
1/8" = 1'-0"

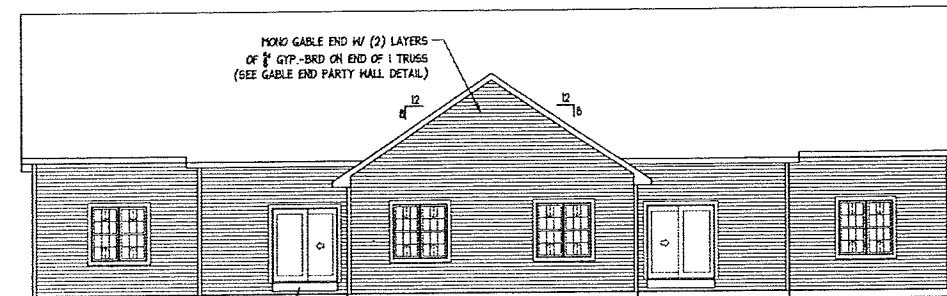
	PITCH	OVERHANG	HEEL
6/12	-	16	- 7"
8/12	-	16	- 7"
8/12	-	16	- 25 1/2" ON FRT GARAGE W/ GABLE END



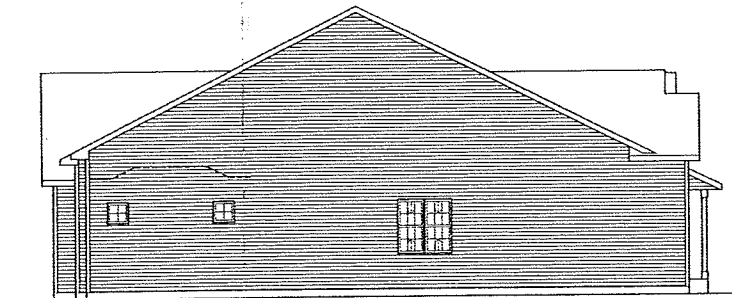
FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"

REVISIONS		CLIENT: DRESEN DUPLEX / TERROGON DRIVE	
NO.	DESCRIPTION	DATE	BY

TITLE:	DATE:	SQ. FEET:	TOTAL SHEET:
	09/12/14		35/34
PRINT #:	DRAWN BY:	SCALE:	PAGE #:
2408-03	FEB	1/4" = 1'-0"	

