

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
126 S. Hamilton St.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____

Date received _____

Received by _____

Aldermanic District _____

Zoning District _____

Urban Design District _____

Submittal reviewed by _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 2431, 2531 WINNEBAGO STREET, MADISON, WI. DCI PARCEL# 071006134284

Title: UNION CORNERS - GRANDFAMILY APARTMENTS

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested May 23, 2018

- New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex
- Signage**
 Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)
- Other**
 Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name BEN MARSHALL Company GORMAN AND COMPANY
Street address 200 N. MAIN STREET City/State/Zip OREGON, WI. 53575
Telephone 608) 835-3900 Email bmarshall@gormanusa.com

Project contact person MARK M. SMITH Company GORMAN AND COMPANY
Street address 200 N. MAIN STREET City/State/Zip OREGON, WI. 53575
Telephone 608) 835-3900 Email marksmith@gormanusa.com

Property owner (if not applicant) UC Grandfamily, LLC
Street address 200 N. MAIN STREET City/State/Zip OREGON, WI. 53575
Telephone 608) 835-3900 Email _____

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist provided below for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

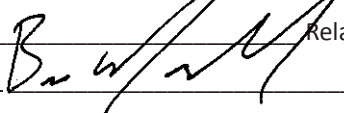
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with JANINE GLAESER on 10/12/2017.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name BEN MARSHALL Relationship to property OWNERS AGENT
 Authorized signature of OWNERS AGENT  Date May 23, 2018

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- **Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)**
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable) **NOT APPLICABLE**
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted) **NOT APPLICABLE**
- PD text and Letter of Intent (if applicable) **HVAC IN UNITS (INTERIOR)**
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



200 N. Main Street • Oregon, WI 53575

P: (608) 835-3900

F: (608) 835-3922

www.GormanUSA.com

REAL ESTATE DEVELOPMENT

MILWAUKEE MIAMI PHOENIX CHICAGO DENVER

December 6th, 2017

Mr. Tim Parks
Urban Design Commission
215 Martin Luther King Jr. Blvd
P.O. Box 2985
Madison, WI 53701

Re: Letter of Intent
PD-SIP Re Zoning
2507 Winnebago Street
Madison, WI 53704

Dear Mr. Parks:

The following is submitted together with the plans, and application for staff approval.

Project Organizational Structure:

Owner: Gorman & Company, Inc.
200 N. Main Street
Oregon, WI 53575
414-617-9997
Contact: Edward Matkom
tmatkom@gormanusa.com

Architect: Gorman & Company, Inc.
200 N. Main Street
Oregon, WI 53575
608-835-3900
Contact: Mark M. Smith
marksmith@gormanusa.com

Civil: JSD Professional Services, Inc.
Engineer 161 Horizon Dr, Suite 101
Madison, WI 53593
608-848-5060
Contact: Hans Justeson
hans.justeson@jsdinc.com

Landscape: JSD Professional Services, Inc.
Design 7402 Stone Ridge Dr, Suite 4
Weston, WI 54476
715-298-6330
Contact: Justin Frahm
justin.frahm@jsdinc.com

Introduction:

The site property is located on the east side of Madison, on Winnebago Street just off of East Washington Boulevard. The property is within the Union corners General Plan Development. The site is currently vacant.

Zoning:

The site is currently within the Union Corners General Plan Development.

Project Description:

The Project consists of two three story buildings with basement parking. The ground floor contains building common areas/ amenity spaces rental apartments, and lobbies. The upper two floors are rental apartments. The project includes improvements to Winnebago street outside of the property line of this phase, including new sidewalks, and angled street parking. Additionally, the project constructs a new serpentine pedestrian pathway and stormwater management swales.

Project Development Data:

Site Density:

Lot area:	138,085 s.f. (3.05 acres)
Dwelling Units:	60 Units
Lot Area / D.U.	2301 s.f / d.u.
Density	19.68 d.u. / acre

Site Coverage:

Building Footprints:	28,676 s.f. (24 %)
Sidewalks / Terrace:	17,486 s.f. (13 %)
Pavement:	11,530 s.f. (9%)
Pervious Surface:	75,166 s.f. (54%)

Building Ratio:

Social Services:	2,859 s.f. (2.6 %)
Apartments & Amenities	68,320 s.f. (64.0 %)
Underground Parking:	22,983 s.f. (21.65%)
Misc (corridor, mech, stairs):	<u>12,546 s.f. (11.75 %)</u>
	106,708 s.f. Total Building Area

Dwelling Unit Mix

Two Bedroom	37
Three Bedroom	<u>23</u>
	60 Total

Bike Parking:

Enclosed:	62
Surface:	<u>30</u>
	92 Total

Vehicular Parking:

Enclosed	75
Surface	43 (<u>33 In City R.O.W.</u>)
	118 Total

Schedule:

The development schedule calls for construction to start September of 2018, with a scheduled completion in November 2019.

Social & Economic Impacts:

This development will have a positive social and economic impact on the surrounding community. The re-development of this property will provide high quality affordable housing and social support services.

Thank you for your time in reviewing our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read "Edward B. Matkom". The signature is fluid and cursive, with the first name "Edward" being the most prominent part.

Edward Matkom
President – Wisconsin Market
Gorman & Company, Inc.

Zoning Text

Rezoning PD-GDP to PD-SIP
Union Corners – Bldg. 6 & 7
2507 Winnebago Road
Parcel #071006134284
Lot 1 of Union Corners
December 6, 2017

Legal Description: Parcel #071006134284 or Lot 1 of Union Corners

- A. **Statement of Purpose:** Re-zoning of Lot 1 from PD-GDP PD-SIP to allow for the construction of two three story buildings with a total of 60 dwelling units. Buildings will consist of community, social service space and dwelling units on the ground floor, with dwelling units on the upper two floors. Tenant parking will be provided on site and in underground parking beneath the buildings.
- B. **Permitted Uses:** Uses as shown on Exhibit A, attached hereto
- C. **Lot Area:** Lot 1 – 138,085 s.f. (3.05 acres)
- D. **Floor Area Ratio:** 0.61
- E. **Yard Requirements:** As shown on the attached plans
- F. **Landscaping:** Site landscaping provided as shown on the attached landscape plan.
- G. **Accessory Off-Site Parking:** Off-street and surface parking shall be provided as shown the attached plans.
- H. **Lighting:** Site lighting will be provided along pedestrian path, plaza, and building façade and meeting MGO requirements. Exhibit to follow.
- I. **Signage:** Tenant, and apartment signage will be located on building façade, and meet MGO requirements. See attached plans. Signage approval will made in a separate submittal.
- J. **Alterations and Revisions:** No alteration or revision of the planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administration may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Exhibit A - Permitted Uses

Residential – Family Living

- Live/work unit
- Multi-family dwelling (>8 dwelling units)

Residential - Group Living

- Adult family home
- Cohousing community
- Community living arrangement (> 15 residents)
- Housing cooperative

Civic and Institutional Uses

- Counseling, community services organization
- Community center
- Day care center
- Library, museum
- Recreational, community, and neighborhood centers

Agriculture and Resource Uses

- Community garden
- Market garden

Accessory Uses and Structures

- Management office and recreation facilities within multi-family building
- Non-accessory temporary outdoor events
- On-site agricultural retail, farm stand
- Outdoor display
- Outdoor eating area
- Outdoor sales event
- Temporary outdoor events

Offices

- Insurance office, real estate office, sales office
- General office
- Professional office

Medical Facilities

- Physical, occupational or message therapy

Retail Sales and Services

- Artisan workshop
- Business sales and services
- Farmers' market
- Food and related goods sales
- Furniture and household goods sales
- Health/sports club
- Home occupation
- Indoor recreation
- Printing and publishing
- Post office
- Real estate sales office
- Secondhand goods sales
- Service business
- Telecommunications center

Food and Beverage

- Catering
- Coffee shop, tea house

UNION CORNERS GRANDFAMILY

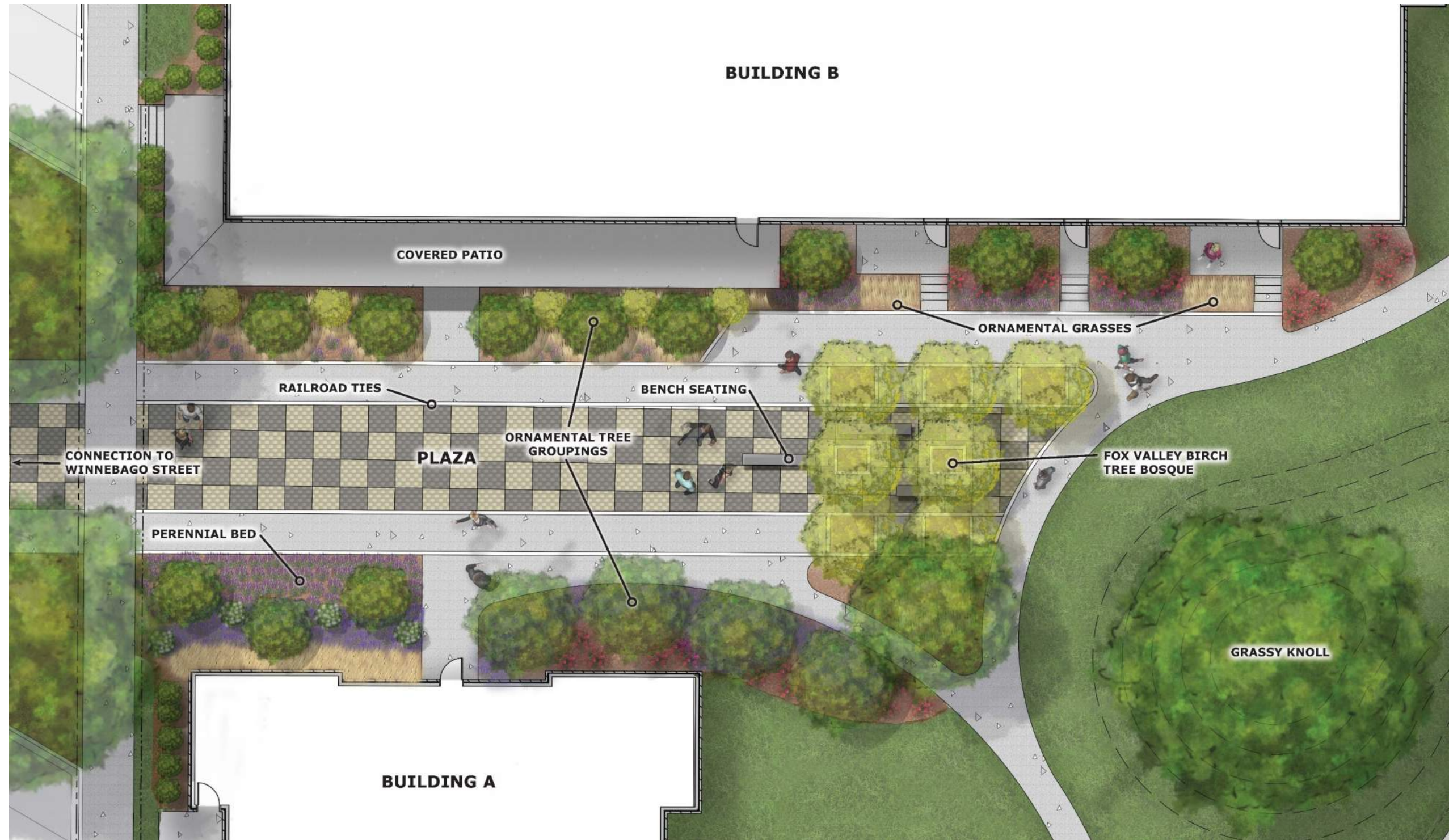




CARBON AT UNION CORNERS



MASTER PLAN



THE PLAZA



THE PLAZA



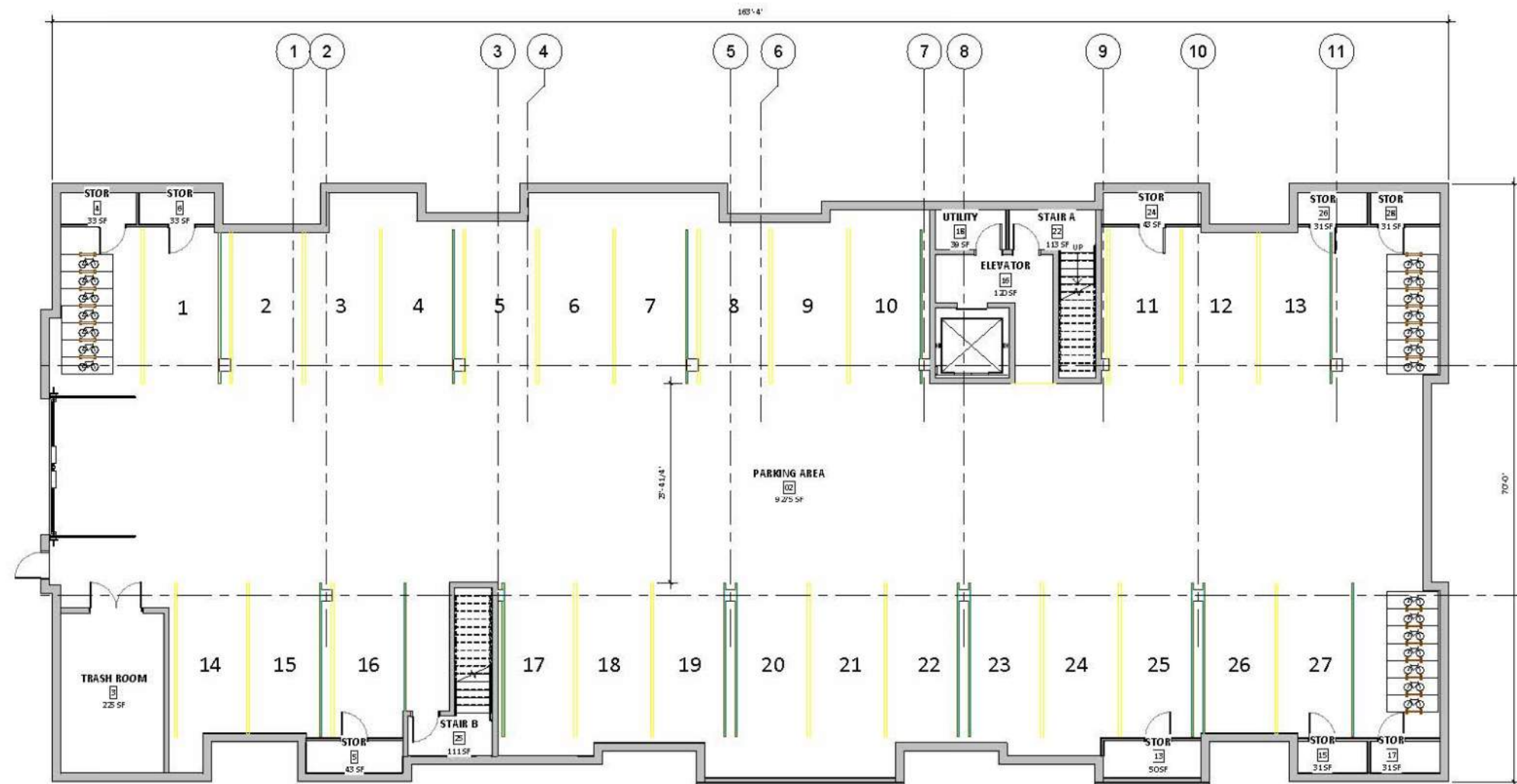
GREEN SPACE



BUILDING 6

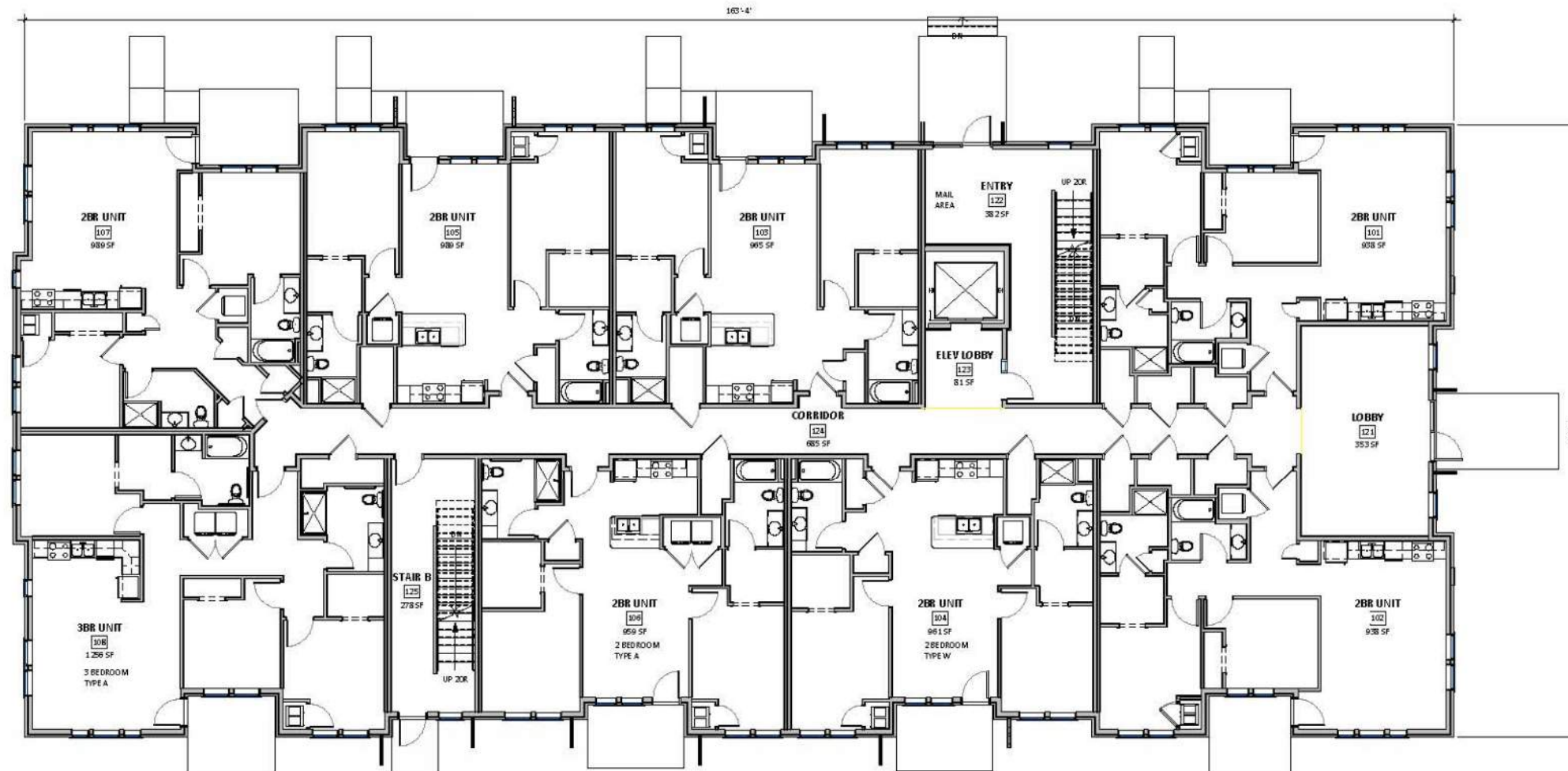


BUILDING 7



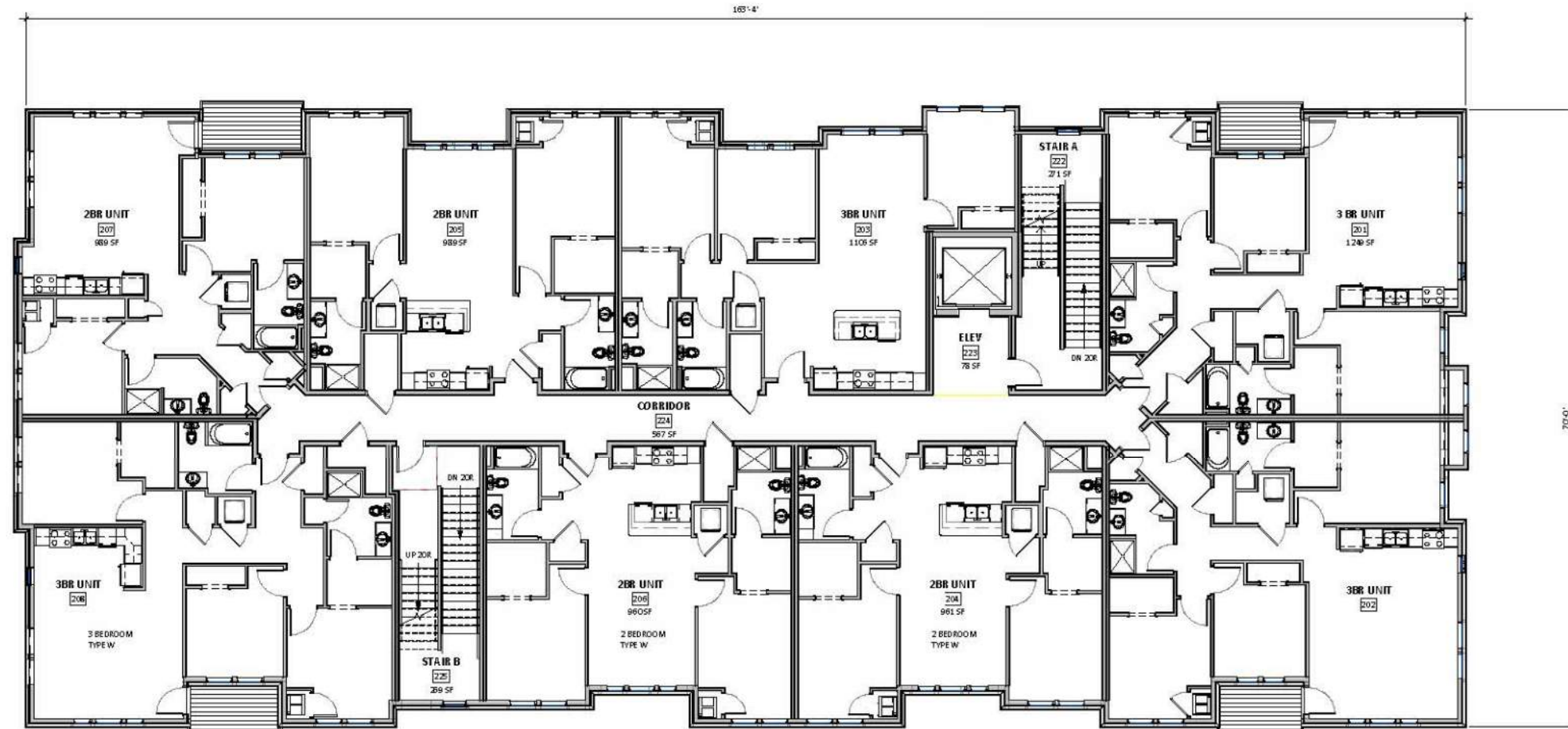
1 PARKING LEVEL OVERALL PLAN
 SCALE: 1/8" = 1'-0"

BUILDING 6 (PARKING)



1 GROUND FLOOR OVERALL PLAN
 SCALE: 1/8"=1'-0"

BUILDING 6 (GROUND FLOOR)



