



City of Madison

Proposed Demolition & Conditional Use

Location
1838 Camelot Drive

Project Name
Walker Residence

Applicant
Tom Walker – Eleanor Walker Trust/
Jason Franzen – Hart DeNoble Builders

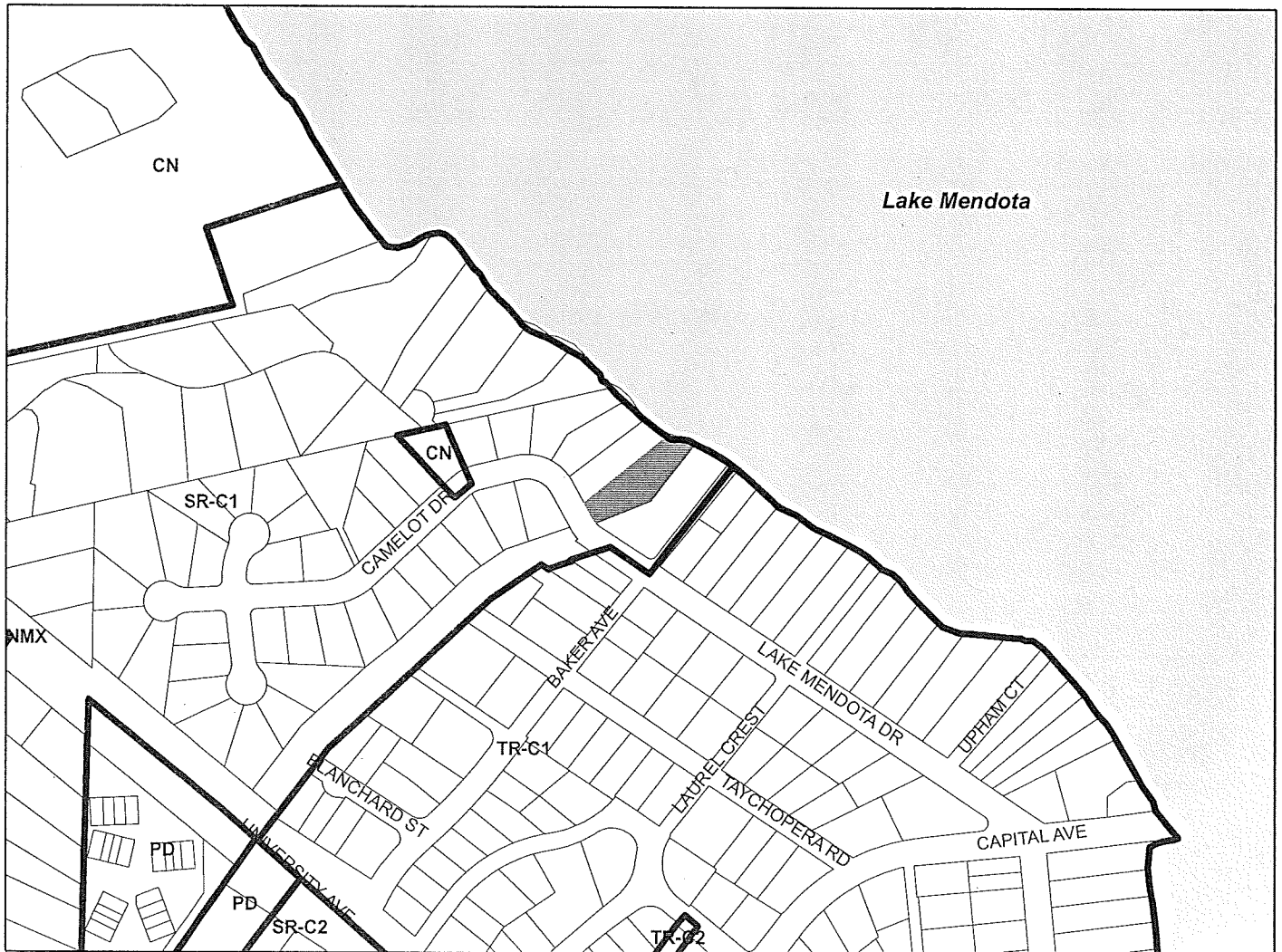
Existing Use
Single-family residence

Proposed Use
Demolish single-family residence and
construct new residence on lakefront
property

Public Hearing Date
Plan Commission
02 December 2013

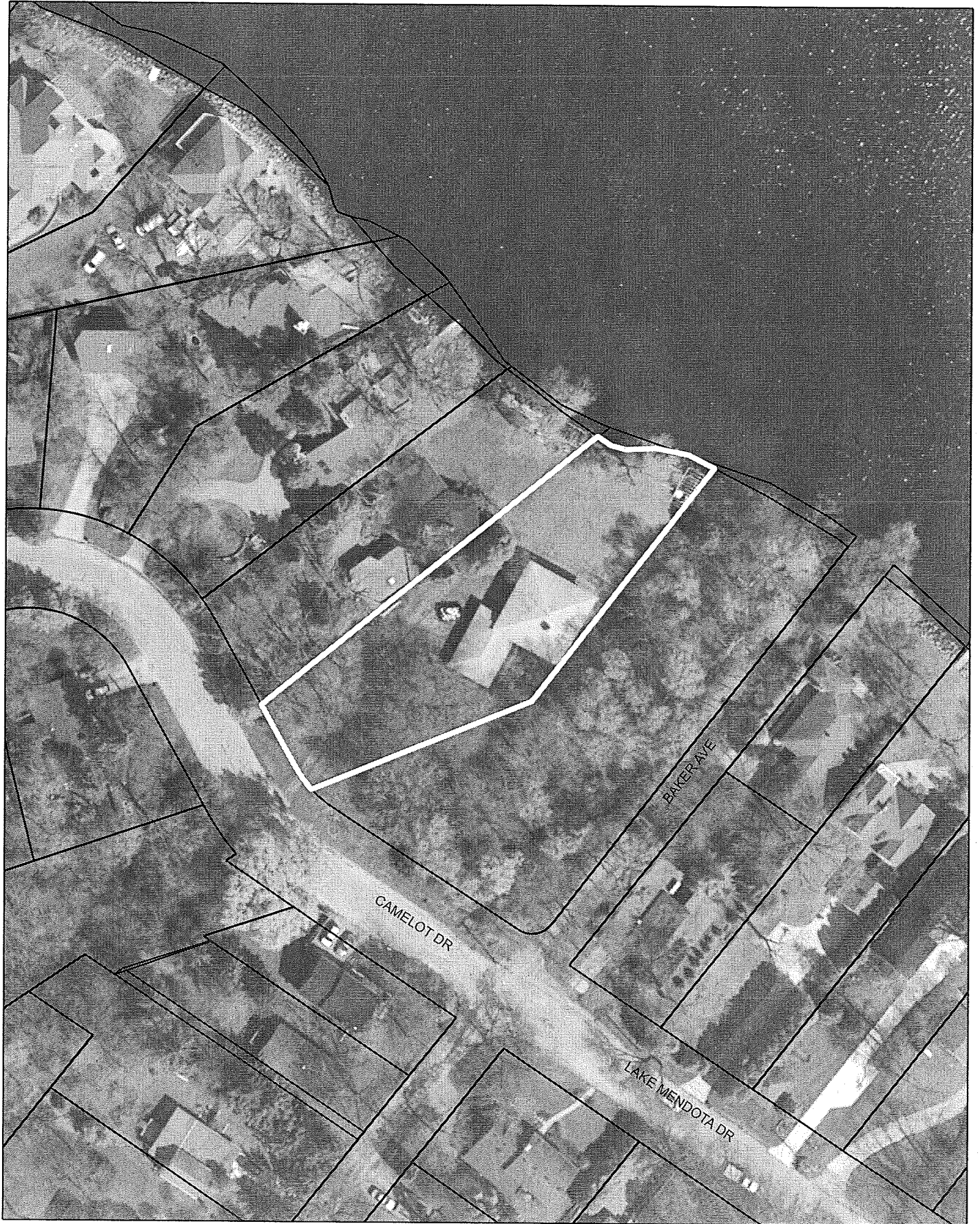


For Questions Contact: Kevin Firchow at: 267-1150 or kfirchow@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 21 November 2013