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 Don Cosgrove, Proprietor
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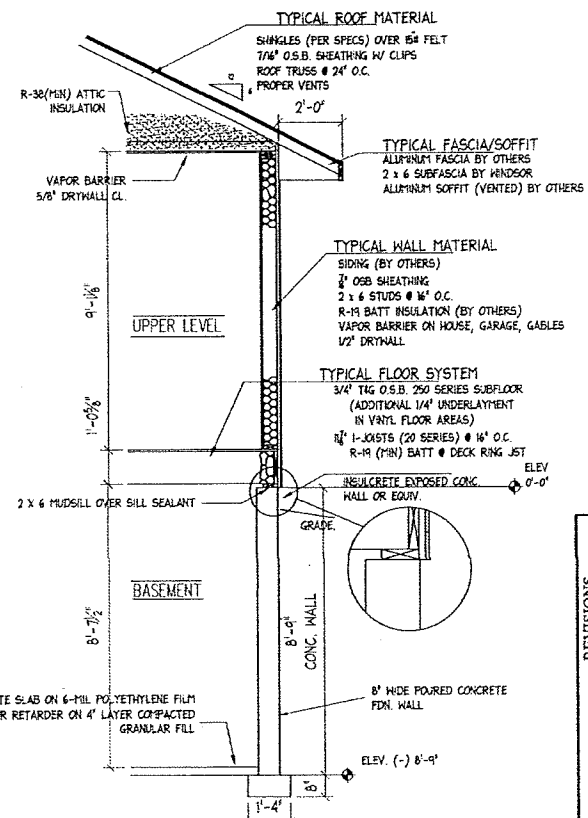
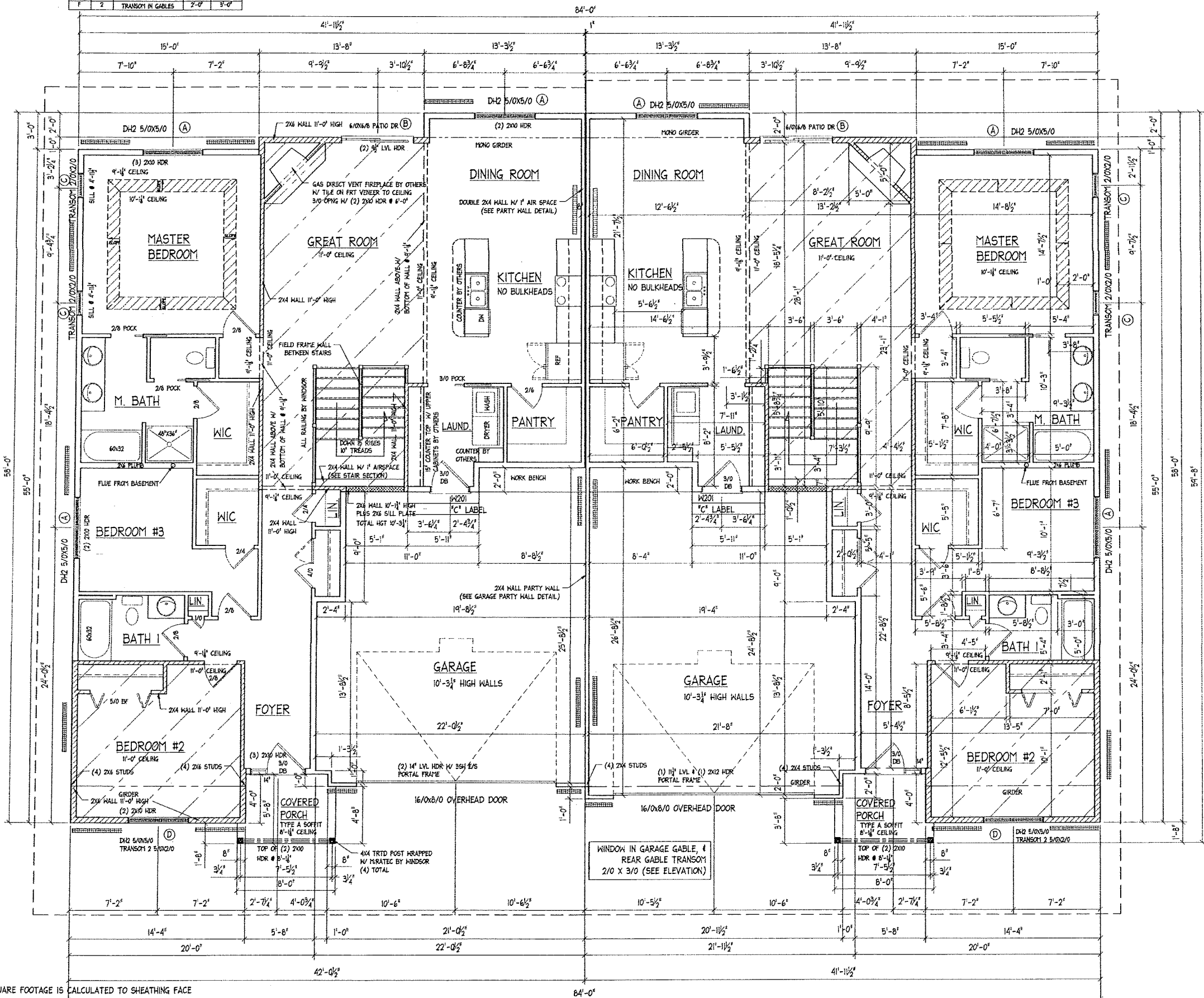
SEP 1 & 2014

