## **URBAN DESIGN COMMISSION APPLICATION**

City of Madison **Planning Division** 126 S. Hamilton St. P.O. Box 2985 Madison, WI 53701-2985 (608) 266-4635



Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

FOR OFFICE USE ONLY:

Paid	Receipt #
Date received	
Received by	
Aldermanic District	
Zoning District	
Urban Design District	
Submittal reviewed by	

### 1. Project Information

Ade	dress:	2431, 2531	WINNE	BAGO STREET, MADISON, WI.	DCI PAF	RCEL# 0710	006134284
Titl	e:	UNION COR	NERS -	GRANDFAMILY APARTMENTS			
•	•	<b>ype</b> (check al		apply) and Requested Da May 23 , 2018	te		
X		•		Alteration to an existing of	or nrevi	ously-anr	proved development
				Initial approval		Final ap	
3. Pro	oject Type						
	Project in	an Urban Desi	gn Dis	trict	Sigr	nage	
				District (DC), Urban		Compre	hensive Design Review (CDR)
_				ked-Use Center District (MXC)			Variance (i.e. modification of signage height,
		nstitutional Dis		yment Center District (SEC), CI), or Employment Campus	Oth	-	nd setback)
X	Planned Development (PD)			Please specify		pecify	
	<ul> <li>General Development Plan (GDP)</li> <li>Specific Implementation Plan (SIP)</li> <li>Planned Multi-Use Site or Residential Building Complex</li> </ul>						
4. Ap	plicant, Ag	ent, and Prop	perty	Owner Information			
Ар	plicant nan	ne BEN	N MAR	SHALL	Comp	any GO	RMAN AND COMPANY
• •	eet address		N. MA	IN STREET	 City/S <sup>:</sup>	,	OREGON, WI. 53575
	Telephone 608) 835-3					ιαις/Διρ	
Tele	ephone	608	835-3	900	_Email		all@gormanusa.com
				900 . SMITH	_ ,	bmarsha	
Pro	ephone o <b>ject conta</b> d eet address	ct person	ARK M		_Email _Compa	bmarsha	RMAN AND COMPANY
<b>Pro</b> Stro	ject conta	ct person 	ARK M	. SMITH STREET	_Email _Compa	bmarsha any <u>GOI</u> tate/Zip	all@gormanusa.com
<b>Pro</b> Stro Telo	oject contac eet address ephone	ct person 	ARK M MAIN ) 835-3	. SMITH STREET 3900	_Email _Compa _City/S <sup>a</sup>	bmarsha any <u>GOI</u> tate/Zip	All@gormanusa.com RMAN AND COMPANY OREGON, WI. 53575
Pro Stro Telo Pro	oject contac eet address ephone	ct person 	ARK M MAIN ) 835-3 icant)	. SMITH STREET 3900	_Email _Compa _City/S _Email	bmarsha any <u>GO</u> tate/Zip marksn	All@gormanusa.com RMAN AND COMPANY OREGON, WI. 53575

### 5. Required Submittal Materials

### **Application Form**

### Letter of Intent

- If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
- For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.

Development plans (Refer to checklist provided below for plan details)

### Filing fee

### Electronic Submittal\*

Both the paper copies and electronic copies <u>must</u> be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to <u>udcapplications@cityofmadison.com</u>. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

### 6. Applicant Declarations

- 2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name	BEN MARSHALL	12		Relationship to property	OWNERS AGENT
Authorized signati	ure of OWNERS AGENT	Da	WN	7	Date _May 23, 2018
_			l	I	

### 7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- □ Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per \$33.24(6)(b) MGO)
- □ Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- □ All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development
   Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding. The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

### **Types of Approvals**

There are three types of requests considered by the UDC:

- <u>Informational Presentation</u>. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- <u>Initial Approval</u>. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- <u>Final Approval</u>. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

### **Presentations to the Commission**

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. Applicants/presenters are responsible for all presentation materials, AV equipment and easels.

## **URBAN DESIGN DEVELOPMENT PLANS CHECKLIST**

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/ or staff may require additional information in order to have a complete understanding of the project.

### 1. Informational Presentation

1. Informa	tional Presentation		Requirements for All Plan Sheets			
	Locator Map		1. Title block			
	Letter of Intent (If the project is within a		2. Sheet number			
	Urban Design District, a summary of <u>how</u> the development proposal addresses the	Drewiding additional	3. North arrow			
	district criteria is required)	Providing additional information beyond these	4. Scale, both written and graphic			
	Contextual site information, including	minimums may generate	5. Date			
	photographs and layout of adjacent buildings/structures	a greater level of feedback from the Commission.	<ol> <li>Fully dimensioned plans, scaled at 1"= 40' or larger</li> </ol>			
	Site Plan		** All plans must be legible, including			
	Two-dimensional (2D) images of proposed buildings or structures.		the full-sized landscape and lighting plans (if required)			
2. Initial Ap	oproval					
	Locator Map		)			
¥	Letter of Intent (If the project is within a L how the development proposal addresses					
7	<ul> <li>Contextual site information, including photographs and layout of adjacent buildings/structures</li> </ul>					
<b>A</b>	Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter					
X	Landscape Plan and Plant List (must be leg	from the Commission.				
×	Building Elevations in both black & white a material callouts)	and color for all building sides	(include			
¥	PD text and Letter of Intent (if applicable)		J			
3. Final Ap	proval					
All the re	equirements of the Initial Approval (see abo	ove), <b>plus</b> :				
	Grading Plan					
	Proposed Signage (if applicable) NOT APP	LICABLE				
	Lighting Plan, including fixture cut sheets	and photometrics plan (must l	be legible)			
	Utility/HVAC equipment location and scre	ening details (with a rooftop p				
	PD text and Letter of Intent (if applicable)		HVAC IN UNITS (INTERIOR)			
	Samples of the exterior building materials	; (presented at the UDC meeting				
4. Comprel	nensive Design Review (CDR) and Varian	ce Requests ( <u>Signage applic</u>	ations only)			
	Locator Map					
	Letter of Intent (a summary of <u>how</u> the proposed signage is consistent with the CDR or Signage Variance criteria is required)					

- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit



December 6th, 2017

Mr. Tim Parks Urban Design Commission 215 Martin Luther King Jr. Blvd P.O. Box 2985 Madison, Wi 53701

Re: Letter of Intent PD-SIP Re Zoning 2507 Winnebago Street Madison, Wi 53704

Dear Mr. Parks:

The following is submitted together with the plans, and application for staff approval.

### **Project Organizational Structure:**

Owner: Gorman & Company, Inc. 200 N. Main Street Oregon, WI 53575 414-617-9997 Contact: Edward Matkom tmatkom@gormanusa.com

Civil: JSD Professional Services, Inc. Engineer 161 Horizon Dr, Suite 101 Madison, WI 53593 608-848-5060 Contact: Hans Justeson hans.justeson@jsdinc.com

P: (608) 835-3900 F: (608) 835-3922 www.GormanUSA.com

### **REAL ESTATE DEVELOPMENT**

MILWAUKEE MIAMI PHOENIX CHICAGO DENVER

Architect: Gorman & Company, Inc. 200 N. Main Street Oregon, WI 53575 608-835-3900 Contact: Mark M. Smith marksmith@gormanusa.com

Landscape: JSD Professional Services, Inc. Design 7402 Stone Ridge Dr, Suite 4 Weston, WI 54476 715-298-6330 Contact: Justin Frahm justin.frahm@jsdinc.com

### Introduction:

The site property is located on the east side of Madison, on Winnebago Street just off of East Washington Boulevard. The property is within the Union corners General Plan Development. The site is currently vacant.

### Zoning:

The site is currently within the Union Corners General Plan Development.

### **Project Description:**

The Project consists of two three story buildings with basement parking. The ground floor contains building common areas/ amenity spaces rental apartments, and lobbies. The upper two floors are rental apartments. The project includes improvements to Winnebago street outside of the property line of this phase, including new sidewalks, and angled street parking. Additionally, the project constructs a new serpentine pedestrian pathway and stormwater management swales.

### Project Development Data:

Site Density:	
Lot area:	138,085 s.f. (3.05 acres)
Dwelling Units:	60 Units
Lot Area / D.U.	2301 s.f / d.u.
Density	19.68 d.u. / acre

### Site Coverage:

<b>Building Footprints:</b>	28,676 s.f. ( 24 %)
Sidewalks / Terrace:	17,486 s.f. ( 13 %)
Pavement:	11,530 s.f. ( 9%)
Pervious Surface:	75,166 s.f. (54%)

### **Building Ratio:**

Social Services:	2,859 s.f. (2.6 %)
Apartments & Amenities	68,320 s.f. (64.0 %)
Underground Parking:	22,983 s.f. (21.65%)
Misc (corridor, mech, stairs):	<u>12,546 s.f. (11.75 %)</u>
	106,708 s.f. Total Building Area

Dwelling Unit Mix		<u>Bike Parking:</u>	
Two Bedroom	37	Enclosed:	62
Three Bedroom	23	Surface <u>:</u>	30
	60 Total		92 Total
Vehicular Parking:			
Enclosed	/5		

Enclosed	75
Surface	43 ( <u>33 In City R.O.W.)</u>
	118 Total

### Schedule:

The development schedule calls for construction to start September of 2018, with a scheduled completion in November 2019.

### Social & Economic Impacts:

This development will have a positive social and economic impact on the surrounding community. The redevelopment of this property will provide high quality affordable housing and social support services.

Thank you for your time in reviewing our proposal.

Sincerely,

Edward B. Matter

Edward Matkom President – Wisconsin Market Gorman & Company, Inc.

### **Zoning Text**

Rezoning PD-GDP to PD-SIP Union Corners – Bldg. 6 & 7 2507 Winnebago Road Parcel #071006134284 Lot 1 of Union Corners December 6, 2017

Legal Description: Parcel #071006134284 or Lot 1 of Union Corners

- A. **Statement of Purpose:** Re-zoning of Lot 1 from PD-GDP PD-SIP to allow for the construction of two three story buildings with a total of 60 dwelling units. Buildings will consist of community, social service space and dwelling units on the ground floor, with dwelling units on the upper two floors. Tenant parking will be provided on site and in underground parking beneath the buildings.
- B. Permitted Uses: Uses as shown on Exhibit A, attached hereto
- C. Lot Area: Lot 1 138,085 s.f. (3.05 acres)
- D. Floor Area Ratio: 0.61
- E. Yard Requirements: As shown on the attached plans
- F. Landscaping: Site landscaping provided as shown on the attached landscape plan.
- G. Accessory Off-Site Parking: Off-street and surface parking shall be provided as shown the attached plans.
- H. **Lighting:** Site lighting will be provided along pedestrian path, plaza, and building façade and meeting MGO requirements. Exhibit to follow.
- **I. Signage:** Tenant, and apartment signage will be located on building façade, and meet MGO requirements. See attached plans. Signage approval will made in a separate submittal.
- J. Alterations and Revisions: No alteration or revision of the planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administration may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

