



# City of Madison Fire Department

314 W Dayton Street, Madison, WI 53703-2506  
 Phone: 608-266-4420 • Fax: 608-267-1100 • E-mail: [fire@cityofmadison.com](mailto:fire@cityofmadison.com)

**Project Address:** 6706 & 6714 Odana Road

**Contact Name & Phone #:** Kevin Burow, Knothe & Bruce Architects, 608-836-3690

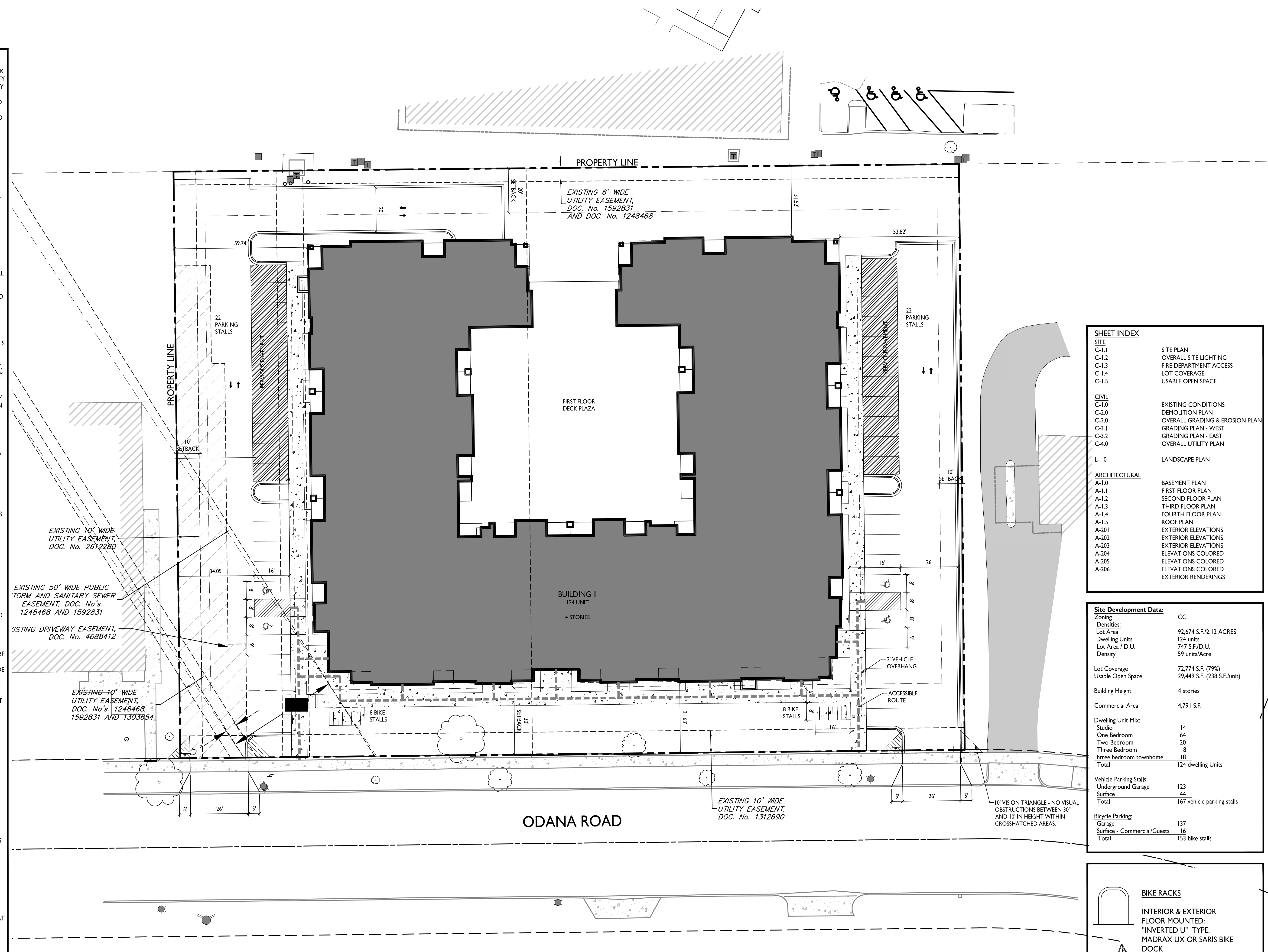
## FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

1. Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? <b>If non-sprinklered</b> , fire lanes extend to within 150-feet of all portions of the exterior wall? <b>If sprinklered</b> , fire lanes are within 250-feet of all portions of the exterior wall?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input type="checkbox"/> N/A
2. Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? a) Is the fire lane a minimum unobstructed width of at least 20-feet? b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? c) Is the minimum inside turning radius of the fire lane at least 28-feet? d) Is the grade of the fire lane not more than a slope of 8%? e) Is the fire lane posted as fire lane? (Provide detail of signage.) f) Is a roll-able curb used as part of the fire lane? (Provide detail of curb.) g) Is part of a sidewalk used as part of the required fire lane? (Must support +85,000 lbs.)	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
3. Is the fire lane obstructed by security gates or barricades? If yes: a) Is the gate a minimum of 20-feet clear opening? b) Is an approved means of emergency operations installed, key vault, padlock or key switch?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
4. Is the Fire lane dead-ended with a length greater than 150-feet? If yes, does the area for turning around fire apparatus comply with IFC D103?	<input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/A
5. Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 3206.6 If yes, see IFC 3206.6 for further requirements.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A
6. Is any part of the building <u>greater than 30-feet</u> above the grade plane? If yes, answer the following questions: a) Is the aerial apparatus fire lane parallel to one entire side of the building and covering at least 25% of the perimeter? b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? d) Are there any tree canopies expected to grow across the aerial fire lane? (Based on mature canopy width of tree species) e) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? f) Is the space between the aerial lane and the building free of trees exceeding 20' in heights?	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A
7. Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? <i>Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.</i> a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? b) Is there at least 40' between a hydrant and the building? c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? <i>Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.</i>	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Yes <input type="checkbox"/> Yes	<input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input type="checkbox"/> No <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A <input type="checkbox"/> N/A

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on **MGO 34.503** and **IFC 2015 Edition Chapter 5 and Appendix D**; please see the codes for further information.

- GENERAL NOTES:**
- THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  - ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ON CITY STREETS, AND ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  - ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
  - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE:  
CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM
  - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
  - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
  - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
  - STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
  - AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.
  - APPROVAL OF PLANS FOR THIS PROJECT DOES NOT INCLUDE ANY APPROVAL TO PRUNE, REMOVE, OR PLANT TREES IN THE PUBLIC RIGHT-OF-WAY. PERMISSION FOR SUCH ACTIVITIES MUST BE OBTAINED FROM THE CITY FORESTER (266-4816).
  - THE PUBLIC RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME. NO ITEMS SHOWN ON THIS SITE PLAN IN THE RIGHT-OF-WAY ARE PERMANENT AND MAY NEED TO BE REMOVED AT THE APPLICANT'S EXPENSE UPON NOTIFICATION BY THE CITY.

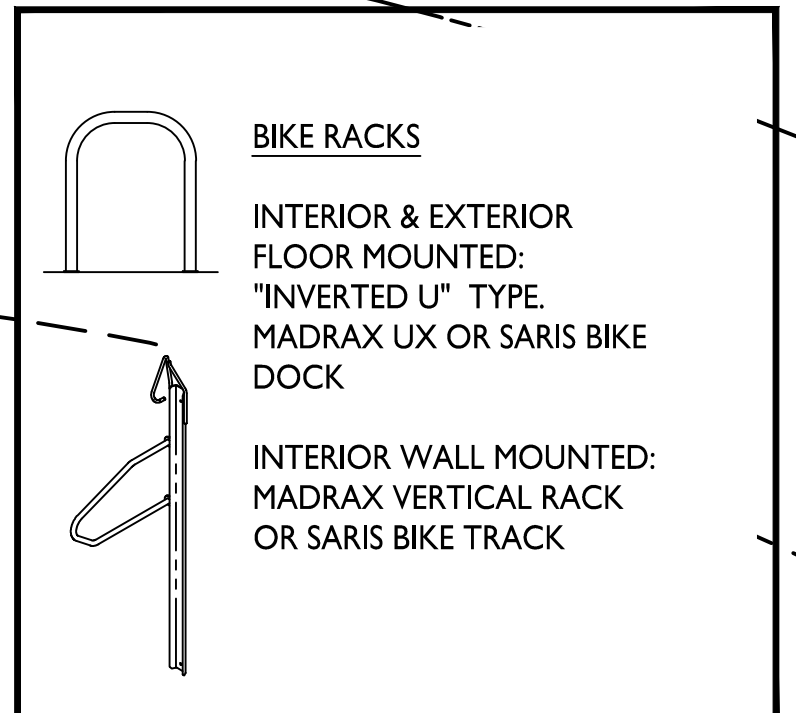


**SHEET INDEX**

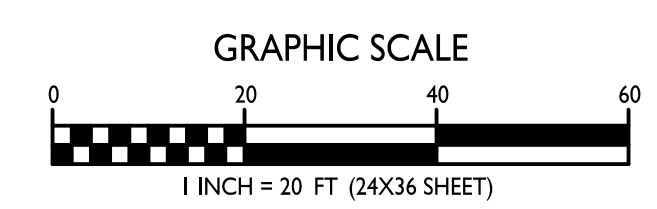
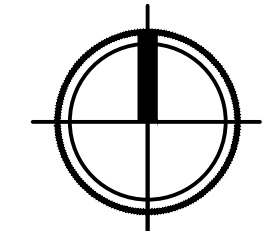
SITE	
C-1.1	SITE PLAN
C-1.2	OVERALL SITE LIGHTING
C-1.3	FIRE DEPARTMENT ACCESS
C-1.4	LOT COVERAGE
C-1.5	USABLE OPEN SPACE
CIVIL	
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C-2.0	DEMOLITION PLAN
C-3.0	OVERALL GRADING & EROSION PLAN
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C-3.2	GRADING PLAN - EAST
C-4.0	OVERALL UTILITY PLAN
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L-1.0	LANDSCAPE PLAN
ARCHITECTURAL	
A-1.0	BASEMENT PLAN
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A-1.2	SECOND FLOOR PLAN
A-1.3	THIRD FLOOR PLAN
A-1.4	FOURTH FLOOR PLAN
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A-2.01	EXTERIOR ELEVATIONS
A-2.02	EXTERIOR ELEVATIONS
A-2.03	EXTERIOR ELEVATIONS
A-2.04	ELEVATIONS COLORED
A-2.05	ELEVATIONS COLORED
A-2.06	ELEVATIONS COLORED
A-2.06	EXTERIOR RENDERINGS

**Site Development Data:**

Zoning	CC
Densities:	
Lot Area	92,674 S.F./2.12 ACRES
Dwelling Units	124 units
Lot Area / D.U.	747 S.F./D.U.
Density	59 units/Acre
Lot Coverage	72,774 S.F. (79%)
Usable Open Space	29,449 S.F. (38 S.F./unit)
Building Height	4 stories
Commercial Area	4,791 S.F.
Dwelling Unit Mix:	
Studio	14
One Bedroom	64
Two Bedroom	20
Three Bedroom	8
htree bedroom townhome	18
Total	124 dwelling Units
Vehicle Parking Stalls:	
Underground Garage	123
Surface	44
Total	167 vehicle parking stalls
Bicycle Parking:	
Garage	137
Surface - Commercial/Guests	16
Total	153 bike stalls



**I SITE PLAN**  
C-1.1 1" = 20'-0"





**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave., Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use Submittal - September 26, 2022

