

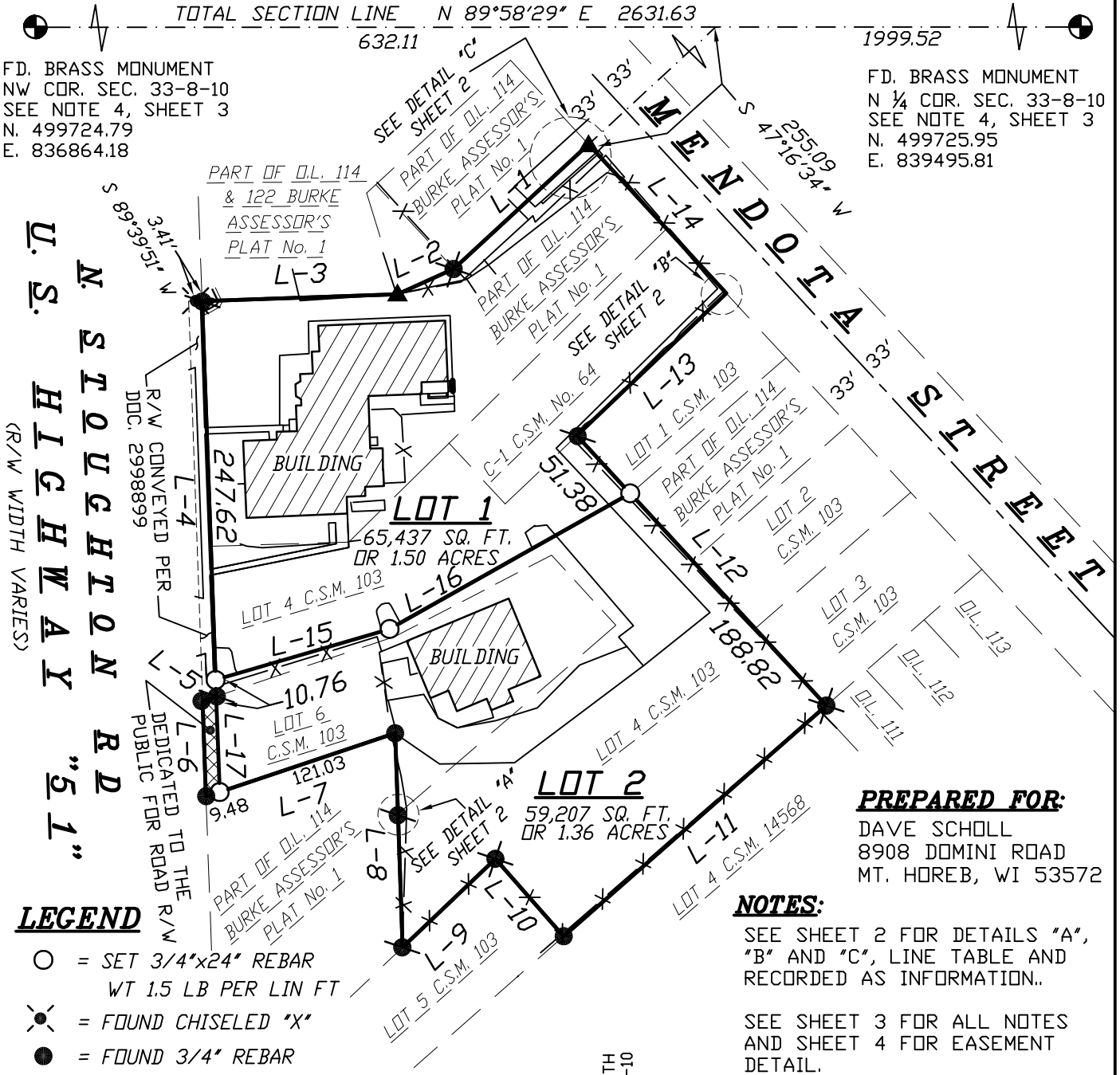


CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE & CHRIS W. ADAMS, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

A parcel of land located in part of the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin. Including part of Outlot 114 Burke Assessor's Plat No. 1, Vol. 9 of Plats, Pg. 15 as Doc. No. 593673 and also Lot C-1, C.S.M. No. 64, Vol. 1 of Certified Survey Maps, Pg. 64 as Doc. No. 1034024, and also Lots 4 and 6, C.S.M. No. 103, Vol. 1 of Certified Survey Maps, Pg. 103 as Doc. No. 1058166, all recorded in the Dane County Register of Deeds Office.