### **Exhibit A - Permitted Uses**

### **Residential – Family Living**

- Live/work unit
- Multi-family dwelling (>8 dwelling units)

### **Residential - Group Living**

- Adult family home
- Cohousing community
- Community living arrangement (> 15 residents)
- Housing cooperative

### **Civic and Institutional Uses**

- Counseling, community services organization
- Community center
- Day care center
- Library, museum
- Recreational, community, and neighborhood centers

### Agriculture and Resource Uses

- Community garden
- Market garden

### **Accessory Uses and Structures**

- Management office and recreation facilities within multi-family building
- Non-accessory temporary outdoor events
- On-site agricultural retail, farm stand
- Outdoor display
- Outdoor eating area
- Outdoor sales event
- Temporary outdoor events

### **Offices**

- Insurance office, real estate office, sales office
- General office
- Professional office

### **Medical Facilities**

• Physical, occupational or message therapy

### **Retail Sales and Services**

- Artisan workshop
- Business sales and services
- Farmers' market
- Food and related goods sales
- Furniture and household goods sales
- Health/sports club
- Home occupation
- Indoor recreation
- Printing and publishing
- Post office
- Real estate sales office
- Secondhand goods sales
- Service business
- Telecommunications center

### Food and Beverage

- Catering
- Coffee shop, tea house

# **UNION CORNERS** GRANDFAMILY







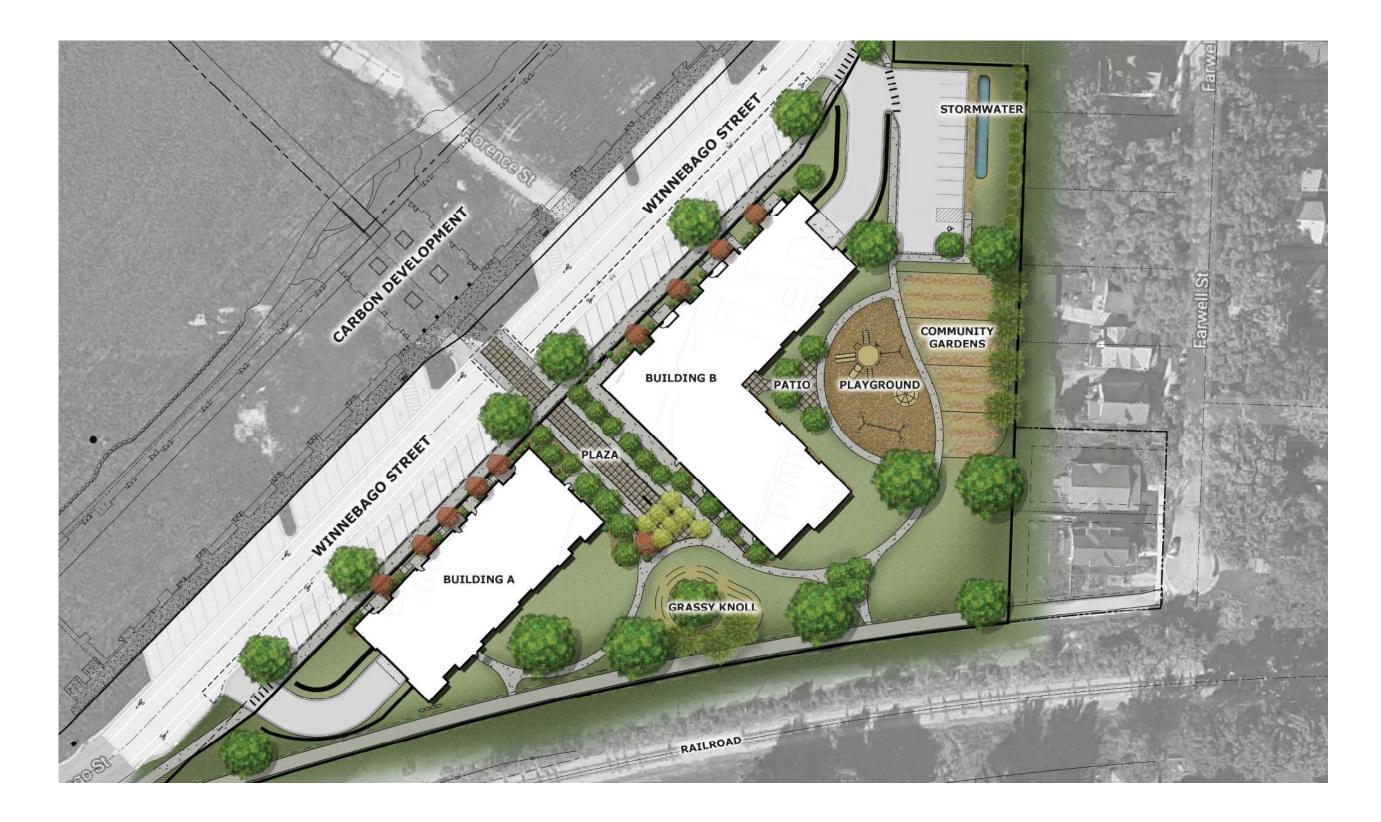
## **CARBON AT UNION CORNERS**











## **MASTER PLAN**



# THE PLAZA







# THE PLAZA





# **GREEN SPACE**





## **BUILDING 6**

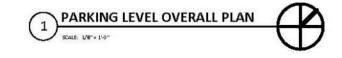


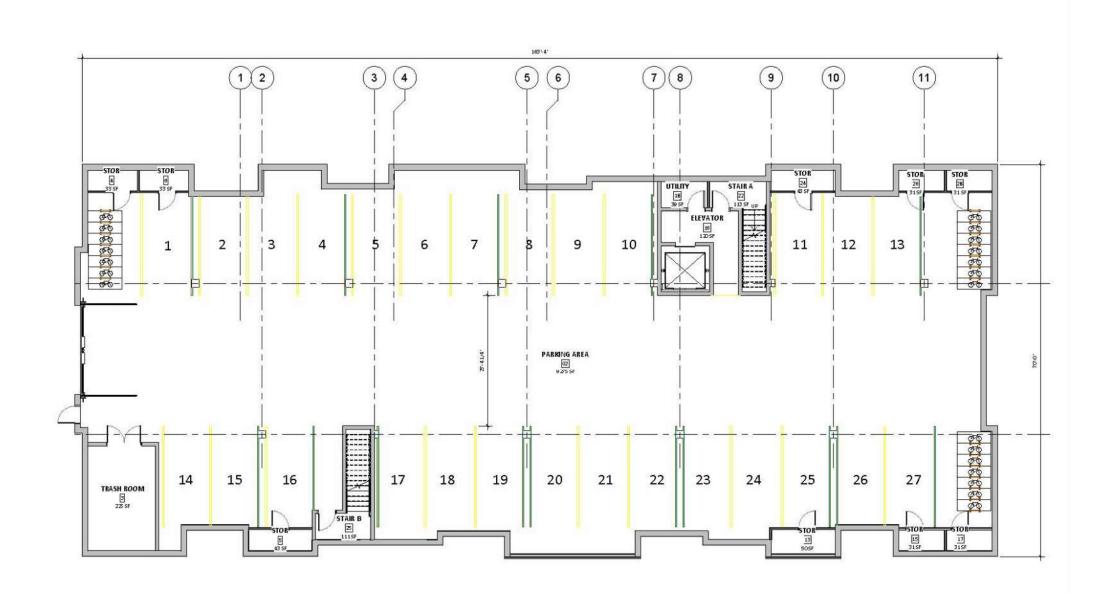


# **BUILDING 7**



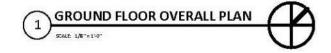