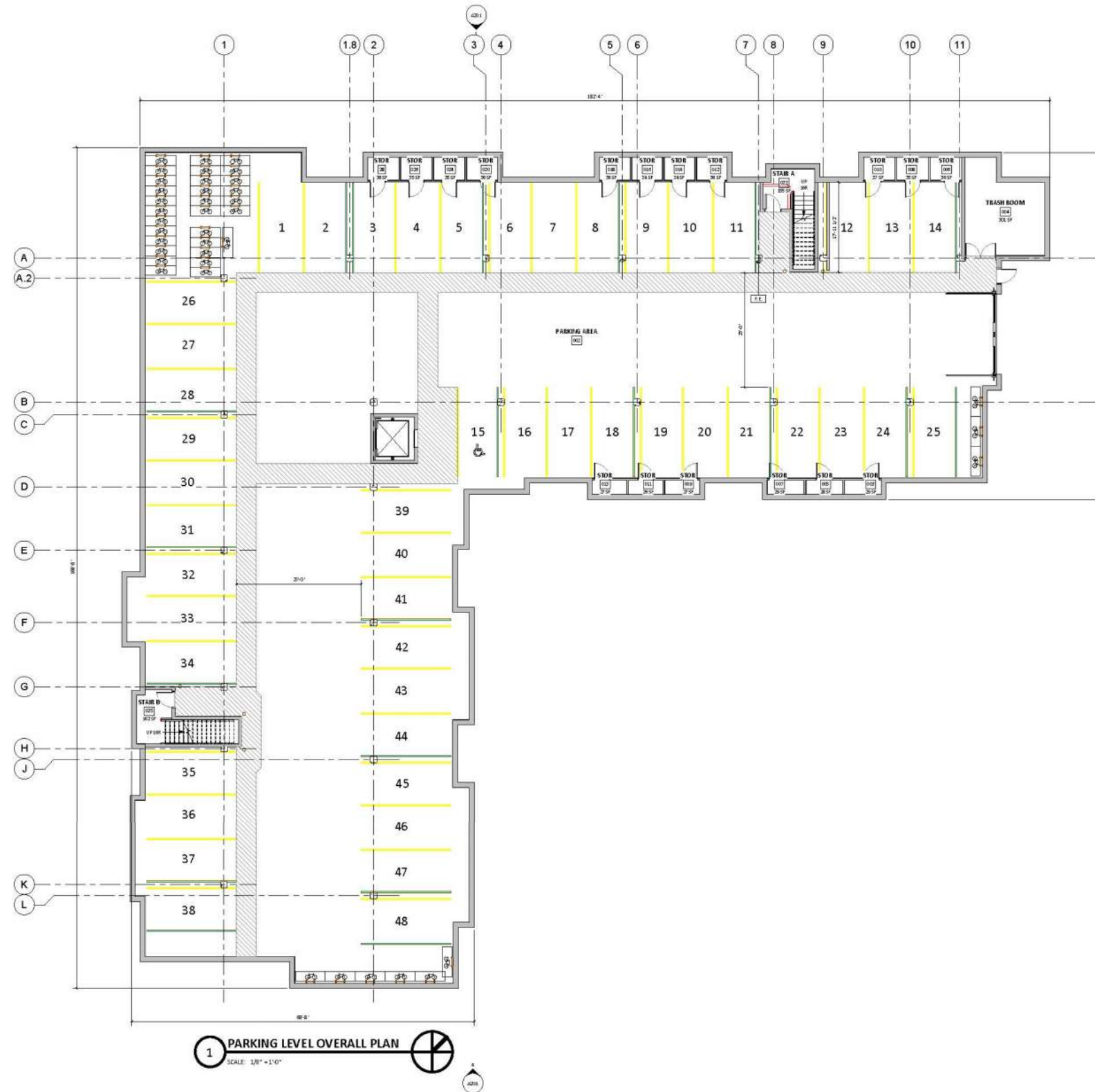
1 2ND FLOOR OVERALL PLAN
SCALE: 1/8"=1'-0"

BUILDING 6 (SECOND FLOOR)

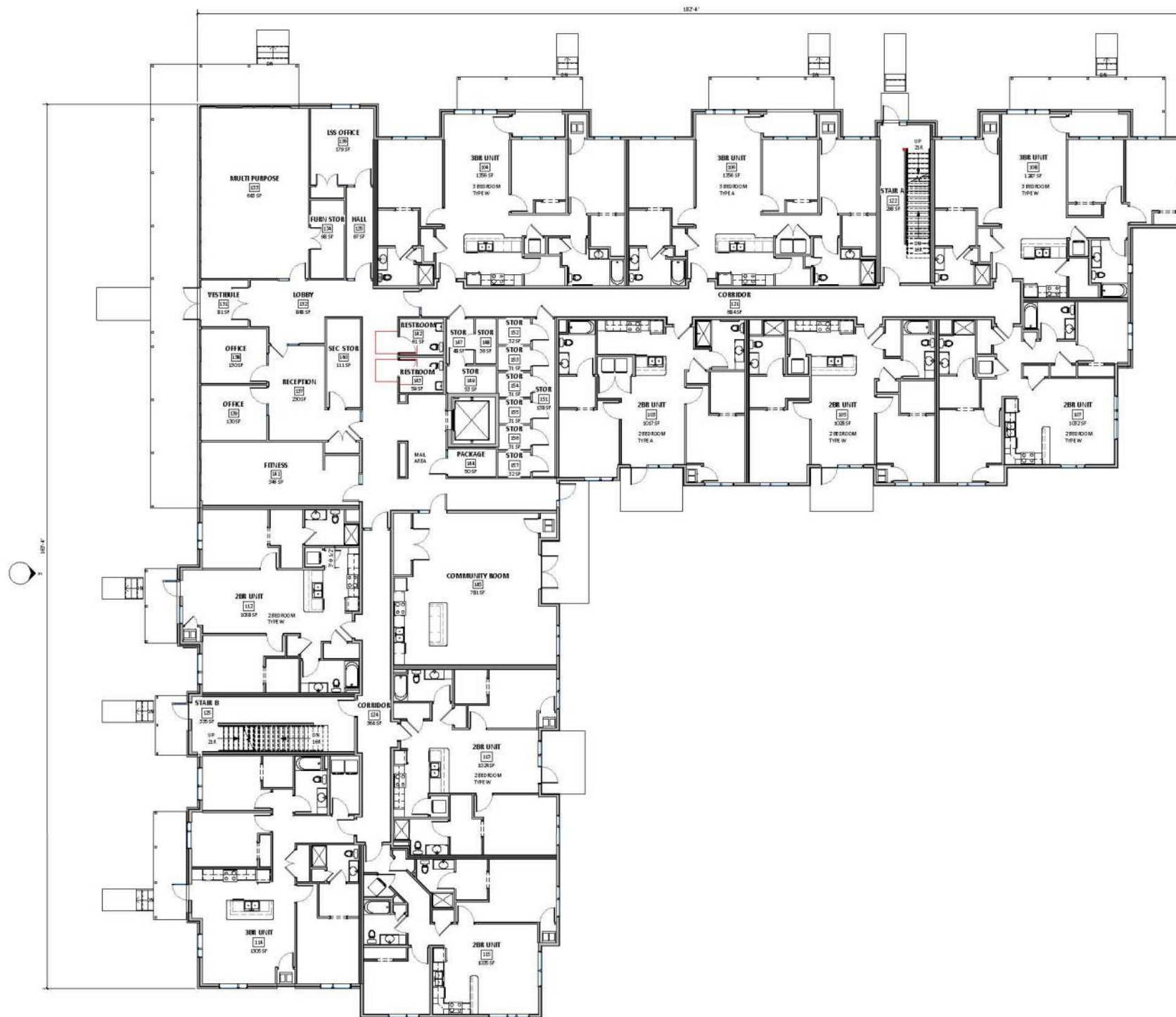


1 3RD FLOOR OVERALL PLAN
SCALE: 1/8" = 1'-0"

BUILDING 6 (SECOND FLOOR)

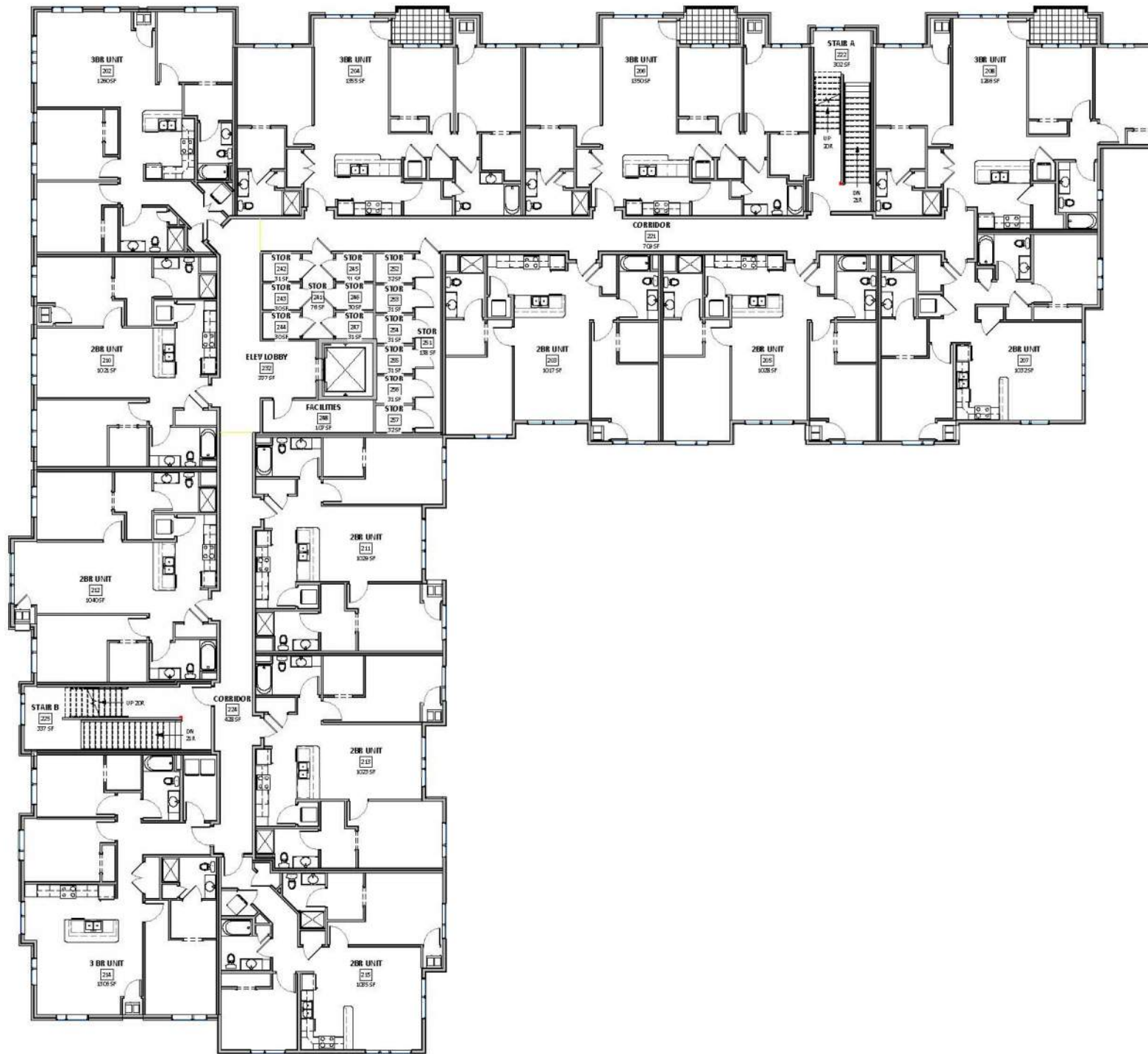


BUILDING 7 (PARKING)



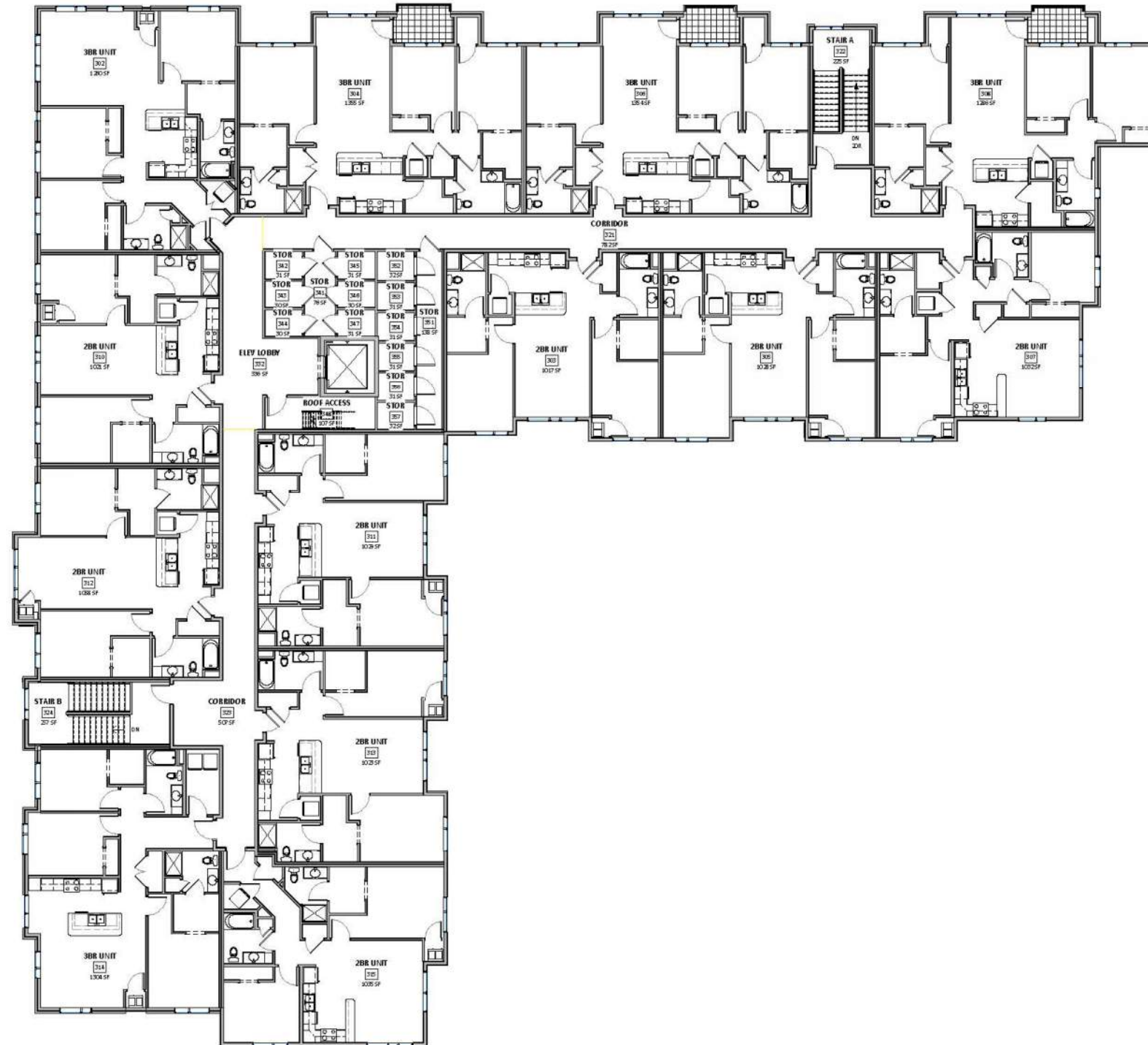
1 GROUND FLOOR OVERALL PLAN
SCALE: 1/8" = 1'-0"

BUILDING 7 (GROUND FLOOR)



1 2ND FLOOR OVERALL PLAN
SCALE: 1/8" = 1'-0"

BUILDING 7 (SECOND FLOOR)



1 3RD FLOOR OVERALL PLAN
SCALE: 1/8" = 1'-0"

BUILDING 7 (THIRD FLOOR)



South Building 6



South Building 7



North Building 7



North Building 6

ELEVATION



East Building 7



West Building 7



West Building 6



East Building 6

ELEVATION



Seal

CONSTRUCTION DOCUMENTS

Project No. _____
Plot Date: December 27, 2017
Drawn by: BVE
USER

Date Issue Description
December 27, 2017 Issued For Review
XXXXX XXXXX

Sheet Title

SITE PLAN
- ELECTRICAL

Sheet No.

ES01

CIRCUITRY & LIGHTING CONTROL NOTES:

- A. LIGHTING CIRCUITRY TO BE FED FROM BUILDING # XXXX LIGHTING HOUSE PANEL LP-1.
- B. CIRCUIT NUMBERS FOR LIGHTING IS INDICATED BY NUMBER UNDER FIXTURE TYPE. HOME-RUNS ARE SHOWN FOR OVERRIDING OR MORE EXACT INTENTIONS.
- C. TYPICAL FIXTURE TYPE AND CIRCUIT NUMBER:
A1 - FIXTURE TYPE
10 - CIRCUIT NO.
- D. CIRCUIT NUMBERS FOR POWER DEVICES/EQUIPMENT IS INDICATED ADJACENT TO THE SYMBOL.
- E. PROVIDE LIGHTING CONTROL FROM LOW VOLTAGE LIGHTING CONTROL PANEL LVRP-1. SEE CIRCUITS LISTED ON THE PANELBOARD SCHEDULES AND LOW VOLTAGE RELAY SCHEDULE.
- F. WIRING SCHEDULE:
1 2 #8 XHHW + GR, 2" PVC CONDUIT
2 4 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM
3 8 #8 XHHW + GR, 2-1/2" PVC CONDUIT MINIMUM
4 3 #6 XHHW + GR, 2" PVC CONDUIT MINIMUM
5 3 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM

SPECIFIC NOTES (POWER):

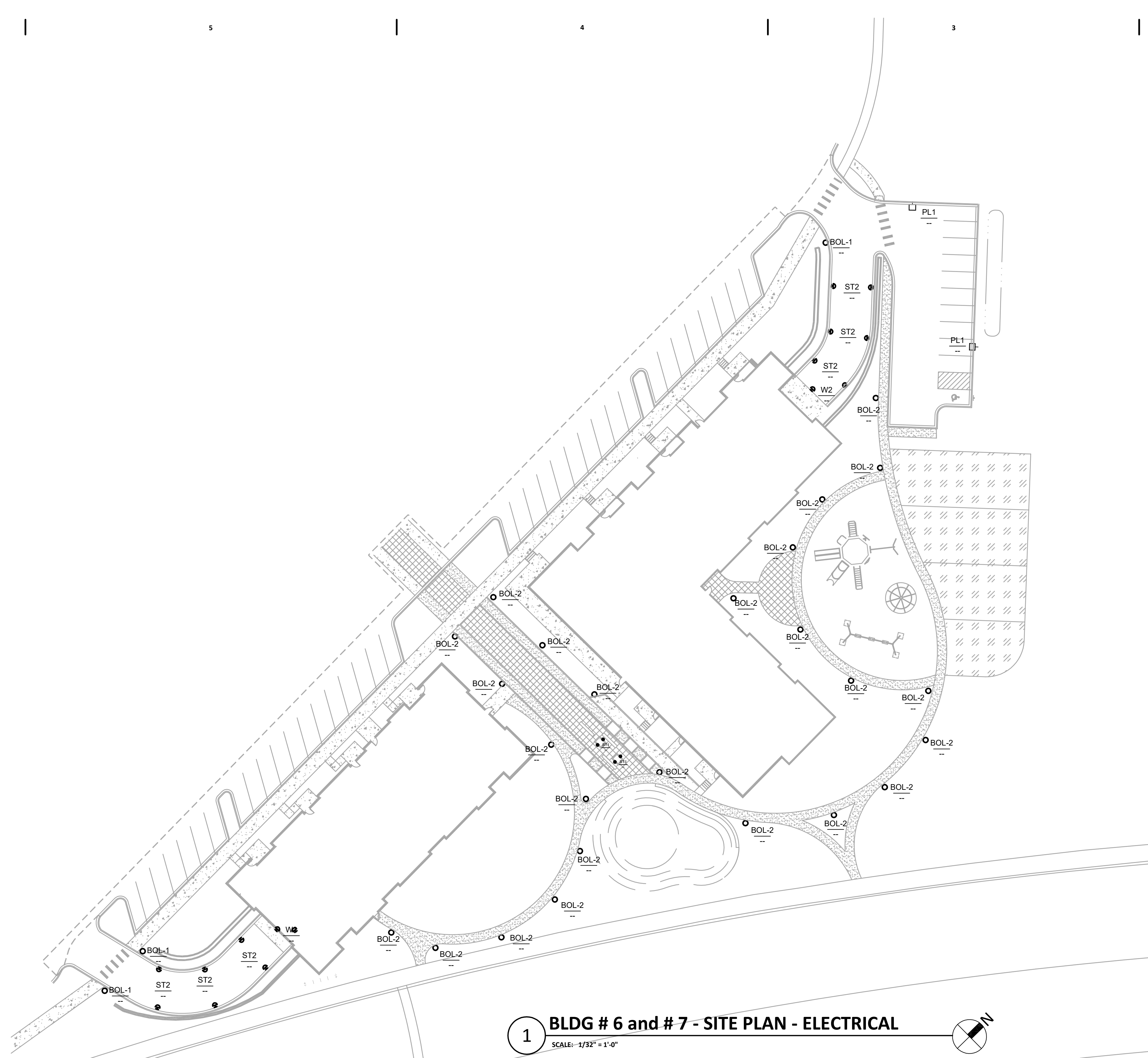
- 1 PROVIDE TRANSITION CABINET FOR SECONDARY SIDE OF OF TRANSFORMER TO BUILDING CABLE TRANSITIONS - COORDINATE WITH UTILITY, AND GC FOR EXACT LOCATION.
- 2 PEDESTAL MOUNTED WP RATED RECEPTACLE BOX WITH LOCKING COVER - COLE LTG # TL310-WCS-PED, WITH 2 DUPLEX RECEPTACLES - CONCRETE BASE TO BE COMBINED WITH BOLLARDS - COORDINATE WITH MFGRS

SPECIFIC NOTES (COMMUNICATIONS):

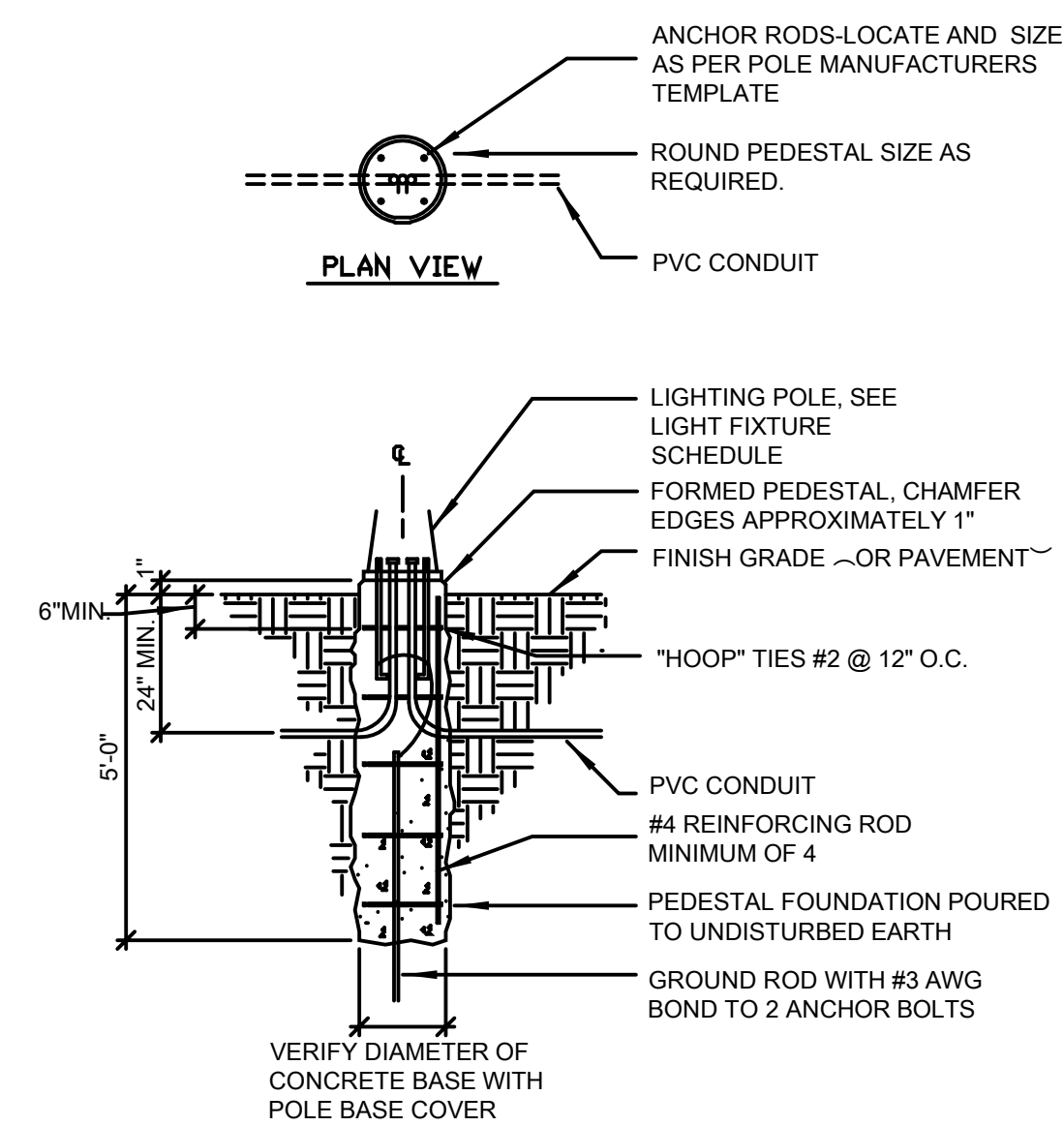
- C1 COMMUNICATIONS CONDUITS - PROVIDE (TWO) 4" CONDUIT SETS, EACH FOR CABLE AND TELEPHONE, FOR ENTRANCE CABLES BY UTILITIES. COORDINATE EXACT LOCATION WITH UTILITIES AND CIVIL CONTRACTOR. RUN CONDUITS OUT 5' FROM BUILDING. PROVIDE LABELED RED FLAG, STAKED 24" ABOVE GRADE IF BACKFILLED PRIOR TO CABLES BEING INSTALLED (CAP ENDS OF CONDUITS). SEE SHEET E100 FOR INTERIOR CONTINUATION.
- C2 PROVIDE SECURITY ENTRANCE VIA "LONG READER" FOB KEY DOOR ENTRANCE/SECURITY SYSTEM READER FOR GARAGE DOOR OPERATION. MOUNT ABOVE GARAGE DOOR.