ELEVATIONS

WINDOW SCHEDULE			
SYM.	QTY	NAME	R.O. WIDTH HEIGHT
A	6	DOUBLE HUNG THIN	5'-0" 5'-0"
B	2	SLIDING PATIO DR	6'-0" 6'-8"
C	4	TRANSOM	7'-0" 2'-0"
D	2	DOUBLE HUNG W/ TRANSOM	5'-0" 7'-0"
E	4	DOUBLE HUNG THIN IN BASE	5'-0" 4'-4"
F	2	TRANSOM IN GABLES	2'-0" 3'-0"

CONTINUOUSLY BRACED
6' OC & PERIMETER, 12' OC IN FIELD

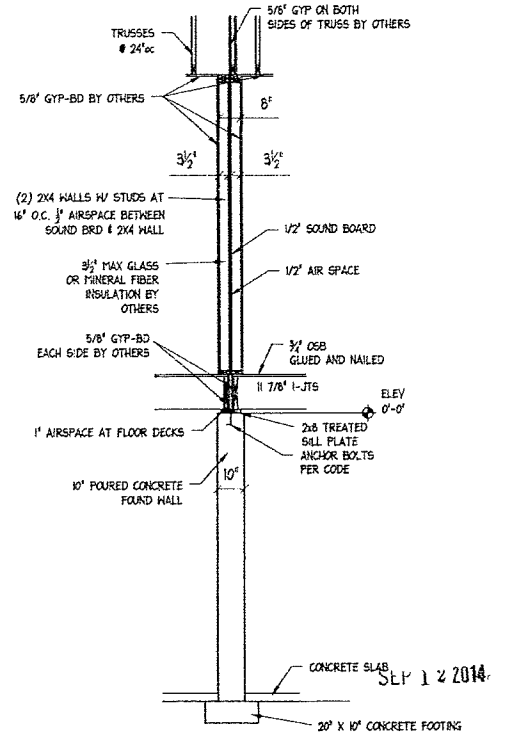
METAL T1 BRACED PANEL
2 NAILS PER STUD



NOTE: REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

NOTE: CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL AND / OR STATE BUILDING CODES.

TYPICAL WALL SECTION
3/8" = 1'-0"



- NOTES:
- FLOOR SQUARE FOOTAGE IS CALCULATED TO SHEATHING FACE
 - EXTERIOR DIMENSIONS ARE TO STUD FACE UNLESS NOTED, INTERIOR DIMENSIONS ARE TO STUD FACE
 - WALL INSULATION BY OTHERS - AMWOOD TO INSULATE CORNERS AND TUB/SHOWER AREAS
 - LOAD-BEARING DOOR AND WINDOW HEADERS TO BE (2) 2x10 #2 & BTR SPF UNLESS NOTED

FLOOR PLAN UNIT 1
1757 SQ. FT. 1/4" = 1'-0"

EXTERIOR DIMENSIONS ARE TO STUD FACE

FLOOR PLAN UNIT 2
1757 SQ. FT. 1/4" = 1'-0"

UNIT 1 1757 SQ. FT.
UNIT 2 1757 SQ. FT.
TOTAL 3514 SQ. FT.

REVISIONS	
DATE	DESCRIPTION

CLIENT: DRESSEN DUPLEX / TERRACON DRIVE

TITLE: 09/22/14 TOTAL 3514

DATE: 09/22/14

SCALE: 1/4" = 1'-0"