FD. BRASS MONUMENT
NW COR. SEC. 33-8-10
SEE NOTE 4, SHEET 3
N. 499724.79
E. 836864.18

FD. BRASS MONUMENT
N 1/4 COR. SEC. 33-8-10
SEE NOTE 4, SHEET 3
N. 499725.95
E. 839495.81

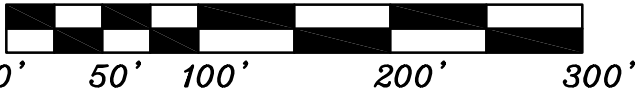
U.S. HIGHWAY RD "51"
N. SLOUGH RD
R/W CONVEYED PER DDC, 2998899
DEDICATED TO THE PUBLIC FOR ROAD R/W
(R/W WIDTH VARIES)

PREPARED FOR:
DAVE SCHOLL
8908 DOMINI ROAD
MT. HOREB, WI 53572

LEGEND

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- ⊗ = FOUND CHISELED "X"
- = FOUND 3/4" REBAR
- ⊙ = FOUND 1 1/4" IRON PIPE
- ⊖ = FOUND 1" PINCH PIPE
- ⊕ = FOUND DANE COUNTY SECTION CORNER (AS NOTED)
- < ## > = RECORDED AS

SCALE 1" = 100'



DOCUMENT NO. _____

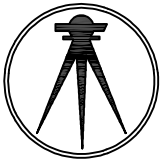
CERTIFIED SURVEY MAP NO. _____

NOTES:

- SEE SHEET 2 FOR DETAILS "A", "B" AND "C", LINE TABLE AND RECORDED AS INFORMATION.
- SEE SHEET 3 FOR ALL NOTES AND SHEET 4 FOR EASEMENT DETAIL.

W.C.C.S. - DANE ZONE
BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NW 1/4 OF SECTION 33-8-10 LINE TO BEAR N 89°58'29" E

SURVEYORS SEAL



CERTIFIED SURVEY MAP

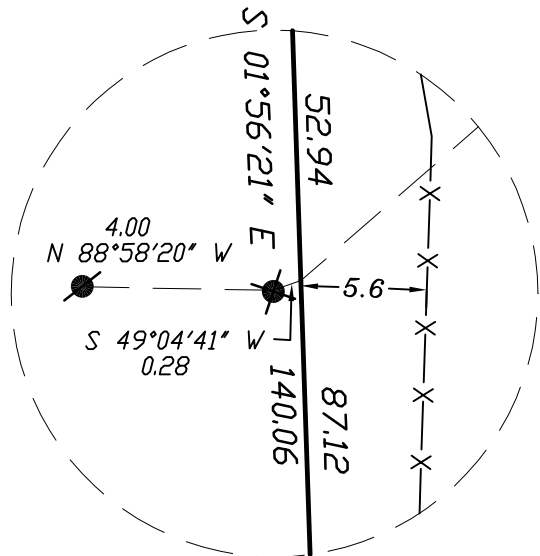
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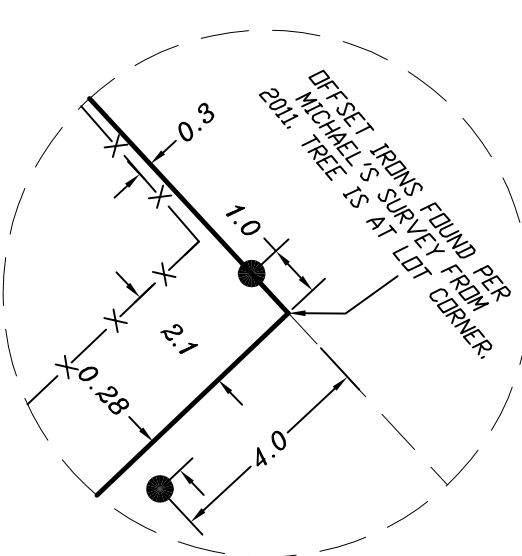
DETAIL "A"