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid 600 Receipt No. 147702
 Date Received 10/2/13
 Received By PDA
 Parcel No. 0709-182-0102-4
 Aldermanic District 19 CLEAR
 Zoning District SR-C1
 Special Requirements _____
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. Project Address: 1838 CAMELOT DRIVE
Project Title (if any): _____

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: ELEANOR WALKER TRUST, TOM WALKER Company: _____
TRUSTEE
 Street Address: 7709 WELTON DRIVE City/State: MADISON, WI Zip: 53719
 Telephone: () _____ Fax: () _____ Email: _____

Project Contact Person: JASON FRANZEN Company: HART DENOBLE BUILDERS, INC.
 Street Address: 7923 AIRPORT ROAD City/State: MIDDLETON, WI Zip: 53562
 Telephone: (608) 831-4422 Fax: () _____ Email: JFRANZEN@DENOBLEBUILDERS.COM

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: DEMOLITION OF EXISTING HOME / CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE

Development Schedule: Commencement UPON APPROVAL, 12/13 Completion 6/14

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the ~~Urban Design Commission~~, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, ~~all~~ plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer.* ^{\$600}

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

SEE ATTACHMENTS, ALAER CLEAR NOTICE 8/23/13, CITY ELECTRONIC NOTICE 8/23/13, MET WITH SHANA 9/10/13

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Heather Stouder Date: 9.13.13 Zoning Staff: Pat Andersen Date: 9.13.13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Tom WALKER, TRUSTEE Relationship to Property: OWNER/TRUSTEE

Authorizing Signature of Property Owner *Tom Walker* Date 10/1/13 9

October 1, 2013

City of Madison Plan Commission
210 Martin Luther King, Jr. Blvd.
Madison, WI 53710

RE: Letter of Intent for Demolition Permit for 1838 Camelot Drive, Madison, WI

Dear Plan Commission Members:

This submittal is for a demolition permit for the property located at 1838 Camelot Drive in the City of Madison. The parcel is currently occupied by a residential dwelling. This application is associated with the construction of a new single family home on the same site. The planned new dwelling is a five bedroom home, with an attached three car garage.

Existing Conditions:

The current dwelling is a home that was constructed in 1974, per the City's records. The current status of the house is that the lower level is not habitable and not suitable for living due to the current house having a full foundation with walkout set too low. The lower level has in-floor duct work that continually fills up with water due to the current height of the basement floor. The new home will have crawl space only, with no finished space below grade, to allow the home to be set a height ensuring no water to enter the lower level. The land is currently assessed at \$625,000, and the improvements are at \$244,400. The owners have made attempts with additional drain tile to remedy the problem with no success.

Development Schedule:

Subject to the receipt of the necessary and appropriate approvals, the intent is to complete demolition of the existing dwelling this winter, followed by construction of the new single family residence. The new dwelling, once started, will take 6 to 7 months to complete.

Parties involved:

The following parties are involved in the redevelopment of the site:

Owner: Eleanor Walker Trust, Tom Walker, Trustee. 7709 Welton Dr, Madison, WI53719
Phone (608)-712-8528

Builder/Designer: Hart DeNoble Builders, Inc., 7923 Airport Road, Middleton, WI 53562
Office Phone (608)-831-4422

Lot size: 23,351 square feet
New Home info: Main level 3,045 sq ft, upper level 1,959 sq ft, lower level to be crawl space only,
(no finished space)
Garage stalls: Three

Parcel Number: 251/0709-182-0102-4
Legal Description: Lot 1, Block 1, Mendota Estates, Located in part of Government Lot 1, Section
18, T07N, R09E, City of Madison, Dane County, Wisconsin