ELECTRICAL GENERAL NOTES:

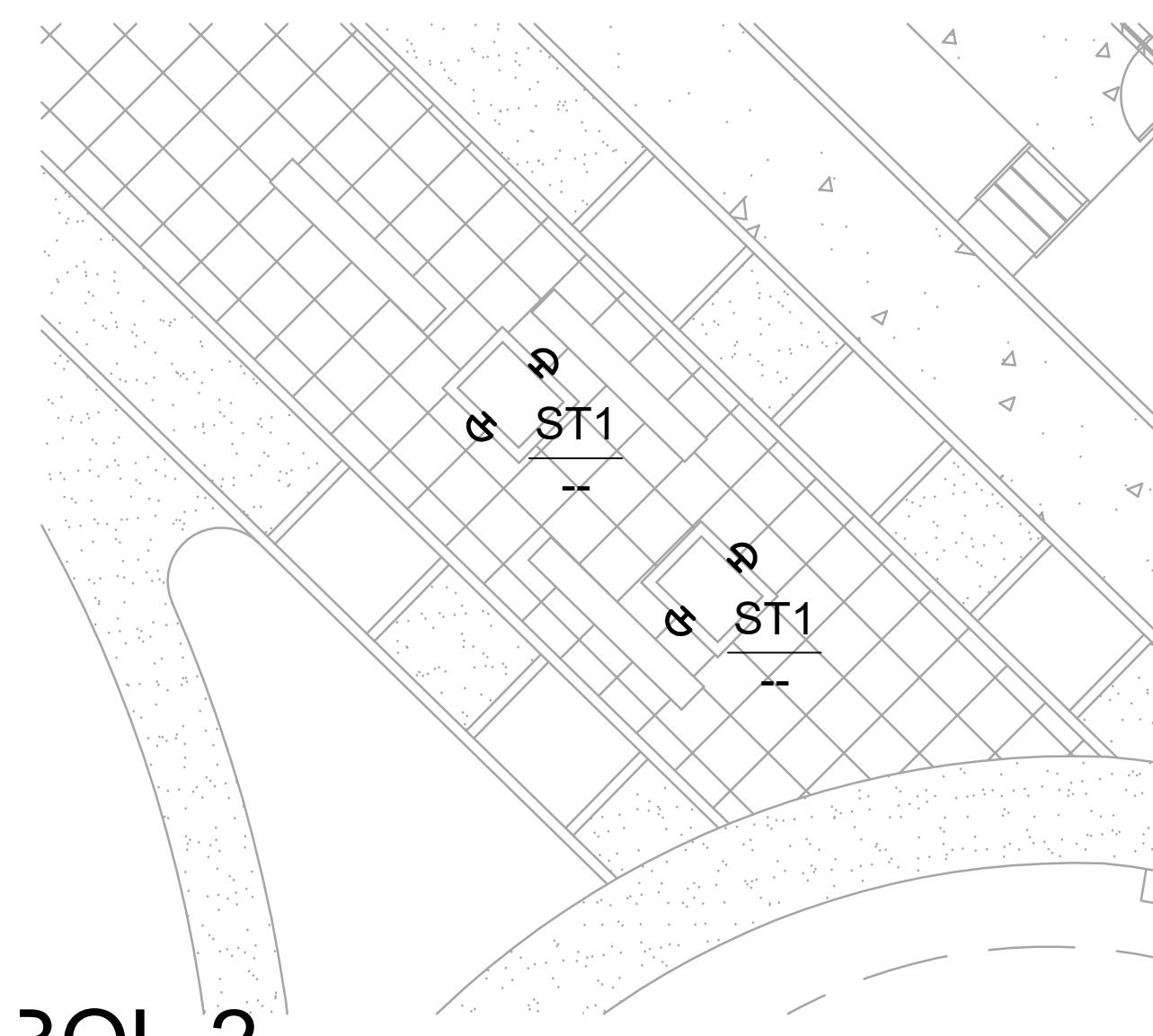
- A. CONTRACTOR TO PROVIDE QUANTITY OF CONDUITS AS REQUIRED. COORDINATE WITH GENERAL CONTRACTOR (GC) WHEN RUNNING CONDUIT IN EXPOSED STRUCTURE AREAS SO AS TO RUN CONDUIT IN PARALLEL AND PERPENDICULAR PATHS TO BUILDING ELEMENTS.
- B. ALL PAINTING OF ALL EXPOSED CONDUIT WILL BE BY THE G.C. AND WILL MATCH SURFACE UPON WHICH IT IS ATTACHED.
- C. ALL CONDUIT SHALL BE ROUTED A MINIMUM OF 36" BELOW FINISHED GRADE. EXACT METHOD OF ROUTING OUTDOOR LIGHTING WIRING SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UNLESS OTHERWISE NOTED, ALL EXTERIOR LIGHTING WIRING SHALL BE #8AWG COPPER AND SHALL BE ROUTED IN SCHEDULE 40 PVC. MINIMUM CONDUIT SIZE IS 1" (AT CONNECTION TO FIXTURES).
- D. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE AND CODE COMPLIANT INSTALLATION.
- E. ALL FIXTURES, POLES, ARMS, BASES, ETC. SHALL BE PROVIDED WITH FACTORY APPLIED POWDER PAINT FINISH. THE ELECTRICAL CONTRACTOR SHALL PAINT ANY EXPOSED EQUIPMENT TO MATCH.
- F. NO CONTINUOUS CONDUIT RUN SHALL EXCEED 100 FEET (30 METERS) WITHOUT A JUNCTION BOX.
- G. CONTACT LOCAL ELECTRICAL UTILITY TO COORDINATE FINAL ELECTRICAL UTILITY CONNECTIONS, LOCATIONS, INSTALLATION, ETC. UTILITY IS TO PROVIDE PRIMARY CONDUIT AND WIRING TO PAD MOUNTED TRANSFORMERS (W/ PADMOUNTED CT) LOCATED APPROXIMATELY WHERE SHOWN ON PLANS. SITE ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING TO MAIN ELECTRICAL ROOM. COORDINATE LOCATIONS OF SERVICE ENTRANCE CONDUIT W/ GENERAL CONTRACTOR FOR EXACT LOCATIONS OF MAIN DISTRIBUTION PANELS.
- H. CONTACT LOCAL TELEPHONE AND CABLE UTILITY TO COORDINATE FINAL CONNECTIONS, LOCATIONS, INSTALLATION, ETC. PROVIDE UNDERGROUND PVC CONDUIT FROM UTILITY CONNECTION POINT TO LOCATION OF COMMUNICATIONS BOARD LOCATED IN MAIN ELECTRICAL ROOM. OBTAIN PLAN APPROVAL PRIOR TO STARTING WORK. OWNER SHALL PAY CONNECTION CHARGES.



1 BLDG # 6 and # 7 - SITE PLAN - ELECTRICAL
SCALE: 1/32" = 1'-0"



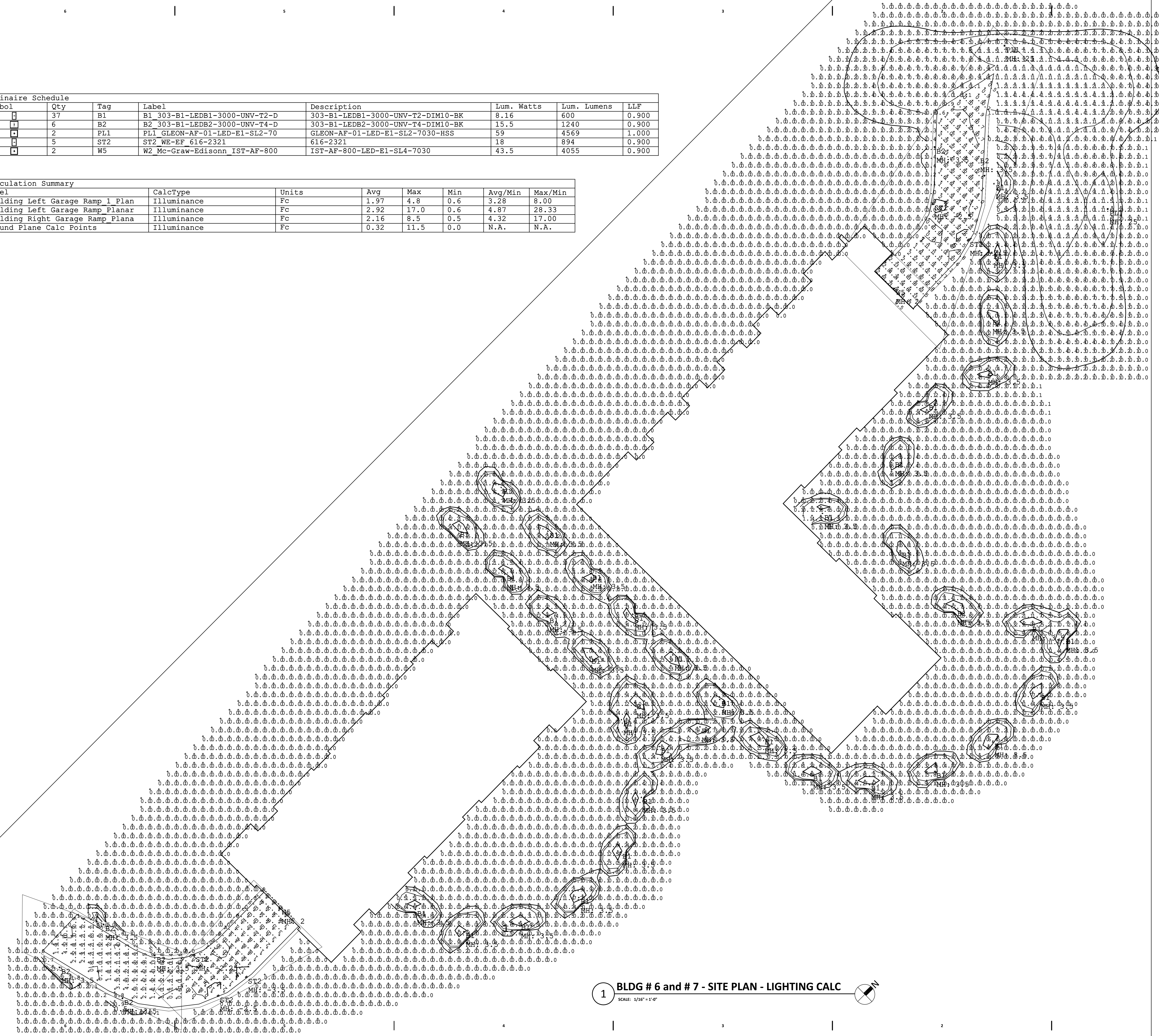
2 FIXTURE TYPY PL1 BASE MOUNTING DETAIL
SCALE: NTS



3 PLANTERS - SITE PLAN - ELECTRICAL
SCALE: 1/8" = 1'-0"

Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
□	37	B1	B1 303-B1-LEDB1-3000-UNV-T2-D	303-B1-LEDB1-3000-UNV-T2-DIM10-BK	8.16	600	0.900
□	6	B2	B2 303-B1-LEDB2-3000-UNV-T4-D	303-B1-LEDB2-3000-UNV-T4-DIM10-BK	15.5	1240	0.900
□	2	PL1	PL1 GLEON-AF-01-LED-E1-SL2-70	GLEON-AF-01-LED-E1-SL2-7030-HSS	59	4569	1.000
□	5	ST2	ST2 WE-EF 616-2321	616-2321	18	894	0.900
□	2	W5	W2 Mc-Graw-Edisonn IST-AF-800	IST-AF-800-LED-E1-SL4-7030	43.5	4055	0.900

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Left Garage Ramp 1 Plan	Illuminance	Fc	1.97	4.8	0.6	3.28	8.00
Building Left Garage Ramp Planar	Illuminance	Fc	2.92	17.0	0.6	4.87	28.33
Building Right Garage Ramp Planar	Illuminance	Fc	2.16	8.5	0.5	4.32	17.00
Ground Plane Calc Points	Illuminance	Fc	0.32	11.5	0.0	N.A.	N.A.



1 BLDG # 6 and # 7 - SITE PLAN - LIGHTING CALC
SCALE: 1/16" = 1'-0"

REAL ESTATE DEVELOPMENT & MANAGEMENT
200 N. MAIN STREET
OREGON, WI 53755

Seal

Consultant
BEAR VALLEY
ENGINEERING, INC.
COMMERCIAL BUILDING SPECIALISTS
1250 FEMRITE DRIVE,
SUITE 200
MADISON, WI 53716

GRAND FAMILY HOUSING
UNION CORNERS
2507 WINNEBAGO STREET
MADISON, WISCONSIN 53704

CONSTRUCTION DOCUMENTS

Project No. _____
Plot Date: December 27, 2017
Drawn by: BVE
USER

Date: December 27, 2017
Issue Description: Issued For Review
XXXXX XXXXX

Sheet Title

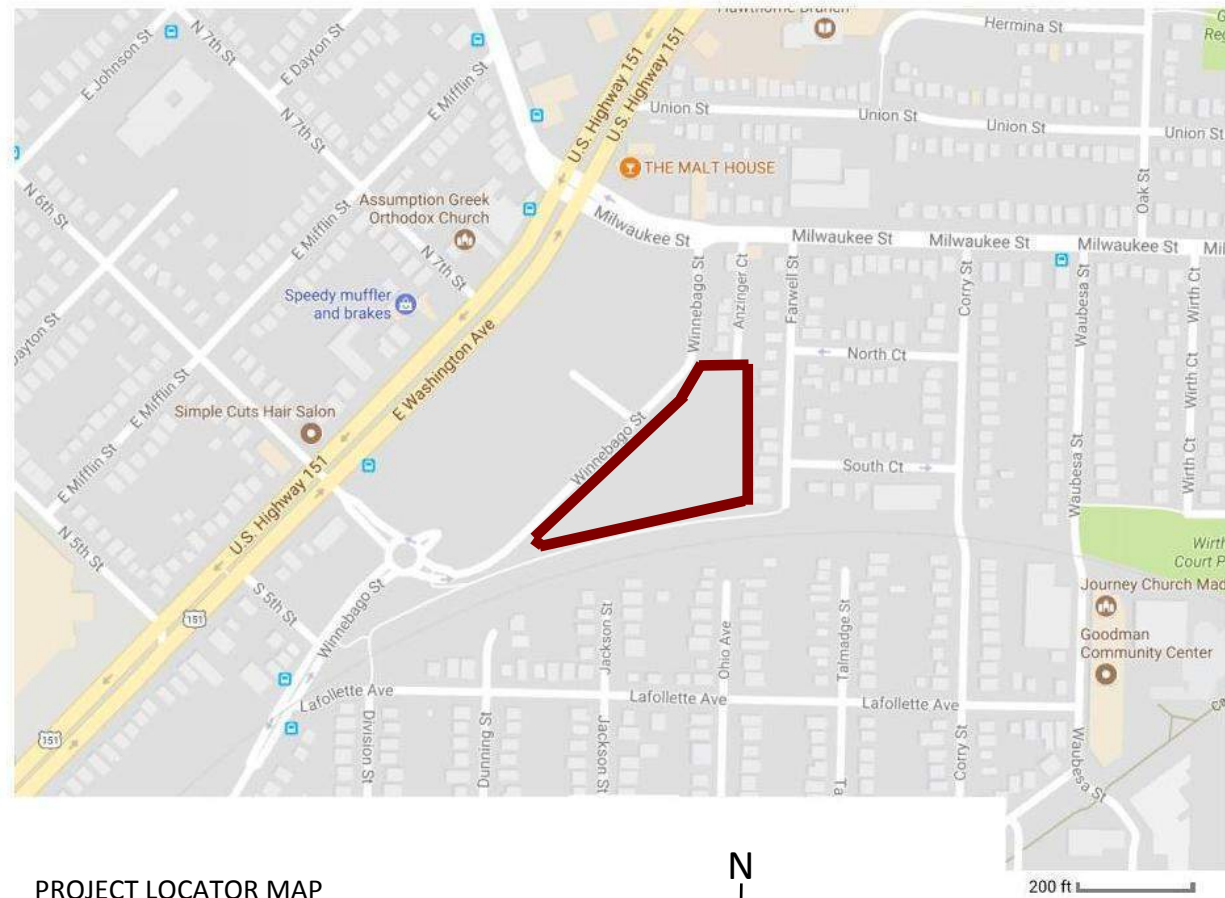
SITE PLAN
- LIGHTING
CALCULATIONS

Sheet No.
ES01-CALC

GRAND FAMILY HOUSING

Union Corners Grand family project is a new construction development consisting of a mix of affordable and market-rate units for families. Specifically, this development will be targeting grand families (grandparents raising grandchildren) and kinship families (family members raising other family members' children). The project will include 60 units total between two buildings, both three stories in height. The buildings will have access to underground parking with apartments and community space above. The project will also include the following interior amenities: community room, supportive service office, business center, and fitness center. In addition, additional community space is anticipated to serve a mix of residents ranging from children to seniors. Outdoor space will include a playground and community gardens. The project is the third piece of a master development on this site by Gorman & Company, Inc. who acquired a 5 acre parcel from the City of Madison in exchange for implementing the master development. Previous phases include the UW Health Clinic and a 90-unit, multi-family, mixed-income development.

The Grand family project includes a partnership with Lutheran Social Services (LSS) to provide supportive services. Space on the first floor has been designed to accommodate these services on-site.



PROJECT LOCATOR MAP



SIMPLE TWO STORY MASONRY BUILDING CORNER OF WINNEBAGO AND MILWAUKEE



METAL QUONSET HUT TYPICAL EAST SIDE ECLECTIC AESTHETIC



NEWLY BUILT APARTMENTS ACROSS WINNEBAGO FROM SITE LOOKING EAST



NEWLY BUILT APARTMENTS ACROSS WINNEBAGO FROM SITE LOOKING WEST

ADJACENT BUILDING CONTEXT

GRAND FAMILY HOUSING

UNION CORNERS - MADISON WI.

A Gorman & Company Neighborhood



COMMUNITY GARDEN LOCATION - NORTH EAST CORNER OF SITE



BIKE PATH LOOKING EAST - WEST CORNER OF SITE



BIKE PATH LOOKING WEST - MIDDLE OF SITE



BIKE PATH LOOKING WEST - EAST CORNER OF SITE

SITE CONTEXT

GRAND FAMILY HOUSING

UNION CORNERS - MADISON WI.