NOT TO SCALE



DETAIL "B"

NOT TO SCALE

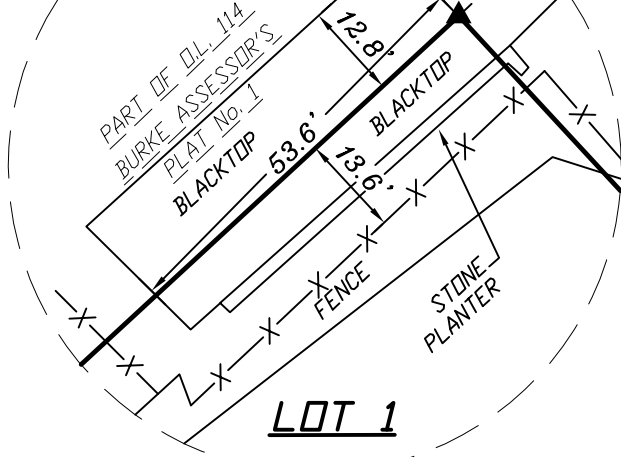


LINE TABLE:

L-#	BEARINGS	DIST.
L1	(S 47°16'34" W) S 47°16'34" W	(120.00) 119.91
L2	(S 65°32'50" W) S 65°45'00" W	(39.90) 40.32
L3	(S 87°51' W) S 87°56'14" W	(127.84)
L4	(S 2°55' E) S 02°03'37" E	(258.38)
L5	(S 71°06'49" W) S 71°28'39" W	(9.43) 9.39
L6	(S 02°09' E) S 01°58'43" E	(62.5) 62.62
L7	(N 71°18' E) N 71°27'09" E	(130.4) 130.51
L8	(S 02°09' E) S 01°56'21" E	(140.0) 140.06
L9	(N 46°10' E) N 46°21'49" E	(83.85) 83.87
L10	(S 41°19' E) S 41°16'53" E	(67.6) 67.46
L11	(N 48°41' E) N 48°42'49" E	(228.60) (135.00)
L12	N 42°44'23" W	240.20
L13	N 46°23'03" E	134.85
L14	(N 42°54' E) N 42°46'06" W	(132.50) 132.55
L15	N 73°41'55" E	118.44
L16	N 60°35'15" E	180.55
L17	S 02°03'37" E	62.59

DETAIL "C"

NOT TO SCALE



BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NW 1/4 OF SECTION 33-8-10 LINE TO BEAR N 89°58'29" E

SURVEYORS SEAL



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NOTES:

- 1.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 2.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.
- 3.) THESE PARCELS ARE SUBJECT TO A DECLARATION OF COVENANTS RECORDED AS DOC. NO. 4257995.
- 4.) ALL TIES WERE VERIFIED AND CHECK TO BE IN GOOD CONDITION PER THE LATEST TIE SHEET ON FILE FOR THE NORTHWEST AND NORTH 1/4 CORNER OF SECTION 33, T8N, R10E.
- 5.) NO CHANGES IN DRAINAGE PATTERNS ASSOCIATED WITH DEVELOPMENT ON ANY OR ALL LOTS WITHIN THIS CSM SHALL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
- 6.) Public Easement for Sloping and Grading:

Creation of Easement Rights: A permanent easement over, across and within the Easement Area is established, memorialized, reserved by, granted, conveyed, transferred and assigned to the City of Madison for the uses and purposes hereinafter set forth. The Easement Area may be used by the City of Madison for public sloping and grading purposes. The City of Madison and its employees, agents and contractors shall have the further right of ingress and egress to and from the Easement Area in order to exercise its rights and privileges hereunder, and to cut and remove trees, vegetation and other impediments in the Easement Area which may obstruct or interfere with the actual or potential use of the Easement Area for the foregoing purposes.