Thank you for your consideration,

Respectfully Submitted,



Eleanor Walker Trust
Tom Walker, Trustee



Jason Franzen
Hart DeNoble Builders, Inc

1838 CAMELOT DRIVE



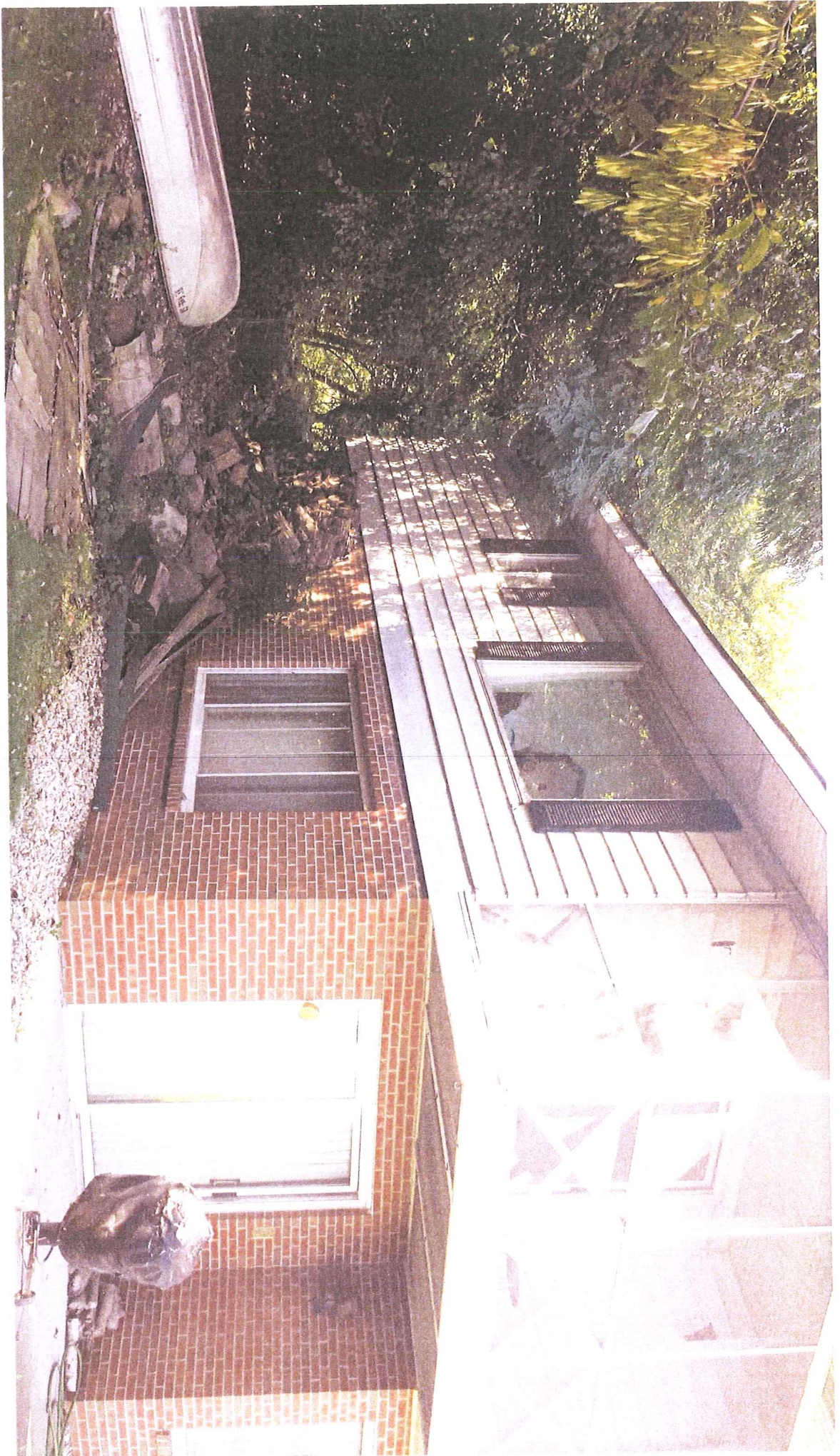
FRONT



BACK (LAKE SIDE)



LEFT SIDE



RIGHT SIDE

L.L. DUCT COMING OUT OF FLOOR - RUST - MUD CAUSE BY WATER UNDER SLAB

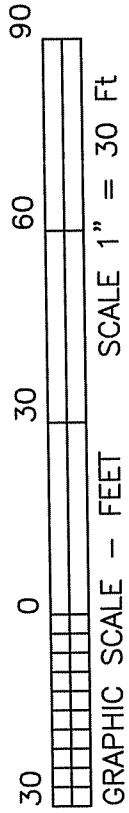


MANY CRACKS - FROM ABNORMAL SETTLING AND SHRINKING



REPAIRING WINDOW - STARTING TO LEAN MOUL

LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, T07N, R09E,
CITY OF MADISON, DANE COUNTY, WISCONSIN.



LAKE MENDOTA
LAKE LEVEL 850.38' NGVD29
5/01/13
OHW ELEVATION 850.1'



LEGEND
 ○ = 3/4" * 24" SOLID IRON ROD SET
 1.50 LBS./FT. MINIMUM WEIGHT
 UNLESS OTHERWISE STATED
 () = RECORDED INFORMATION
 I.P. = IRON PIPE
 I.S. = IRON STAKE

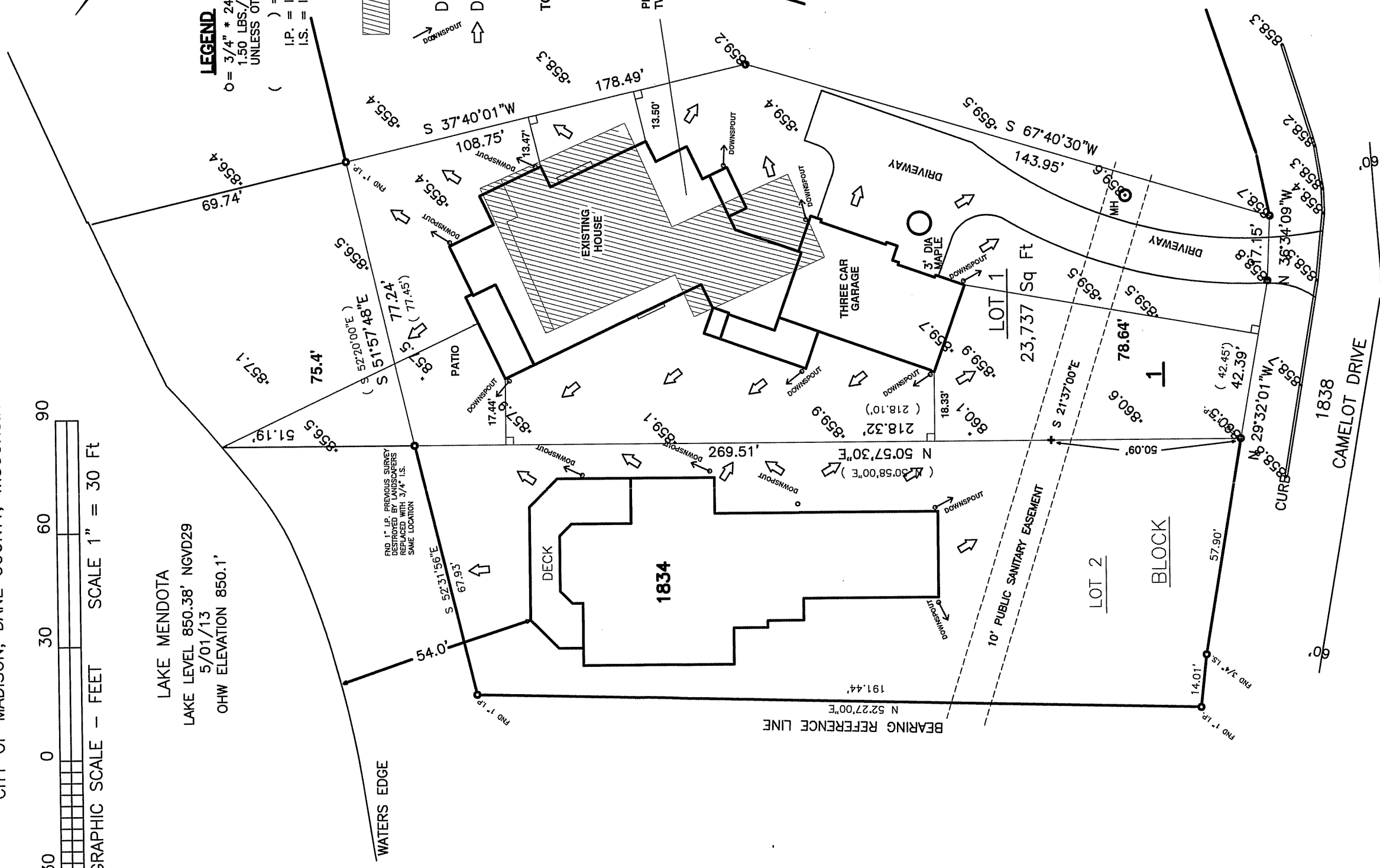
EXISTING HOUSE

↓ DOWNSPOUT LOCATION
 ↗ DRAINAGE ARROW

TOP OF FOUNDATION 860.9'
 TOP OF EXISTING FOUNDATION 860.0'

PROPOSED TWO STORY HOUSE

GREENWAY



DATE	REV	DESCRIPTION	SHEET
05/01/13	1	1"=30'-0"	1
VER. 5			1

Property of:
HART DENOBLE
 7233 Airport Road
 Madison, WI 53718
 Office: (608) 441-1422
 Fax: (608) 531-1422
 www.hartdenoble.com