PROJECT TITLE  
**Odana Road  
Site Concept**

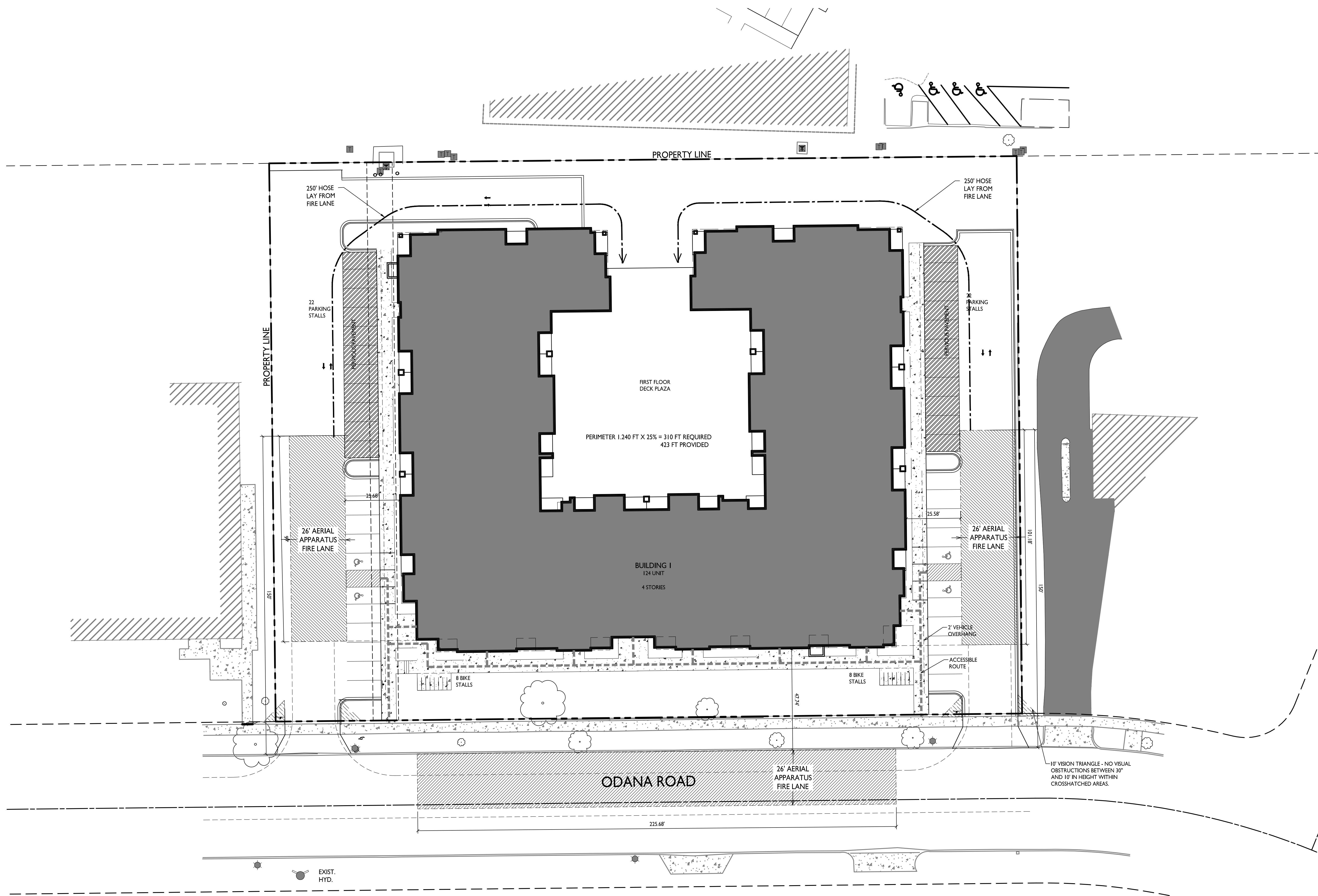
**Northpointe  
Development**

Odana Rd, Madison  
SHEET TITLE  
**Fire Department  
Access Plan**

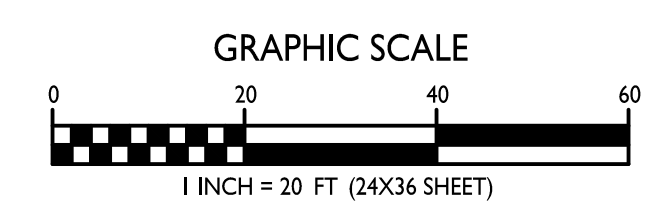
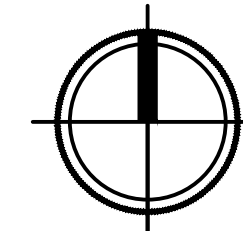
SHEET NUMBER

**C-1.3**

PROJECT NO. **2233**  
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**FIRE DEPARTMENT ACCESS PLAN**  
C-1.3 1" = 20'-0"



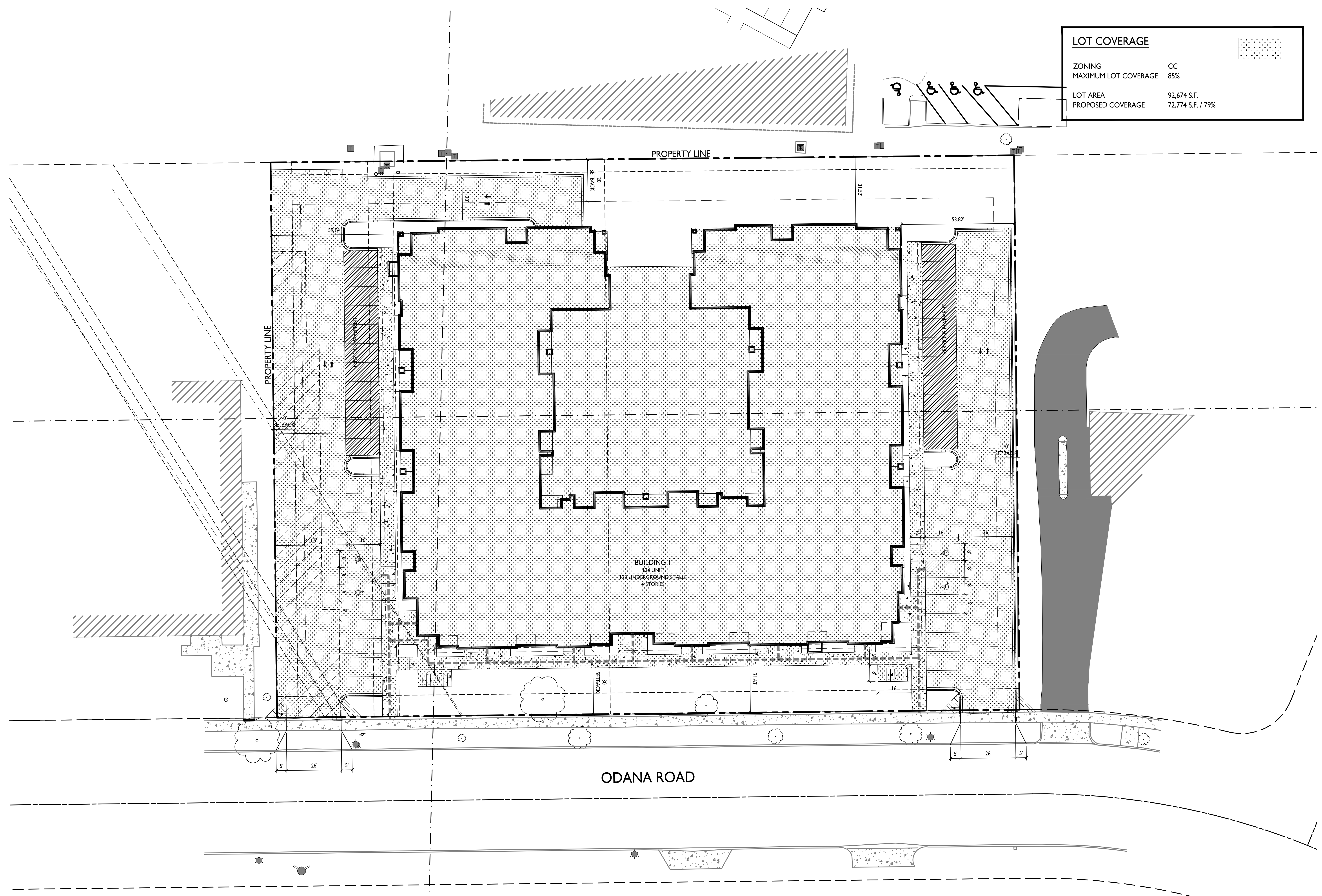




**knothe • bruce**  
ARCHITECTS

Phone: 7601 University Ave., Ste 201  
608.836.3690 Middleton, WI 53562

LOT COVERAGE	
ZONING	CC
MAXIMUM LOT COVERAGE	85%
LOT AREA	92,674 S.F.
PROPOSED COVERAGE	72,774 S.F. / 79%



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PROJECT TITLE  
**Odana Road  
Site Concept**  
  
Northpointe  
Development

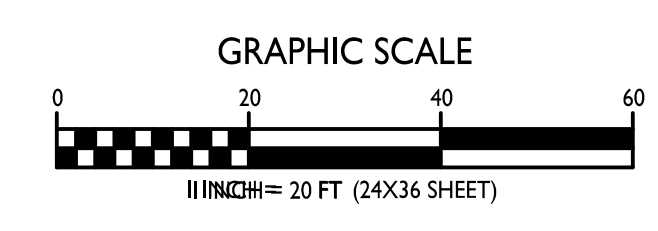
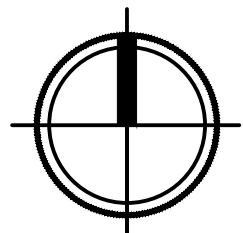
Odana Rd, Madison  
SHEET TITLE  
**Lot Coverage**

SHEET NUMBER

**C-1.4**

PROJECT NO. **2233**  
© Knothe & Bruce Architects, LLC

**LOT COVERAGE**  
1  
C-1.4 1" = 40'-0"



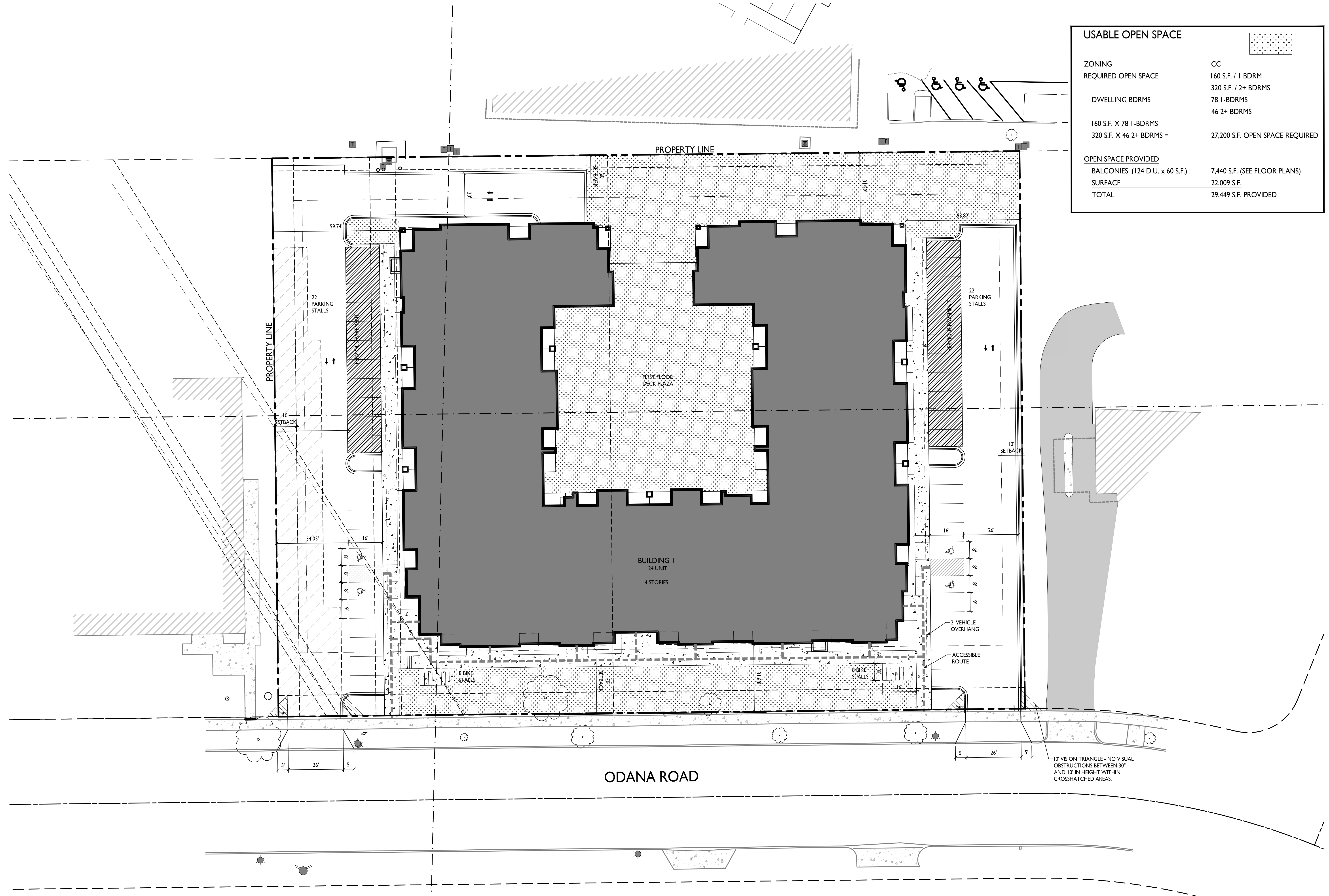




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ARCHITECTS

Phone: 7601 University Ave., Ste 201  
608.836.3690 Middleton, WI 53562

USABLE OPEN SPACE	
ZONING	CC
REQUIRED OPEN SPACE	160 S.F. / 1 BDRM 320 S.F. / 2+ BDRMS
DWELLING BDRMS	78 1-BDRMS 46 2+ BDRMS
160 S.F. X 78 1-BDRMS	
320 S.F. X 46 2+ BDRMS =	27,200 S.F. OPEN SPACE REQUIRED
OPEN SPACE PROVIDED	
BALCONIES (124 D.U. x 60 S.F.)	7,440 S.F. (SEE FLOOR PLANS)
SURFACE	22,009 S.F.
TOTAL	29,449 S.F. PROVIDED



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PROJECT TITLE  
**Odana Road  
Site Concept**

Northpointe  
Development

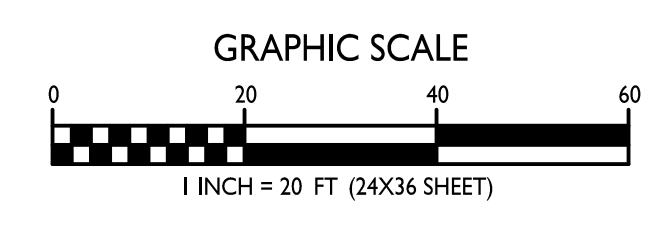
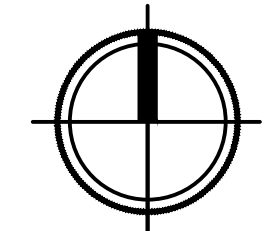
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SHEET TITLE  
**Usable Open  
Space**