# **BUILDING 6 (PARKING)**

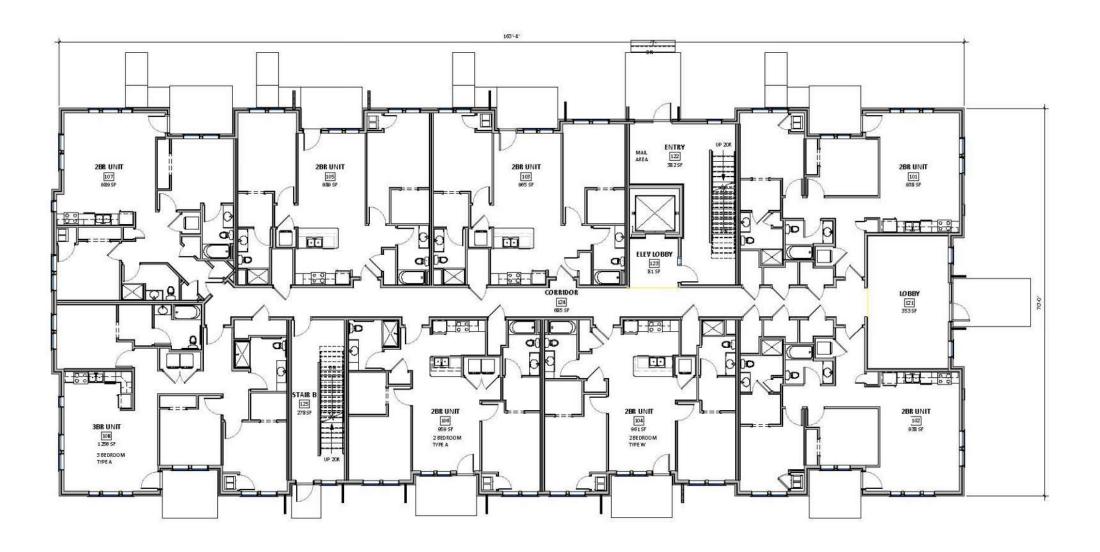






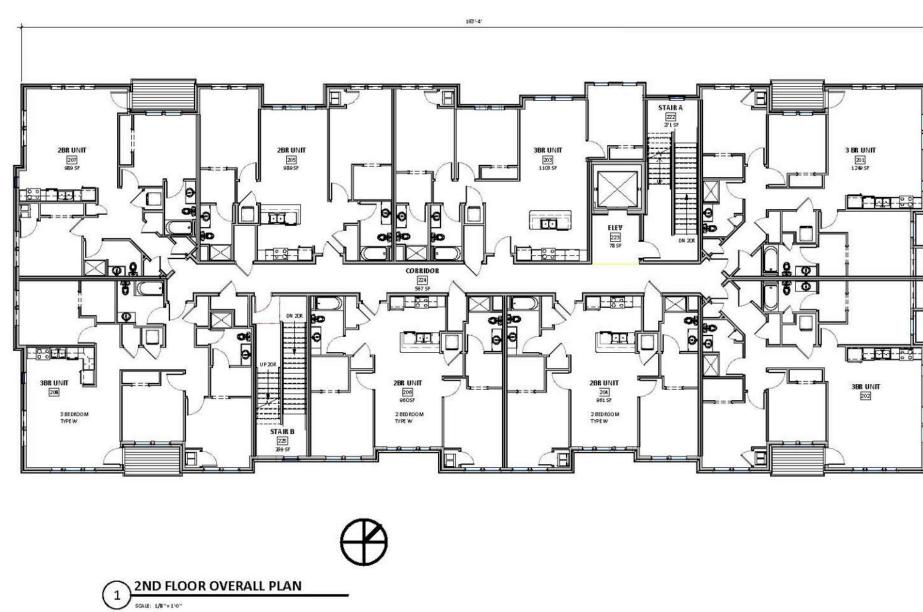
## **BUILDING 6 (GROUND FLOOR)**

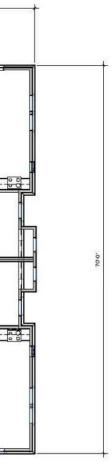






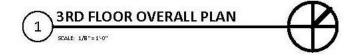
# **BUILDING 6 (SECOND FLOOR)**







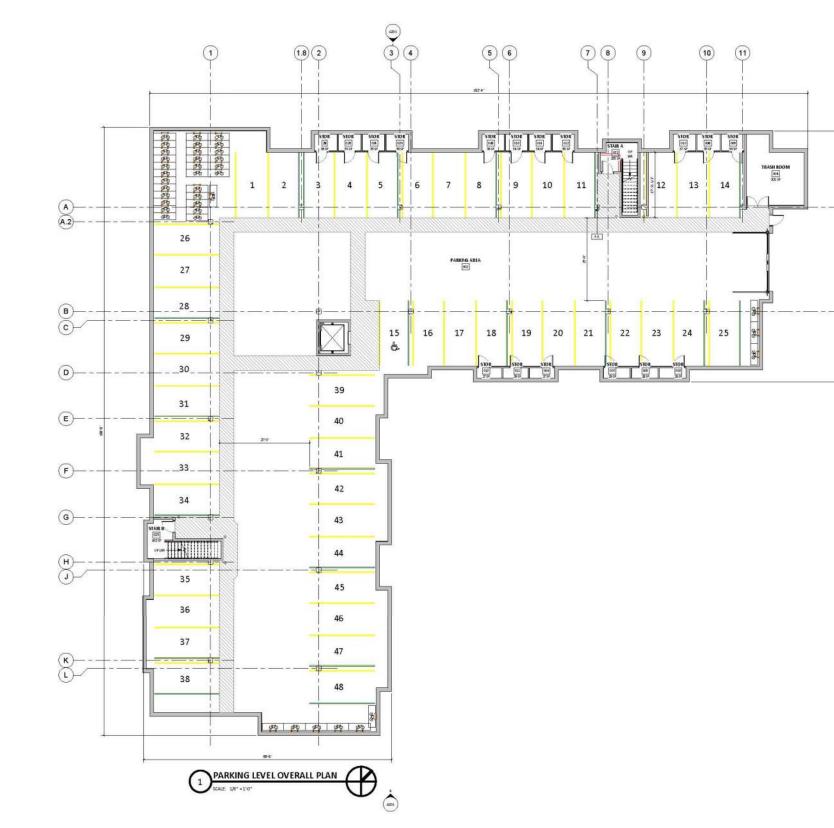
## **BUILDING 6 (SECOND FLOOR)**





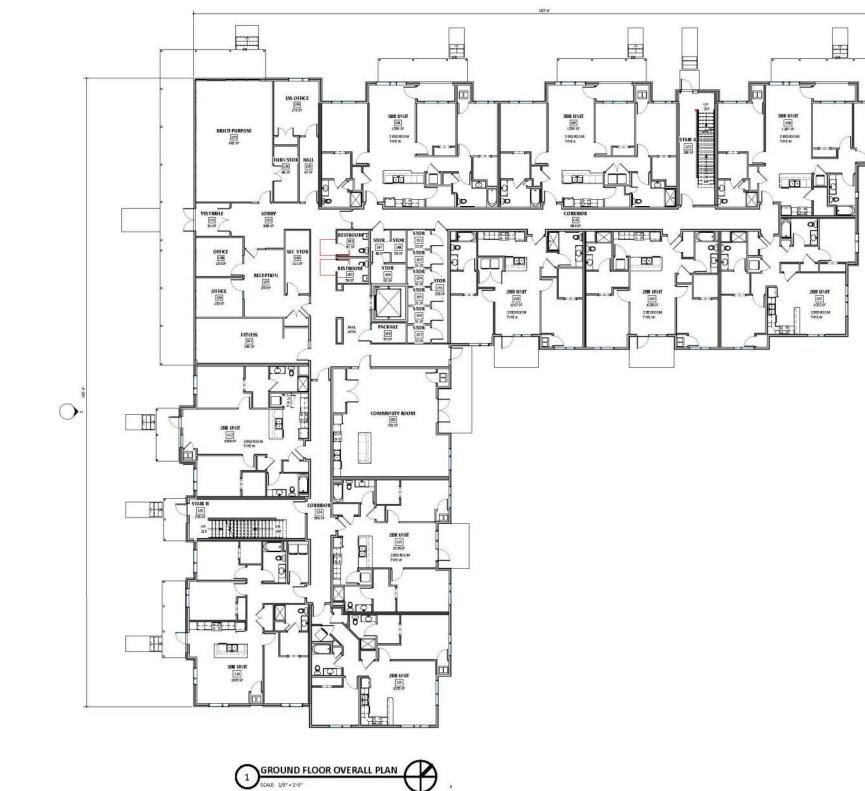


# **BUILDING 7 (PARKING)**





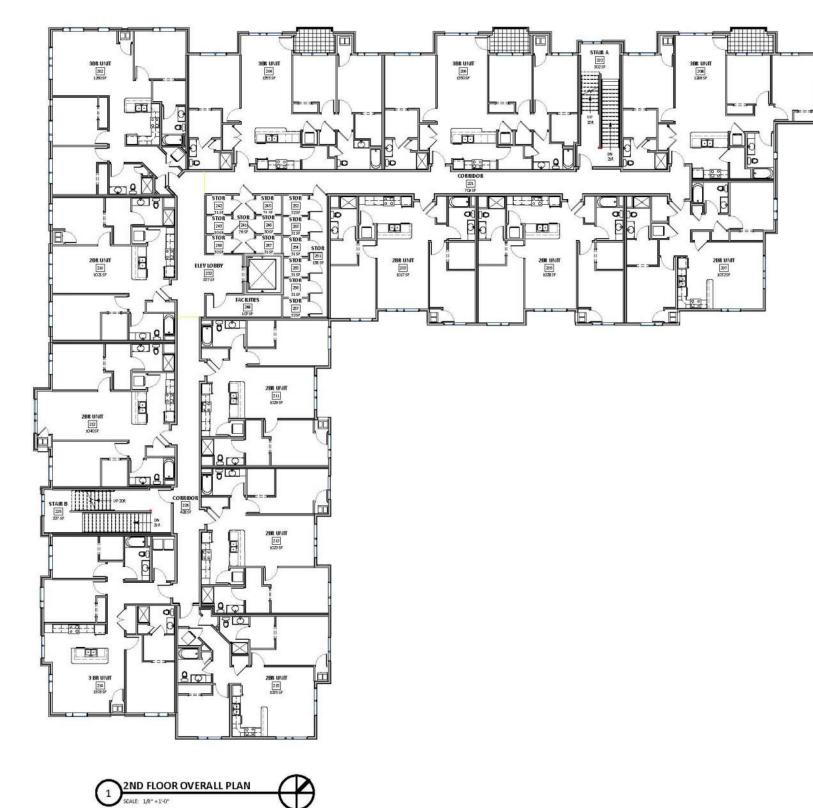
# **BUILDING 7 (GROUND FLOOR)**





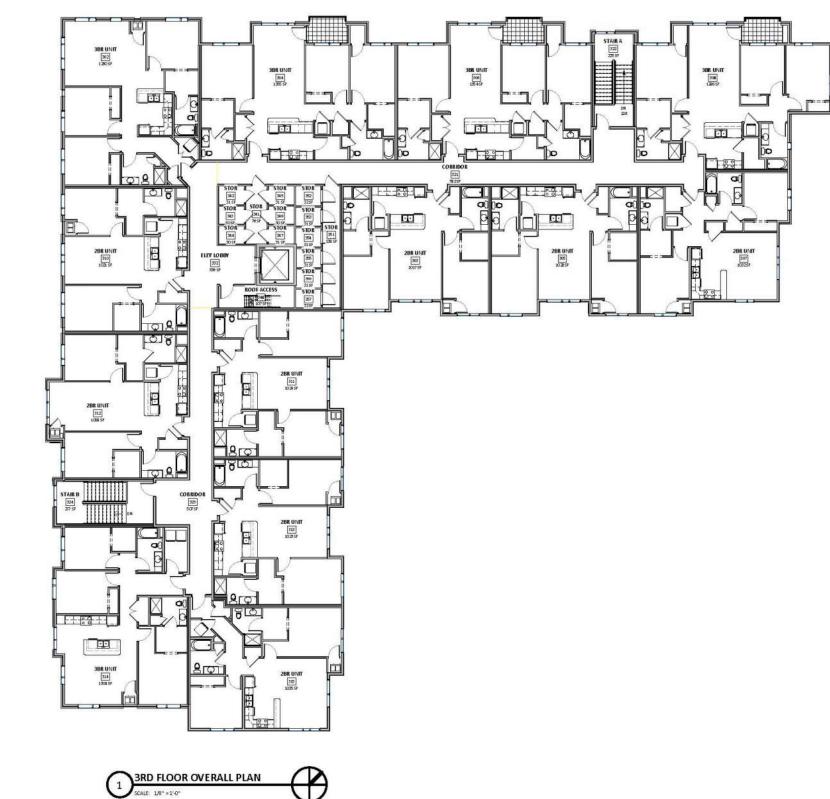