PLANNED BY:
 STEVEN T. HERTZ
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 Hart Denoble Builders, Inc.
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 HART DENOBLE BUILDERS, INC.
 200 W. WASHINGTON ST., 1ST FLOOR
 MADISON, WI 53703

NEW RESIDENCE FOR:
WALKER RESIDENCE
 1838 CAMELOT DRIVE
 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, T07N, R09E,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

ROOF HT 889.18'

ROOF EAVE HT 879.59'

UPPER FLOOR HT 871.39'

ROOF EAVE HT 870.52'

GARAGE FLOOR HT 860.9'
TOP OF FOUNDATION 860.9'

GRADE 860.3'

ROOF MID POINT HT 879.84'

GARAGE FLOOR HT 860.9'

ROOF HT 889.18'

ROOF EAVE HT 879.59'

ROOF EAVE HT 870.52'

MAIN FLOOR HT 860.9'

TOP OF EXISTING
FOUNDATION 860.0'

STUCCO

CENTURION STONE

6" LP SMARTSIDING
AND TRIM

FRONT ELEVATION

ROOF HT 889.18'

STUCCO

ROOF MID POINT HT 879.84'

STUCCO

ROOF EAVE HT 879.59'

UPPER FLOOR HT 871.39'

ROOF EAVE HT 870.52'

MAIN FLOOR HT 860.9'
TOP OF FOUNDATION 860.9'

PATIO GRADE 860.3'

6" LP SMARTSIDING
AND TRIM

GRADE 860.3'

CENTURION STONE

GARAGE FLOOR HT 860.9'
TOP OF FOUNDATION 860.9'

TOP OF EXISTING
FOUNDATION 860.0'

LEFT ELEVATION

LOWER LEVEL UNFINISHED-	3045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1959 SQ. FT.
TOTAL FINISHED-	5004 SQ. FT.

THREE SCREEN POCH-	201 SQ. FT.
GARAGE -	1154 SQ. FT.
FRONT COVERED PORCH-	62 SQ. FT.
STORAGE ROOM PORCH-	39 SQ. FT.
STORAGE -	206 SQ. FT.

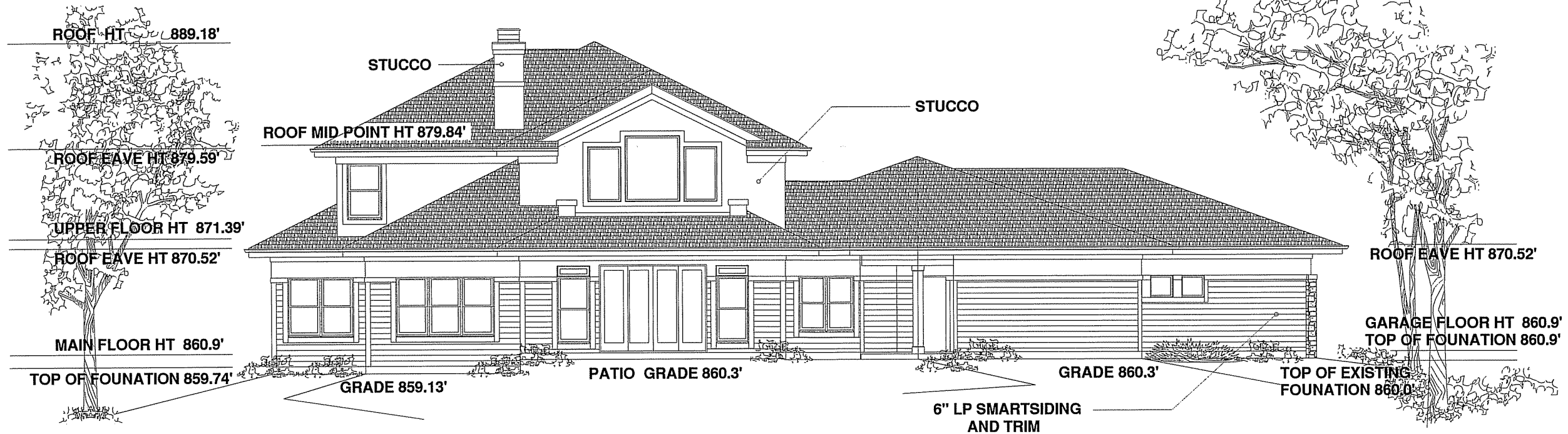
ELEVATIONS	
DATE:	REV 9/30/2015
SCALE:	1/4" = 1'-0"
PROJEN:	
VER. 5	7

STATION T. HANSEN
 THIS DOCUMENT IS THE EXCLUSIVE
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 HART DENOBLE BUILDERS, INC.
 7123 Airport Road
 Middleton, WI 53562
 (608) 831-4422
 Fax: (608) 831-5676
 www.hartdenoblebuilders.com

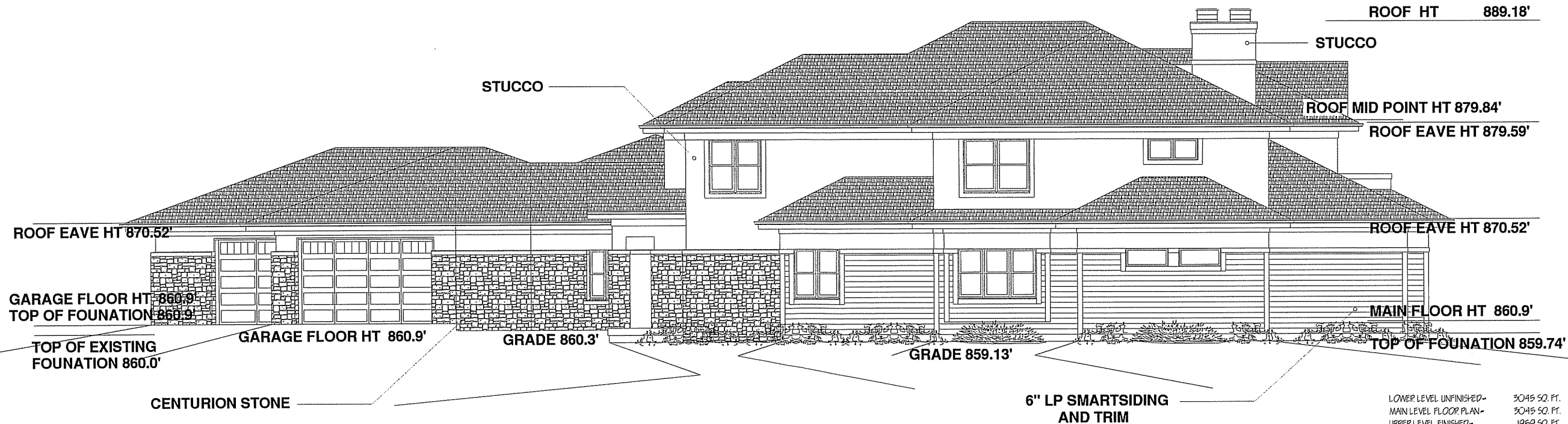
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NEW RESIDENCE FOR:
WALKER RESIDENCE
 1838 CAMELOT DRIVE
 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, T07N, R09E,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

PLAN SET REV 5 9/30/15



BACK ELEVATION



RIGHT ELEVATION

LOWER LEVEL UNFINISHED-	3045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1959 SQ. FT.
TOTAL FINISHED-	5004 SQ. FT.
THREE SCREEN POCH-	201 SQ. FT.
GARAGE -	1154 SQ. FT.
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STORAGE-	206 SQ. FT.