SHEET NUMBER

**C-1.5**

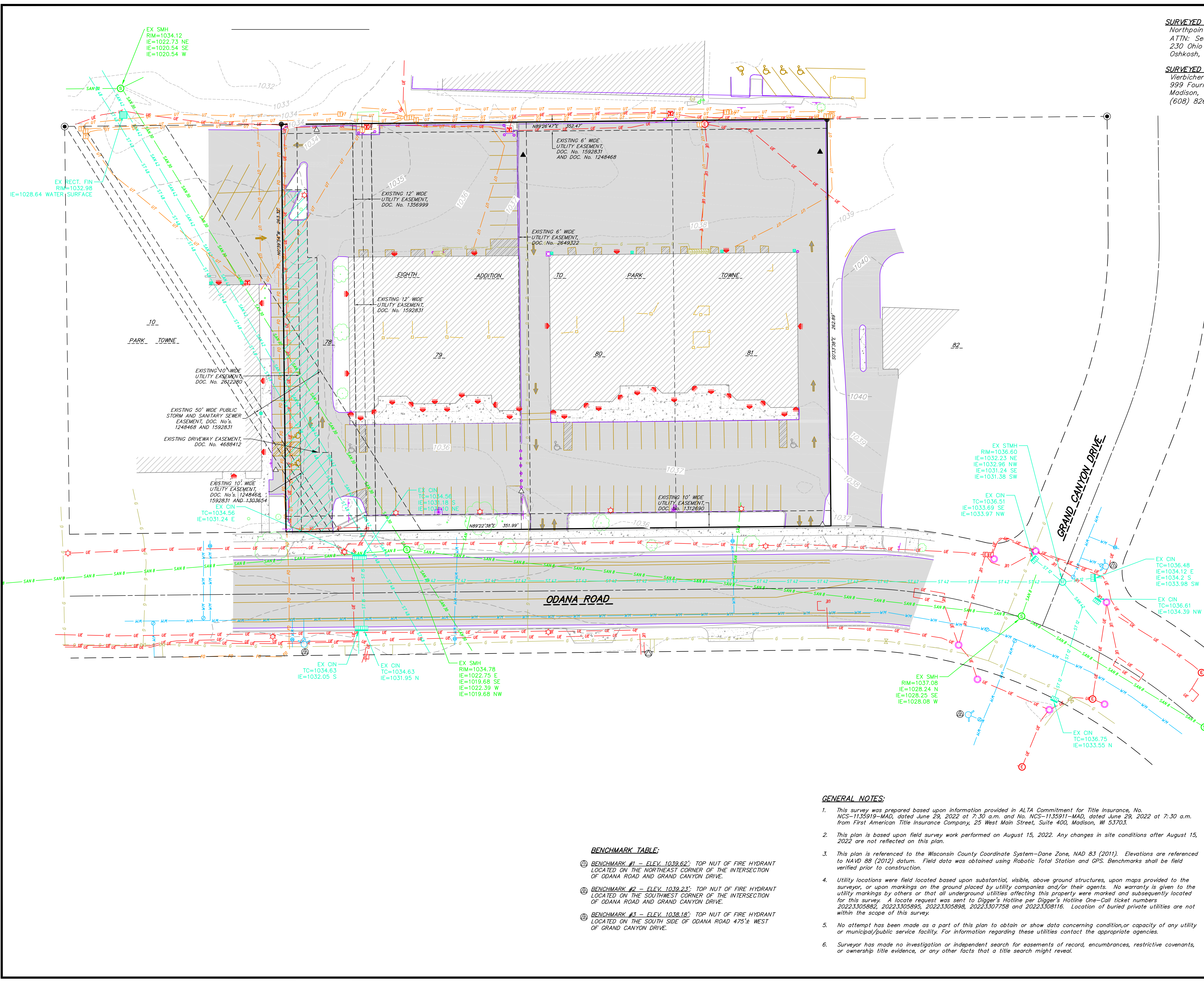
PROJECT NO. **2233**  
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**USABLE OPEN SPACE**  
1" = 20'-0"



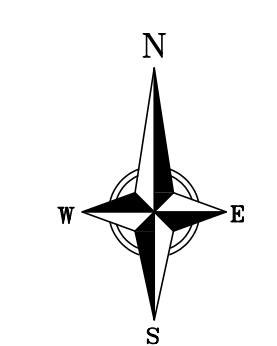


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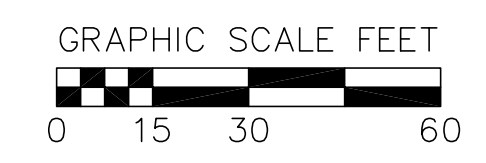


**SURVEYED FOR:**  
Northpointe Development  
ATTN: Sean O'Brien  
230 Ohio St, Suite 200  
Oshkosh, WI 54902

**SURVEYED BY:**  
Vierbicher Associates, Inc.  
999 Fourier Drive, Suite 201  
Madison, WI 53717  
(608) 826-0532



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH PROPERTY LINE MEASURED AS BEARING N89°22'38"E



**SURVEY LEGEND**

- ⊕ BENCHMARK
- ▲ FOUND P.K. NAIL
- FOUND 1 1/4" # IRON ROD
- FOUND 3/4" # IRON ROD
- SET NAIL
- △ SET P.K. NAIL

**SYMBOL LEGEND**

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING POST
- EXISTING SIGN
- EXISTING CURB INLET
- EXISTING RECTANGULAR FIELD INLET
- EXISTING ROOF DRAIN
- EXISTING STORM MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING ELECTRIC METER
- EXISTING TRANSFORMER
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING TELEPHONE PEDESTAL
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB

**HATCHING LEGEND**

- ▨ EXISTING CONCRETE
- ▨ EXISTING ASPHALT

**LINE WORK LEGEND**

- SAN — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- WM — EXISTING WATER MAIN
- G — EXISTING GAS LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- FO — EXISTING FIBER OPTIC LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- — EXISTING CHAIN LINK FENCE
- B20 — EXISTING MAJOR CONTOUR
- 818 — EXISTING MINOR CONTOUR

**BENCHMARK TABLE:**

- ⊕ BENCHMARK #1 — ELEV. 1039.62'; TOP NUT OF FIRE HYDRANT LOCATED ON THE NORTHEAST CORNER OF THE INTERSECTION OF ODANA ROAD AND GRAND CANYON DRIVE.
- ⊕ BENCHMARK #2 — ELEV. 1039.23'; TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF ODANA ROAD AND GRAND CANYON DRIVE.
- ⊕ BENCHMARK #3 — ELEV. 1038.18'; TOP NUT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF ODANA ROAD 475'± WEST OF GRAND CANYON DRIVE.

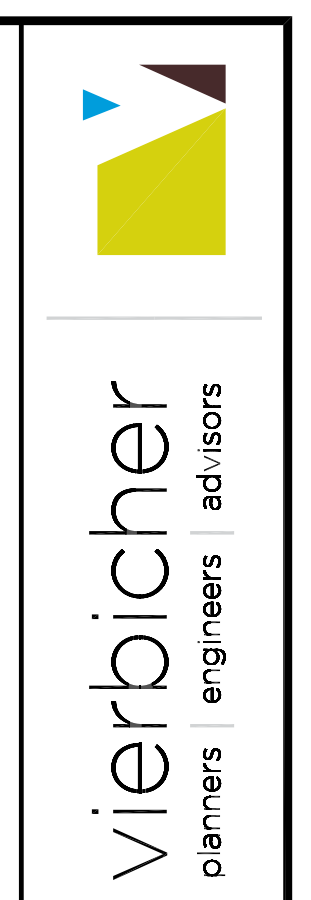
**GENERAL NOTES:**

1. This survey was prepared based upon information provided in ALTA Commitment for Title Insurance, No. NCS-1135919-MAD, dated June 29, 2022 at 7:30 a.m. and No. NCS-1135911-MAD, dated June 29, 2022 at 7:30 a.m. from First American Title Insurance Company, 25 West Main Street, Suite 400, Madison, WI 53703.
2. This plan is based upon field survey work performed on August 15, 2022. Any changes in site conditions after August 15, 2022 are not reflected on this plan.
3. This plan is referenced to the Wisconsin County Coordinate System—Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS. Benchmarks shall be field verified prior to construction.
4. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20223305882, 20223305895, 20223305898, 20223307758 and 20223308116. Location of buried private utilities are not within the scope of this survey.
5. No attempt has been made as a part of this plan to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
6. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence, or any other facts that a title search might reveal.



THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE  
1-800-242-8511



Existing Conditions  
6708 & 6716 Odana Road  
City of Madison  
Dane County, Wisconsin

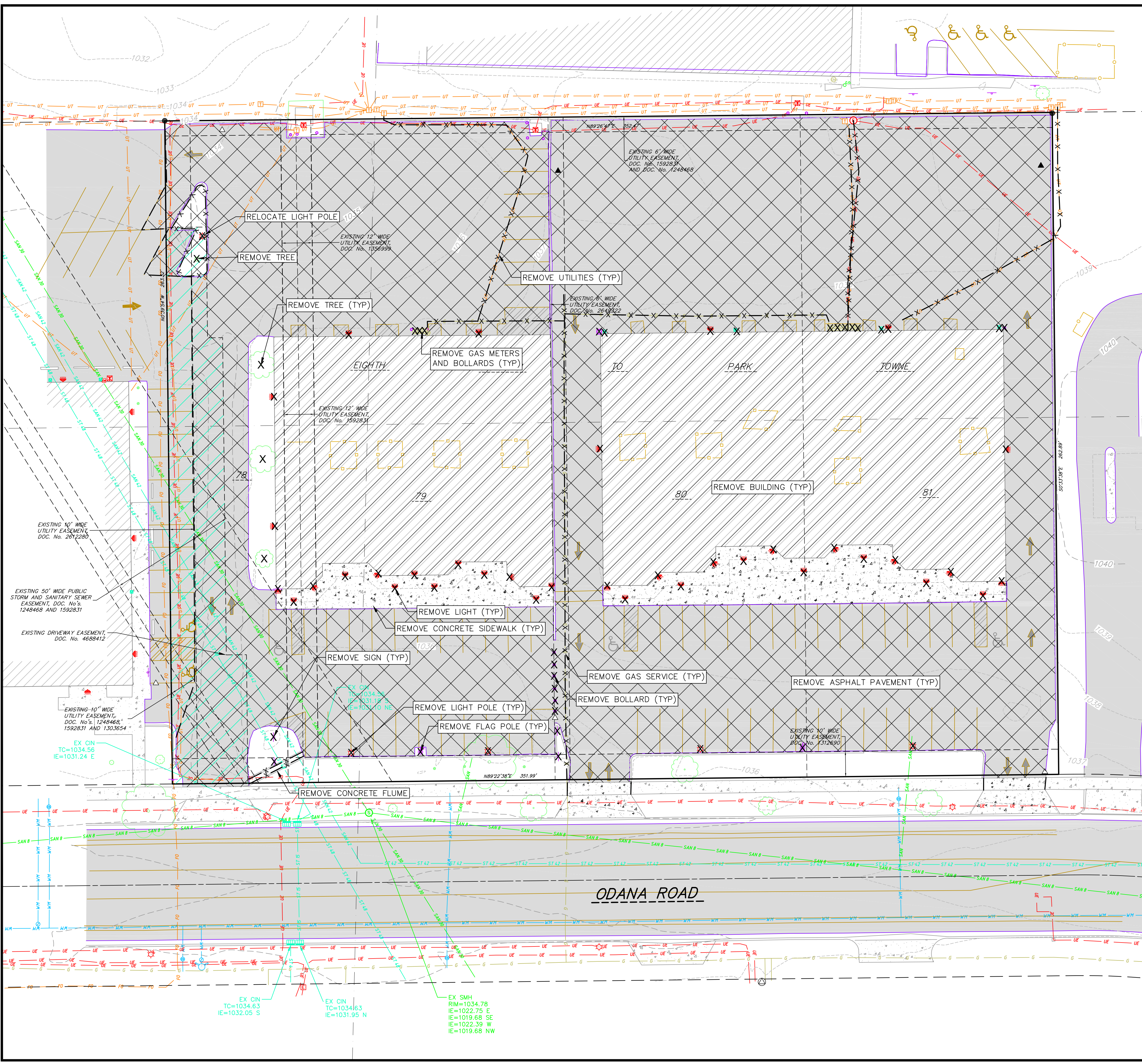
REVISIONS	NO.	DATE	REMARKS

DATE	09/26/2022
DRAFTER	ZORE
CHECKED	JZAM
PROJECT NO.	220191
<b>C-1.0</b>	



25 Sep 2022 - 11:24p M:\Northpointe Development\220191\_Odona Rd Madison\CADD\220191\_ExcCon.dwg by: jzam



**SYMBOL LEGEND**

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING POST
- EXISTING SIGN
- EXISTING CURB INLET
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**HATCHING LEGEND**

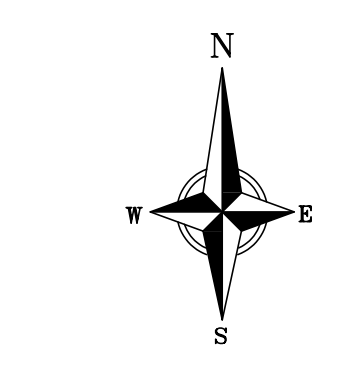
- ▨ EXISTING CONCRETE
- ▨ EXISTING ASPHALT