# **BUILDING 7 (SECOND FLOOR)**





# **BUILDING 7 (THIRD FLOOR)**









South Building 6



South Building 7



North Building 7

North Building 6

# ELEVATION





East Building 7

West Building 7



West Building 6

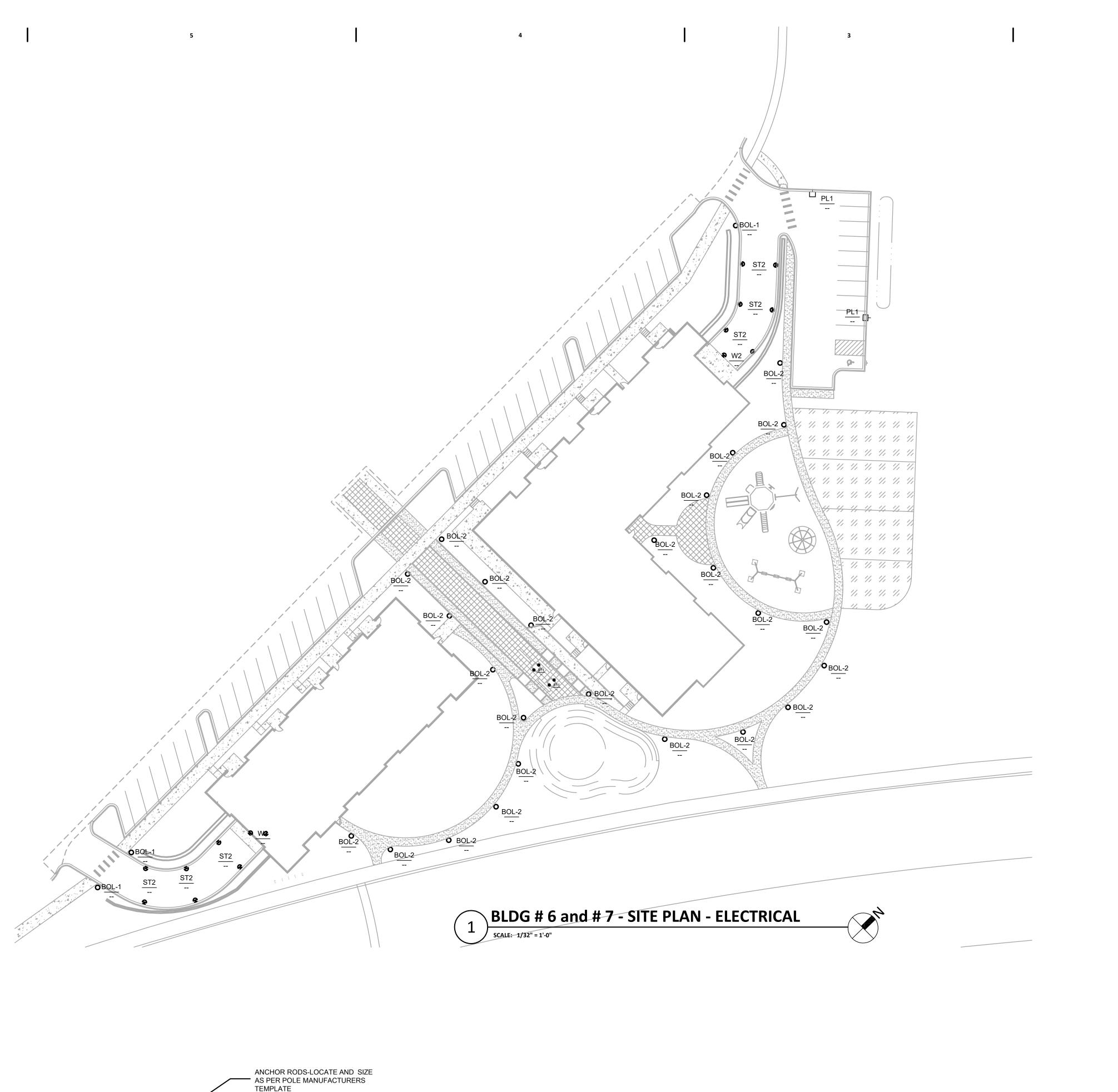
East Building 6

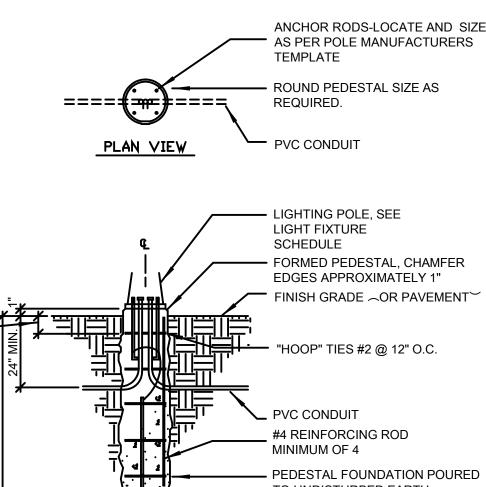












CONCRETE BASE WITH POLE BASE COVER 2 FIXTURE TYPY PL1 BASE MOUNTING DETAIL SCALE: NTS

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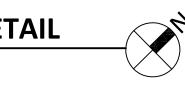
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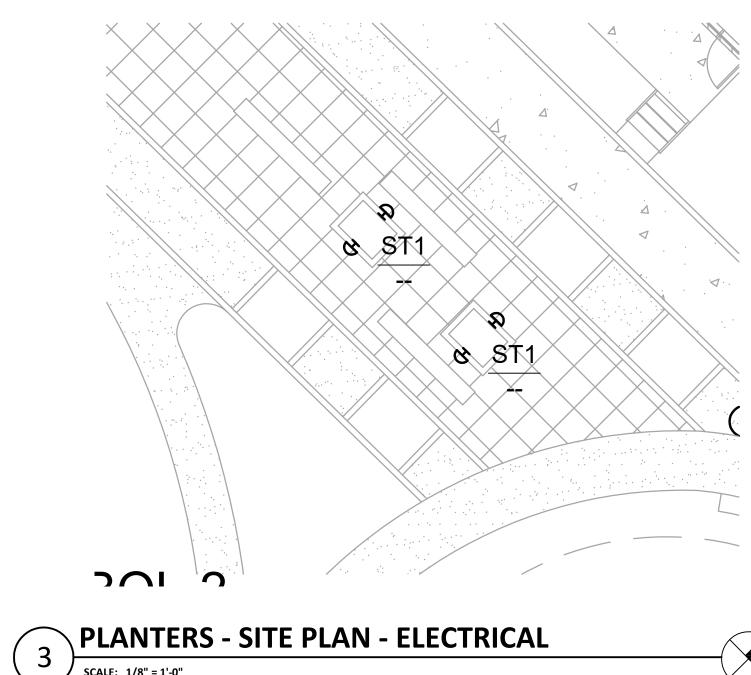
В