ELEVATIONS	
DATE:	REV 9/30/2015
SCALE:	1/4" = 1'-0"
PERSON:	SHEET
VER. 5	7

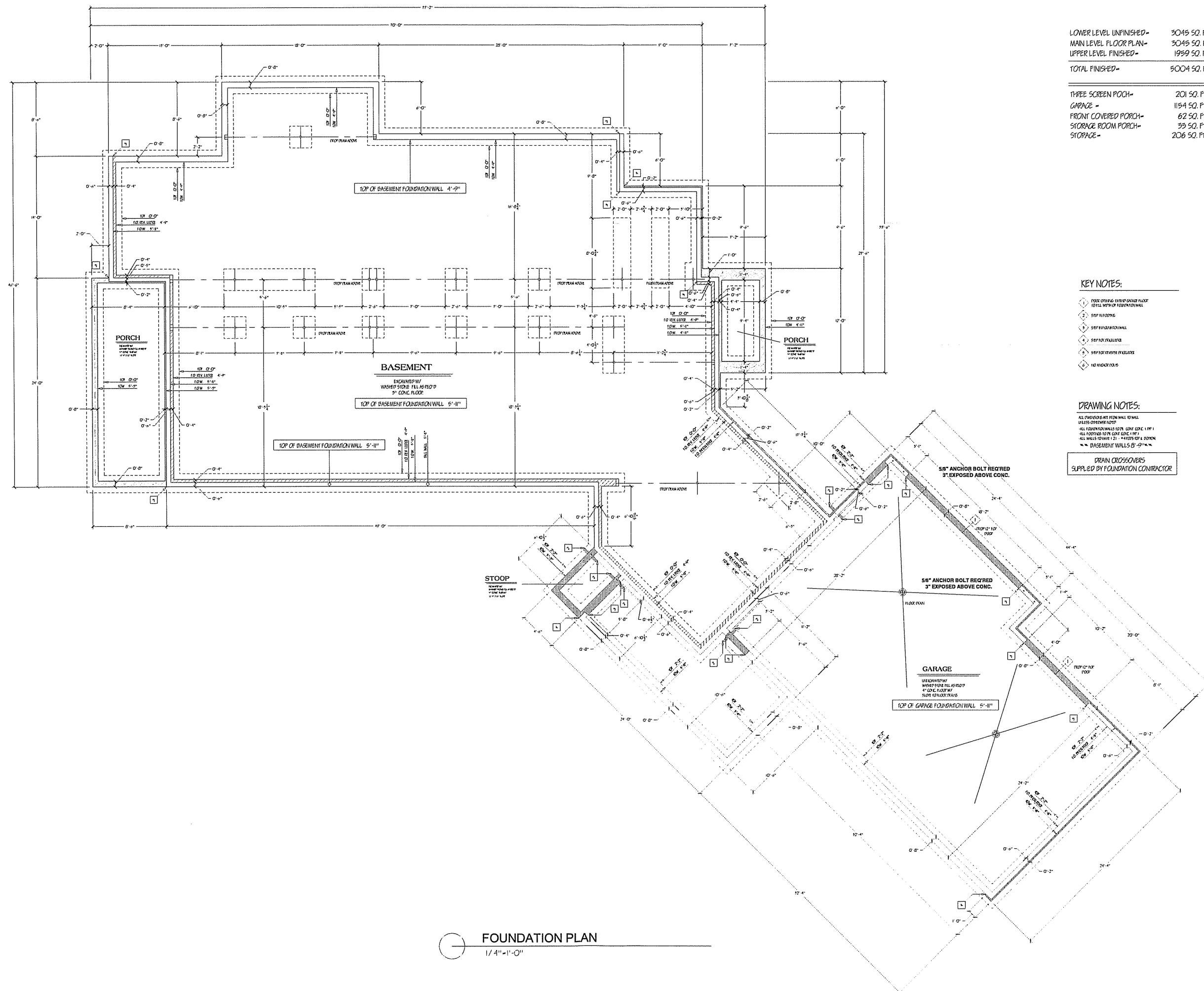
PLAN SET REV 5 9/30/15

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HART DENOBLE BUILDERS, INC.
 123 Aurora Road
 Madison, WI 53752
 Phone: 608.271.1422
 Fax: 608.271.1423
 www.hartdenoble.com

NEW RESIDENCE FOR:
WALKER RESIDENCE
 1838 CAMELOT DRIVE
 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, TOWNSHIP R09E,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

PLAN SET REV 5 9/30/13



LOWER LEVEL UNFINISHED-	3045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1959 SQ. FT.
TOTAL FINISHED-	5004 SQ. FT.

THREE SCREEN POOL-	201 SQ. FT.
GARAGE -	1154 SQ. FT.
FRONT COVERED PORCH-	62 SQ. FT.
STORAGE ROOM PORCH-	33 SQ. FT.
STORAGE-	206 SQ. FT.

KEY NOTES:

- 1. FLOOR FINISH: SEE PLAN AND ELEVATIONS
- 2. SEE FOUNDATION PLAN
- 3. SEE FOUNDATION PLAN
- 4. SEE FOUNDATION PLAN
- 5. SEE FOUNDATION PLAN
- 6. SEE FOUNDATION PLAN
- 7. SEE FOUNDATION PLAN

DRAWING NOTES:

- 1. ALL DIMENSIONS ARE FROM WALL TO WALL UNLESS OTHERWISE NOTED
- 2. ALL FOUNDATION WALLS TO BE 12" MIN. CONC. 1:1:1
- 3. ALL FOOTINGS TO BE 12" MIN. CONC. 1:1:1
- 4. ALL WALLS TO HAVE 1/2" - 4" REINFORCING BARS
- 5. BASEMENT WALLS 8'-0" MIN.

DRAIN CROSSOVERS SUPPLIED BY FOUNDATION CONTRACTOR

FOUNDATION PLAN
1/4"=1'-0"