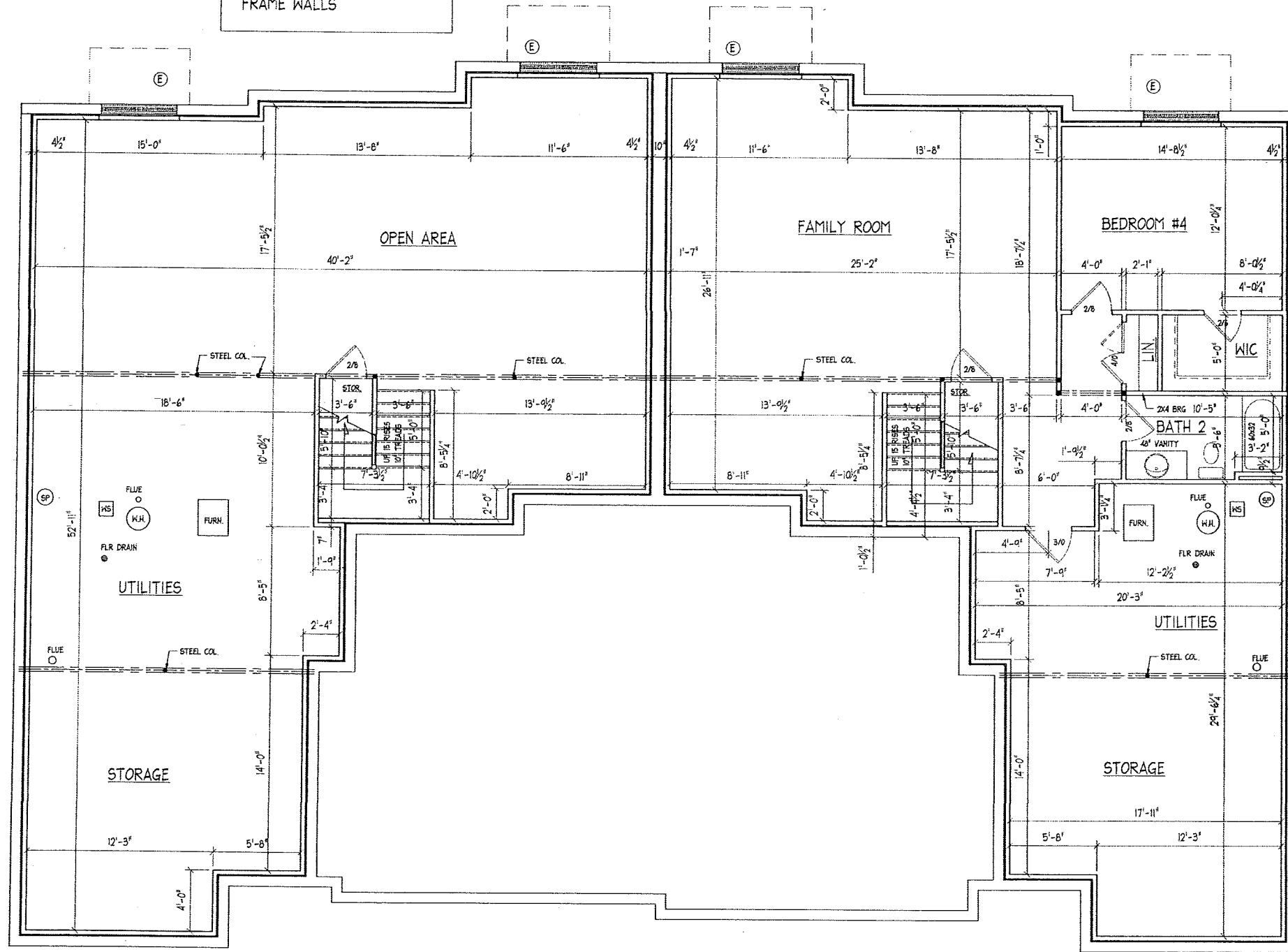
PRINT # 2408-03

FLB 1/4" = 1'-0"