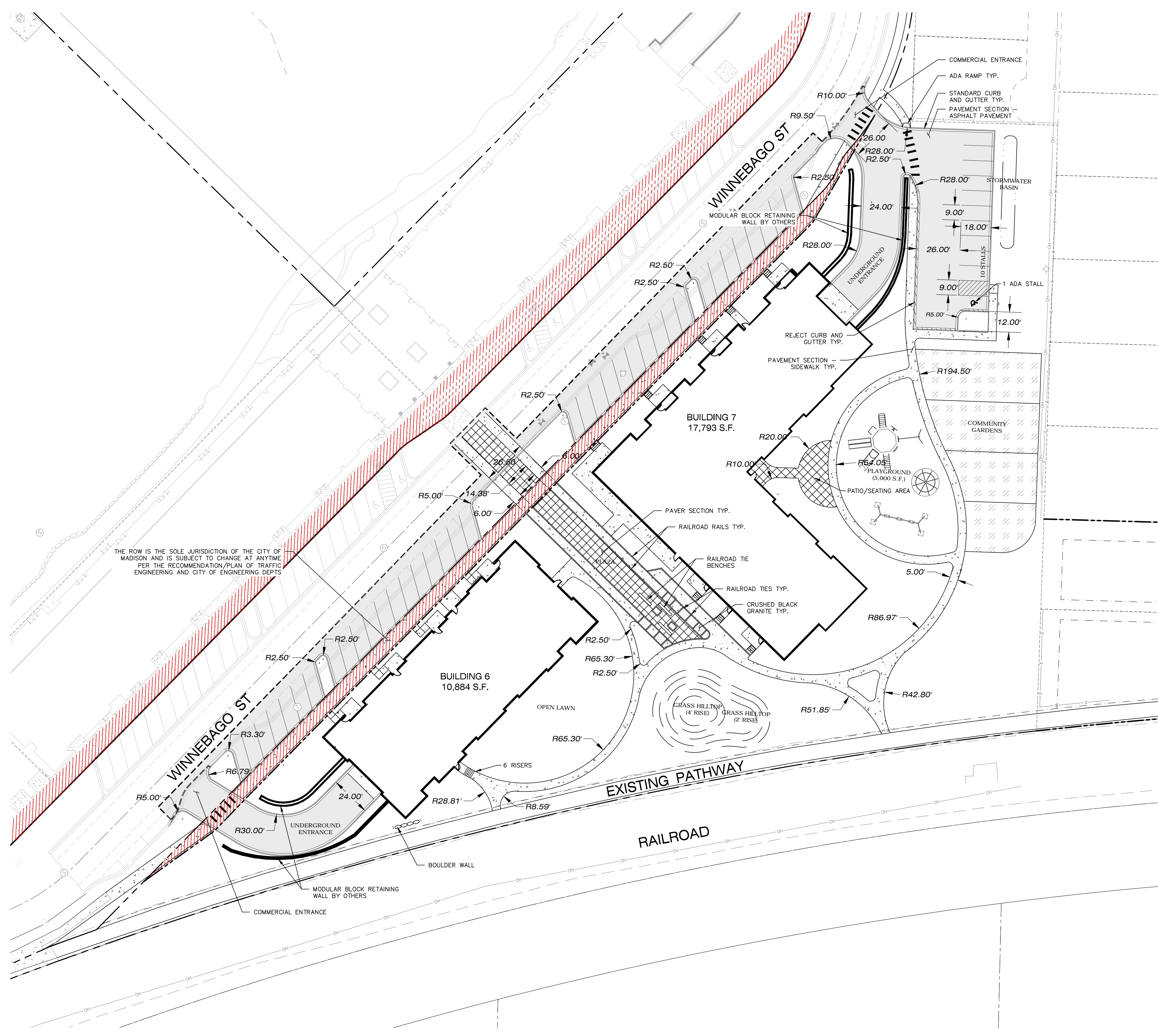
A Gorman & Company Neighborhood

SCALE:

Sheet Name

JULY 19, 2017

File: I:\2017\176095\DWG\17-8095 Construction Document.dwg Layout: C100 User: Ijustin Plotfile: Dec 19, 2017 11:09am Xref's:



THE ROW IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY OF ENGINEERING DEPTS


- LEGEND (SITE PLAN)**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - BUILDING SETBACK LINE
 - PAVEMENT SETBACK LINE
 - BUILDING OUTLINE
 - EDGE OF PAVEMENT
 - STANDARD CURB AND GUTTER
 - REJECT CURB AND GUTTER
 - MOUNTABLE CURB
 - ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - SAWCUT EXISTING PAVEMENT
 - STORMWATER MANAGEMENT AREA
 - BOULDER RETAINING WALL
 - MODULAR BLOCK RETAINING WALL
 - LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
 - ADA PARKING BOLLARDS/SIGNS

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.


- SITE PLAN NOTES**
- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ALL RADI TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMP.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	WINNEBAGO ST
Existing Site Acreage (total)	3.17
Proposed Site Acreage (total)	3.05
Number of Building Stories (above grade)	4
Total Building Square Footage	28,676 SF
Use of property	MULTI-FAMILY
Number of parking stalls:	
Surface	
Large Stall	9
Accessible	1
Total Surface	10
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	5,428 S.F.
Existing Pervious Surface Area	132,657 S.F.
Proposed Impervious Surface Area	57,964 S.F.
Proposed Pervious Surface Area	74,894 S.F.
Proposed Impervious Surface Area Ratio	.44


*calculated with proposed site acreage 3.05


north
 SCALE IN FEET

DIGGERS HOTLINE
 Toll Free (800) 242-8511




JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION  TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



GORMAN & COMPANY, INC.

CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
**UNION CORNERS
LOT 1 GRADFAMILY**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:	Date:	Description:
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: TKG 09-18-2017
Approved: TKG 09-18-2017
JLF 10-04-2017

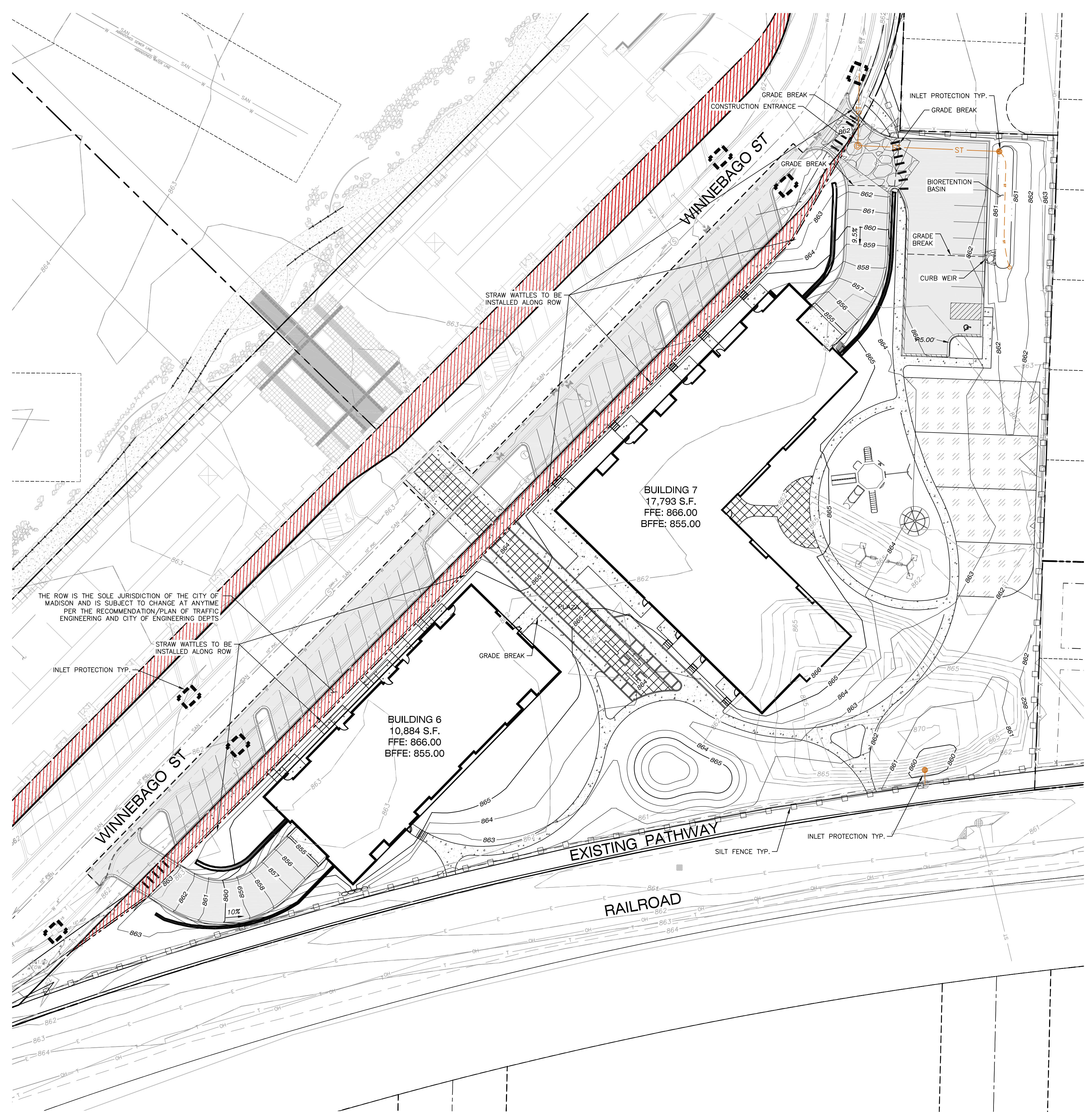
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C100

JSD PROJECT NO: 17-8095

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2017\176095\DWG\17-8095_Construction_Documents.dwg Layout: C200 User: msanders Plotted: Dec 18, 2017 5:46pm Xref's:



LEGEND (GRADING & EROSION CONTROL PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- BOULDER RETAINING WALL
- MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING BOLLARDS/SIGNS
- 864 --- PROPOSED 1 FOOT CONTOUR
- 865 --- PROPOSED 1 FOOT CONTOUR
- DRAINAGE DIRECTION
- ST --- STORM SEWER
- ST --- UNDERDRAIN
- SILT FENCE
- INLET PROTECTION, TYPE D
- SPOT ELEVATION
- EP --- EDGE OF PAVEMENT
- FG --- FINISH GRADE
- EC --- EDGE OF CONCRETE
- TS --- TOP OF STEP
- TB --- BOTTOM OF STEP
- RM --- RIM ELEVATION
- GRADE BREAK

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORSEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNGRAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
9. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
10. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO NOTE NO. FIFTEEN (15) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
11. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
12. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
13. STABILIZATION PRACTICES:
 - 13.1. * STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - * THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 13.2. * CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 13.3. * STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - * HYDRO-MULCHING WITH A TACKIFIER
 - * GEOTEXTILE EROSION MATTING
 - * SODDING

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
5. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
6. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF MADISON TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
8. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
9. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

CONSTRUCTION SEQUENCING

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. STRIP TOPSOIL.
3. INSTALL ALL SWALES AND TEMP SEED BASIN
4. EXCAVATE BUILDING FOUNDATIONS.
5. COMPLETE ALL OTHER GRADING.
6. INSTALL STORM SEWER & INLET PROTECTION MEASURES.
7. INSTALL AGGREGATE BASE COURSE AND PAVING IN PARKING AREAS.
8. STABILIZE NEWLY GRADED SOILS.
9. COMPLETE EXTERIOR BUILDING WORK AND DOWNSPOUTS.
10. REGRADE & STABILIZE TEMPORARY SEDIMENT BASIN.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
**UNION CORNERS
LOT 1 GRADFAMILY**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:	Date:	Description:
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS 12/13/2017
Approved: MSS 12/13/2017

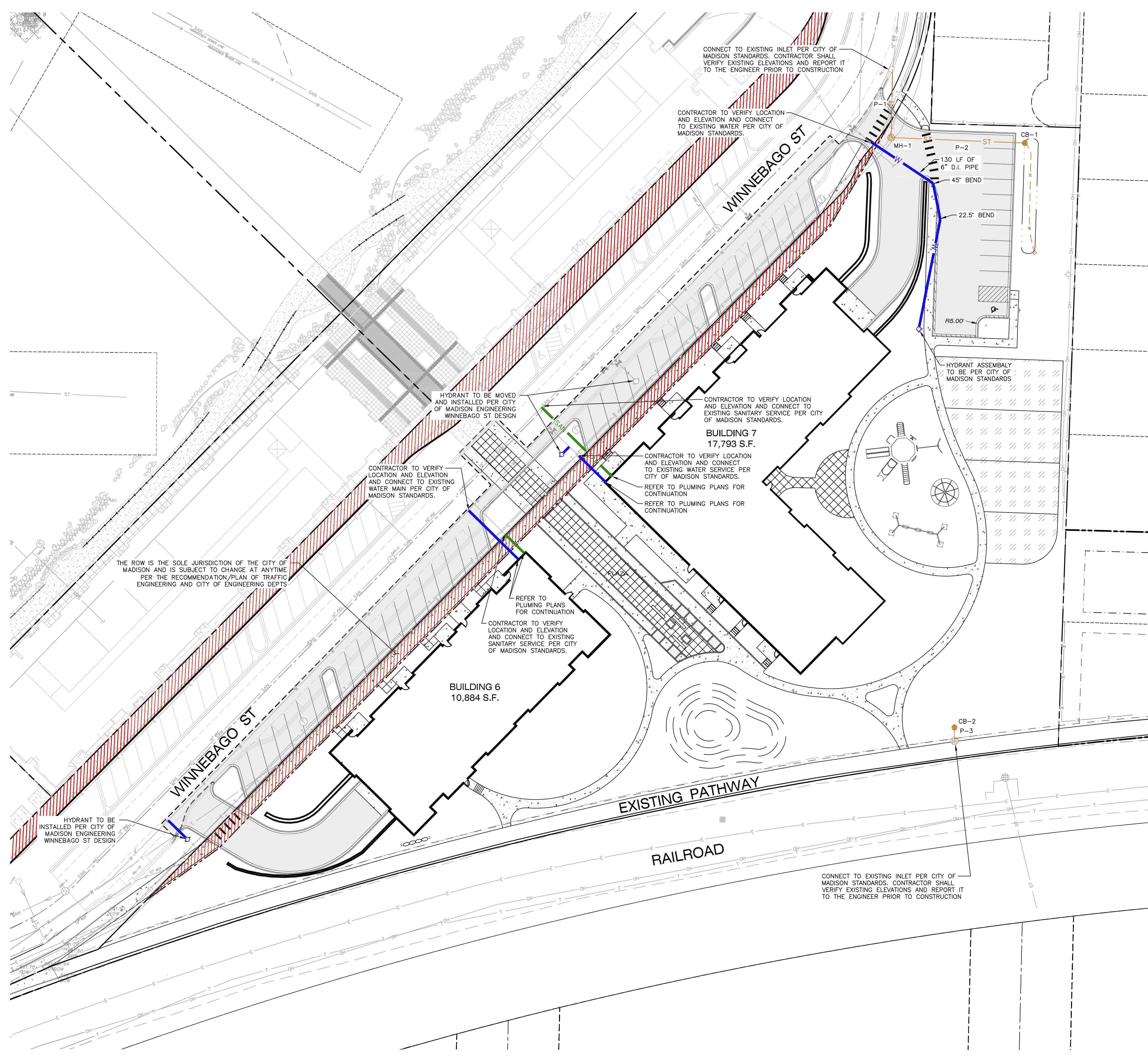
SHEET TITLE:
**GRADING & EROSION
CONTROL PLAN**

SHEET NUMBER:
C200

JSD PROJECT NO: 17-8095

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

File: I:\2017\176095\DWG\17-8095_Construction_Documents.dwg Layout: C300 User: msanders Plotted: Dec 18, 2017 5:48pm Xref's:



- LEGEND (UTILITY PLAN)**
- PROPERTY LINE
 - RIGHT-OF-WAY
 - EASEMENT LINE
 - BUILDING OUTLINE
 - EDGE OF PAVEMENT
 - REJECT CURB AND GUTTER
 - MOUNTABLE CURB
 - ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - STORMWATER MANAGEMENT AREA
 - BOULDER RETAINING WALL
 - MODULAR BLOCK RETAINING WALL
 - LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
 - ADA PARKING BOLLARDS/SIGNS
 - SAN SANITARY SEWER
 - W WATERMAIN
 - ST STORM SEWER

- UTILITY NOTES:**
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL CONTACT THE CITIES PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
 - CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITIES WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
 - ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
 - ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
 - ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)4.A.
 - ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
 - ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSED THE TOP AND SIDES OF WATER MAIN.

north

SCALE IN FEET

30' 0 30'

DIGGERS HOTLINE

Toll Free (800) 242-8511

JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

GORMAN & COMPANY, INC.

CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

**PRELIMINARY
NOT FOR CONSTRUCTION**

PROJECT:
**UNION CORNERS
LOT 1 GRADFAMILY**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:	Date:	Description:
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

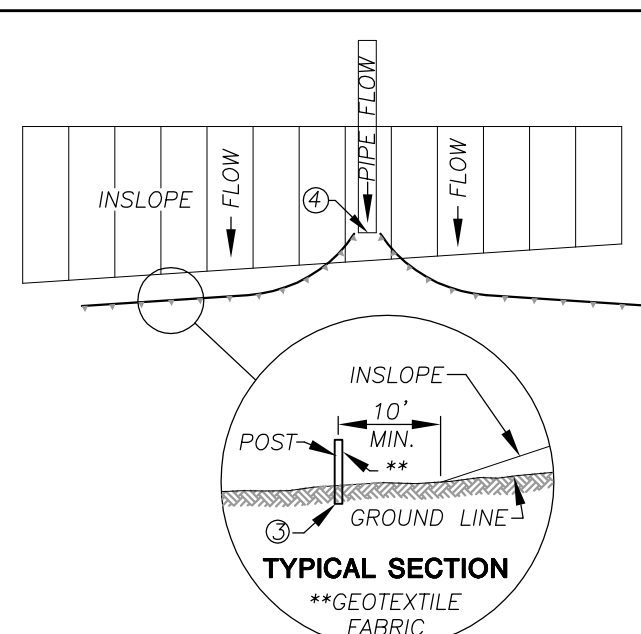
Design/Drawn: MSS 12-14-2017
Approved: MSS 12-14-2017

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C300

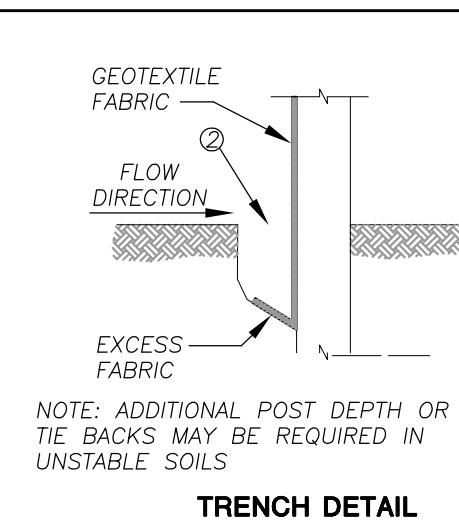
JSD PROJECT NO: 17-8095

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



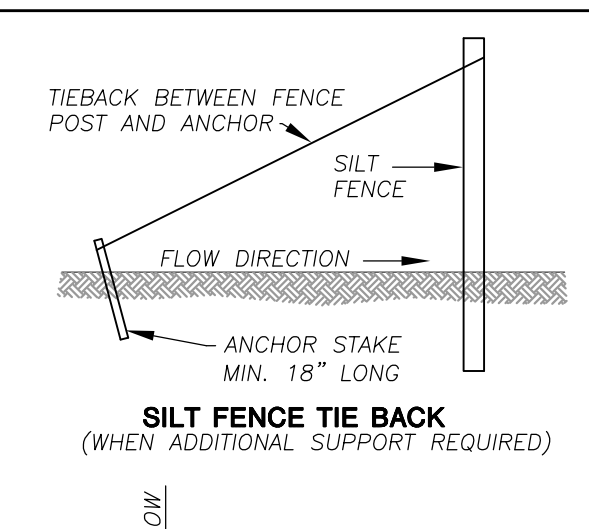
TYPICAL SECTION
**GEOTEXTILE FABRIC

- SILT FENCE ALONG SLOPES & OUTFALLS**
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" WIDE AND 6" DEEP TRENCH OR 6 INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 - FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF DRIED OAK OR HICKORY.
 - SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
 - SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WDMR TECHNICAL STANDARD 1056.
 - POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8'-0" FOR WOVEN & 3'-0" FOR NON-WOVEN)



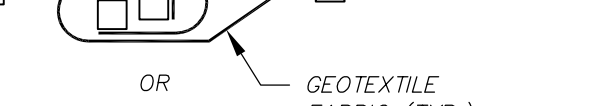
TRENCH DETAIL

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS

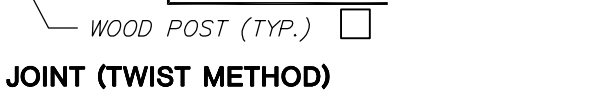


SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT REQUIRED)

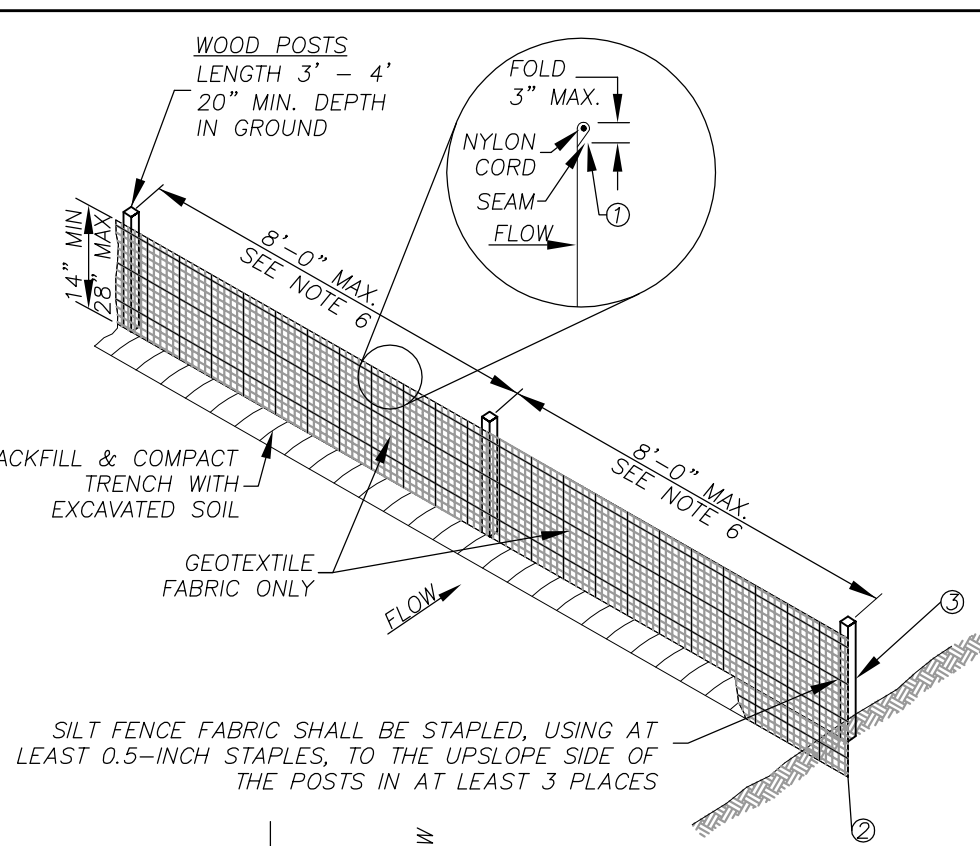
ANCHOR STAKE MIN. 18" LONG



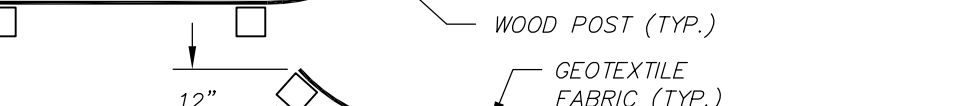
JOINT (TWIST METHOD)