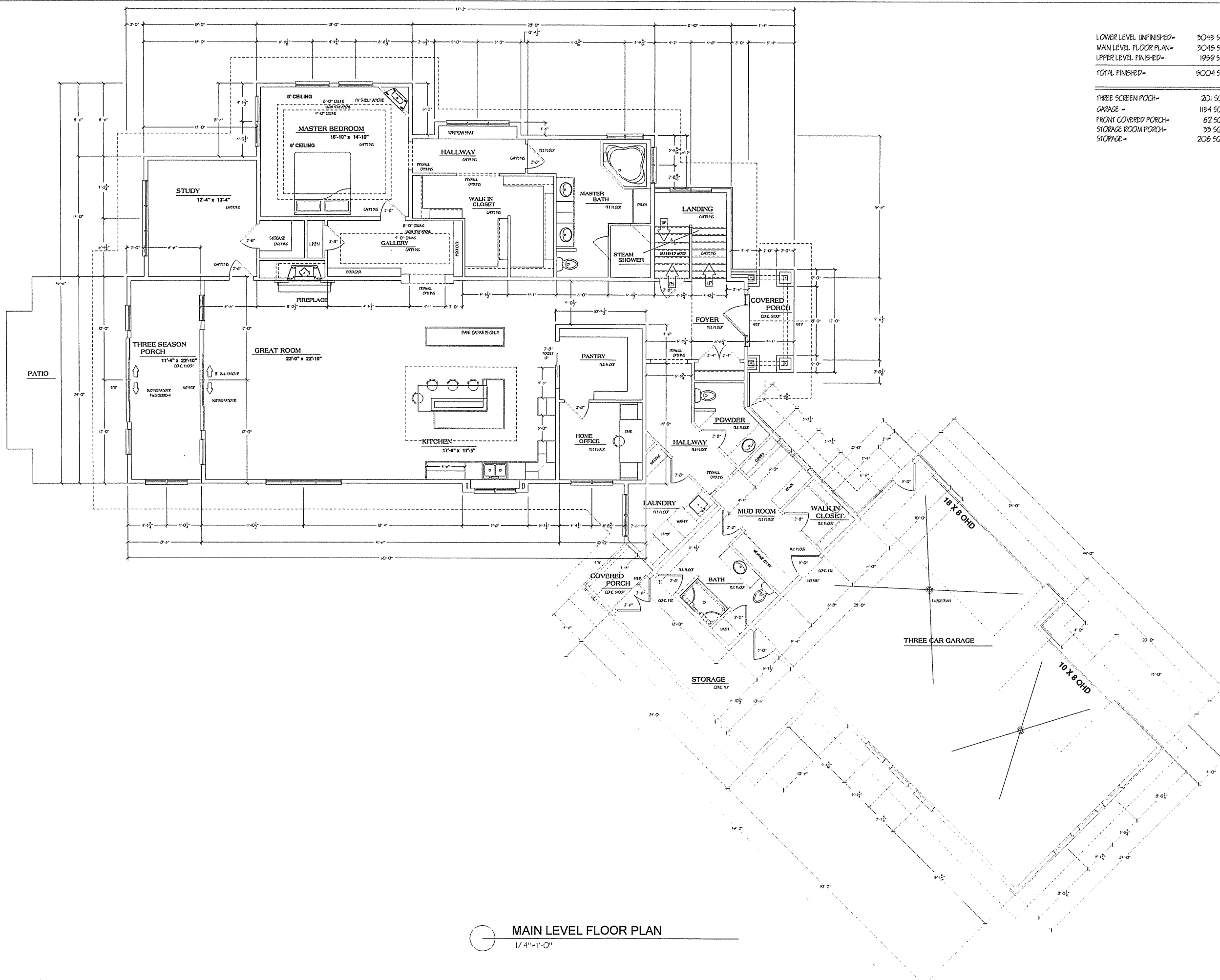
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 1838 CAMELOT DRIVE
 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, T07N, R09E,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

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 STEVEN T. HARTER
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 HART DENOBLE BUILDERS, INC.
 1000 UNIVERSITY AVENUE, SUITE 200
 MADISON, WISCONSIN 53706

Property of:
HART DENOBLE BUILDERS, INC.
 1000 UNIVERSITY AVENUE, SUITE 200
 MADISON, WISCONSIN 53706
 OFFICE (608) 833-4323
 FAX (608) 833-4372
 www.denoblebuilders.com

FOUNDATION PLAN	DATE: REV 9/30/2013
SCALE: 1/4"=1'-0"	
REVISION	DATE
VER. 5	37

PLAN SET REV 5 9/30/13



LOWER LEVEL UNFINISHED-	3045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1999 SQ. FT.
TOTAL FINISHED-	9004 SQ. FT.

THREE SCREEN POCH-	201 SQ. FT.
GARAGE -	1194 SQ. FT.
FRONT COVERED PORCH-	62 SQ. FT.
STORAGE ROOM PORCH-	35 SQ. FT.
STORAGE-	206 SQ. FT.

NEW RESIDENCE FOR:
WALKER RESIDENCE
 1838 CAMELOT DRIVE
 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, TOWNSHIP ROSE,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

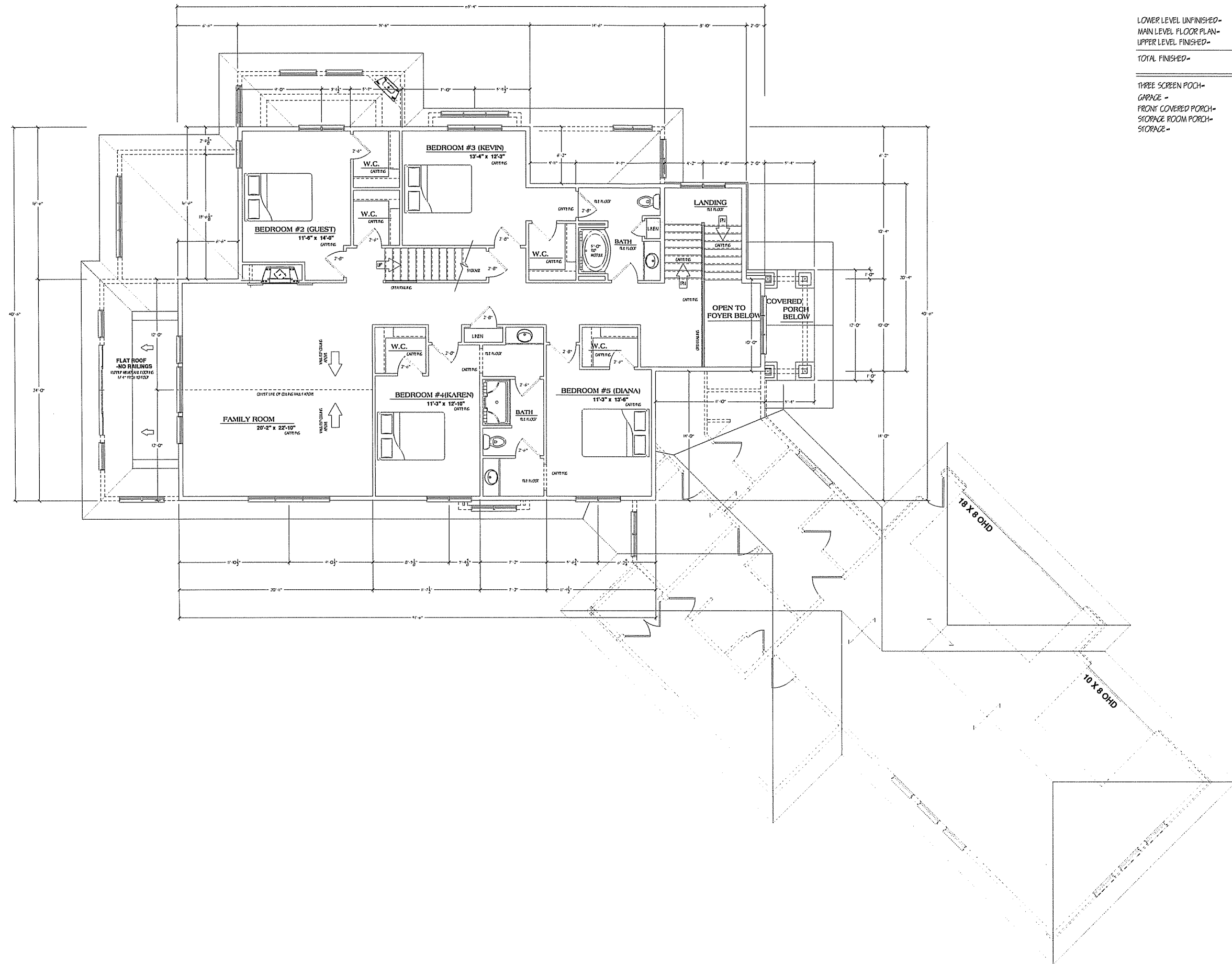
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 HART DENOBLE BUILDERS, INC.
 7023 Airport Road
 Madison, WI 53719
 www.dcnobbuilders.com