**LINE WORK LEGEND**

- SAN — SAN — EXISTING SANITARY SEWER LINE
- ST — ST — EXISTING STORM SEWER LINE
- WM — WM — EXISTING WATER MAIN
- G — G — EXISTING GAS LINE
- UE — UE — EXISTING UNDERGROUND ELECTRIC LINE
- FO — FO — EXISTING FIBER OPTIC LINE
- UT — UT — EXISTING UNDERGROUND TELEPHONE
- — — — EXISTING CHAIN LINK FENCE
- 820 — — EXISTING MAJOR CONTOUR
- 818 — — EXISTING MINOR CONTOUR

**DEMOLITION PLAN LEGEND**

- X — X — CURB AND GUTTER REMOVAL
- ▨ ASPHALT REMOVAL
- ▨ CONCRETE REMOVAL
- ▨ BUILDING REMOVAL
- X TREE REMOVAL
- X SAWCUT
- X — X — UTILITY LINE REMOVAL



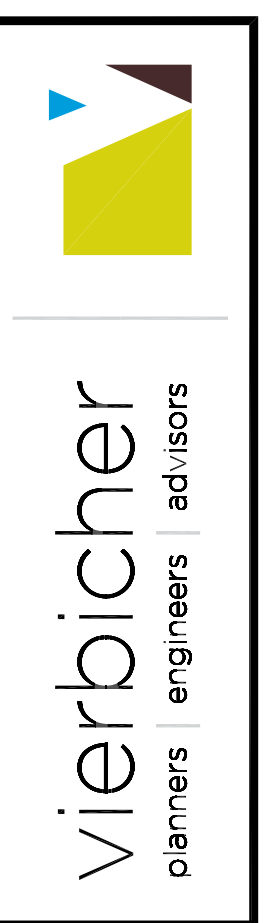
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**SURVEY LEGEND**

- BENCHMARK
- ▲ FOUND P.K. NAIL
- FOUND 1 1/4" # IRON ROD
- FOUND 3/4" # IRON ROD
- SET NAIL
- ▲ SET P.K. NAIL

**DEMOLITION NOTES:**

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
5. COORDINATE TREE REMOVAL WITH LANDSCAPE ARCHITECT. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO 12" BELOW PROPOSED SUBGRADE.
6. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
7. ALL LIGHT POLES TO BE REMOVED FROM PRIVATE PROPERTY SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE ABANDONMENT OF ELECTRICAL LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL CLOSE ALL ABANDONED DRIVEWAYS BY REPLACING THE CURB IN FRONT OF THE DRIVEWAYS AND RESTORING THE TERRACE WITH GRASS.
9. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.



**Demolition Plan**  
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City of Madison  
Dane County, Wisconsin

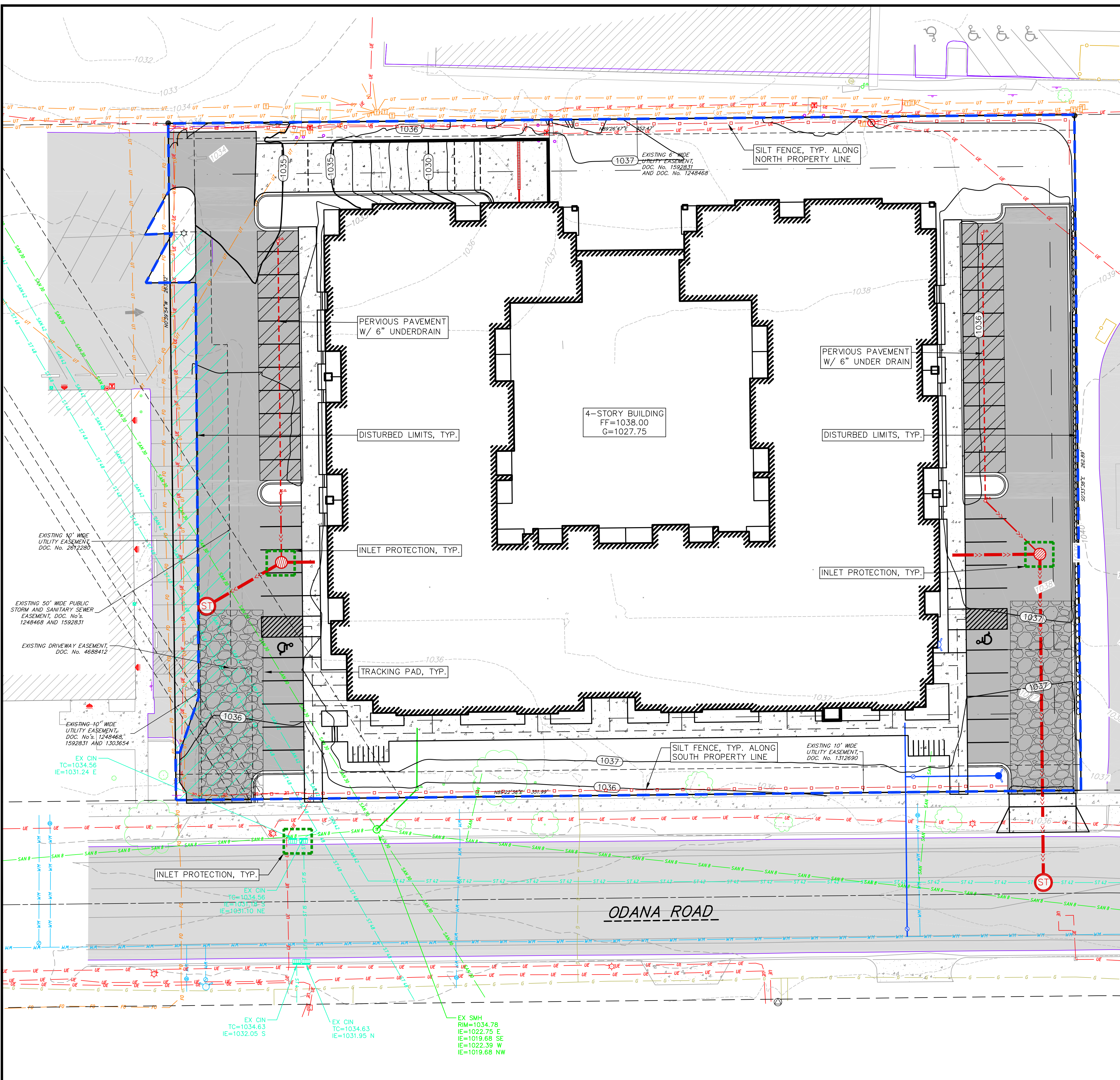
REVISIONS		NO.	DATE	REMARKS

DATE: 09/26/2022  
DRAFTER: ZORE  
CHECKED: JZAM  
PROJECT NO.: 220191

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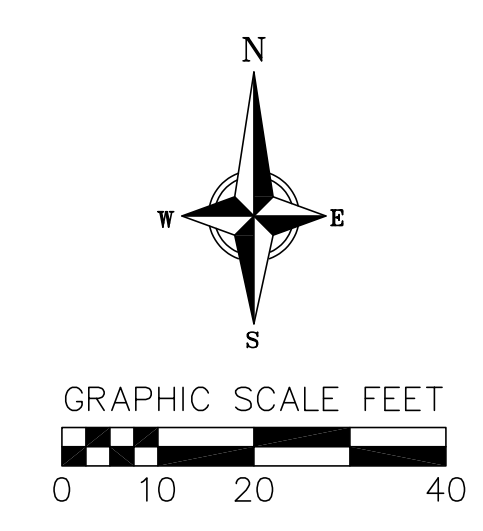


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**GRADING LEGEND**

- 820 - EXISTING MAJOR CONTOURS
- 818 - EXISTING MINOR CONTOURS
- 820 - PROPOSED MAJOR CONTOURS
- 818 - PROPOSED MINOR CONTOURS
- - - - DITCH CENTERLINE
- - - - SILT FENCE
- - - - DISTURBED LIMITS
- - - - DRAINAGE DIRECTION
- - - - PROPOSED SLOPE ARROWS
- - - - EXISTING SPOT ELEVATIONS
- - - - PROPOSED SPOT ELEVATIONS
- - - - INLET PROTECTION
- - - - EROSION MAT CLASS I, TYPE A
- - - - TRACKING PAD



**GENERAL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

**SITE PLAN NOTES:**

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

**GRADING NOTES:**

1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
4. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.

**RIGHT-OF-WAY NOTES:**

1. ALL PUBLIC IMPROVEMENTS OR RESTORATION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE PLANS APPROVED AND ISSUED BY THE CITY ENGINEERING (CONTRACT 9145, CITY PROJECT 14032)
2. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

**vierbicher**  
planners engineers advisors

**Overall Grading & Erosion Control Plan**  
6708 & 6716 Odana Road  
City of Madison  
Dane County, Wisconsin

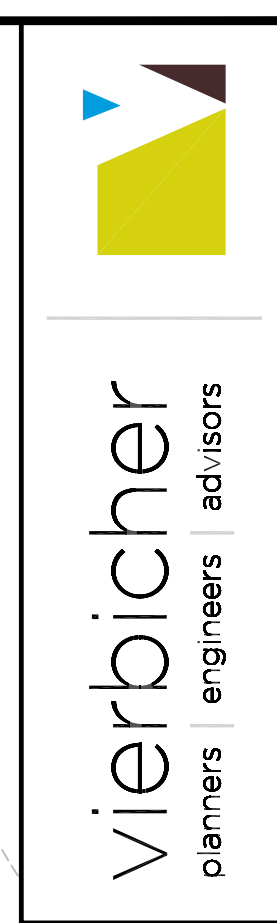
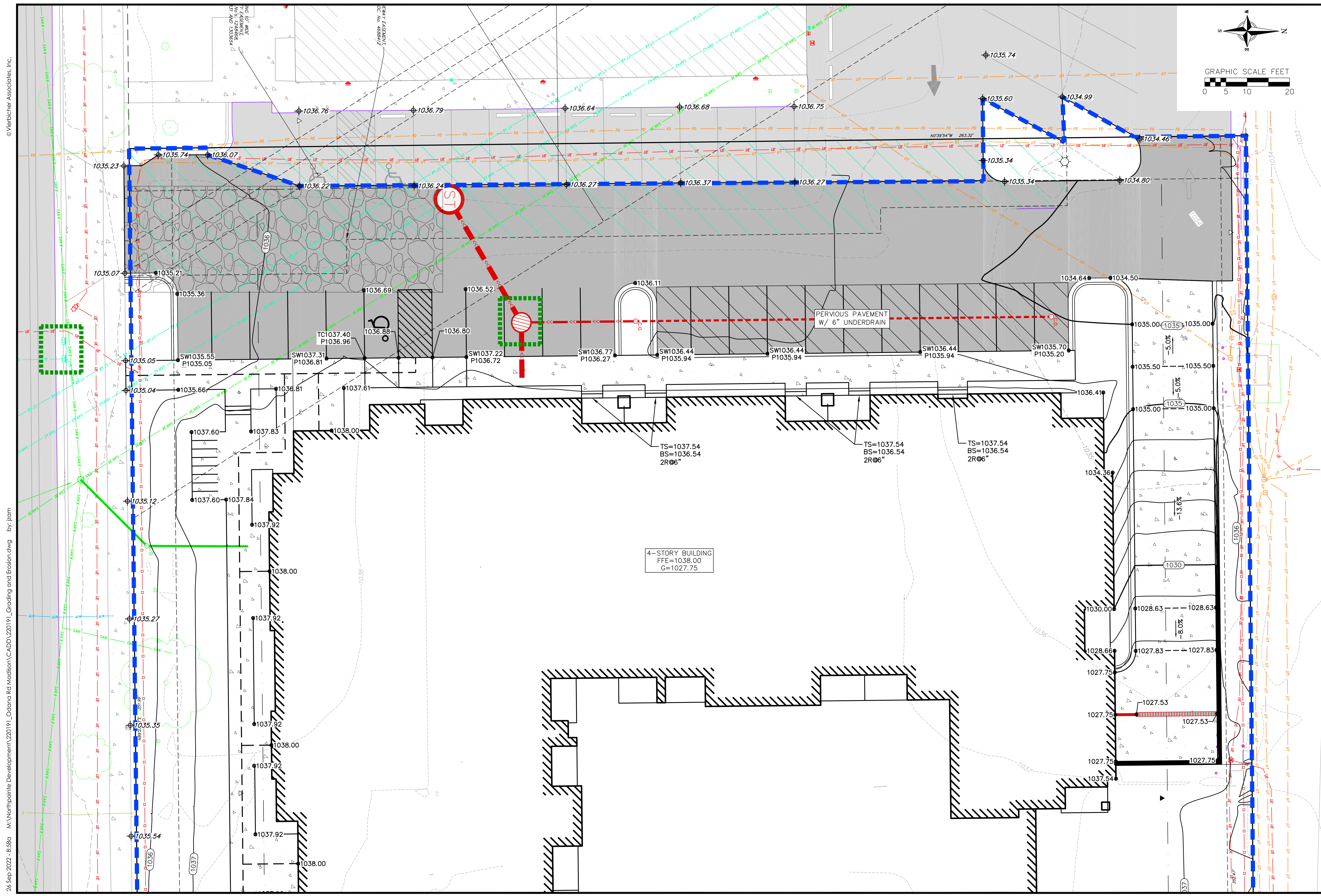
NO.	DATE	REVISIONS	
		REMARKS	NO.