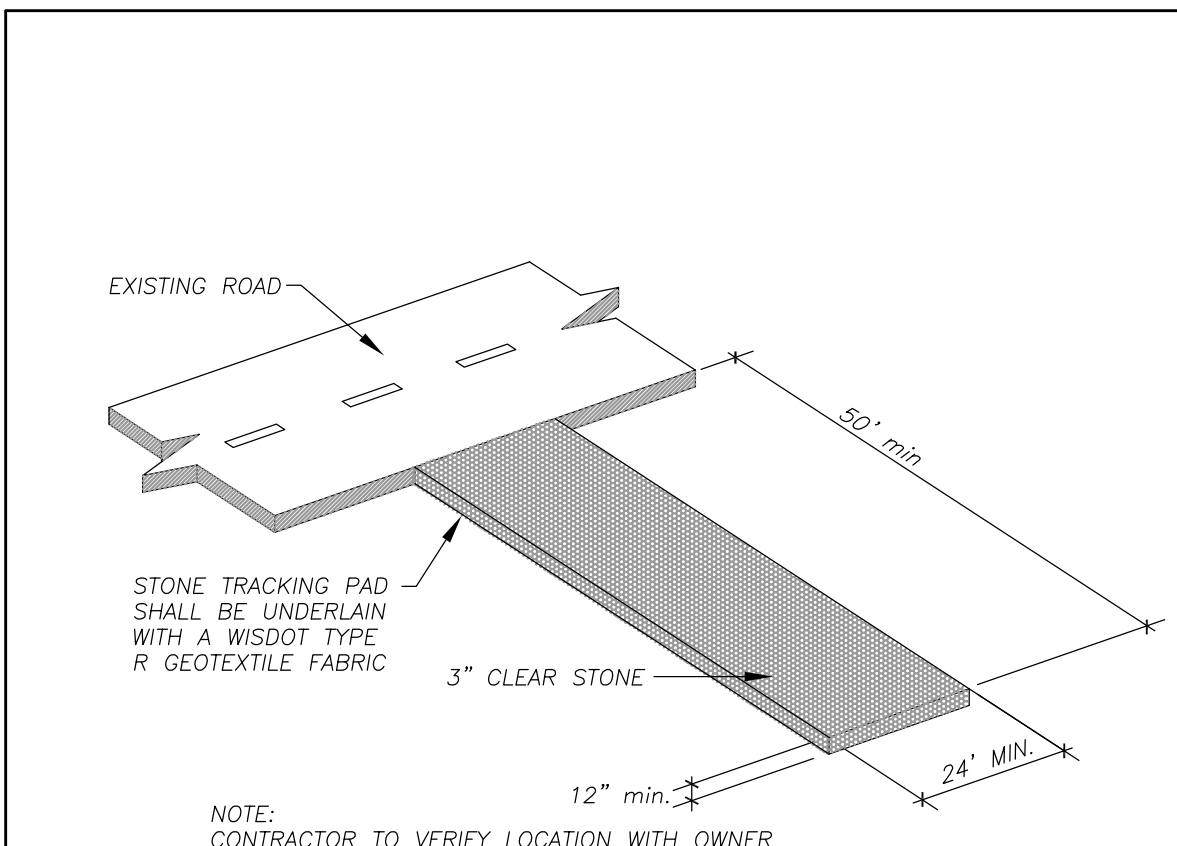
JOINT (HOOK METHOD)



SILT FENCE FABRIC SHALL BE STAPLED, USING AT LEAST 0.5-INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES



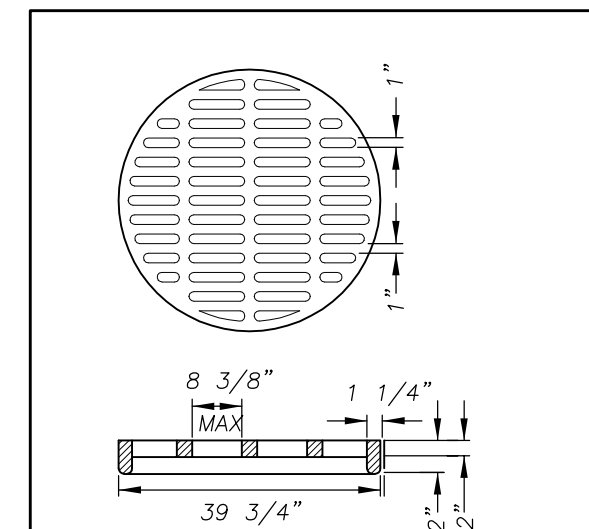
JOINT (HOOK METHOD)



CONSTRUCTION ENTRANCE

NOTE: CONTRACTOR TO VERIFY LOCATION WITH OWNER

N.T.S.



36" DIAMETER STORM INLET

FOUNDATION SLAB 6" PRECAST OR 8" CAST IN PLACE W/ #4 @ 12" E.W.

N.T.S.

IN BELL GRATE IS CUSTOM MANUFACTURED BY THE NEENAH FOUNDRY COMPANY TO MADISON CONCRETE PIPE SPECIFICATIONS

GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS - GRATE HYDRAULICS ARE AVAILABLE UPON REQUEST

GRATES ARE AASHTO H20 LOAD RATED

GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL

PRECAST REINFORCED CONCRETE CATCH BASIN IS MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS

STANDARD CATCH BASIN BARREL HEIGHTS: 0'-6", 1'-0", 2'-0", 3'-0" AND 4'-0"

STOCK 36" DIA. CATCH BASINS AVAILABLE WITH OR WITHOUT A 6" THICK INTEGRAL BASE OR AS SPECIFIED

CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 AS MANUFACTURED BY CONCRETE SEALANTS INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF FEDERAL SPECIFICATION SS-5-210 (210A), AASHTO M-198B AND ASTM C-990

PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL AS MANUFACTURED BY NPC INC., WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060



CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

PROJECT:
**UNION CORNERS
LOT 1 GRADFAMILY**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

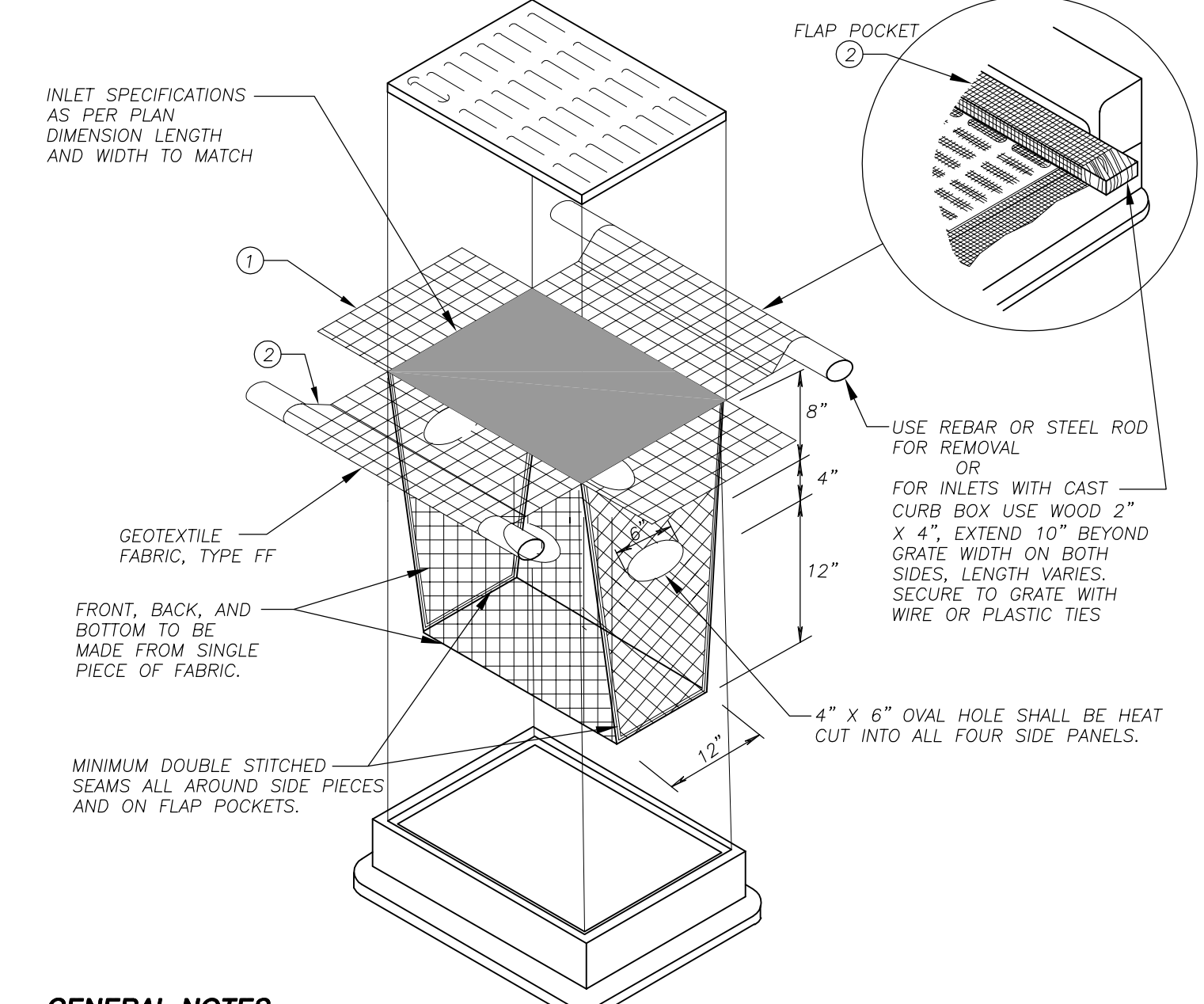
PLN MODIFICATIONS #	Date	Description
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS 12-15-2017
Approved: MSS 12-15-2017

SHEET TITLE:
DETAILS

SHEET NUMBER:
C400

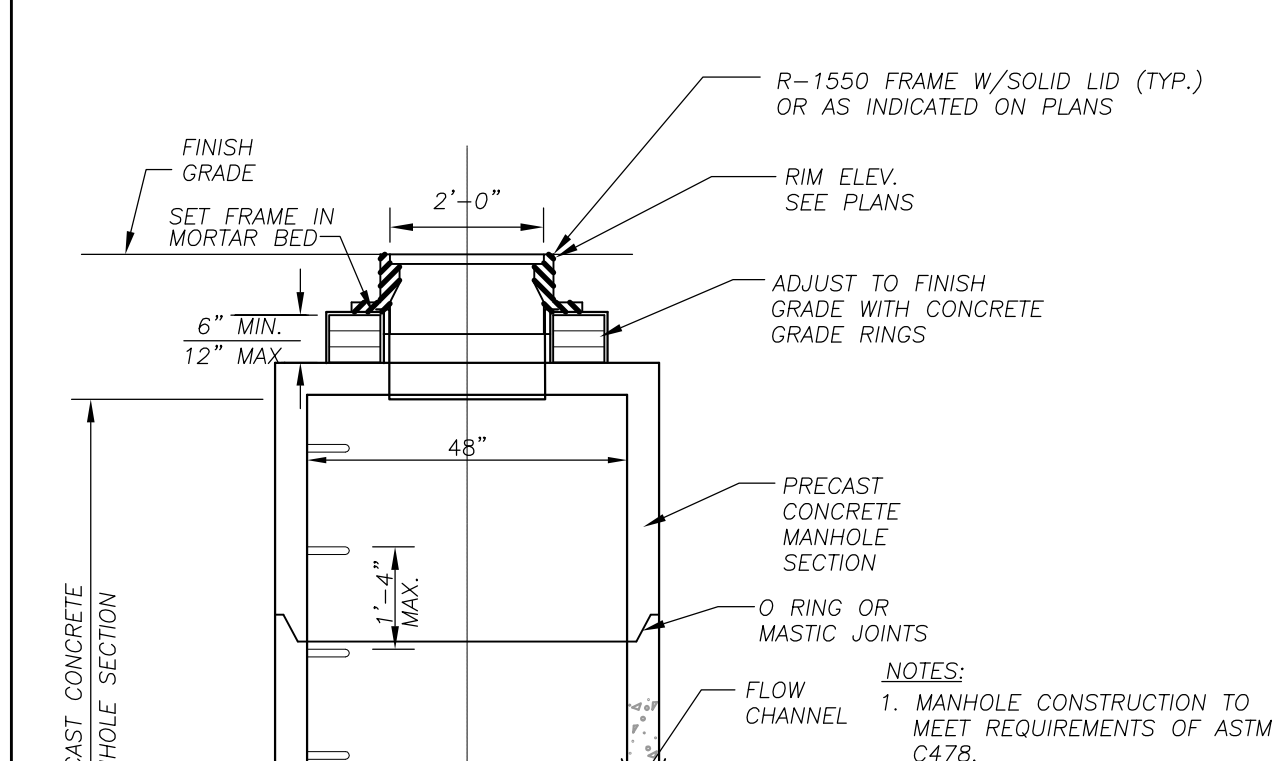
JSD PROJECT NO: 17-8095



STORM MANHOLE

NOTES:
1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
3. USE MORTAR FOR PIPE CONNECTIONS.

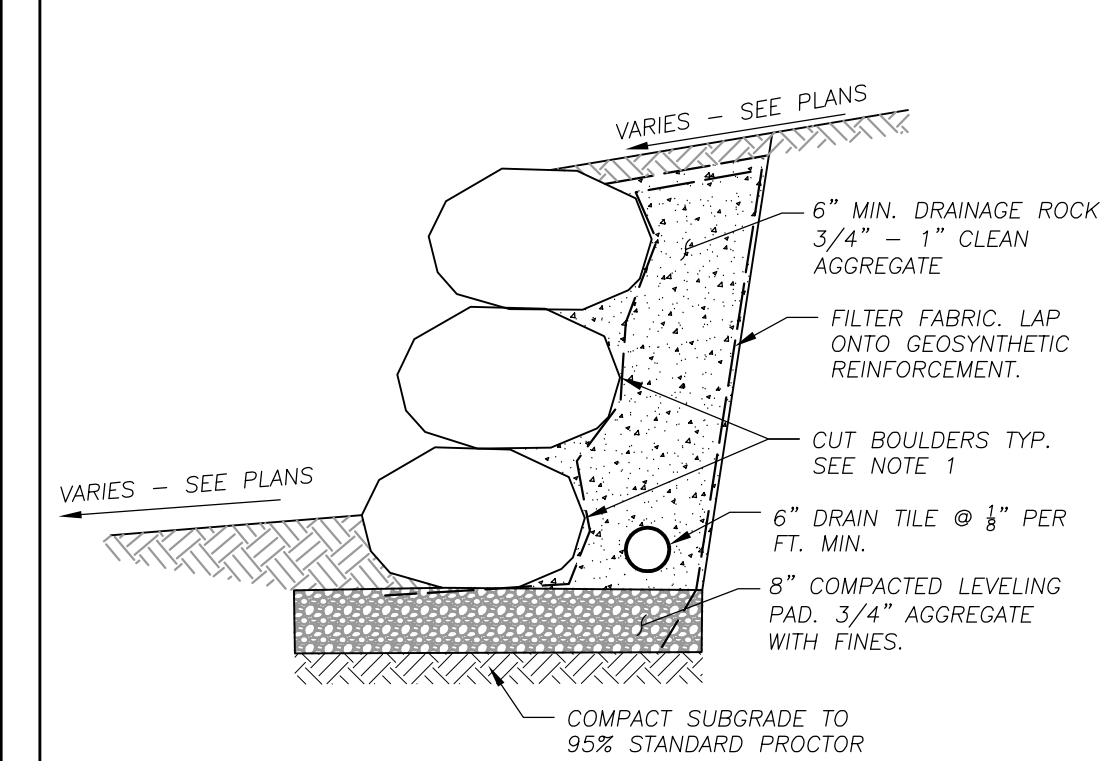
N.T.S.



BOULDER WALL

NOTES:
1. SIZE, COLOR AND SPECIFICATION TO BE PROVIDED FOR APPROVAL BY OWNER OR CONTRACTOR'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. BOULDER WALLS OVER 5 FEET HEIGHT SHALL BE DESIGNED BY REGISTERED GEOTECHNICAL OR STRUCTURAL ENGINEER AS PROVIDED ON SHOP DRAWINGS AND SUBMITTED PRIOR TO CONSTRUCTION.

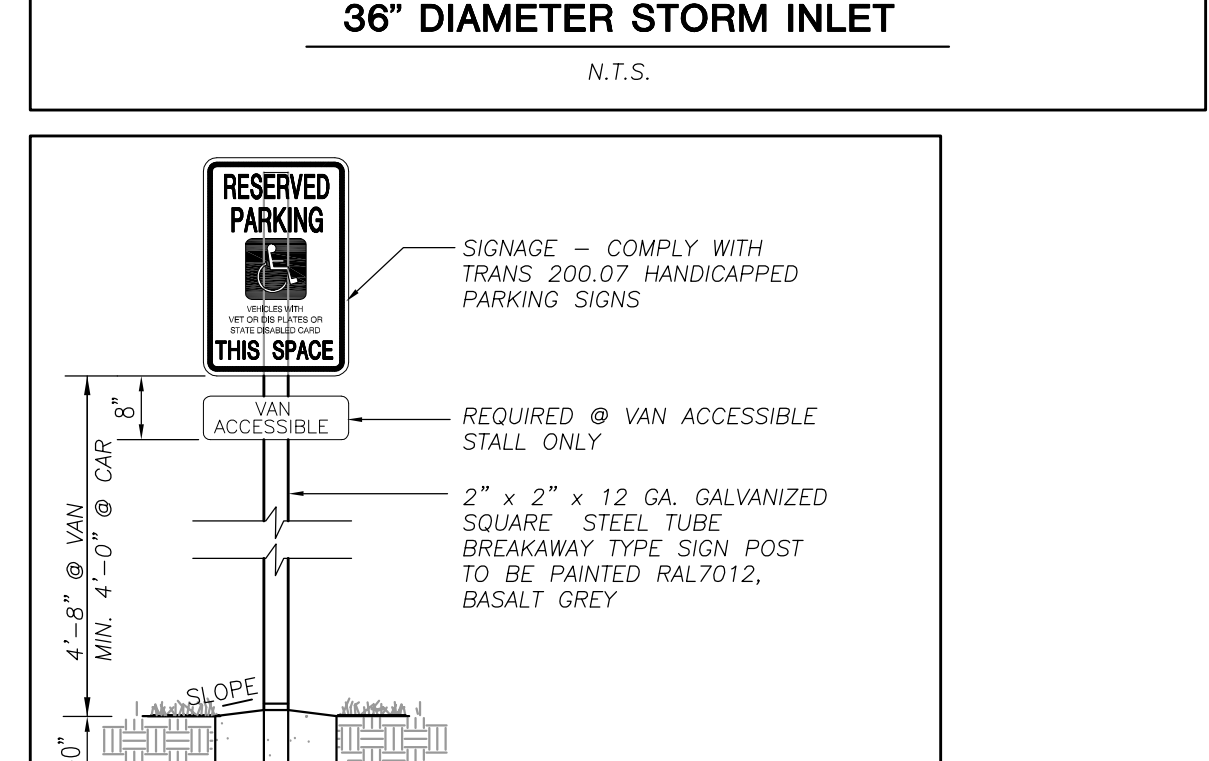
N.T.S.



ADA PARKING STALL SIGN

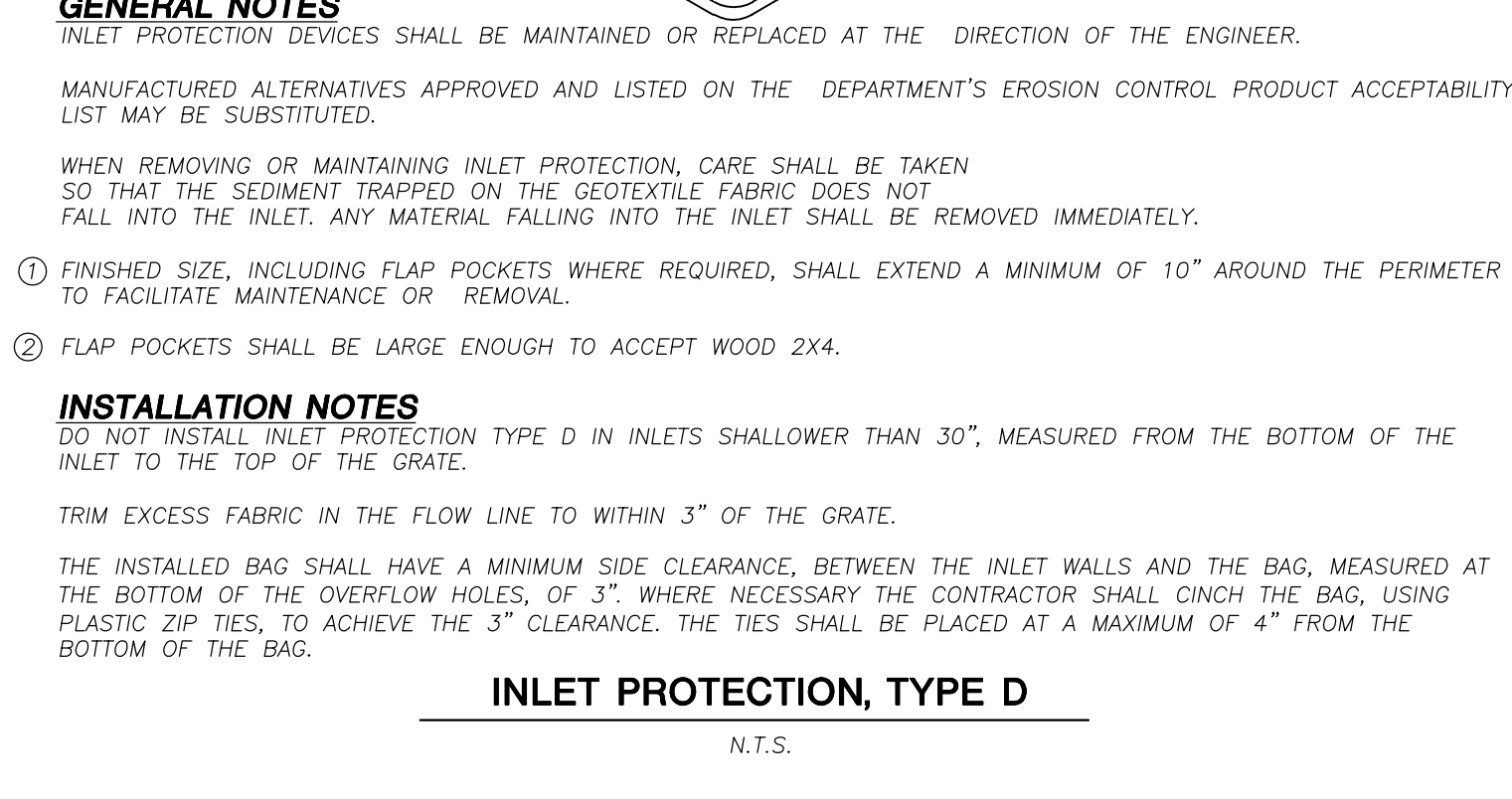
OPTION: DRIVEN POST SYSTEM MAY BE UTILIZED IN LIEU OF CONCRETE BASE. PROVIDE MIN. 3'-0" LONG ANCHOR POST SLEEVE.

N.T.S.



COMMERCIAL ENTRANCE

N.T.S.