Property Of:
HART DENOBLE BUILDERS, INC.
 OFFICE (608) 831-4222
 7023 Airport Road
 Madison, WI 53719
 Fax: (608) 831-8272
 www.dcnobbuilders.com

MAIN LEVEL FLOOR PLAN
 1/4" = 1'-0"

MAIN LEVEL FLOOR PLAN	
DATE: REV 9/30/2013	
SCALE: 1/4" = 1'-0"	
REVISION	SHEET 7
VER. 5	4

PLAN SET REV 5 9/30/13



LOWER LEVEL UNFINISHED-	5045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1959 SQ. FT.
TOTAL FINISHED-	5004 SQ. FT.
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GARAGE -	1154 SQ. FT.
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STORAGE-	206 SQ. FT.

NEW RESIDENCE FOR:
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 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, T07N, R08E,
 CITY OF MADISON, DANE COUNTY, WISCONSIN

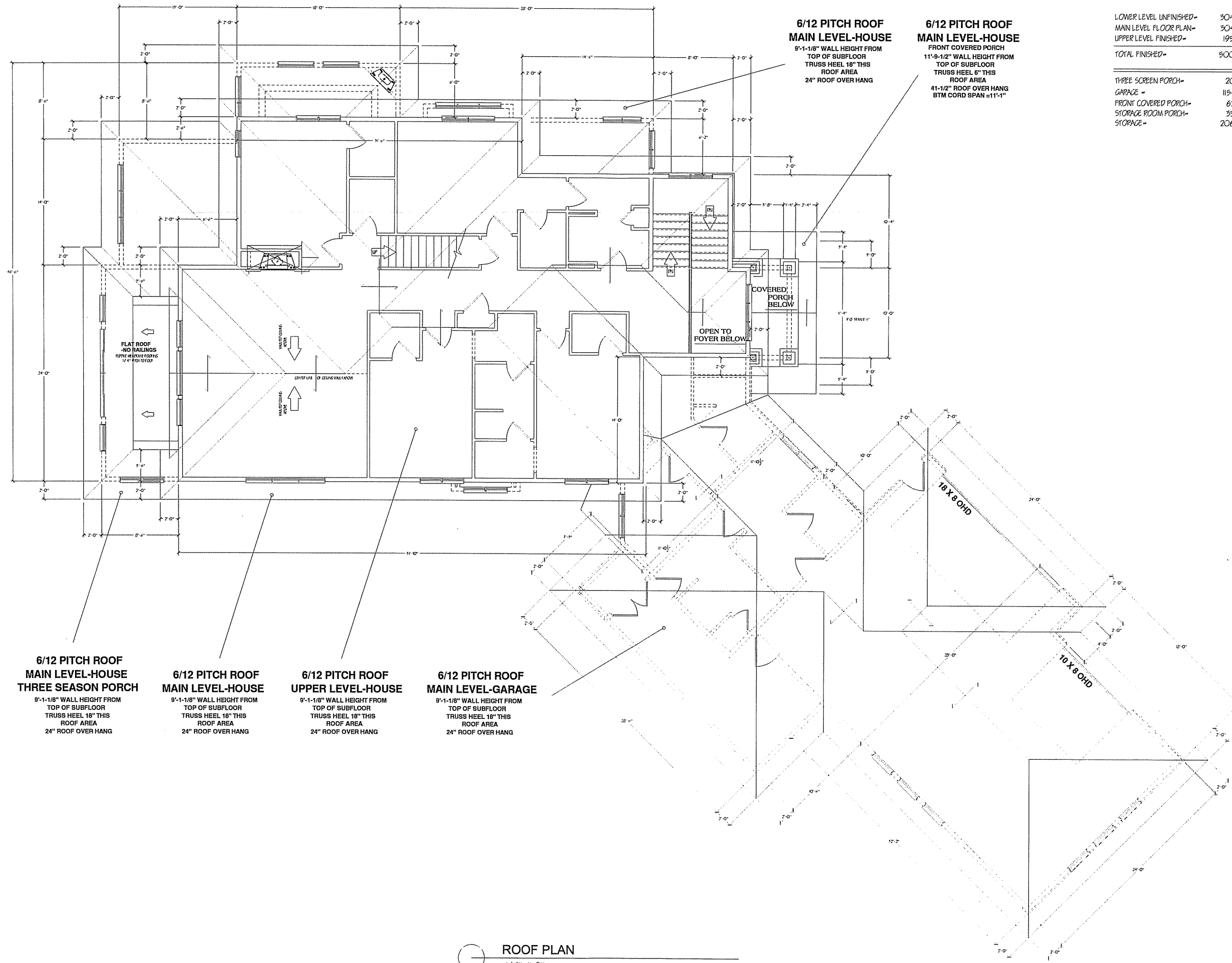
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 Hart Denoble Builders, Inc.
 2075 Walnut Street, Madison, WI 53706

Property Of:
HART DENOBLE BUILDERS, INC.
 2075 Walnut Street
 Madison, WI 53706
 Office: (608) 833-4429
 Fax: (608) 833-4272
 www.denoblebuilders.com

UPPER LEVEL FLOOR PLAN
 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN
DATE: REV 9/30/2013
SCALE: 1/4" = 1'-0"
DIVISION: SHEET: 7
VER. 5 5

PLAN SET REV 5 9/30/13



**6/12 PITCH ROOF
MAIN LEVEL-HOUSE**
9'-1-1/8" WALL HEIGHT FROM
TOP OF SUBFLOOR
TRUSS HEEL 18" THIS
ROOF AREA
24" ROOF OVER HANG

**6/12 PITCH ROOF
MAIN LEVEL-HOUSE**
FRONT COVERED PORCH
11'-9-1/2" WALL HEIGHT FROM
TOP OF SUBFLOOR
TRUSS HEEL 6" THIS
ROOF AREA
41'-1/2" ROOF OVER HANG
BTM CORD SPAN = 11'-11"

LOWER LEVEL UNFINISHED-	3045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1959 SQ. FT.
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GARAGE -	1154 SQ. FT.
FRONT COVERED PORCH-	62 SQ. FT.
STORAGE ROOM PORCH-	35 SQ. FT.
STORAGE -	206 SQ. FT.