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PROJECT NO.: 220191

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**Grading Plan - West**  
 6708 & 6716 Odana Road  
 City of Madison  
 Dane County, Wisconsin

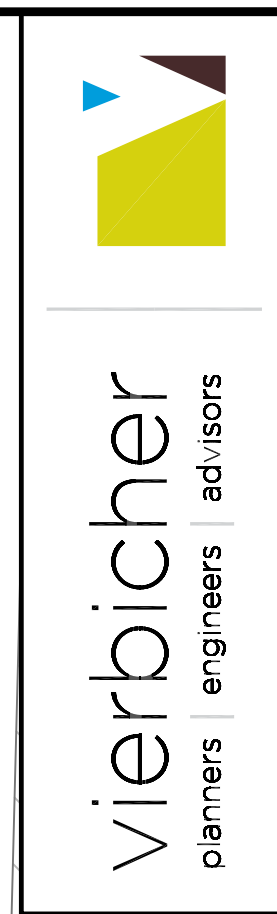
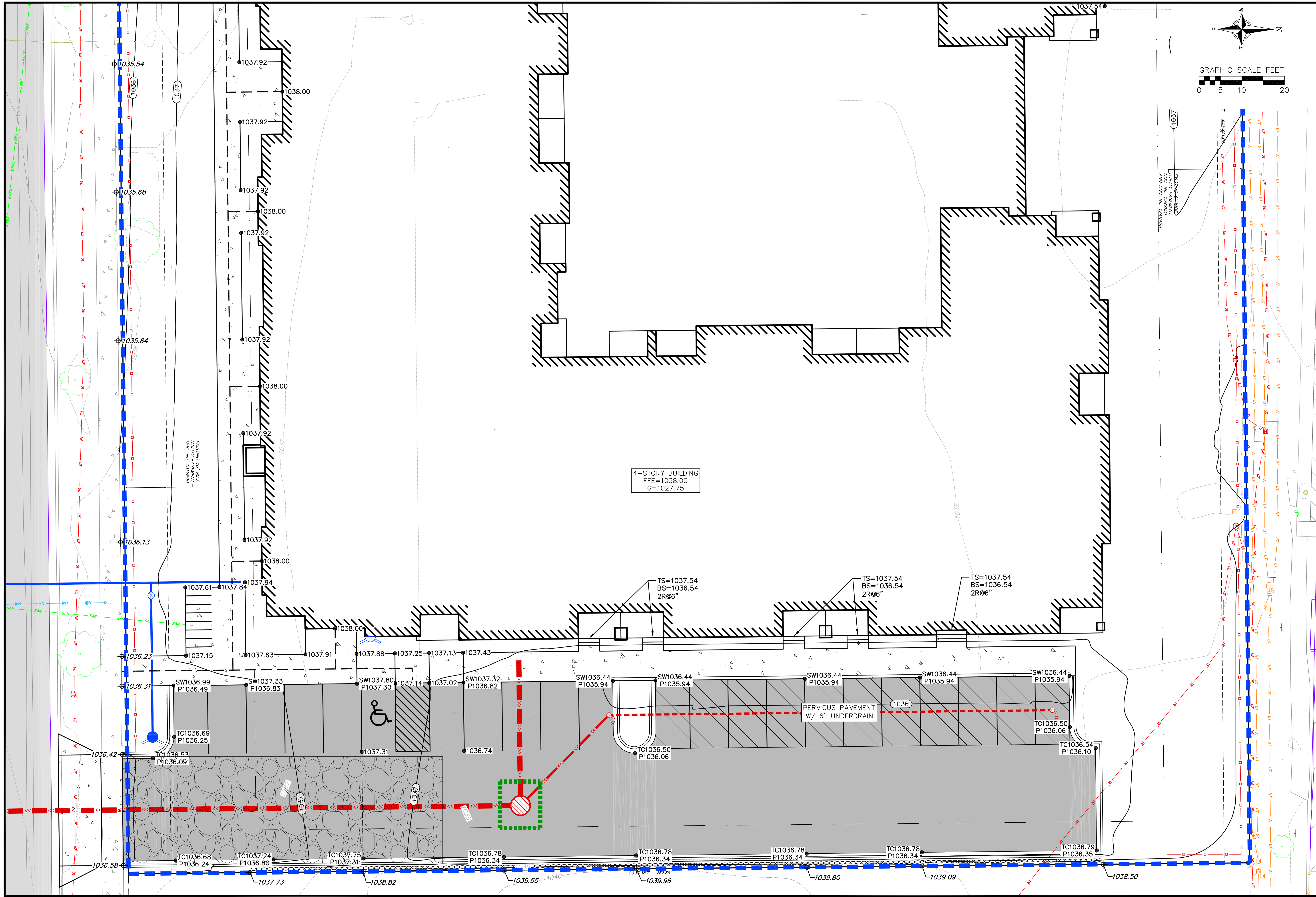
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NO.	DATE	NO.	DATE

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 PROJECT NO.: 220191

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NOTES:  
 1. REFER TO SHEET C-3.0 OVERALL GRADING & EROSION CONTROL PLAN





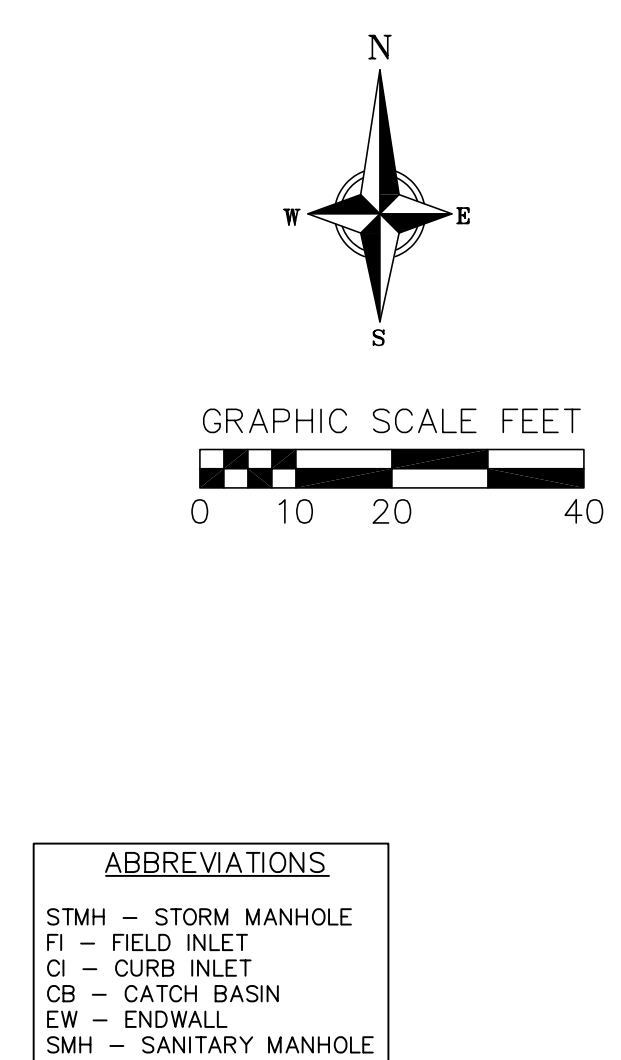
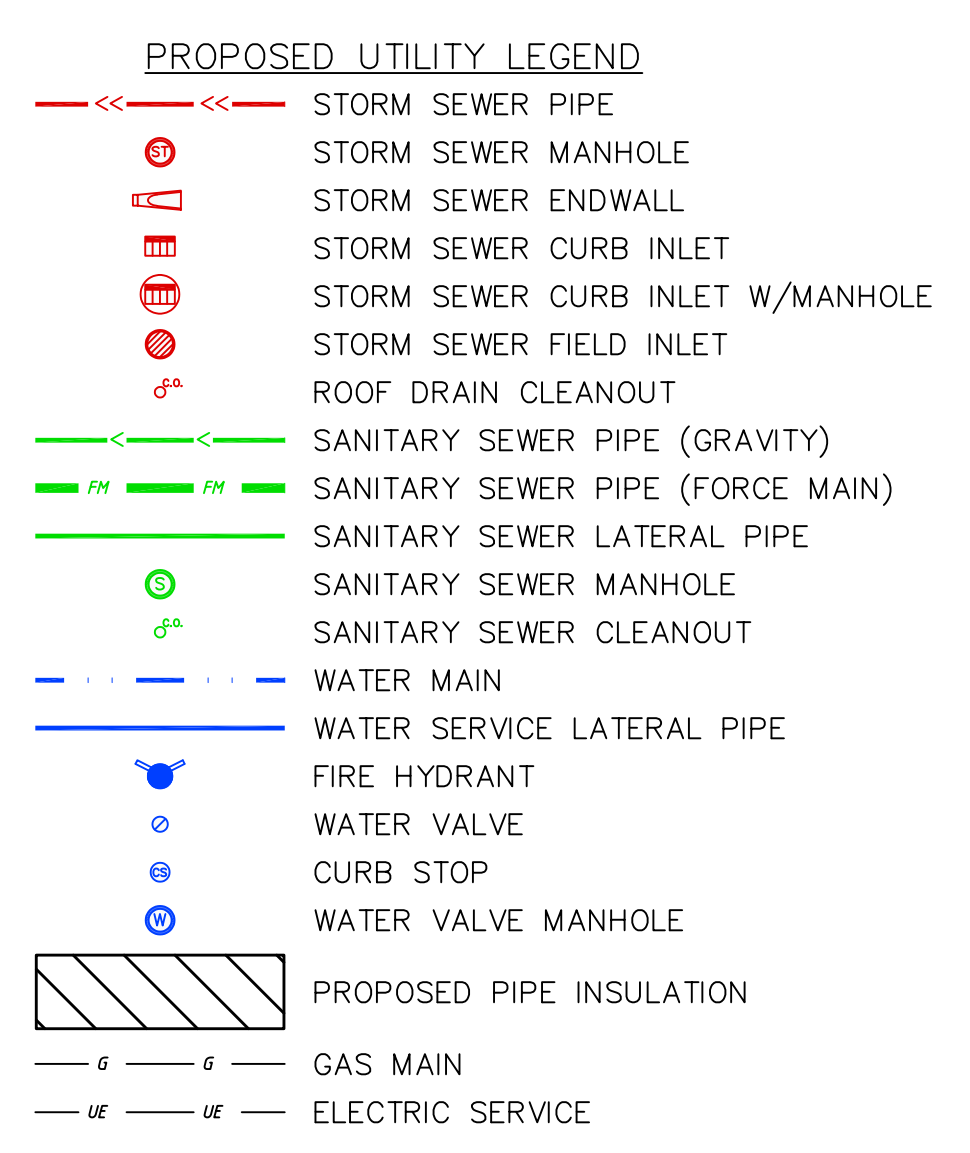
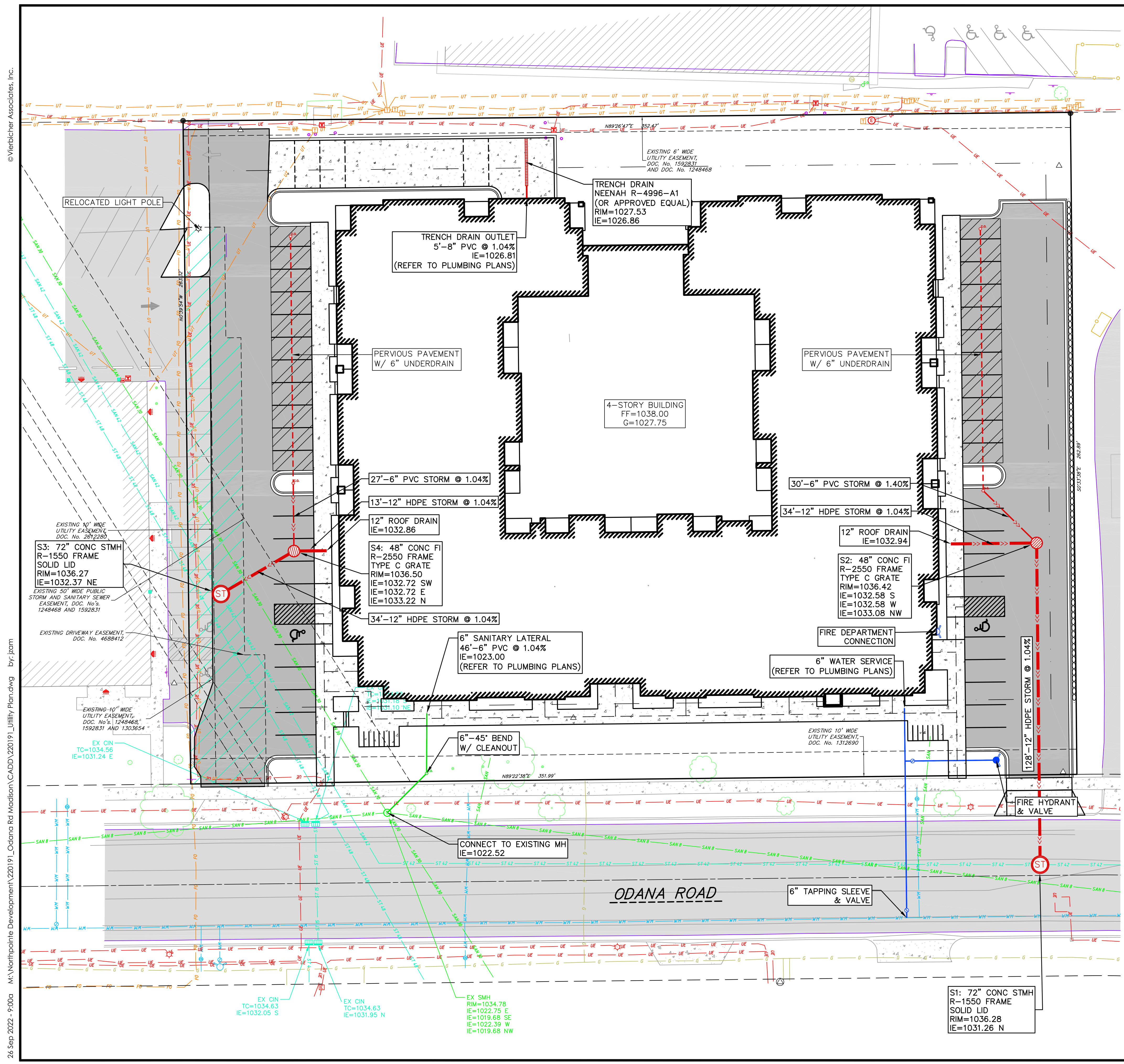
**Grading Plan - East**  
6708 & 6716 Odana Road  
City of Madison  
Dane County, Wisconsin

NO.	DATE	REVISIONS	
		REMARKS	NO.
DATE	09/26/2022		
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- ### UTILITY NOTES:
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
  - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
  - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
  - FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
  - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
  - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
  - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
  - UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
  - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
  - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
  - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
  - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(6)(b.).
  - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
  - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
  - CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES
  - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  - SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 15' SHALL BE SDR 26. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
  - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
  - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
  - SANITARY MANHOLES WITH SEWER MAIN CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN EXTERNAL DROP. MANHOLES WITH SEWER LATERAL CONNECTIONS GREATER THAN 2' ABOVE THE LOWEST INVERT SHALL BE CONSTRUCTED WITH AN INTERNAL DROP.
  - INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.