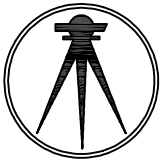
Property Restoration: City of Madison shall repair any damage caused to any pavement or turf located within the Easement Area and/or the Property as a result of the use of the Easement Area by or on behalf of the City of Madison as provided herein. Following completion of any excavation work, City of Madison shall promptly restore the area affected by the work to the required final grade and surface condition including the repair or replacement of pavement and turf.

Limitations on Use of Easement Area: The owner of the Property shall have the right to use the Easement Area for any purpose, provided such use shall not interfere with the easement rights of the City of Madison hereunder. No above-ground improvements (other than the existing fence) shall be constructed in and no grade change shall be made to the Easement Area without the written consent of the City of Madison's Engineering Division City Engineer.

Binding Effect: This Easement shall run with the land described herein and shall be binding upon the owners of the Property, and their successors in interest.

Release of Rights to Easements Created by Plat: Any release of rights that were placed on platted land which was required by a public body or which names a public body or public utility as grantee shall be released by recording a separate easement release document with the Dane County Register of Deeds in accordance with ss236.293.

SURVEYORS SEAL



CERTIFIED SURVEY MAP

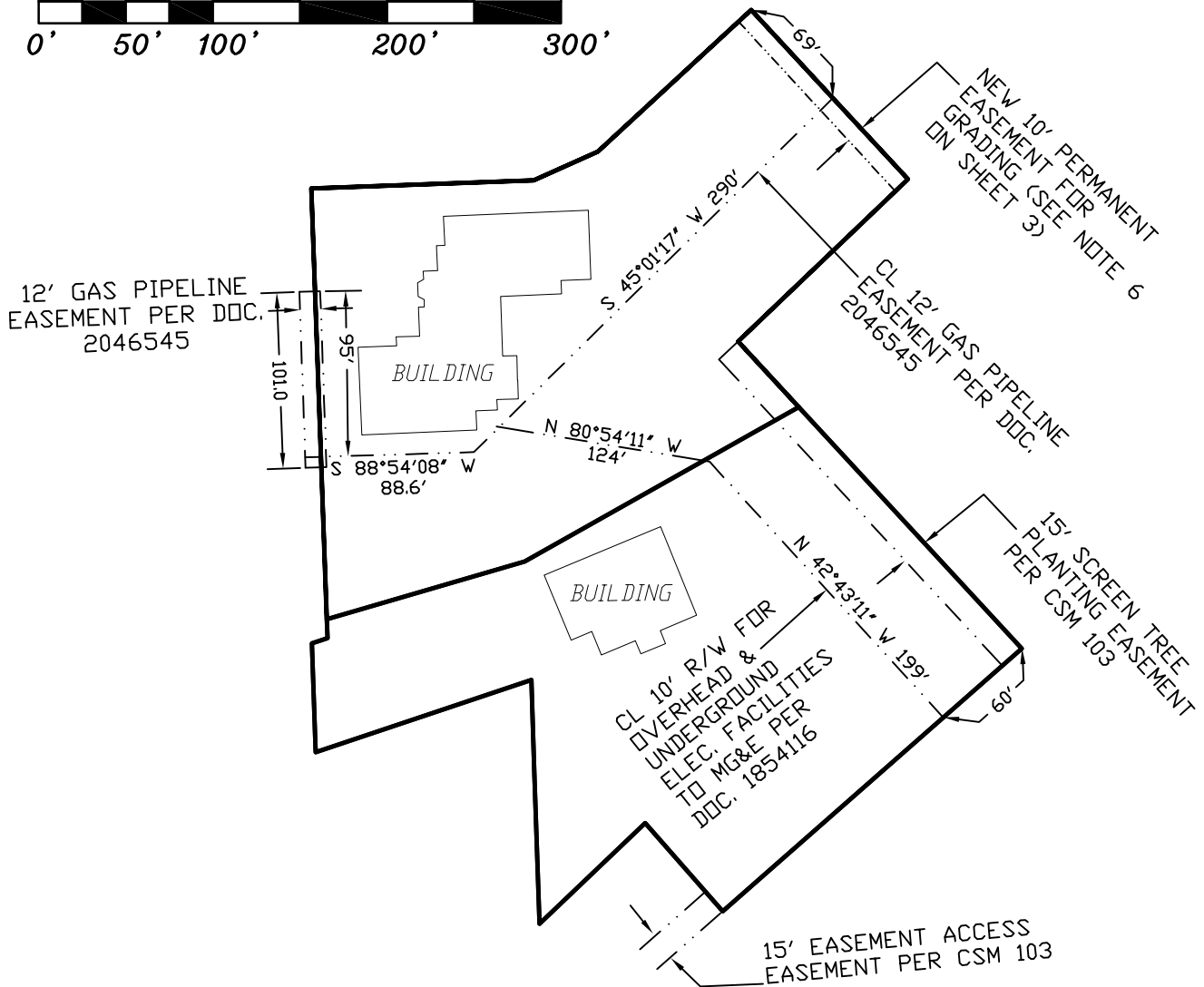
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SCALE 1" = 100'