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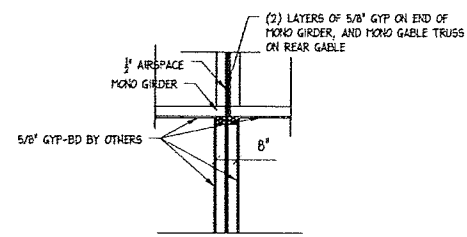
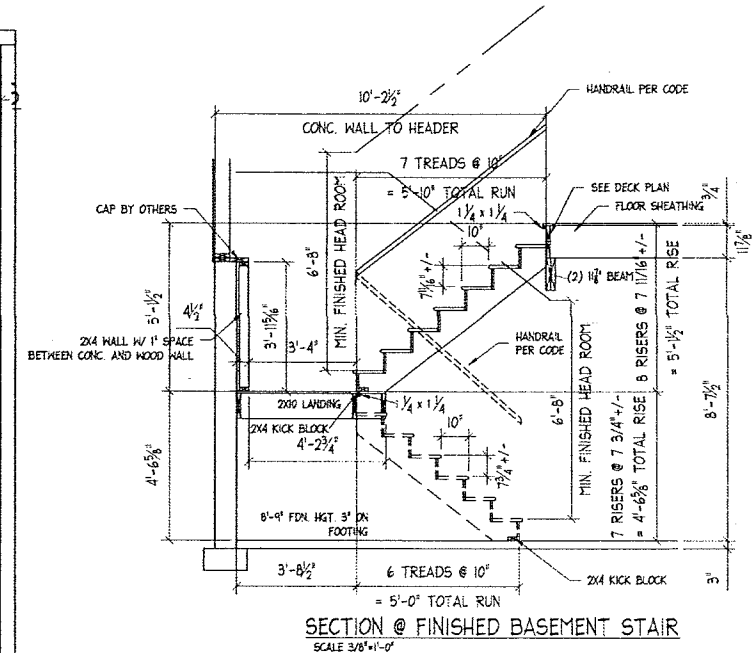
Commercial
Apartments
Homes

NOTE: ALL INTERIOR WALLS,
INTERIOR TRIM BY WINDSOR,
SEND MATERIAL LOOSE FIELD
FRAME WALLS



UNIT 1 UNFINISHED LOWER LEVEL

UNIT 2 FINISHED LOWER LEVEL
962 SQ. FT.



GABLE END ROOF TRUSS
PARTY WALL DETAIL
3/8" x 1'-0"