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planners engineers advisors

### Overall Utility Plan

6708 & 6716 Odana Road  
City of Madison  
Dane County, Wisconsin

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PROJECT TITLE  
**Odana Road  
Site Concept**

**Northpointe  
Development**

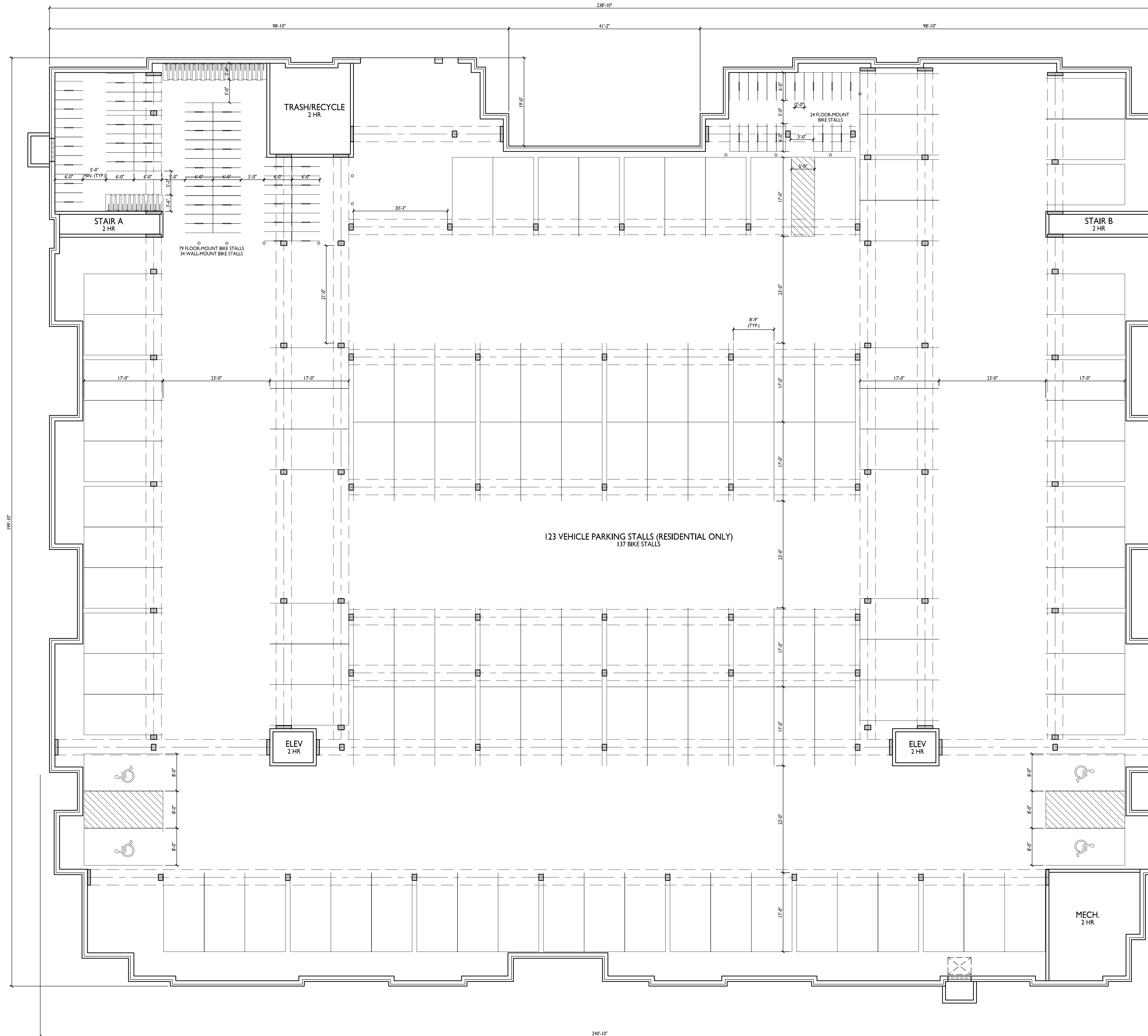
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SHEET NUMBER

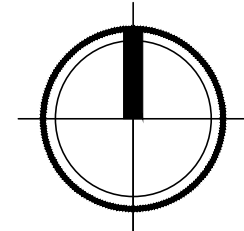
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PROJECT NO. **2233**

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**1** BASEMENT FLOOR PLAN  
A-1.0 3/32" = 1'-0"







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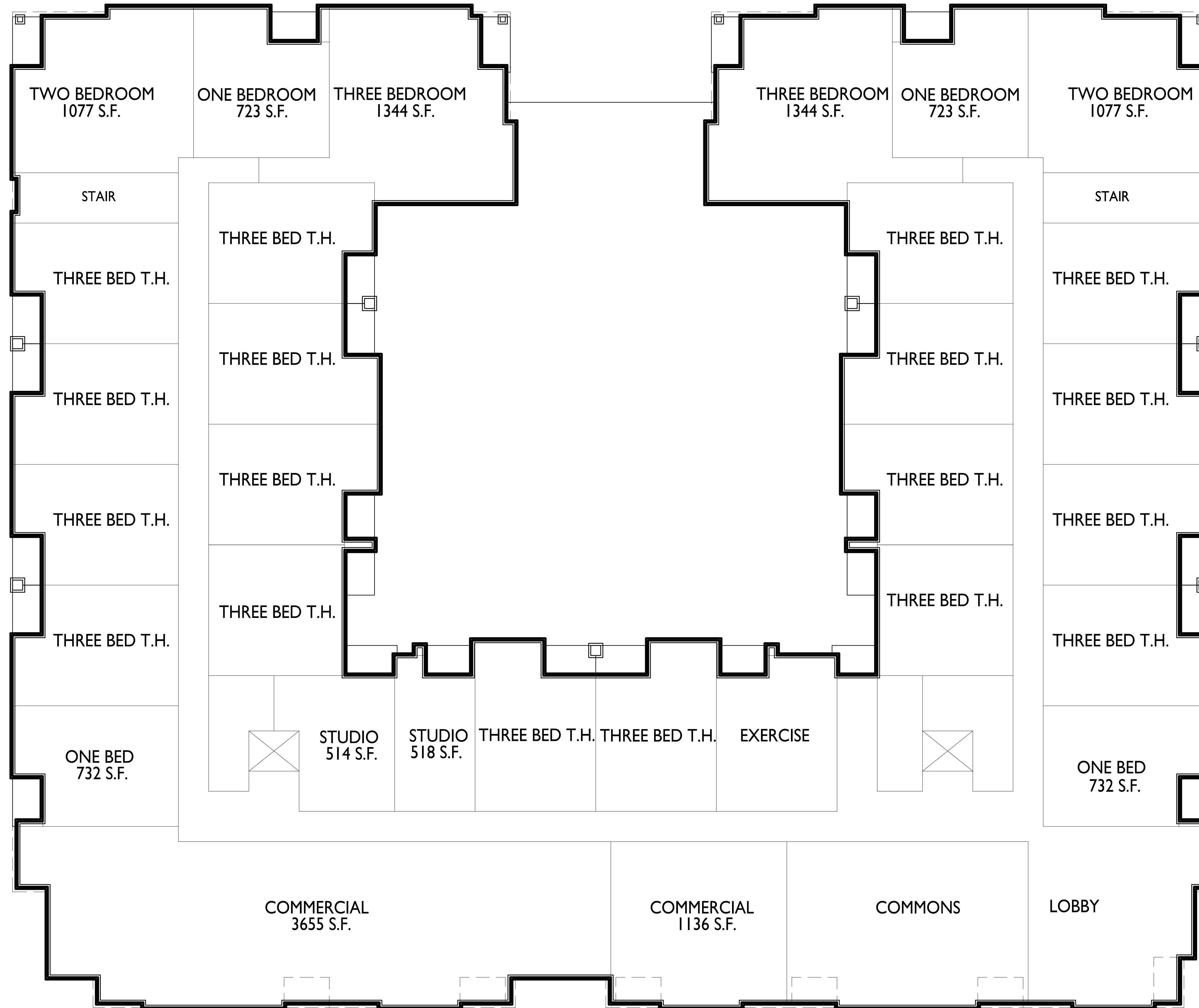
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First Floor Plan

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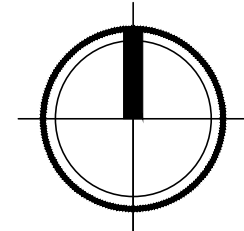
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**1** FIRST FLOOR PLAN  
A-1.1 3/32" = 1'-0"





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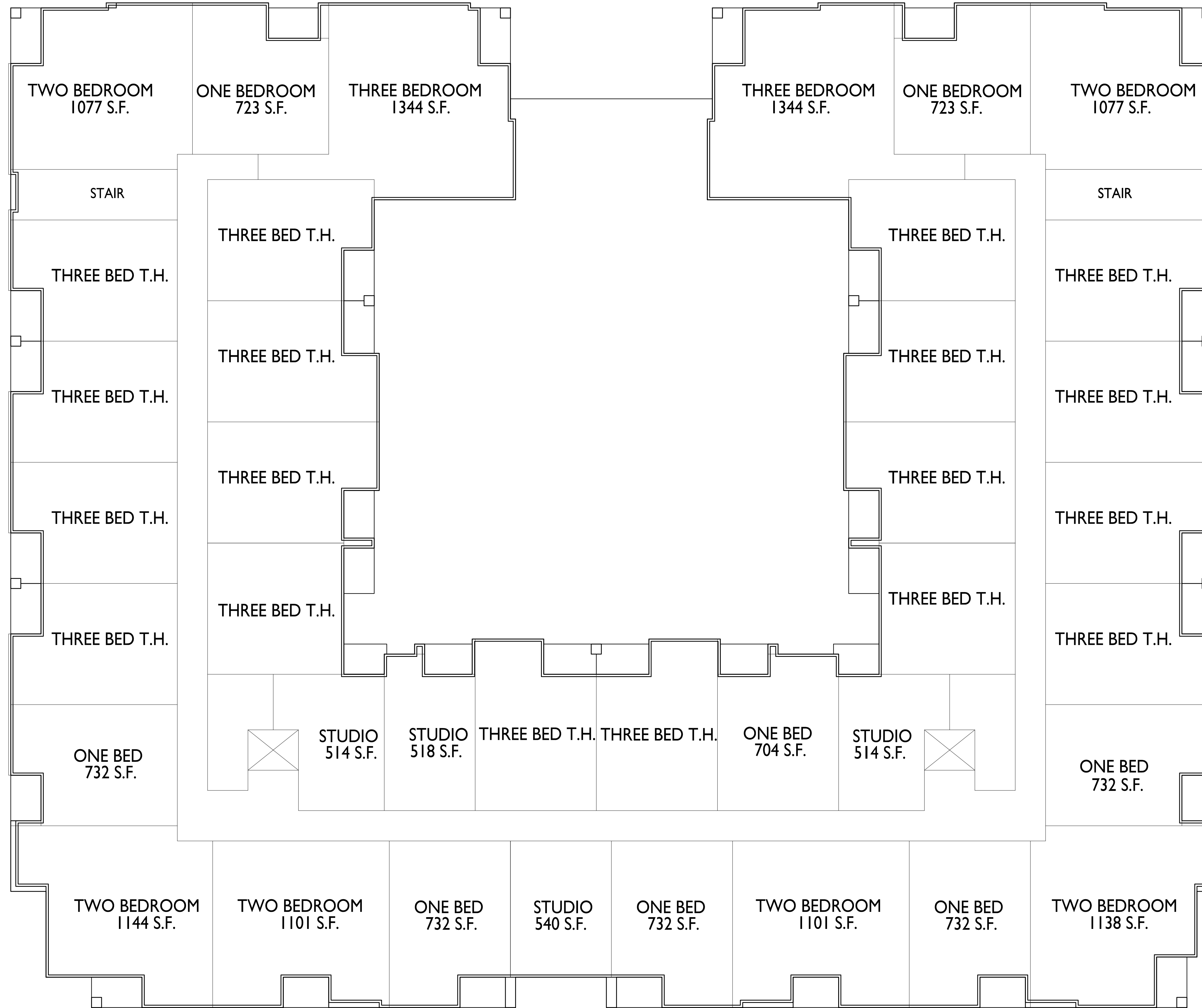
Northpointe  
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**Second Floor Plan**