EASEMENT DETAIL



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SURVEYORS SEAL



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SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the City of Madison, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the NW 1/4 of the NW 1/4 of Section 33, T8N, R10E, City of Madison, Dane County, Wisconsin, including part of Outlot 114 Burke Assessor's Plat No. 1, Vol. 9 of Plats, Pg. 15, and also Lot C-1, C.S.M. No. 64, Vol. 1 of Certified Survey Maps, Pg. 64, and also Lots 4 and 6, C.S.M. No. 103, Vol. 1 of Certified Survey Maps, Pg. 103, being more particularly described as follows:

Commencing at the Northwest corner of said Section 33; thence N 89°58'29" E, 632.11 feet; thence S 47°16'34" W, 255.09 feet to the point of beginning.

thence continue S 47°16'34" W, 119.91 feet; thence S 87°56'14" W, 127.84 feet; thence S 02°03'37" E, 258.38 feet; thence S 71°28'39" W, 9.39 feet; thence S 01°58'43" E, 62.62 feet; thence N 71°27'09" E, 130.51 feet; thence S 01°56'21" E, 52.94 feet; thence S 01°56'21" E, 87.12 feet; thence N 46°21'49" E, 83.87 feet; thence S 41°16'53" E, 67.46 feet; thence N 48°42'49" E, 228.60 feet; thence N 42°44'23" W, 240.20 feet; thence N 46°23'03" E, 134.85 feet; thence N 42°46'06" W, 132.55 feet to the point of beginning. This parcel contains 2.86 acres.

Williamson Surveying and Associates, LLC
by Noa T. Prieve & Chris W. Adams

Date _____

Chris W. Adams S-2748
Professional Land Surveyor

OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided, dedicated and mapped as represented on the certified survey map. I also certify that this certified survey map is required to be submitted to the City of Madison for approval.

WITNESS the hand seal of said owners this _____ day
of _____, 20____.

Dale J. Scholl Living Trust Dated February 4, 2021

Dale J. Scholl - Trustee

STATE OF WISCONSIN)
DANE COUNTY)

Personally came before me this _____ day of _____, 20____ the above named Dale J. Scholl to me known to be the person who executed the foregoing instrument and acknowledge the same.

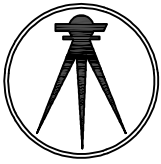
_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

SURVEYORS SEAL



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CITY OF MADISON PLAN COMMISSION:

Approved for recording per Secretary, Madison Planning Commission action of _____ day of _____, 20__

Matthew Wachter
Secretary Plan Commission

CITY OF MADISON COMMON COUNCIL:

Resolved that this Certified Survey Map located in the City of Madison was hereby approved by Enactment number _____, File ID Number _____, adopted on the _____ day of _____, 20__, and that said enactment further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for public use.

Dated this _____ day of _____, 20__

Maribeth Witzel-Behl
City of Madison, Dane County

REGISTER OF DEEDS:

Received for recording this ___ day of _____, 20__ at ___ o'clock __.M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

SURVEYORS SEAL