INLET PROTECTION, TYPE D

GENERAL NOTES
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

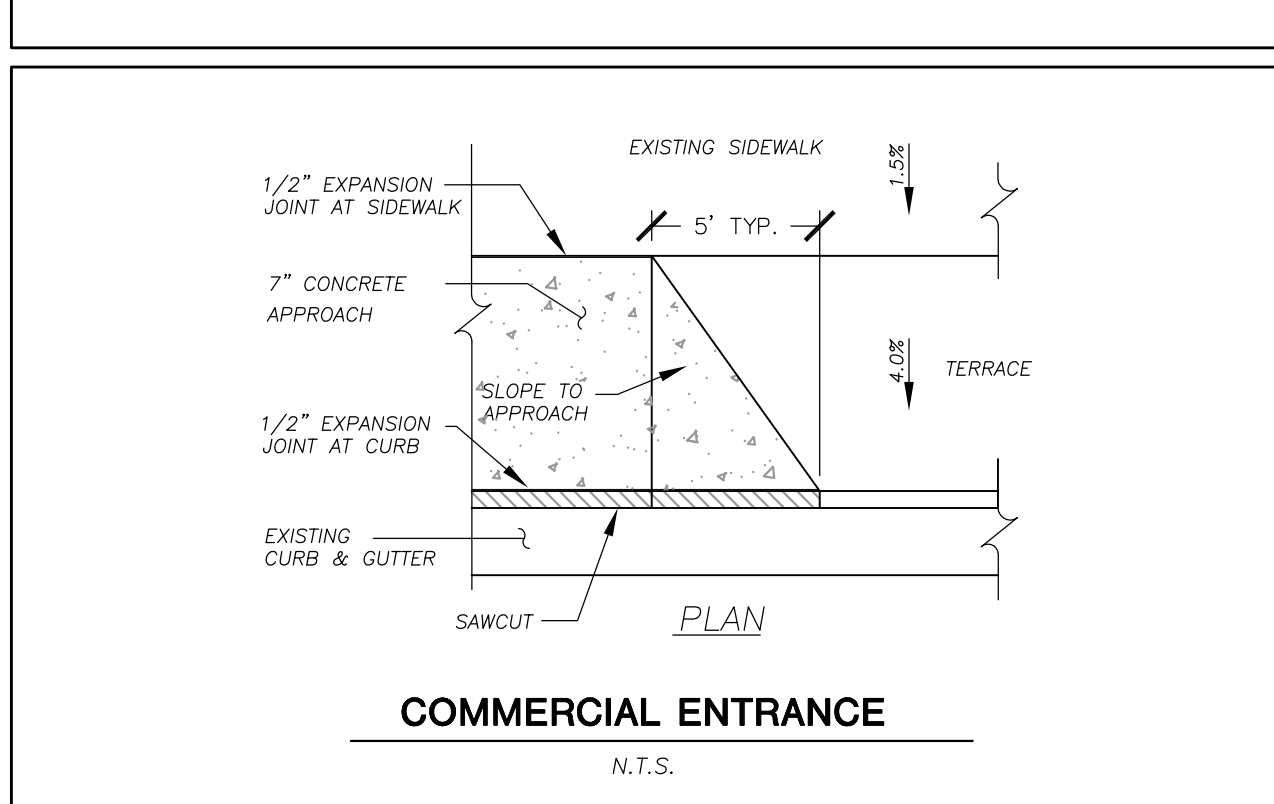
② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

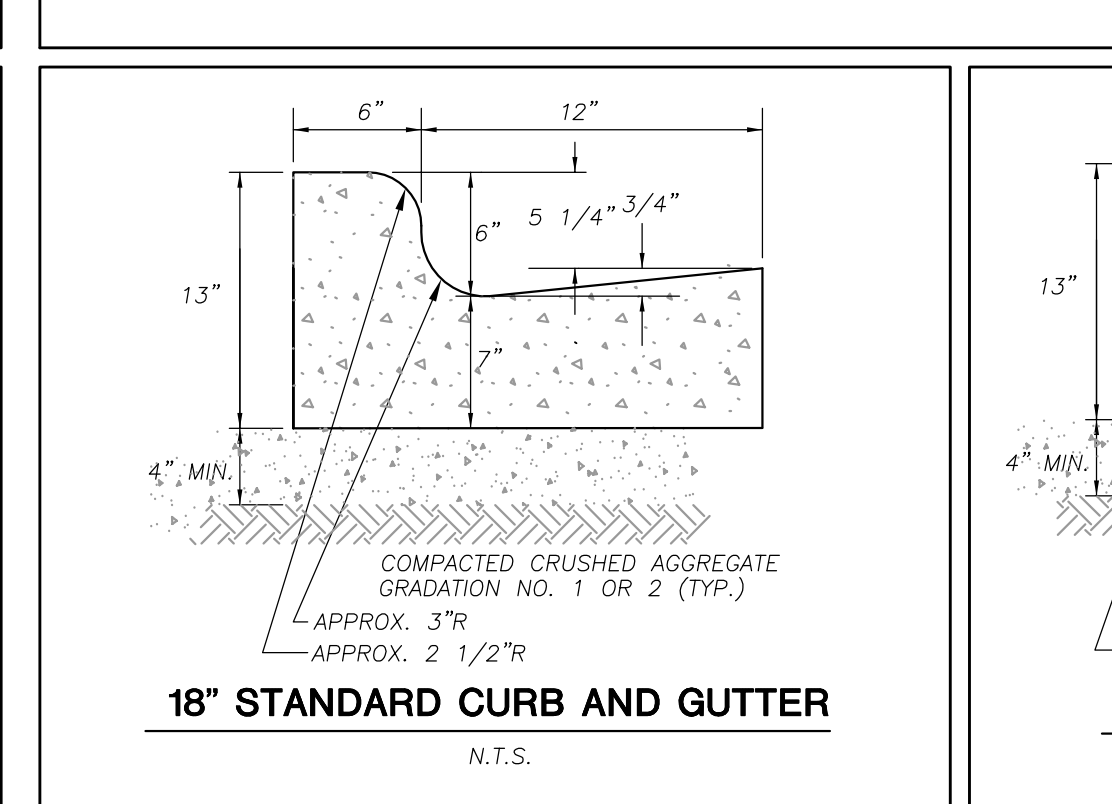
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

N.T.S.



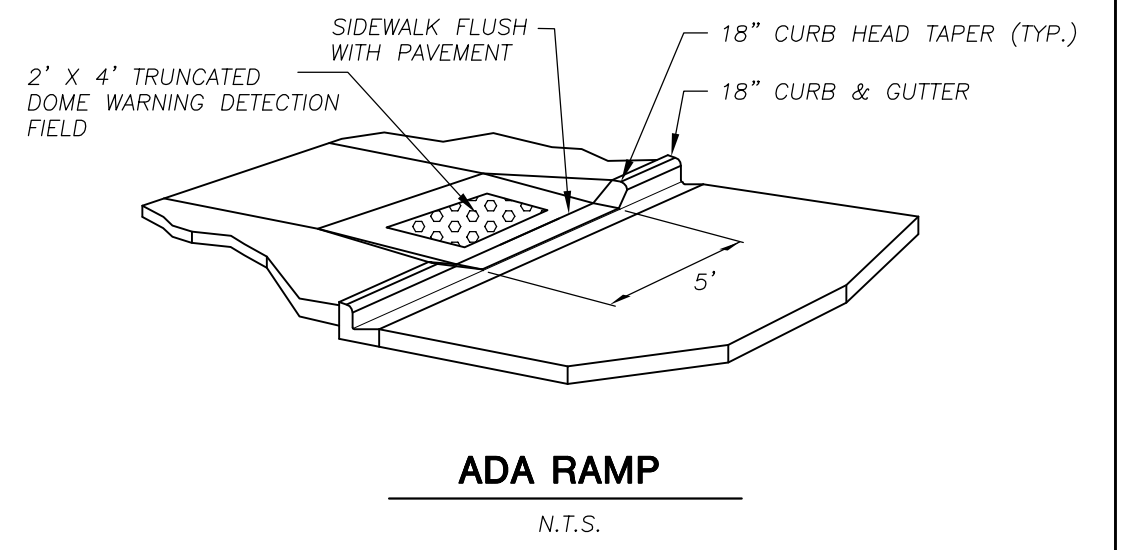
18" STANDARD CURB AND GUTTER

N.T.S.

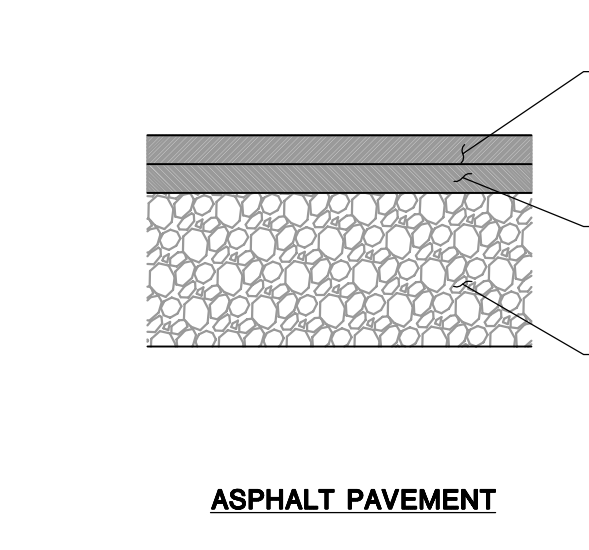


18" REJECT CURB AND GUTTER

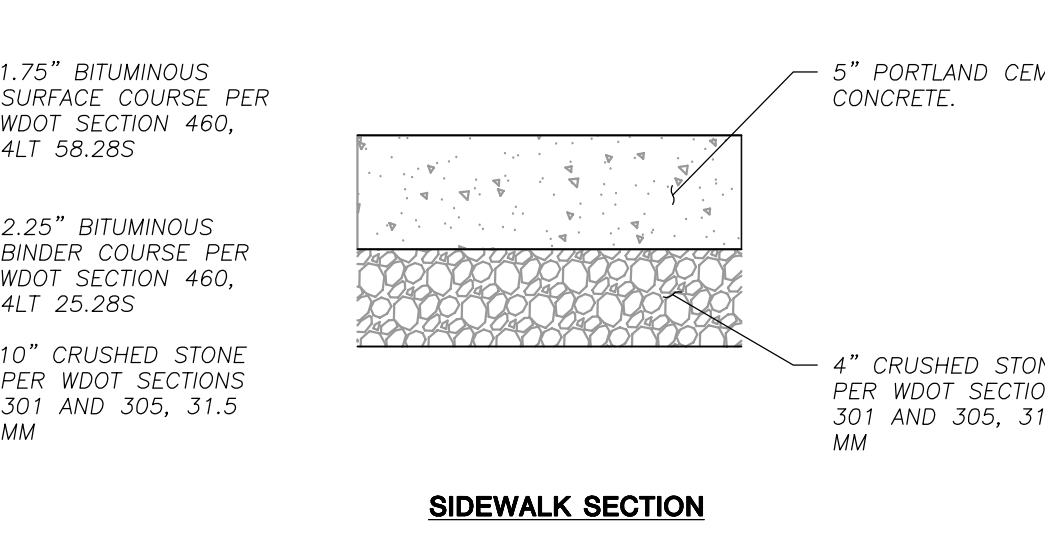
N.T.S.



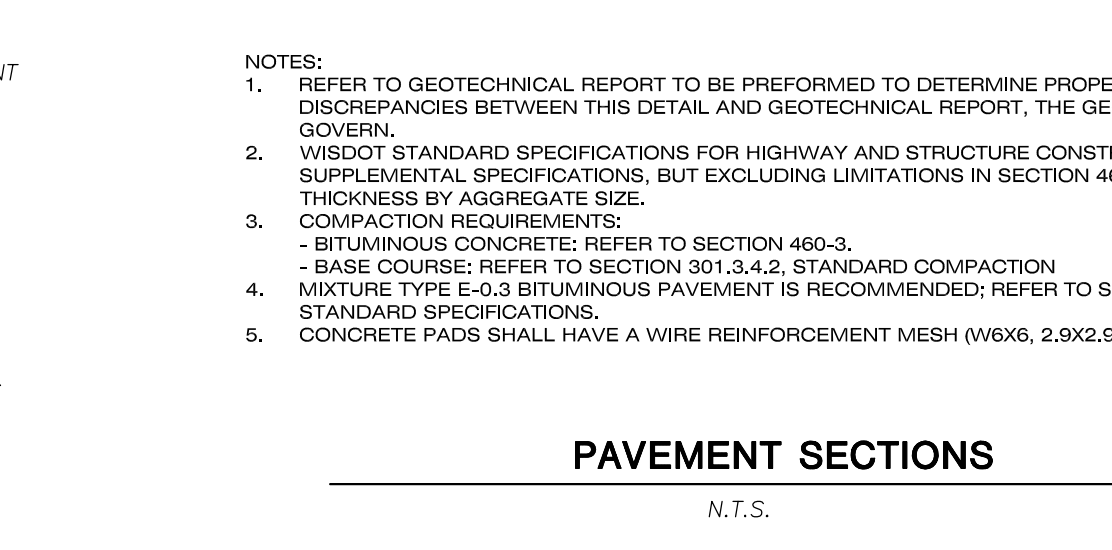
ADA RAMP



ASPHALT PAVEMENT

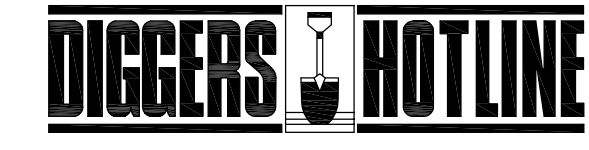


SIDEWALK SECTION



PAVEMENT SECTIONS

N.T.S.



Toll Free (800) 242-8511

PLAN MODIFICATIONS #	Date	Description
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: MSS 12-15-2017
Approved: MSS 12-15-2017

SHEET TITLE:

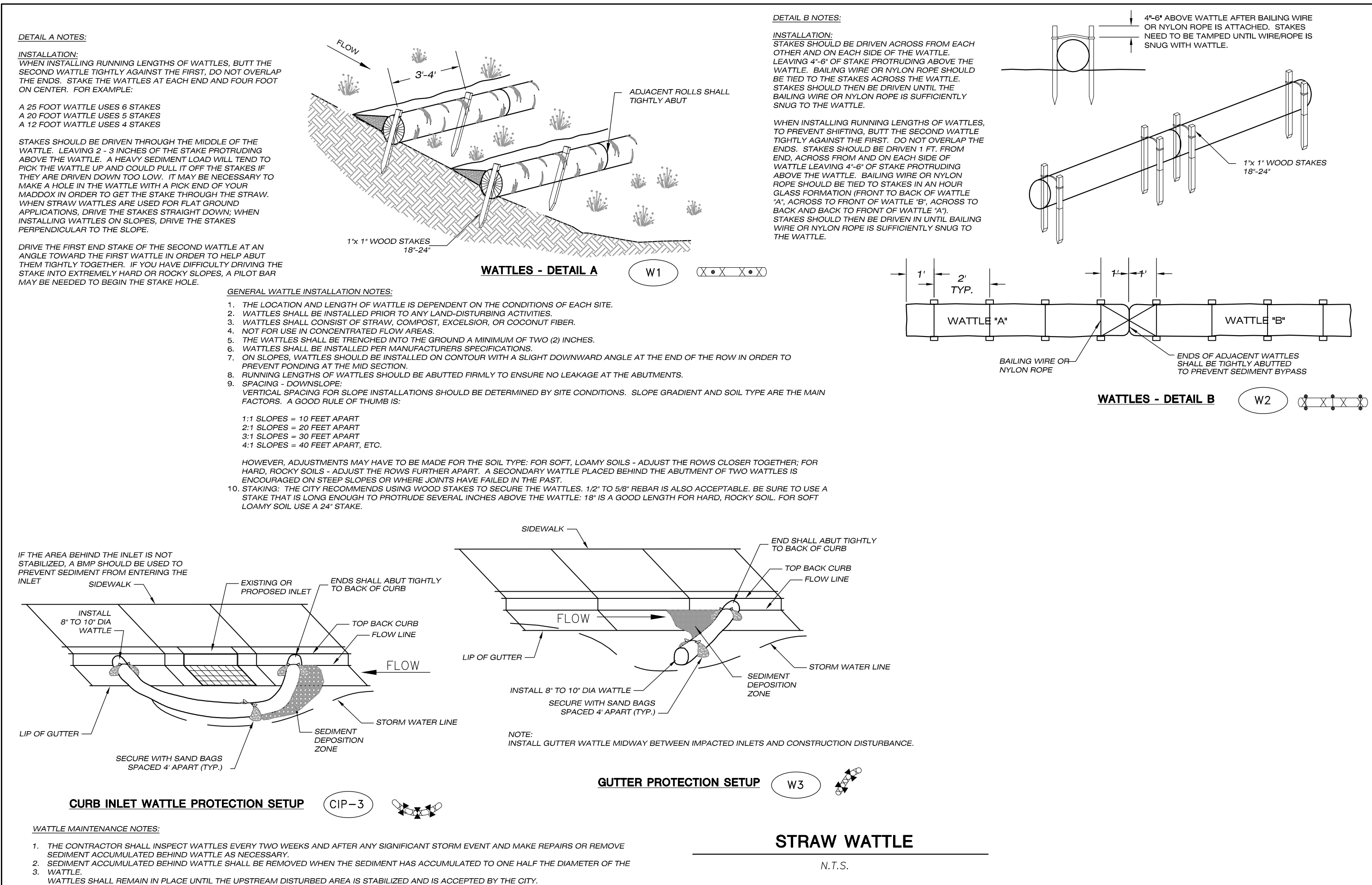
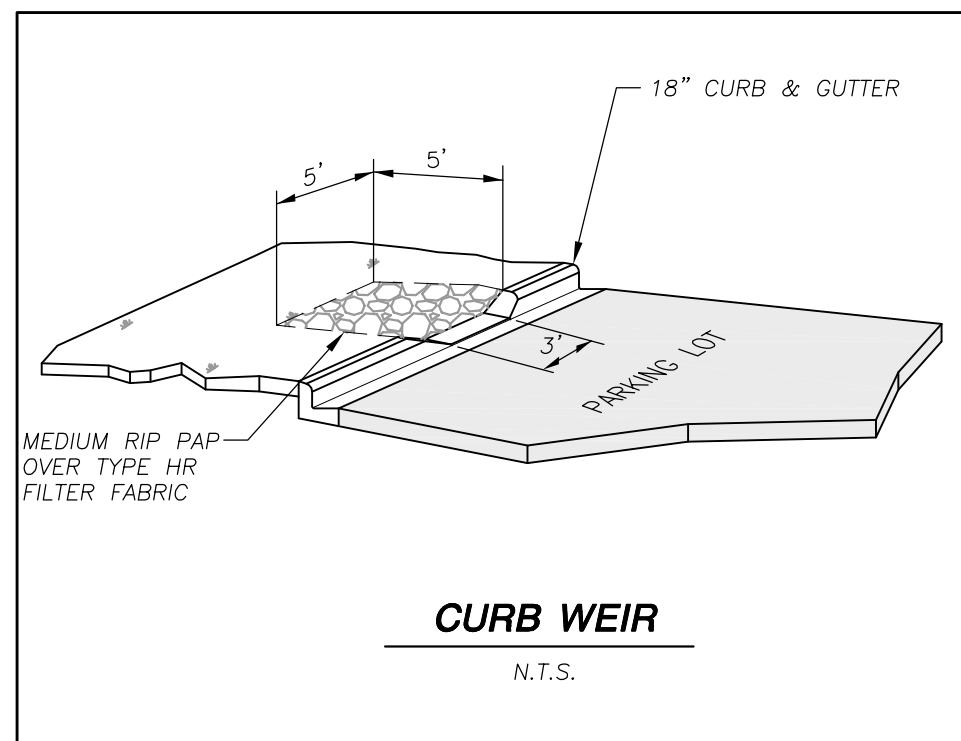
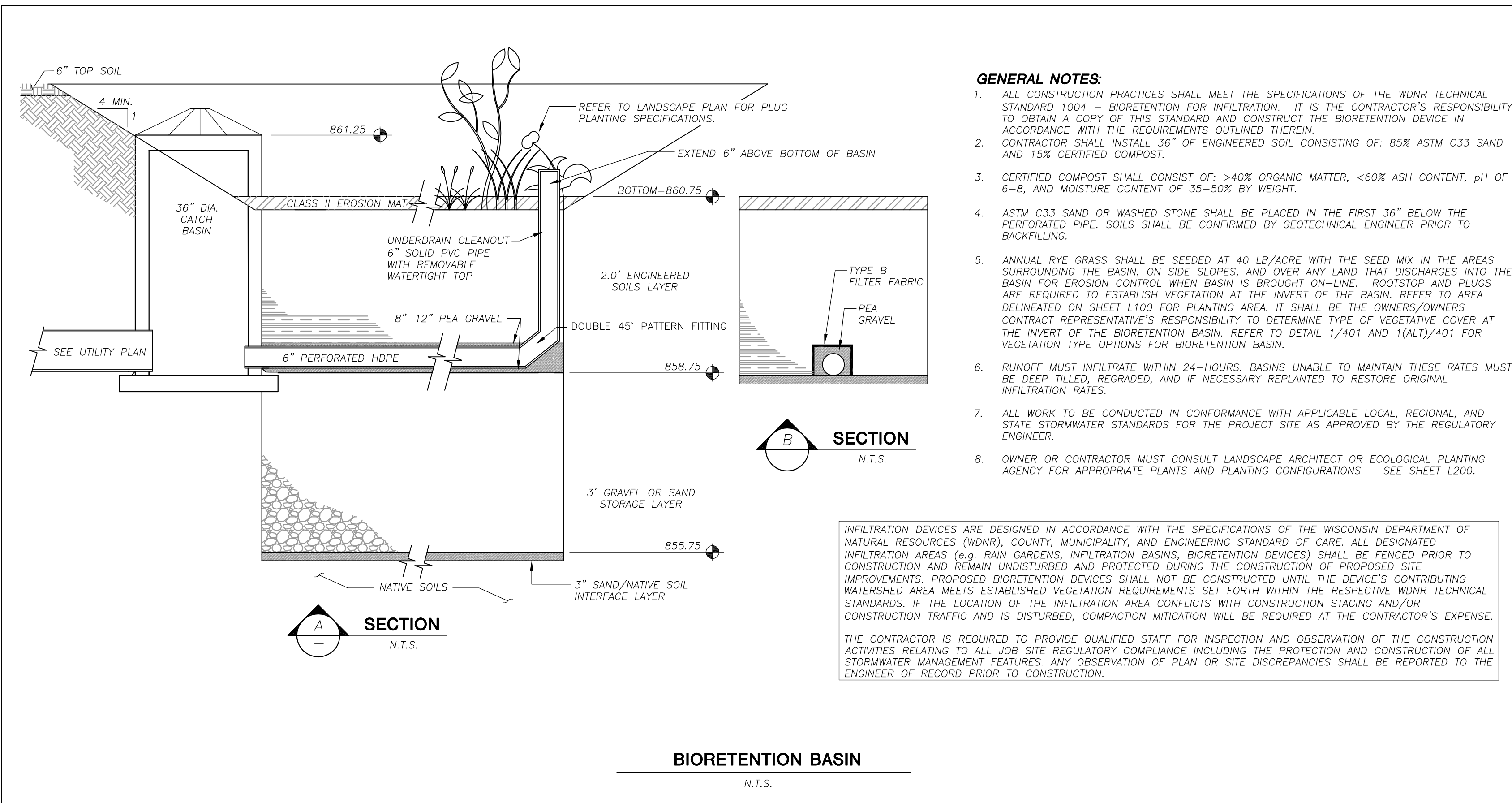
DETAILS

SHEET NUMBER:

C401

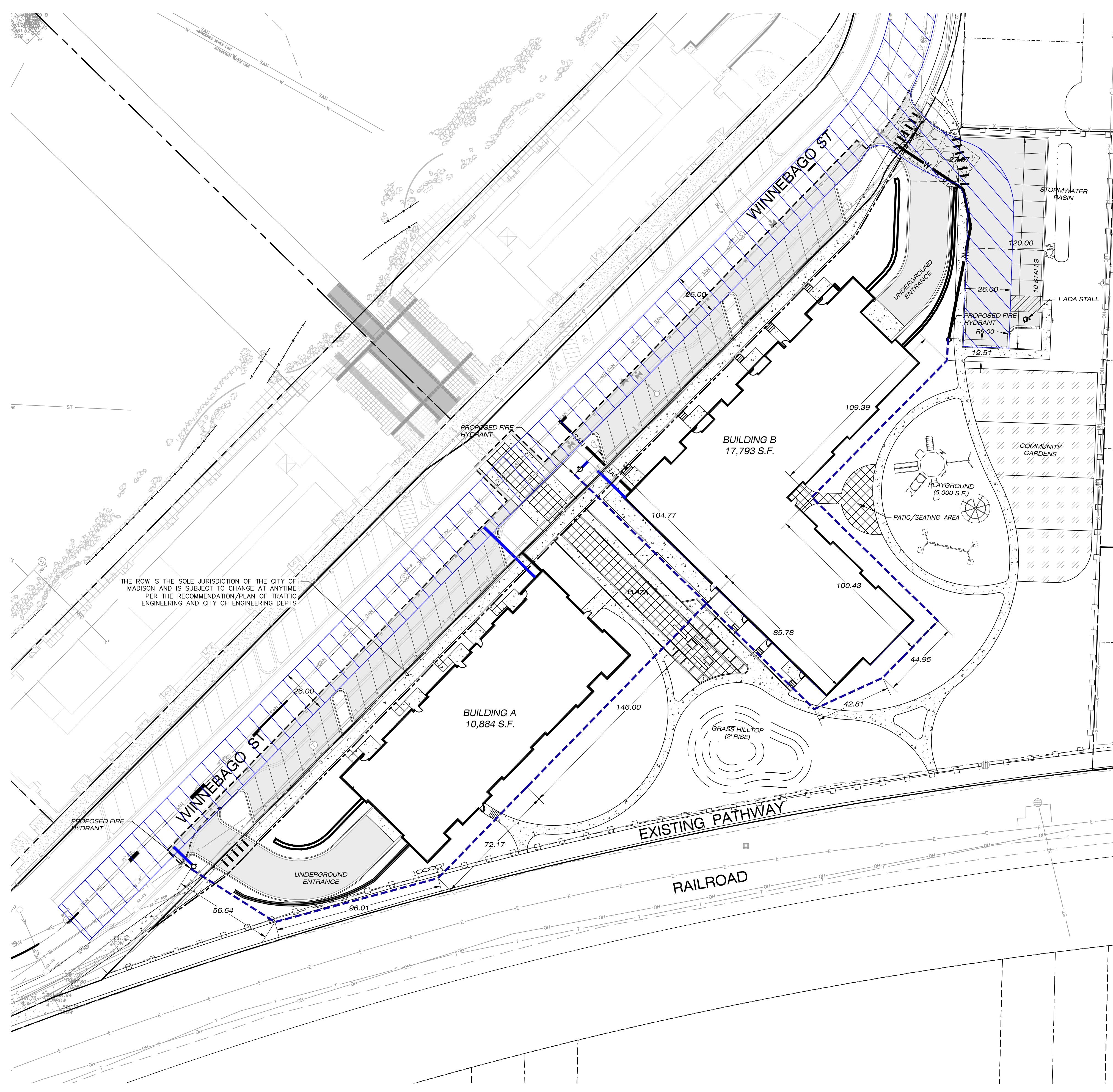
JSD PROJECT NO:

17-8095



PRELIMINARY
NOT FOR CONSTRUCTION

File: I:\2017\176095\DWG\17-8095_Construction_Documents.dwg Layout: C500 User: tgrustin Plotted: Dec 19, 2017 - 9:19am Xref's:



LEGEND (SITE PLAN)	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	PROPOSED BUILDING ADDITION
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
	PROPOSED ASPHALT PAVEMENT-HEAVY DUTY
	PROPOSED WATER MAIN
	EXISTING WATER MAIN
	FIRE HYDRANT LOCATION
	26' WIDE FIRE LANE

CITY OF MADISON FIRE DEPARTMENT
Fire Prevention Division, 325 W. Johnson St., Madison, WI 53703 • Phone: 608-266-4484 • FAX: 608-267-1153

Project Address: Winnebago St., Madison, WI 53719
Contact Name & Phone #: Mark Smith; 608-835-5594

FIRE APPARATUS ACCESS AND FIRE HYDRANT WORKSHEET

- Is the building completely protected by an NFPA 13 or 13R automatic fire sprinkler system? Yes No N/A
 If non-sprinklered, fire lanes extend to within 150-feet of all portions of the exterior wall? Yes No N/A
 If sprinklered, fire lanes are within 250-feet of all portions of the exterior wall? Yes No N/A
- Is the fire lane constructed of concrete or asphalt, designed to support a minimum load of 85,000 lbs? Yes No N/A
 a) Is the fire lane a minimum unobstructed width of at least 20-feet? Yes No N/A
 b) Is the fire lane unobstructed with a vertical clearance of at least 13½-feet? Yes No N/A
 c) Is the minimum inside turning radius of the fire lane at least 28-feet? Yes No N/A
 d) Is the grade of the fire lane not more than a slope of 8%? Yes No N/A
 e) Is the fire lane posted as fire lane? Yes No N/A
 a. Is a detail of the signage included on the site plan? Yes No N/A
 f) Is a roll-able curb used as part of the fire lane? Yes No N/A
 a. Is a detail of the curb included on the site plan? Yes No N/A
 g) Is part of a sidewalk used as part of the required fire lane? Yes No N/A
 a. Is the sidewalk constructed to withstand 85,000-lbs? Yes No N/A
- Is the fire lane obstructed by security gates or barricades? If yes: Yes No N/A
 a) Is the gate a minimum of 20-foot clear opening? Yes No N/A
 b) Is an approved means of emergency operations installed, key vault, padlock or key switch? Yes No N/A
- Is the fire lane dead-ended with a length greater than 150-foot? Yes No N/A
 If yes, is the area for turning around fire apparatus provided by:
 a) A cul-de-sac with a minimum inside diameter of 70-feet? Yes No N/A
 b) A 45-degree wye with a minimum length of 60-feet per side? Yes No N/A
 c) A 90-degree tee with a minimum length of 60-feet per side? Yes No N/A
- Is any portion of the building to be used for high-piled storage in accordance with IFC Chapter 23? Yes No N/A
 If yes, see IFC 2306.6 for further requirements.
- Is any part of the building greater than 30-feet above the lowest level of fire apparatus access? Yes No N/A
 If yes, answer the following questions:
 a) Is the aerial apparatus fire lane parallel to one entire side of the building? Yes No N/A
 b) Is the near edge of the aerial apparatus fire lane between 15' and 30' from the building? Yes No N/A
 c) Are there any overhead power or utility lines located across the aerial apparatus fire lane? Yes No N/A
 d) Does the aerial apparatus fire lane have a minimum unobstructed width of 26-feet? Yes No N/A
- Are all portions of the required fire lanes within 500-feet of at least (2) hydrants? Yes No N/A
 Note: Distances shall be measured along the path of the hose lay as it comes off the fire apparatus.
 a) Is the fire lane at least 26' wide for at least 20-feet on each side of the hydrants? Yes No N/A
 b) Is there at least 40' between a hydrant and the building? Yes No N/A
 c) Are the hydrant(s) setback no less than 5-feet nor more than 10-feet from the curb or edge of the street or fire lane? Yes No N/A
 d) Are hydrants located in parking lot islands a minimum of 3½-feet from the hydrant to the curb? Yes No N/A
 e) Are there no obstructions, including but not limited to: power poles, trees, bushes, fences, posts located, or grade changes exceeding 1½-feet, within 5-feet of a fire hydrant? Yes No N/A
 Note: Hydrants shall be installed and in-service prior to combustible construction on the project site.

Attach an additional sheet if further explanation is required for any answers.

This worksheet is based on MGO 34.20 and IFC 2006 Edition Chapter 5 and Appendix D; please see the codes for further information.



JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

GORMAN & COMPANY, INC.

CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
**UNION CORNERS
LOT 1 GRADFAMILY**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:	Date:	Description:
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: TKG 09-18-2017
Approved: TKG 09-18-2017
JLF 10-04-2017

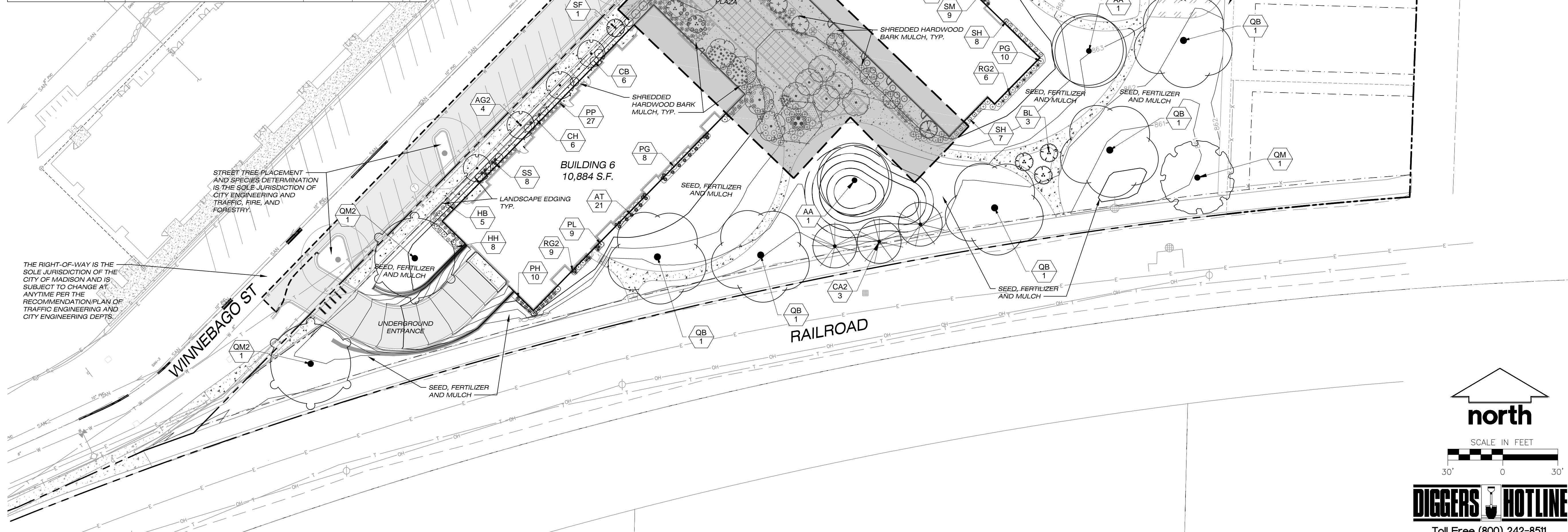
SHEET TITLE:
FIRE ACCESS EXHIBIT

SHEET NUMBER:
C500

JSD PROJECT NO: 17-8095

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

PLANT SCHEDULE SITE					
ORNAMENTAL TREE	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	AG2	Amenlicher x grandiflora 'Autumn Brilliance' Serviceberry	B & B	1.5' Cal	12
	BL	Betula nigra 'Little King' TM / Fox Valley Birch	B & B	1.5' Cal	3
	SF	Sorbus aucuparia 'Fastigata' / Oakleaf Mountain Ash	B & B	1.5' Cal	1
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	AA	Acer x freemanii 'Jeffers' / Autumn Blaze Maple	B & B	2.5' Cal	3
	CA2	Carpinus caroliniana / American Hornbeam	B & B	1.5' Cal	3
	QB	Quercus bicolor / Swamp White Oak	B & B	2.5' Cal	5
	QM	Quercus macrocarpa / Burr Oak	B & B	2.5' Cal	2
	QM2	Quercus muehlenbergii / Chinkapin Oak	B & B	2.5' Cal	3
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	CH	Clethra alnifolia 'Hummingbird' / Summersweet	3 gal	Min. 18"-24"	13
	CB	Cornus baileyi / Bailey's Red-twig Dogwood	3 gal	Min. 18"-24"	14
	SA	Spiraea albiflora / Japanese White Spiraea	3 gal	Min. 18"-24"	10
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	JS	Juniperus x pfitzeriana 'Sea Green' / Sea Green Juniper	5 gal	Min. 18"-24"	12
	PM	Pinus mugo mugo / Dwarf Mugo Pine	5 gal	Min. 18"-24"	4
	TT	Taxus x media 'Tauntoni' / Taunton Yew	5 gal	Min. 18"-24"	4
ORNAMENTAL GRASSES/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	AT	Alium tanguticum 'Summer Beauty' / Summer Beauty Globe Lily	1 Gal	10-12" HL	21
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 Gal	10-12" HL	41
	HH	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 Gal	10-12" HL	13
	HB	Heuchera x 'Berry Smoothie' / Berry Smoothie Coral Bells	1 Gal	10-12" HL	8
	PP	Panicum virgatum 'Prairie Fire' / Red Switch Grass	1 Gal	10-12" HL	49
	PH	Pennisetum alopecuroides 'Hamelii' / Hameln Dwarf Fountain Grass	1 Gal	10-12" HL	10
	PL	Potentilla atriplicifolia 'Little Spire' TM / Little Spire Russian Sage	1 Gal	10-12" HL	9
	PG	Potentilla fruticosa 'Gold Star' / Gold Star Potentilla	1 Gal	10-12" HL	18
	RG2	Rutbeckia fulgida sullivanii 'Goldsturm' / Black-eyed Susan	1 Gal	10-12" HL	15
	SM	Salvia nemorosa 'Mansholt' / Maynight Salvia	1 Gal	10-12" HL	30
	SS	Solidago speciosa / Showy Goldenrod	1 Gal	10-12" HL	61
	SH	Sporobolus heterolepis / Prairie Dropseed	1 Gal	10-12" HL	31



LEGEND (SITE PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STORMWATER MANAGEMENT AREA
- MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING BOLLARDS/SIGNS

- GENERAL NOTES:**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 - REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

GORMAN & COMPANY, INC.

CLIENT ADDRESS:
**200 NORTH MAIN STREET
OREGON, WI, 53575**

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
**UNION CORNERS
LOT 1 GRADFAMILY**

PROJECT LOCATION:
**CITY OF MADISON, WI
DANE COUNTY**

PLAN MODIFICATIONS:	Date:	Description:
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: TKG 09-18-2107
Approved: MAS 10-17-2017

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L100

JSD PROJECT NO: 17-8095

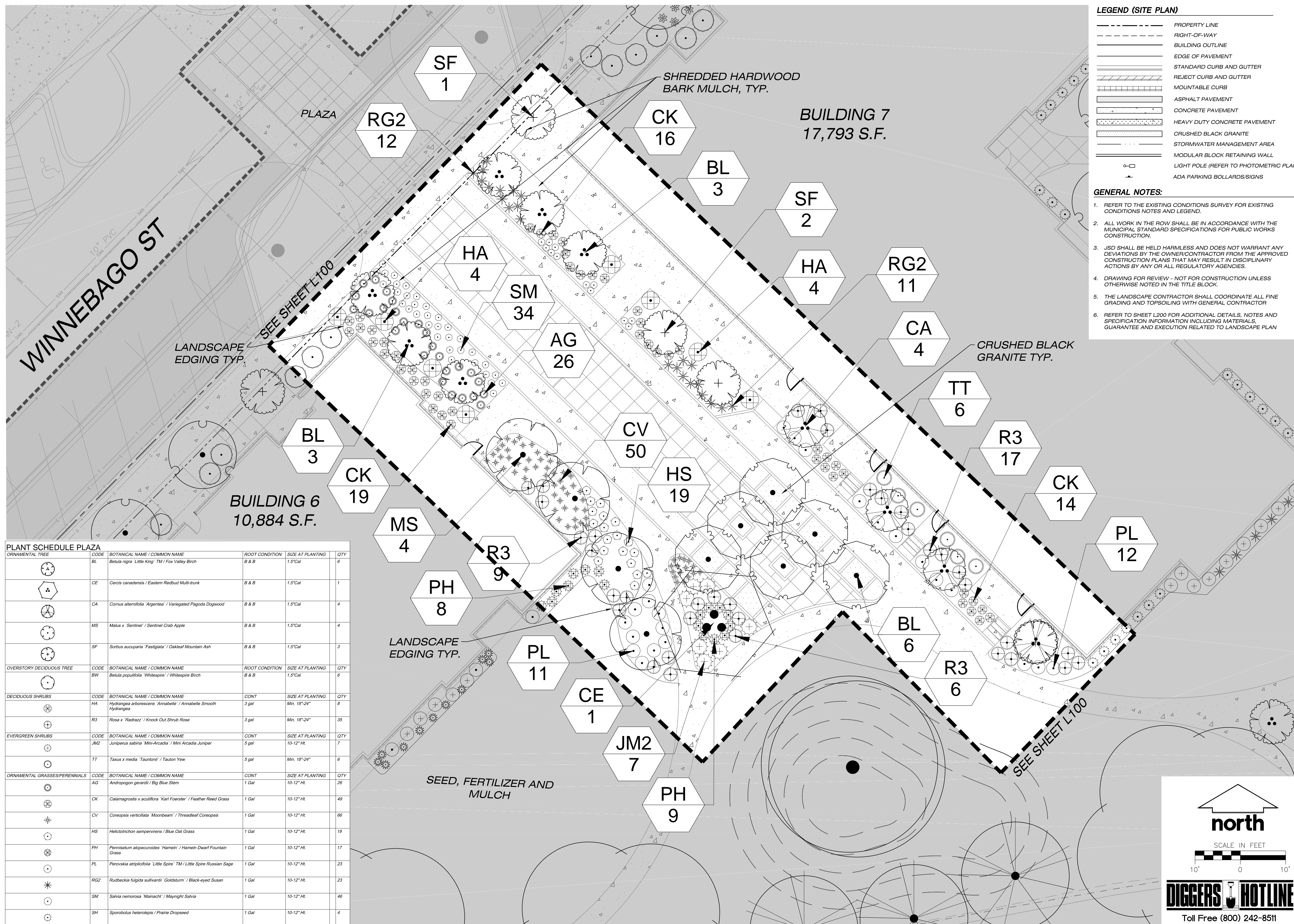
north

SCALE IN FEET

30' 0 30'

DIGGERS HOTLINE
Toll Free (800) 242-8511

File: I:\2017\176095\DWG\17-8095_Landscape_Plan.dwg Layout: L101 (22X34) User: Ijustin PlotTech: Dec 19, 2017 12:44pm Xref's: 17-8095 Union Corners



LEGEND (SITE PLAN)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- MOUNTABLE CURB
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CRUSHED BLACK GRANITE
- STORMWATER MANAGEMENT AREA
- MODULAR BLOCK RETAINING WALL
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING BOLLARDS/SIGNS

- GENERAL NOTES:**
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
 6. REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

PLANT SCHEDULE PLAZA					
ORNAMENTAL TREE	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	BL	<i>Betula nigra</i> 'Little King' TM / Fox Valley Birch	B & B	1.5'Cal	6
	CE	<i>Cercis canadensis</i> / Eastern Redbud Multi-trunk	B & B	1.5'Cal	1
	CA	<i>Cornus alternifolia</i> 'Argentea' / Variegated Pagoda Dogwood	B & B	1.5'Cal	4
	MS	<i>Malus x 'Sentinel'</i> / Sentinel Crab Apple	B & B	1.5'Cal	4
	SF	<i>Sorbus aucuparia</i> 'Fastigata' / Oakleaf Mountain Ash	B & B	1.5'Cal	3
OVERSTORY DECIDUOUS TREE	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	QTY
	BW	<i>Betula populifolia</i> 'Whitespire' / Whitespire Birch	B & B	1.5'Cal	6
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	HA	<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	Min. 18"-24"	8
	R3	<i>Rosa x 'Radrazz'</i> / Knock Out Shrub Rose	3 gal	Min. 18"-24"	35
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	JM2	<i>Juniperus sabina</i> 'Mini-Arcadia' / Mini Arcadia Juniper	5 gal	10"-12" Ht.	7
	TT	<i>Taxus x media</i> 'Tauntoni' / Tauntan Yew	5 gal	Min. 18"-24"	6
ORNAMENTAL GRASSES/PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING	QTY
	AG	<i>Andropogon gerardi</i> / Big Blue Stem	1 Gal	10"-12" Ht.	26
	CK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Feather Reed Grass	1 Gal	10"-12" Ht.	49
	CV	<i>Coreopsis verticillata</i> 'Moonbeam' / Threadleaf Coreopsis	1 Gal	10"-12" Ht.	66
	HS	<i>Helictotrichon sempervirens</i> / Blue Oat Grass	1 Gal	10"-12" Ht.	19
	PH	<i>Pennisetum alopecuroides</i> 'Hameln' / Hameln Dwarf Fountain Grass	1 Gal	10"-12" Ht.	17
	PL	<i>Perovskia atriplicifolia</i> 'Little Spire' TM / Little Spire Russian Sage	1 Gal	10"-12" Ht.	23
	RG2	<i>Rudbeckia fulgida sultivanti</i> 'Goldsturm' / Black-eyed Susan	1 Gal	10"-12" Ht.	23
	SM	<i>Salvia nemorosa</i> 'Mairacht' / Maynight Salvia	1 Gal	10"-12" Ht.	46
	SH	<i>Sporobolus heterolepis</i> / Prairie Dropseed	1 Gal	10"-12" Ht.	4

JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

GORMAN
& COMPANY, INC.

CLIENT ADDRESS:
200 NORTH MAIN STREET
OREGON, WI, 53575

PROJECT:
UNION CORNERS
LOT 1 GRADFAMILY

PROJECT LOCATION:
CITY OF MADISON, WI
DANE COUNTY

PLAN MODIFICATIONS:	Date:	Description:
1	12.20.17	LAND USE SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: TKG 09-18-2107
Approved: MAS 10-17-2017

SHEET TITLE:
COURTYARD
LANDSCAPE PLAN

SHEET NUMBER:
L101

JSD PROJECT NO: 17-8095

north

SCALE IN FEET

10' 0 10'

DIGGERS HOTLINE

Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

PRELIMINARY
NOT FOR CONSTRUCTION

Seal

Consultant
BEAR VALLEY
ENGINEERING, INC.
COMMERCIAL BUILDING SPECIALISTS
1250 FEMRITE DRIVE,
SUITE 200
MADISON, WI 53716

GRAND FAMILY HOUSING
UNION CORNERS
2507 WINNEBAGO STREET
MADISON, WISCONSIN 53704

CONSTRUCTION DOCUMENTS

Project No. _____
Plot Date: December 27, 2017
Drawn by: BVE
USER

Date Issue Description
December 27, 2017 Issued For Review
XXXXX XXXXX

Sheet Title

SITE PLAN
- ELECTRICAL

Sheet No.