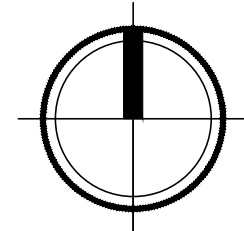
SHEET NUMBER

**A-1.2**

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**1** SECOND FLOOR PLAN  
A-1.2 3/32" = 1'-0"







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Odana Road  
Site Concept

Northpointe  
Development

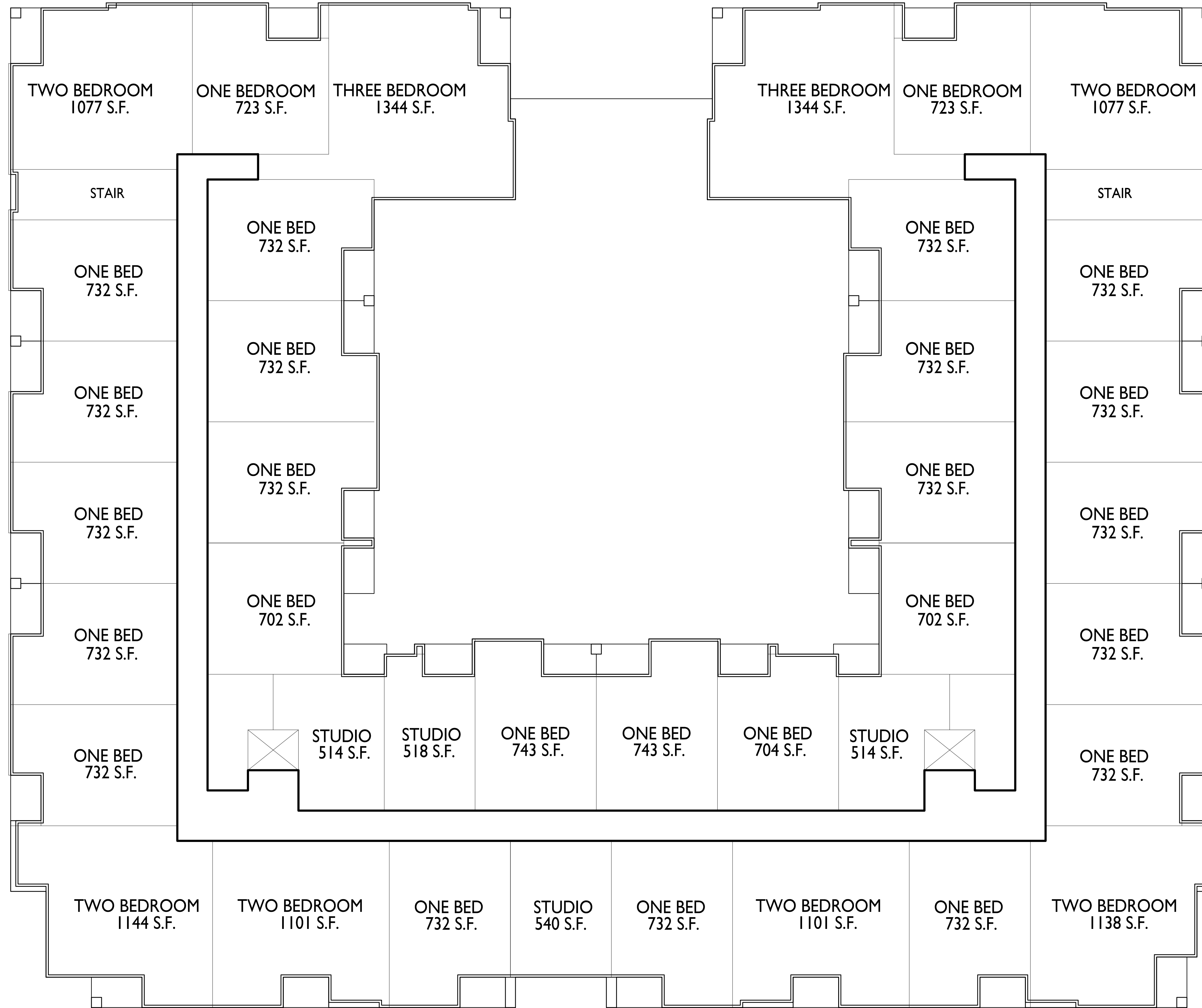
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Third Floor Plan

SHEET NUMBER

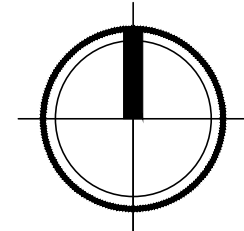
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PROJECT NO. 2233

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**THIRD FLOOR PLAN**  
3/32" = 1'-0"





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**Odana Road  
Site Concept**

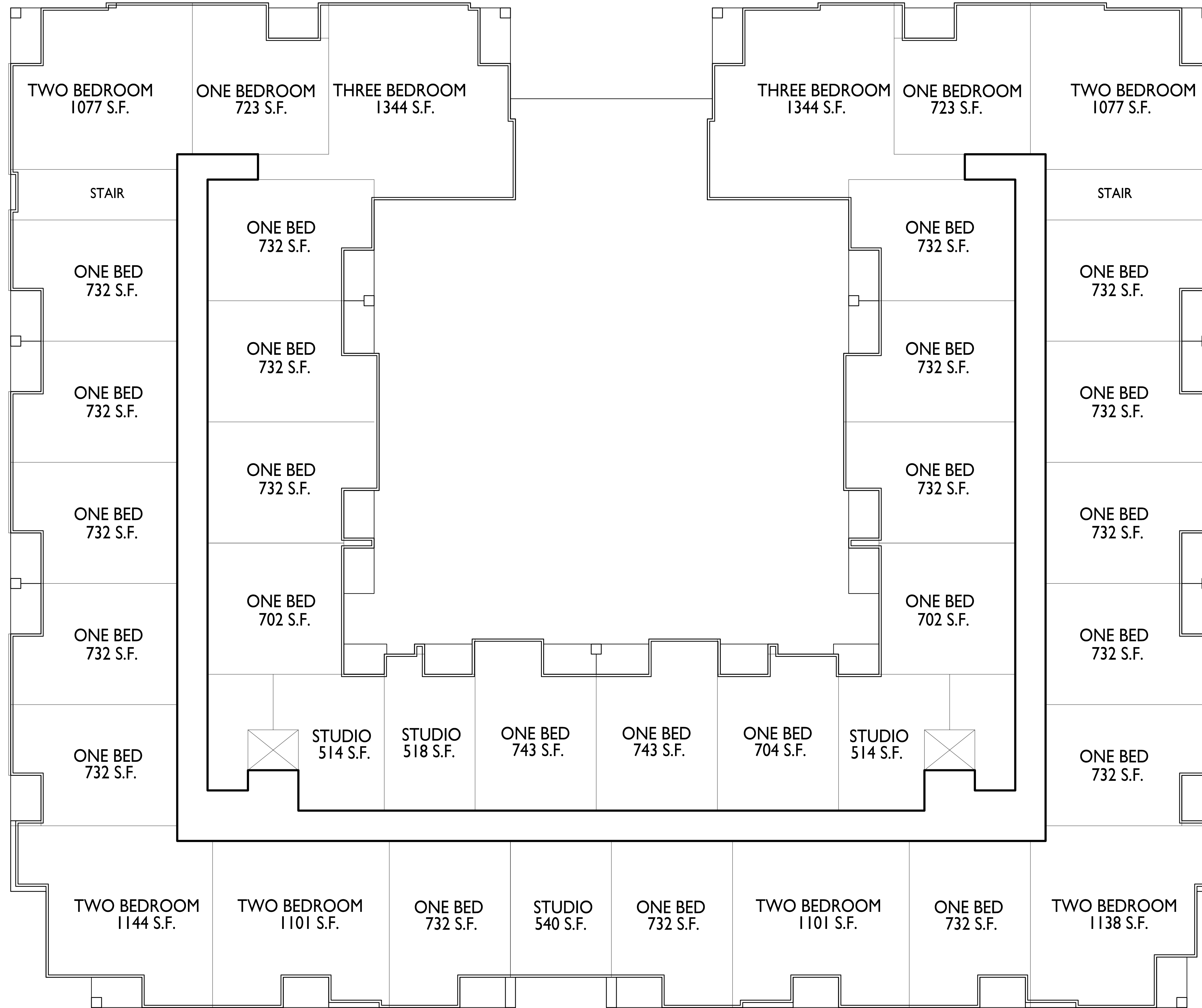
Northpointe  
Development

Odana Rd, Madison  
SHEET TITLE  
**Fourth Floor Plan**

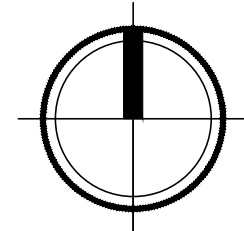
SHEET NUMBER

**A-1.4**

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**1** FOURTH FLOOR PLAN  
A-1.4 3/32" = 1'-0"







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PROJECT TITLE  
**Odana Road  
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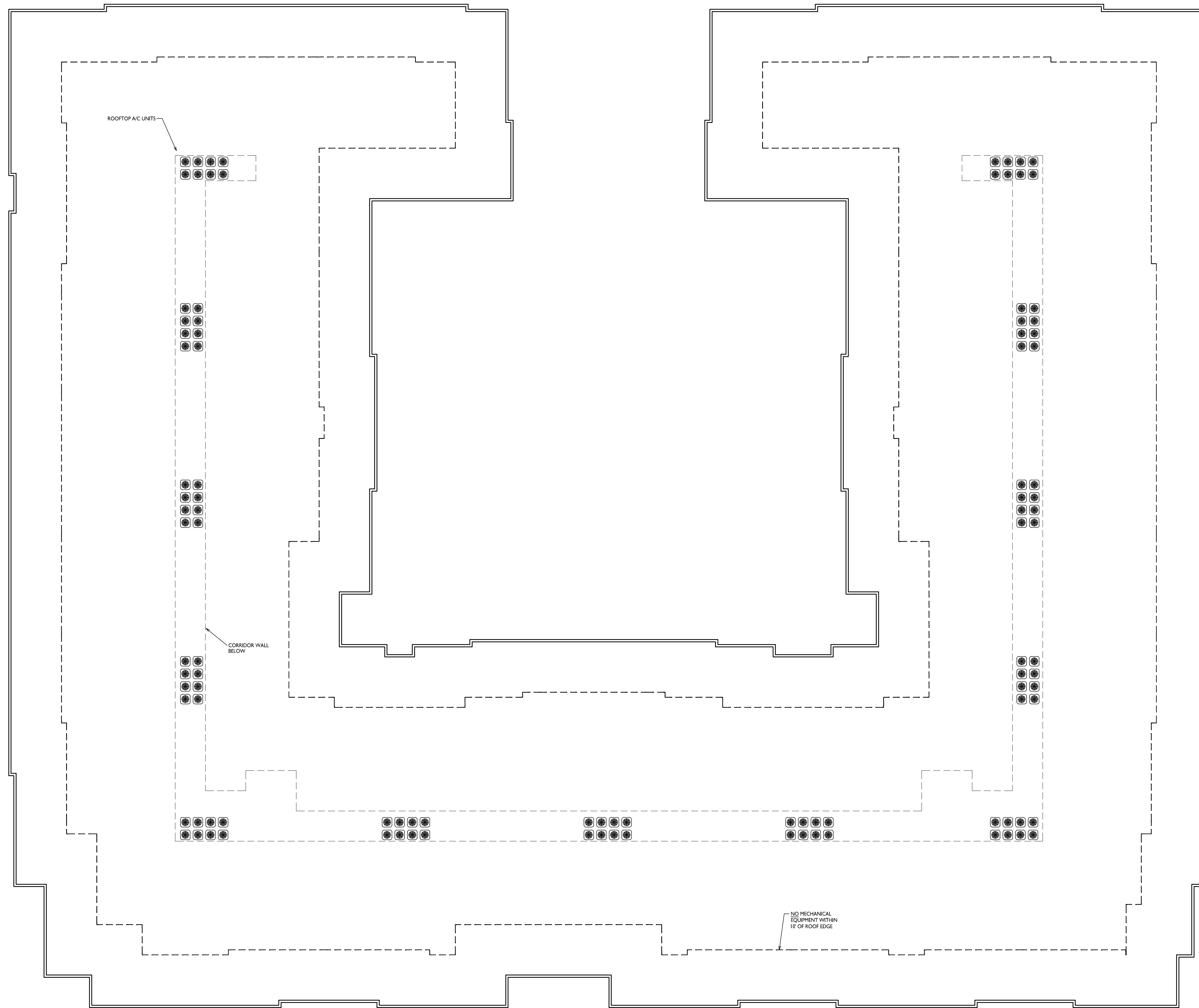
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**Roof Plan**