REVISIONS		CLIENT: DRESEN DUPLEX / TERROCON DRIVE	
DATE	BY	DATE	DESCRIPTION

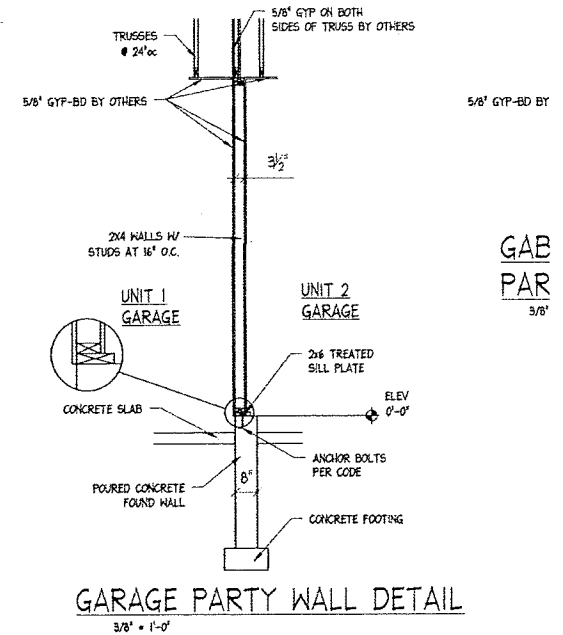
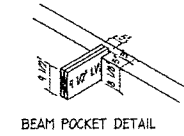
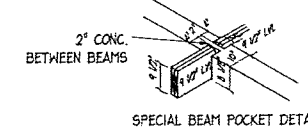
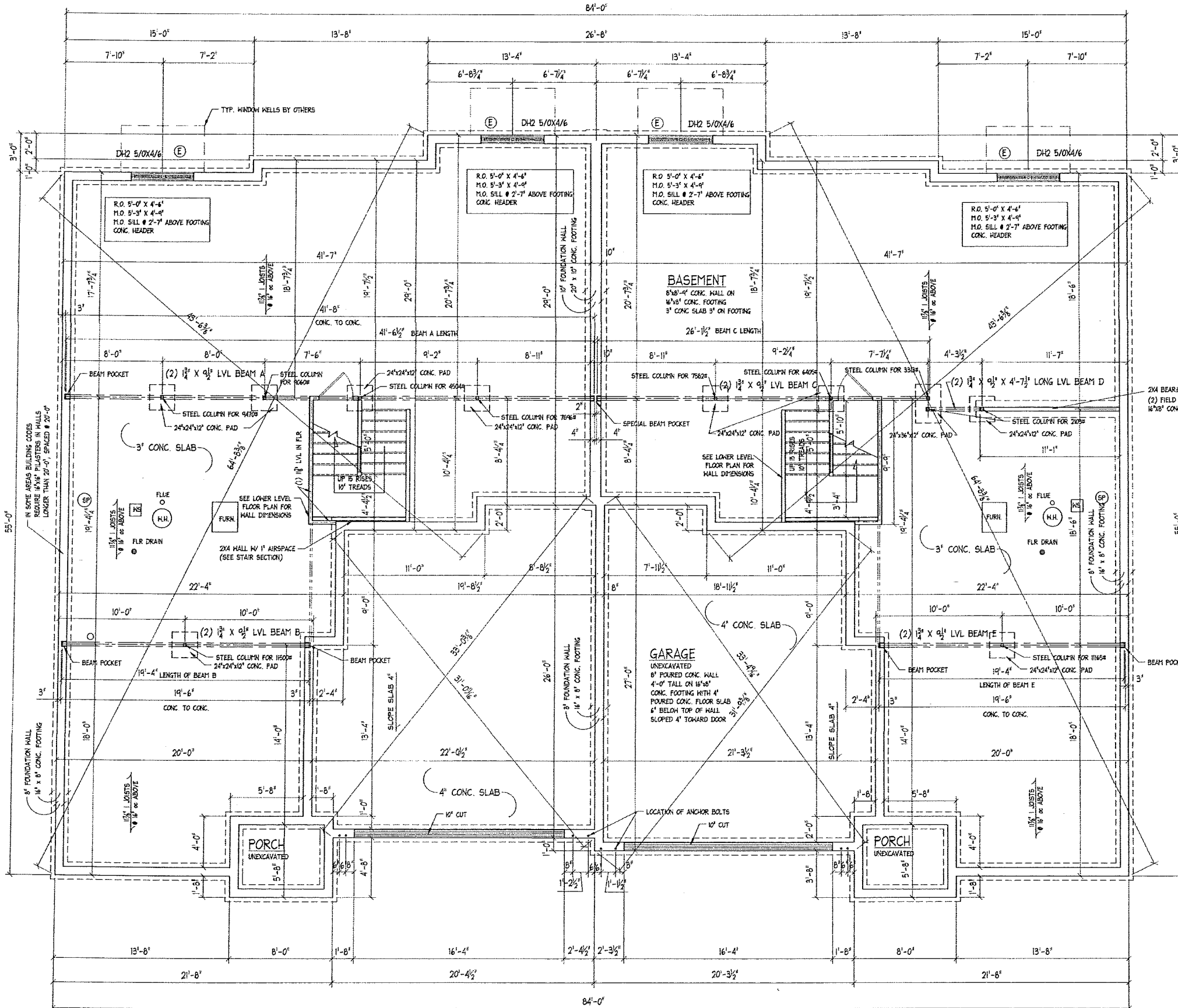
TITLE:	DATE:	SQ. FEET:	TOTAL:
	09/27/14		3514
PRINT #:	DRAWN BY:	SCALE:	PAGE #:
2408-03	FLB	1/4" = 1'-0"	

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SEP 18 2014

EXTERIOR DIMENSIONS ARE TO STUD FACE



NOTES:

- 1) BASEMENT WINDOWS OTHER THAN NOTED, TO BE SIZED AND LOCATED BY BUILDER
- 2) CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL, AND/OR STATE BUILDING CODES.
- 3) REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

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SIZE PAD 2000#	UP TO WT.
240x412 CONC. PAD	7400#
30x30x12 CONC. PAD	1500#
36x36x12 CONC. PAD	1600#
42x42x14 CONC. PAD	22000#
48x48x18 CONC. PAD	27600#

REVISIONS	DESCRIPTION

CLIENT: DRESEN DUPLEX / TERRACON DRIVE	DATE: 09/12/14	SQ. FEET TOTAL 9514
TITLE:	DATE: 09/12/14	TOTAL 9514
PRINT#: 2408-03	DRAWN BY: SCALE: F.L.B 1/4" = 1'-0"	PAGE #: 1

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