**6/12 PITCH ROOF
MAIN LEVEL-HOUSE
THREE SEASON PORCH**
9'-1-1/8" WALL HEIGHT FROM
TOP OF SUBFLOOR
TRUSS HEEL 18" THIS
ROOF AREA
24" ROOF OVER HANG

**6/12 PITCH ROOF
MAIN LEVEL-HOUSE**
9'-1-1/8" WALL HEIGHT FROM
TOP OF SUBFLOOR
TRUSS HEEL 18" THIS
ROOF AREA
24" ROOF OVER HANG

**6/12 PITCH ROOF
UPPER LEVEL-HOUSE**
9'-1-1/8" WALL HEIGHT FROM
TOP OF SUBFLOOR
TRUSS HEEL 18" THIS
ROOF AREA
24" ROOF OVER HANG

**6/12 PITCH ROOF
MAIN LEVEL-GARAGE**
9'-1-1/8" WALL HEIGHT FROM
TOP OF SUBFLOOR
TRUSS HEEL 18" THIS
ROOF AREA
24" ROOF OVER HANG

NEW RESIDENCE FOR:
WALKER RESIDENCE
1888 CAMELOT DRIVE
CITY OF MADISON, DANE COUNTY, WISCONSIN

STEVEN T. HENTON
THIS DOCUMENT IS THE EXCLUSIVE
PROPERTY OF:
Hart DeNoble Builders, Inc.
1800 W. MONROE STREET
MADISON, WI 53706
TEL: (608) 261-1423
FAX: (608) 261-1422
WWW.HARTDENOBLEBUILDERS.COM

Property Of:
HART DENOBLE BUILDERS, INC.
1800 W. MONROE STREET
MADISON, WI 53706
TEL: (608) 261-1423
FAX: (608) 261-1422
WWW.HARTDENOBLEBUILDERS.COM

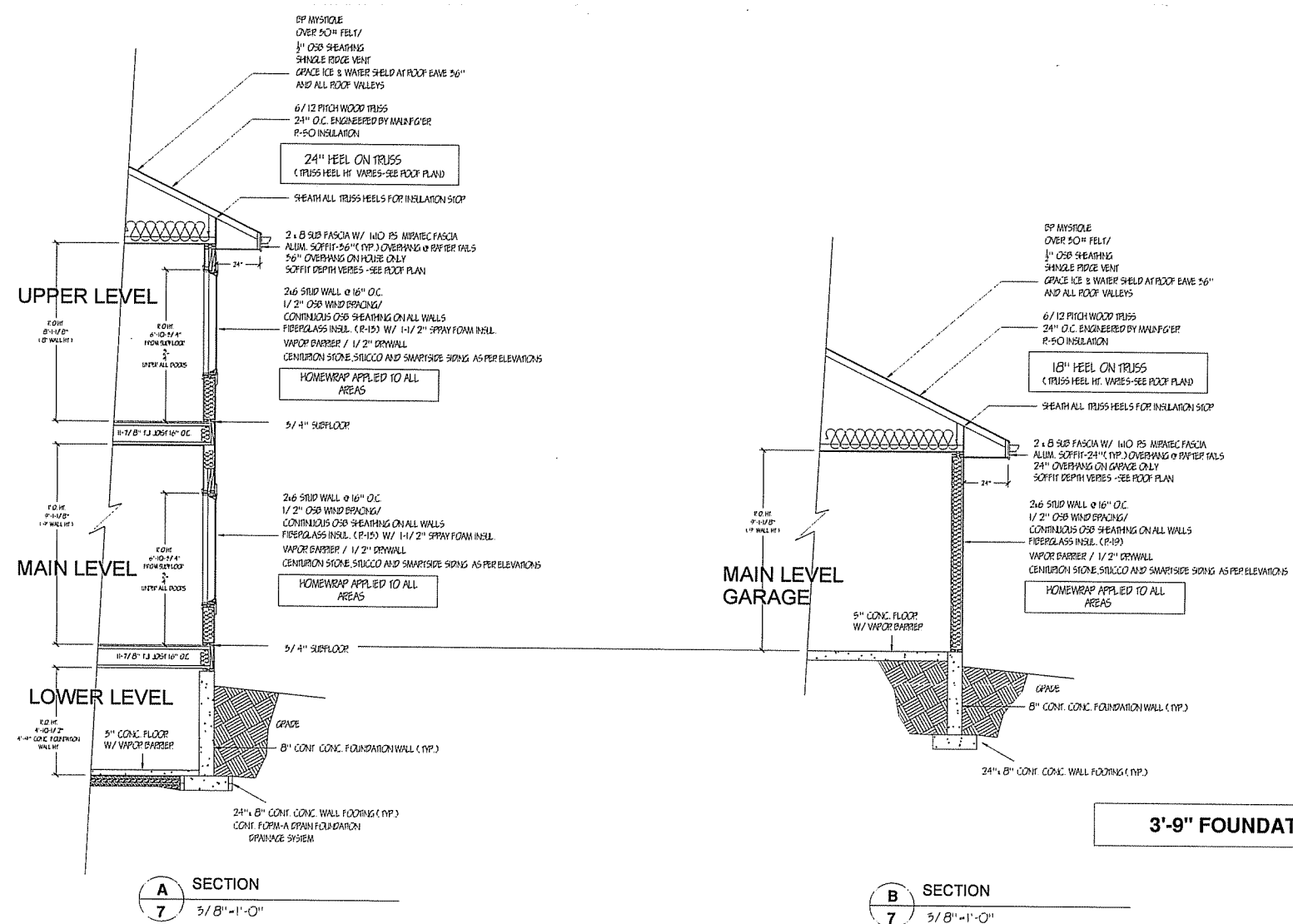
ROOF PLAN
1/4" = 1'-0"

ROOF PLAN	
DATE:	REV 9/30/2013
SCALE:	1/4" = 1'-0"
REVISION:	SHEET 7
VER. 5	6

PLAN SET REV 5 9/30/13

LOWER LEVEL UNFINISHED-	3045 SQ. FT.
MAIN LEVEL FLOOR PLAN-	3045 SQ. FT.
UPPER LEVEL FINISHED-	1999 SQ. FT.
TOTAL FINISHED-	5004 SQ. FT.
THREE SCREEN PORCH-	201 SQ. FT.
GARAGE -	1154 SQ. FT.
FRONT COVERED PORCH-	62 SQ. FT.
STORAGE ROOM PORCH-	39 SQ. FT.
STORAGE-	206 SQ. FT.

NEW RESIDENCE FOR:
WALKER RESIDENCE
 1838 CAMELOT DRIVE
 LOT 1, BLOCK 1, MENDOTA ESTATES, LOCATED IN PART OF GOVERNMENT LOT 1, SECTION 18, TOWNSHIP, ROSE,
 CITY OF MADISON, DANE COUNTY, WISCONSIN



4'-9" FOUNDATION WALLS
 * 5'-11" FOUNDATION WALL HT. AT REVERSE LEDGE FOR FLOOR JOIST

DESIGNED BY: STEVEN T. HANSEN
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 Middleton, WI 53558
 Phone: (608) 831-4222
 Fax: (608) 831-4272
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 Middleton, WI 53558
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SECTIONS	
DATE:	REV 9/30/2013
SCALE:	5/8" = 1'-0"
REVISION:	SHEET 7
VER. 5	7