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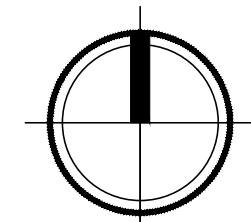
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**1** ROOF PLAN  
A-1.5 3/32" = 1'-0"



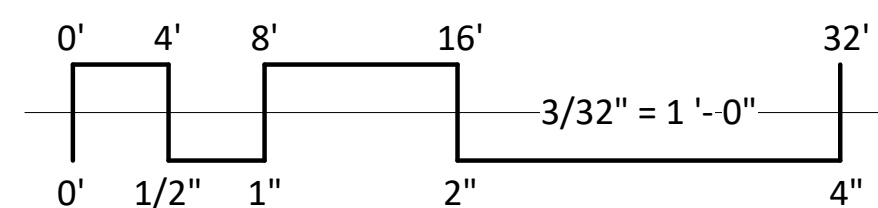




1 ELEVATION - EAST  
A201 3/32" = 1'-0"



2 ELEVATION - WEST  
A201 3/32" = 1'-0"



EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING - 6"	LP SMARTSIDING	QUARRY GRAY	(#7) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#2) - METAL PANEL	PAC CLAD	CUSTOM - NAVY BLUE	(#8) - COMPOSITE WINDOWS	ANDERSEN 100	WHITE
(#3) - COMPOSITE PANEL	LP SMARTSIDING	RUSTIC SERIES - OLD CHERRY	(#9) - ALUM. STOREFRONT	N/A	WHITE
COMPOSITE TRIM	LP SMARTSIDING	MATCH ADJ. COLOR	CANOPY & BAY SOFFITS	LP SMARTSIDING	MATCH ADJ. TRIM
(#4) - BRICK VENEER	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED
(#5) - STONE VENEER	ACME BRICK	MSTONE - WHITE QUARTZ SPLITFACE	(#10) - RAILING & HANDRAILS	SUPERIOR	BLACK
(#6) - HEADERS - SOLDIER COURSE	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL			

NOT FOR CONSTRUCTION

ISSUED

PROJECT TITLE  
**Northpointe  
Odana Rd.**

123 FAKE ST. SUPER  
CITY  
STATE OF MIND  
SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A201**

PROJECT NUMBER **2233**





**knothe & bruce**  
ARCHITECTS  
Phone: 7601 University Ave. #201  
608.836.3690 Middleton, WI 53562

NOT FOR CONSTRUCTION



1 ELEVATION - NORTH  
A202 3/32" = 1'-0"



2 ELEVATION - SOUTH  
A202 3/32" = 1'-0"

ISSUED

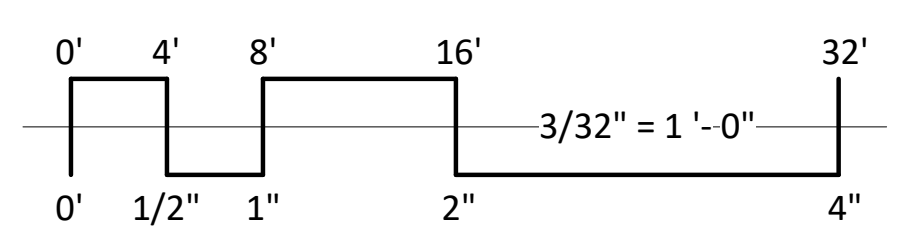
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**Northpointe**  
Odana Rd.

123 FAKE ST. SUPER  
CITY  
STATE OF MIND  
SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A202**  
PROJECT NUMBER 2233

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EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING - 6"	LP SMARTSIDING	QUARRY GRAY	(#7) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#2) - METAL PANEL	PAC CLAD	CUSTOM - NAVY BLUE	(#8) - COMPOSITE WINDOWS	ANDERSEN 100	WHITE
(#3) - COMPOSITE PANEL	LP SMARTSIDING	RUSTIC SERIES - OLD CHERRY	(#9) - ALUM. STOREFRONT	N/A	WHITE
COMPOSITE TRIM	LP SMARTSIDING	MATCH ADJ. COLOR	CANOPY & BAY SOFFITS	LP SMARTSIDING	MATCH ADJ. TRIM
(#4) - BRICK VENEER	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED
(#5) - STONE VENEER	ACME BRICK	MSTONE - WHITE QUARTZ SPLITFACE	(#10) - RAILING & HANDRAILS	SUPERIOR	BLACK
(#6) - HEADERS - SOLDIER COURSE	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL			

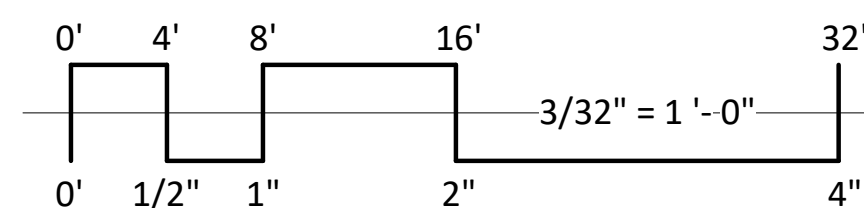




1 ELEVATION - EAST INTERIOR  
A203 3/32" = 1'-0"



2 ELEVATION - WEST INTERIOR  
A203 3/32" = 1'-0"



EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING - 6"	LP SMARTSIDING	QUARRY GRAY	(#7) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#2) - METAL PANEL	PAC CLAD	CUSTOM - NAVY BLUE	(#8) - COMPOSITE WINDOWS	ANDERSEN 100	WHITE
(#3) - COMPOSITE PANEL	LP SMARTSIDING	RUSTIC SERIES - OLD CHERRY	(#9) - ALUM. STOREFRONT	N/A	WHITE
COMPOSITE TRIM	LP SMARTSIDING	MATCH ADJ. COLOR	CANOPY & BAY SOFFITS	LP SMARTSIDING	MATCH ADJ. TRIM
(#4) - BRICK VENEER	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED
(#5) - STONE VENEER	ACME BRICK	MSTONE - WHITE QUARTZ SPLITFACE	(#10) - RAILING & HANDRAILS	SUPERIOR	BLACK
(#6) - HEADERS - SOLDIER COURSE	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL			

NOT FOR CONSTRUCTION

ISSUED

PROJECT TITLE  
**Northpointe**  
Odana Rd.

123 FAKE ST. SUPER  
CITY  
STATE OF MIND  
SHEET TITLE  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER

**A203**

PROJECT NUMBER **2233**

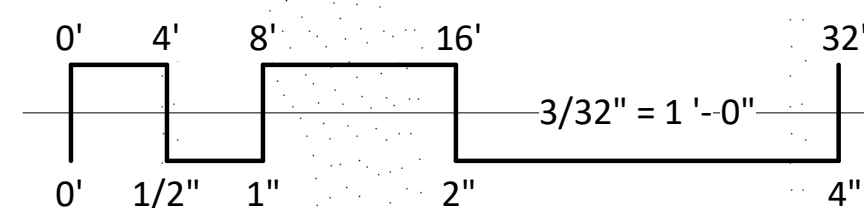




1 COLORED ELEVATION - EAST  
A204 3/32" = 1'-0"



2 COLORED ELEVATION - WEST  
A204 3/32" = 1'-0"



EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING - 6"	LP SMARTSIDING	QUARRY GRAY	(#7) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#2) - METAL PANEL	PAC CLAD	CUSTOM - NAVY BLUE	(#8) - COMPOSITE WINDOWS	ANDERSEN 100	WHITE
(#3) - COMPOSITE PANEL	LP SMARTSIDING	RUSTIC SERIES - OLD CHERRY	(#9) - ALUM. STOREFRONT	N/A	WHITE
COMPOSITE TRIM	LP SMARTSIDING	MATCH ADJ. COLOR	CANOPY & BAY SOFFITS	LP SMARTSIDING	MATCH ADJ. TRIM
(#4) - BRICK VENEER	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED
(#5) - STONE VENEER	ACME BRICK	MSTONE - WHITE QUARTZ SPLITFACE	(#10) - RAILING & HANDRAILS	SUPERIOR	BLACK
(#6) - HEADERS - SOLDIER COURSE	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL			

NOT FOR CONSTRUCTION

ISSUED

PROJECT TITLE  
Northpointe  
Odana Rd.

123 FAKE ST. SUPER  
CITY  
STATE OF MIND  
SHEET TITLE  
EXTERIOR  
ELEVATIONS  
COLORED

SHEET NUMBER

**A204**

PROJECT NUMBER 2233

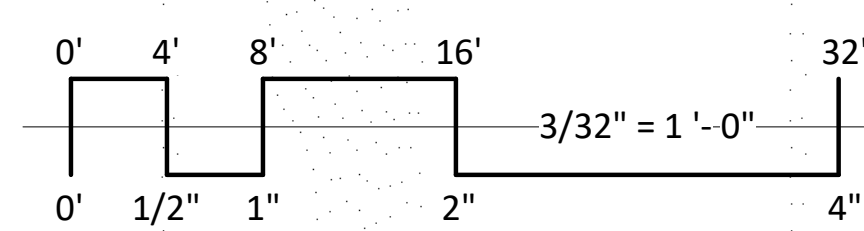




1 COLORED ELEVATION - NORTH  
A205 3/32" = 1'-0"



2 COLORED ELEVATION - SOUTH  
A205 3/32" = 1'-0"



EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING - 6"	LP SMARTSIDING	QUARRY GRAY	(#7) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#2) - METAL PANEL	PAC CLAD	CUSTOM - NAVY BLUE	(#8) - COMPOSITE WINDOWS	ANDERSEN 100	WHITE
(#3) - COMPOSITE PANEL	LP SMARTSIDING	RUSTIC SERIES - OLD CHERRY	(#9) - ALUM. STOREFRONT	N/A	WHITE
COMPOSITE TRIM	LP SMARTSIDING	MATCH ADJ. COLOR	CANOPY & BAY SOFFITS	LP SMARTSIDING	MATCH ADJ. TRIM
(#4) - BRICK VENEER	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED
(#5) - STONE VENEER	ACME BRICK	MSTONE - WHITE QUARTZ SPLITFACE	(#10) - RAILING & HANDRAILS	SUPERIOR	BLACK
(#6) - HEADERS - SOLDIER COURSE	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL			

NOT FOR CONSTRUCTION

ISSUED

PROJECT TITLE  
Northpointe  
Odana Rd.

123 FAKE ST. SUPER  
CITY  
STATE OF MIND  
SHEET TITLE  
EXTERIOR  
ELEVATIONS  
COLORED

SHEET NUMBER

A205

PROJECT NUMBER 2233

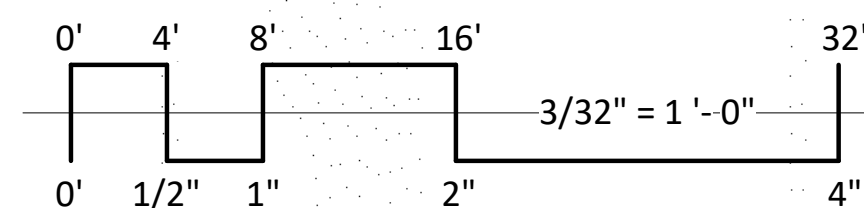




1 COLORED ELEVATION - EAST INTERIOR  
A206 3/32" = 1'-0"



2 COLORED ELEVATION - WEST INTERIOR  
A206 3/32" = 1'-0"



EXTERIOR MATERIAL SCHEDULE					
BUILDING ELEMENT	MANUFACTURER	COLOR	BUILDING ELEMENT	MANUFACTURER	COLOR
(#1) - COMPOSITE LAP SIDING - 6"	LP SMARTSIDING	QUARRY GRAY	(#7) - CAST STONE BANDS & SILLS	ROCKCAST	CRYSTAL WHITE
(#2) - METAL PANEL	PAC CLAD	CUSTOM - NAVY BLUE	(#8) - COMPOSITE WINDOWS	ANDERSEN 100	WHITE
(#3) - COMPOSITE PANEL	LP SMARTSIDING	RUSTIC SERIES - OLD CHERRY	(#9) - ALUM. STOREFRONT	N/A	WHITE
COMPOSITE TRIM	LP SMARTSIDING	MATCH ADJ. COLOR	CANOPY & BAY SOFFITS	LP SMARTSIDING	MATCH ADJ. TRIM
(#4) - BRICK VENEER	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL	TREATED-EXPOSED DECK BEAMS	N/A	BROWN TREATED
(#5) - STONE VENEER	ACME BRICK	MSTONE - WHITE QUARTZ SPLITFACE	(#10) - RAILING & HANDRAILS	SUPERIOR	BLACK
(#6) - HEADERS - SOLDIER COURSE	INTERSTATE BRICK	ATLAS EMPEROR 4x4x16 - COAL			

NOT FOR CONSTRUCTION

ISSUED

PROJECT TITLE  
**Northpointe**  
**Odana Rd.**

123 FAKE ST. SUPER  
 CITY  
 STATE OF MIND  
 SHEET TITLE  
**EXTERIOR**  
**ELEVATIONS**  
**COLORED**

SHEET NUMBER

**A206**

PROJECT NUMBER **2233**





SIGNAGE

SIGNAGE

LOOKING NORTH-WEST







SIGNAGE

SIGNAGE

SIGNAGE

SIGNAGE

LOOKING NORTH







SIGNAGE

LOOKING NORTH-EAST







SIGNAGE

LOOKING WEST







LOOKING SOUTH-EAST







LOOKING SOUTH-WEST







SIGNAGE

LOOKING EAST