ES01

CIRCUITRY & LIGHTING CONTROL NOTES:

- A. LIGHTING CIRCUITRY TO BE FED FROM BUILDING # XXX LIGHTING HOUSE PANEL LP-1.
- B. CIRCUIT NUMBERS FOR LIGHTING IS INDICATED BY NUMBER UNDER FIXTURE TYPE. HOME-RUNS ARE SHOWN FOR OVERRIDING OR MORE EXACT INTENTIONS.
- C. TYPICAL FIXTURE TYPE AND CIRCUIT NUMBER:
A1 - FIXTURE TYPE
10 - CIRCUIT NO.
- D. CIRCUIT NUMBERS FOR POWER DEVICES/EQUIPMENT IS INDICATED ADJACENT TO THE SYMBOL.
- E. PROVIDE LIGHTING CONTROL FROM LOW VOLTAGE LIGHTING CONTROL PANEL LVRP-1. SEE CIRCUITS LISTED ON THE PANELBOARD SCHEDULES AND LOW VOLTAGE RELAY SCHEDULE.
- F. WIRING SCHEDULE:
1 2 #8 XHHW + GR, 2" PVC CONDUIT
2 4 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM
3 8 #8 XHHW + GR, 2-1/2" PVC CONDUIT MINIMUM
4 3 #6 XHHW + GR, 2" PVC CONDUIT MINIMUM
5 3 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM

SPECIFIC NOTES (POWER):

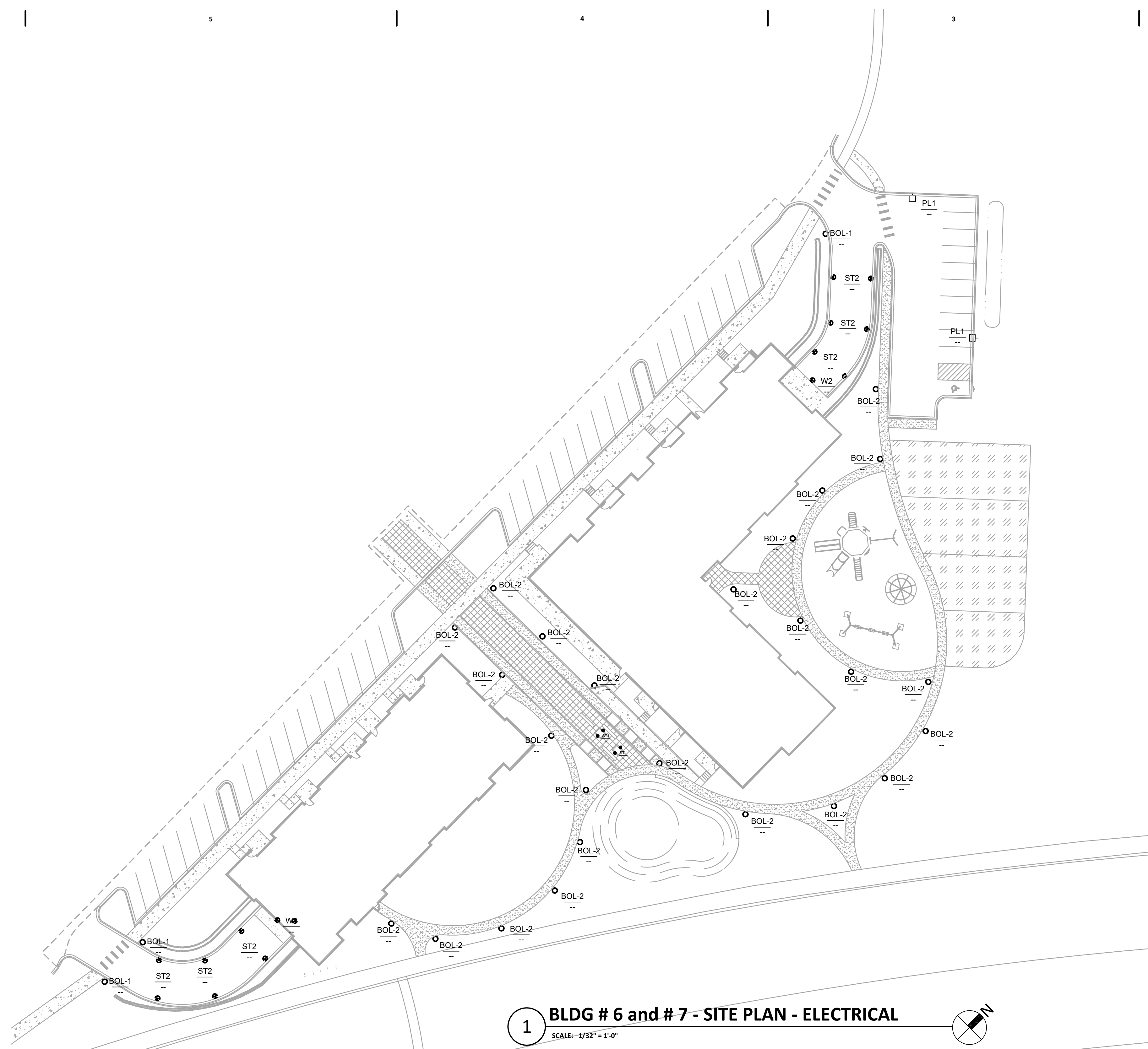
- 1 PROVIDE TRANSITION CABINET FOR SECONDARY SIDE OF OF TRANSFORMER TO BUILDING CABLE TRANSITIONS - COORDINATE WITH UTILITY, AND GC FOR EXACT LOCATION.
- 2 PEDESTAL MOUNTED WP RATED RECEPTACLE BOX WITH LOCKING COVER - COLE LTG # TL310-WCS-PED, WITH 2 DUPLEX RECEPTACLES - CONCRETE BASE TO BE COMBINED WITH BOLLARDS - COORDINATE WITH MFGRS

SPECIFIC NOTES (COMMUNICATIONS):

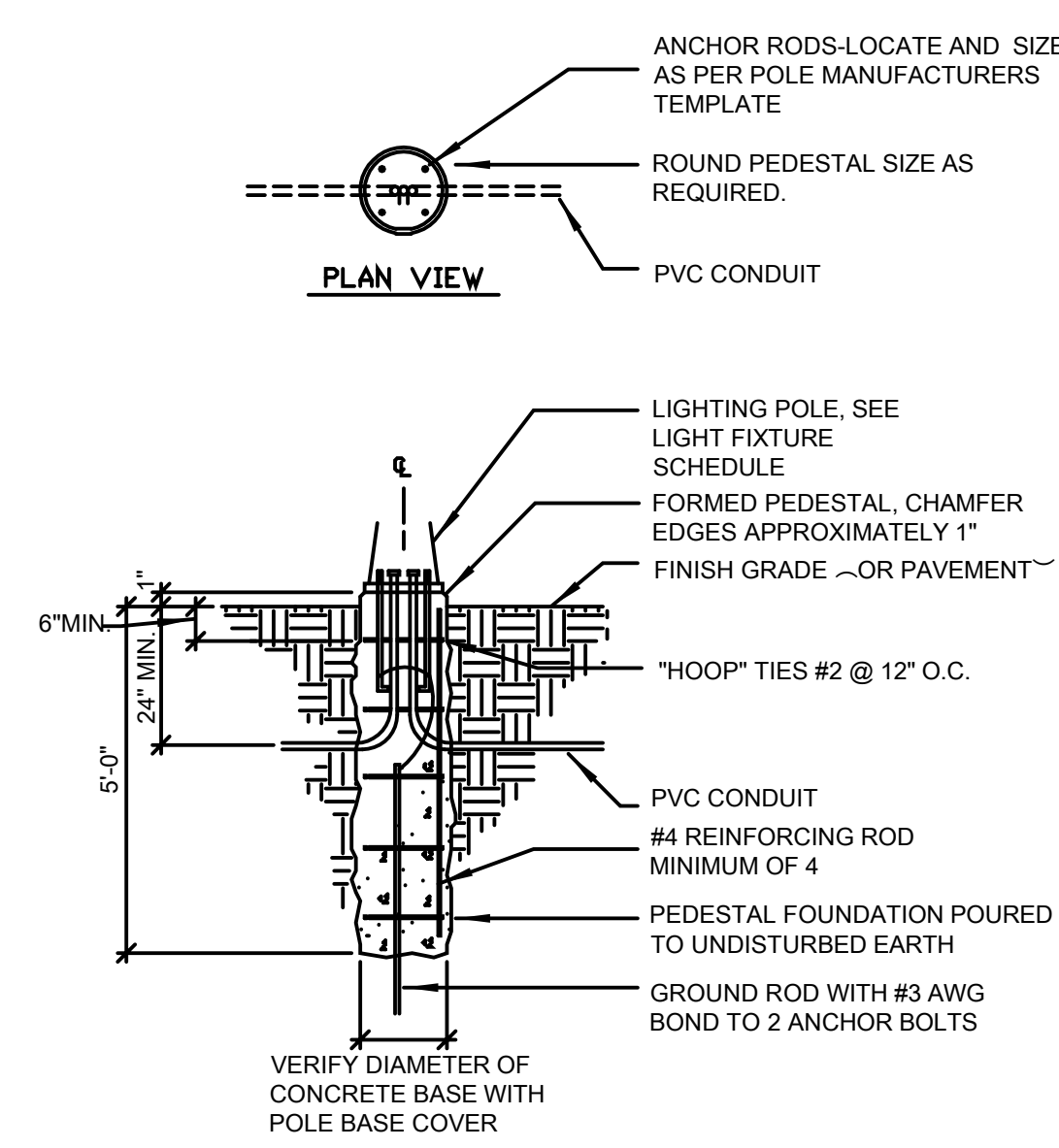
- C1 COMMUNICATIONS CONDUITS - PROVIDE (TWO) 4" CONDUIT SETS, EACH FOR CABLE AND TELEPHONE, FOR ENTRANCE CABLES BY UTILITIES. COORDINATE EXACT LOCATION WITH UTILITIES AND CIVIL CONTRACTOR. RUN CONDUITS OUT 5' FROM BUILDING. PROVIDE LABELED RED FLAG, STAKED 24" ABOVE GRADE IF BACKFILLED PRIOR TO CABLES BEING INSTALLED (CAP ENDS OF CONDUITS). SEE SHEET E100 FOR INTERIOR CONTINUATION.
- C2 PROVIDE SECURITY ENTRANCE VIA "LONG READER" FOB KEY DOOR ENTRANCE/SECURITY SYSTEM READER FOR GARAGE DOOR OPERATION. MOUNT ABOVE GARAGE DOOR.

ELECTRICAL GENERAL NOTES:

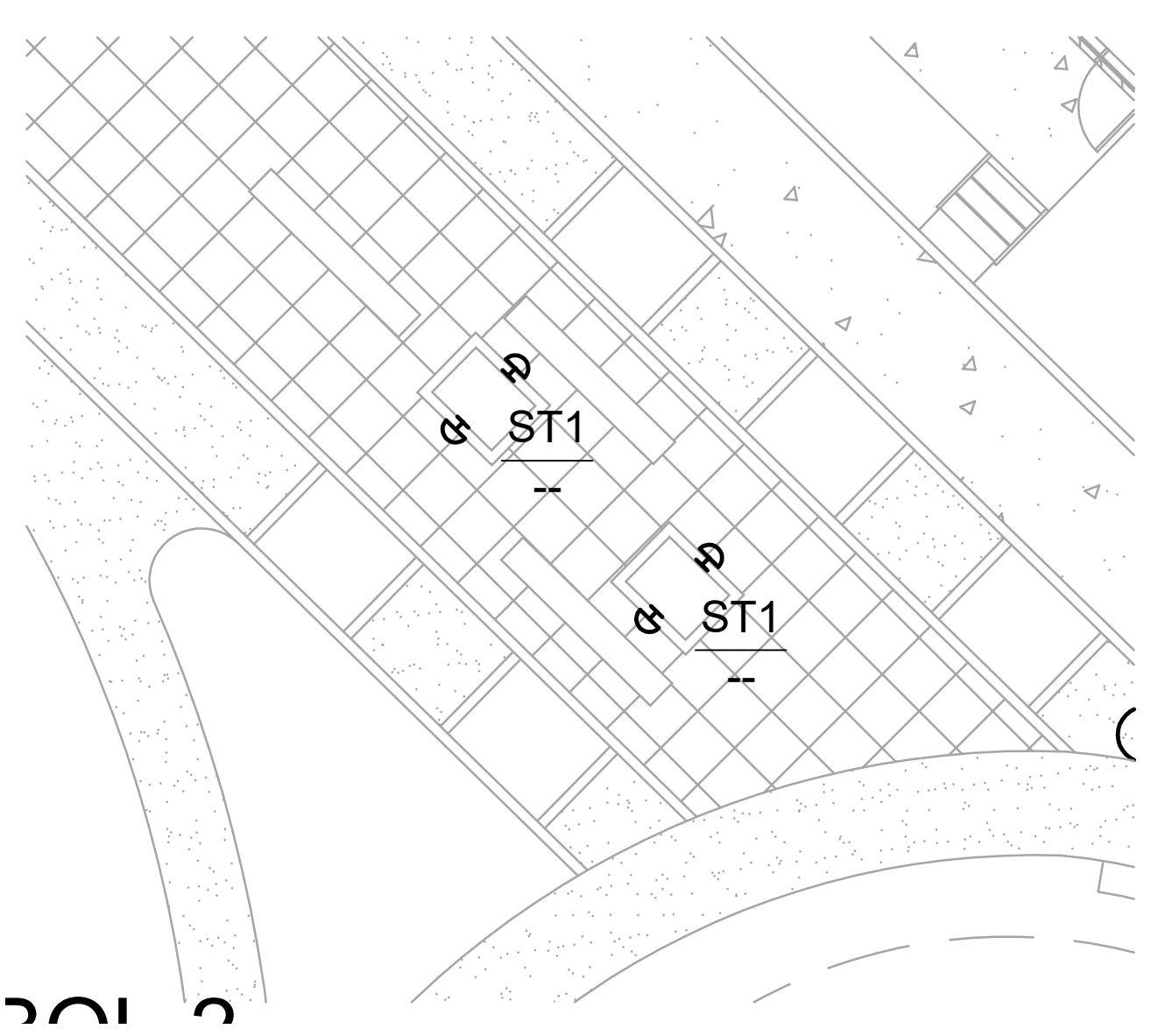
- A. CONTRACTOR TO PROVIDE QUANTITY OF CONDUITS AS REQUIRED. COORDINATE WITH GENERAL CONTRACTOR (GC) WHEN RUNNING CONDUIT IN EXPOSED STRUCTURE AREAS SO AS TO RUN CONDUIT IN PARALLEL AND PERPENDICULAR PATHS TO BUILDING ELEMENTS.
- B. ALL PAINTING OF ALL EXPOSED CONDUIT WILL BE BY THE G.C. AND WILL MATCH SURFACE UPON WHICH IT IS ATTACHED.
- C. ALL CONDUIT SHALL BE ROUTED A MINIMUM OF 36" BELOW FINISHED GRADE. EXACT METHOD OF ROUTING OUTDOOR LIGHTING WIRING SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UNLESS OTHERWISE NOTED, ALL EXTERIOR LIGHTING WIRING SHALL BE #8AWG COPPER AND SHALL BE ROUTED IN SCHEDULE 40 PVC. MINIMUM CONDUIT SIZE IS 1" (AT CONNECTION TO FIXTURES).
- D. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE AND CODE COMPLIANT INSTALLATION.
- E. ALL FIXTURES, POLES, ARMS, BASES, ETC. SHALL BE PROVIDED WITH FACTORY APPLIED POWDER PAINT FINISH. THE ELECTRICAL CONTRACTOR SHALL PAINT ANY EXPOSED EQUIPMENT TO MATCH.
- F. NO CONTINUOUS CONDUIT RUN SHALL EXCEED 100 FEET (30 METERS) WITHOUT A JUNCTION BOX.
- G. CONTACT LOCAL ELECTRICAL UTILITY TO COORDINATE FINAL ELECTRICAL UTILITY CONNECTIONS, LOCATIONS, INSTALLATION, ETC. UTILITY IS TO PROVIDE PRIMARY CONDUIT AND WIRING TO PAD MOUNTED TRANSFORMERS (W/ PADMOUNTED CT) LOCATED APPROXIMATELY WHERE SHOWN ON PLANS. SITE ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING TO MAIN ELECTRICAL ROOM. COORDINATE LOCATIONS OF SERVICE ENTRANCE CONDUIT W/ GENERAL CONTRACTOR FOR EXACT LOCATIONS OF MAIN DISTRIBUTION PANELS.
- H. CONTACT LOCAL TELEPHONE AND CABLE UTILITY TO COORDINATE FINAL CONNECTIONS, LOCATIONS, INSTALLATION, ETC. PROVIDE UNDERGROUND PVC CONDUIT FROM UTILITY CONNECTION POINT TO LOCATION OF COMMUNICATIONS BOARD LOCATED IN MAIN ELECTRICAL ROOM. OBTAIN PLAN APPROVAL PRIOR TO STARTING WORK. OWNER SHALL PAY CONNECTION CHARGES.



1 BLDG # 6 and # 7 - SITE PLAN - ELECTRICAL
SCALE: 1/32" = 1'-0"



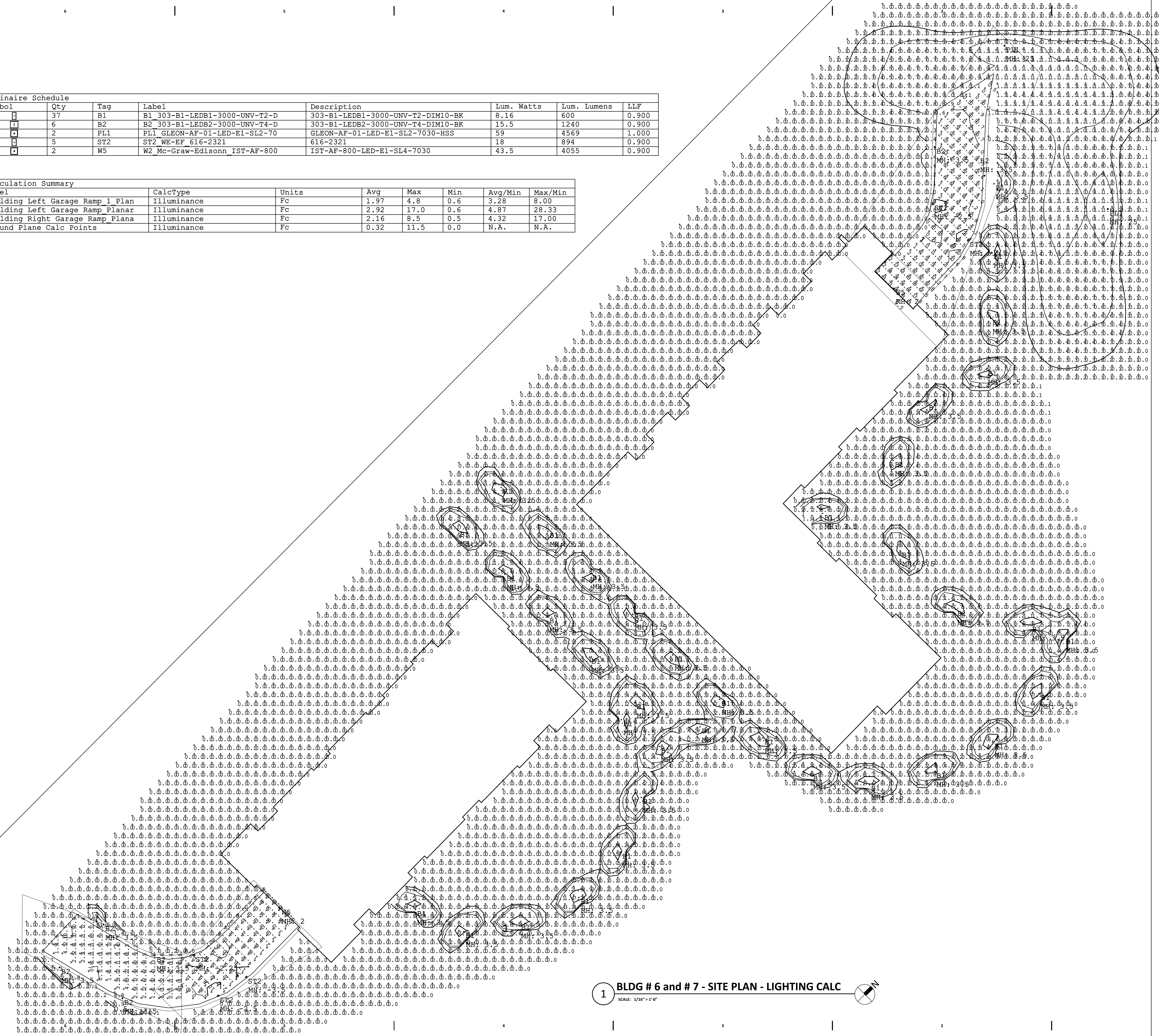
2 FIXTURE TYPY PL1 BASE MOUNTING DETAIL
SCALE: NTS



3 PLANTERS - SITE PLAN - ELECTRICAL
SCALE: 1/8" = 1'-0"

Symbol	Qty	Tag	Label	Description	Lum. Watts	Lum. Lumens	LLF
□	37	B1	B1 303-B1-LEDB1-3000-UNV-T2-D	303-B1-LEDB1-3000-UNV-T2-DIM10-BK	8.16	600	0.900
□	6	B2	B2 303-B1-LEDB2-3000-UNV-T4-D	303-B1-LEDB2-3000-UNV-T4-DIM10-BK	15.5	1240	0.900
□	2	PL1	PL1 GLEON-AF-01-LED-E1-SL2-70	GLEON-AF-01-LED-E1-SL2-7030-HSS	59	4569	1.000
□	5	ST2	ST2 WE-EF 616-2321	616-2321	18	894	0.900
□	2	W5	W2 Mc-Graw-Edisonn IST-AF-800	IST-AF-800-LED-E1-SL4-7030	43.5	4055	0.900

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Left Garage Ramp 1 Plan	Illuminance	Fc	1.97	4.8	0.6	3.28	8.00
Building Left Garage Ramp Planar	Illuminance	Fc	2.92	17.0	0.6	4.87	28.33
Building Right Garage Ramp Planar	Illuminance	Fc	2.16	8.5	0.5	4.32	17.00
Ground Plane Calc Points	Illuminance	Fc	0.32	11.5	0.0	N.A.	N.A.



1 BLDG # 6 and # 7 - SITE PLAN - LIGHTING CALC
SCALE: 1/16" = 1'-0"

REAL ESTATE DEVELOPMENT & MANAGEMENT
200 N. MAIN STREET
OREGON, WI 53755

Seal

Consultant
BEAR VALLEY
ENGINEERING, INC.
COMMERCIAL BUILDING SPECIALISTS
1250 FEMRITE DRIVE,
SUITE 200
MADISON, WI 53716

GRAND FAMILY HOUSING
UNION CORNERS
2507 WINNEBAGO STREET
MADISON, WISCONSIN 53704

CONSTRUCTION DOCUMENTS

Project No. _____
Plot Date: December 27, 2017
Drawn by: BVE
USER

Date: December 27, 2017
Issue Description: Issued For Review
XXXXX XXXXX

Sheet Title

SITE PLAN
- LIGHTING
CALCULATIONS

Sheet No.
ES01-CALC



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GRAND FAMILY - BUILDING #6
at UNION CORNERS
2431 WINNEBAGO STREET
MADISON, WI 53704

Schematic	
Project No.	Project Number
Plot Date:	5/1/2018 3:31:45 PM
Drawn by:	Author
Date	Issue Description

Sheet Title
EXTERIOR BUILDING
ELEVATIONS

Sheet No.
A201



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GRAND FAMILY - BUILDING #7
at UNION CORNERS
2531 WINNEBAGO STREET
MADISON, WI 53704

SCHEMATIC	
Project No.	Project Number
Plot Date:	5/1/2018 9:01:19 PM
Drawn by:	Author
Date	Issue Description

Sheet Title
**EXTERIOR BUILDING
ELEVATIONS**

Sheet No.
A201