Α

TO UNDISTURBED EARTH

GROUND ROD WITH #3 AWG BOND TO 2 ANCHOR BOLTS





3

SCALE: 1/8" = 1'-0"

4

2

1

CIRCUITRY & LIGHTING CONTROL NOTES:
A. LIGHTING CIRCUITRY TO BE FED FROM BUILDING # XXX LIGHTING HOUSE PANEL "LP-1".
B. CIRCUIT NUMBERS FOR LIGHTING IS INDICATED BY NUMBER UNDER FIXTURE TYPE, 'HOME-RUNS' ARE SHOWN FOR OVERRIDING OR MORE EXACT INTENTIONS.
C. TYPICAL FIXTURE TYPE AND CIRCUIT NUMBER: <u>A1</u> — FIXTURE TYPE <u>10</u> — CIRCUIT NO.
D. CIRCUIT NUMBERS FOR POWER DEVICES/EQUIPMENT IS INDICATED ADJACENT TO THE SYMBOL.
E. PROVIDE LIGHTING CONTROL FROM LOW VOLTAGE LIGHTING CONTROL PANEL LVRP-1. SEE CIRCUITS LISTED ON THE PANELBOARD SCHEDULES AND LOW VOLTAGE RELAY SCHEDULE.
F. WIRING SCHEDULE:
1 2 #8 XHHW + GR, 2" PVC CONDUIT
2 4 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM
3 8 #8 XHHW + GR, 2-1/2" PVC CONDUIT MINIMUM
4 3 #6 XHHW + GR, 2" PVC CONDUIT MINIMUM
5 3 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM
SPECIFIC NOTES (POWER):
1 PROVIDE TRANSITION CABINET FOR SECONDARY SIDE OF OF TRANSFORMER TO BUILDING CABLE TRANSITIONS - COORDINATE WITH UTILITY, AND GC FOR EXACT LOCATIC
2 PEDESTAL MOUNTED WP RATED RECEPTACLE BOX WITH LOCKING COVER - COLE LTG # TL310-WCS-PED, WITH 2 DUPLEX RECEPTACLES - CONCRETE BASE TO BE COMBIN WITH BOLLARDS - COORDINATE WITH MFGRS
SPECIFIC NOTES (COMMUNICATIONS):
C1 COMMUNICATIONS CONDUITS - PROVIDE (TWO) 4" CONDU SETS, EACH FOR CABLE AND TELEPHONE, FOR ENTRANC CABLES BY UTILITIES. COORDINATE EXACT LOCATION WI UTILITIES AND CIVIL CONTRACTOR. RUN CONDUITS OUT FROM BUILDING. PROVIDE LABELED RED FLAG, STAKED 2 ABOVE GRADE IF BACKFILLED PRIOR TO CABLES BEING INSTALLED (CAP ENDS OF CONDUITS). SEE SHEET E100 F INTERIOR CONTINUATION.
C2 PROVIDE SECURITY ENTRANCE VIA "LONG READER" FOB KEY DOOR ENTRANCE/SECURITY SYSTEM READER FOR GARAGE DOOR OPERATION. MOUNT ABOVE GARAGE DOO

## ELECTRICAL GENERAL NOTES:

- A. CONTRACTOR TO PROVIDE QUANTITY OF CONDUITS AS REQUIRED. COORDINATE WITH GENERAL CONTRACTOR (GC) WHEN RUNNING CONDUIT IN EXPOSED STRUCTURE ÀRÉAS SO AS TO RUN CONDUIT IN PARALLEL AND PERPENDICULAR PATHS TO BUILDING ELEMENTS.
- B. ALL PAINTING OF ALL EXPOSED CONDUIT WILL BE BY THE G.C. AND WILL MATCH SURFACE UPON WHICH IT IS ATTACHED.
- C. ALL CONDUIT SHALL BE ROUTED A MINIMUM OF 36" BELOW FINISHED GRADE. EXACT METHOD OF ROUTING OUTDOOR LIGHTING WIRING SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UNLESS OTHERWISE NOTED, ALL EXTERIOR LIGHTING WIRING SHALL BE #8AWG COPPER AND SHALL BE ROUTED IN SCHEDULE 40 PVC. MINIMUM CONDUIT SIZE IS 1" (AT CONNECTION TO FIXTURES).
- D. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE AND CODE COMPLIANT INSTALLATION.
- E. ALL FIXTURES, POLES, ARMS, BASES, ETC. SHALL BE PROVIDED WITH FACTORY APPLIED POWDER PAINT FINISH. THE ELECTRICAL CONTRACTOR SHALL PAINT ANY EXPOSED EQUIPMENT TO MATCH.
- F. NO CONTINUOUS CONDUIT RUN SHALL EXCEED 100 FEET (30 METERS) WITHOUT A JUNCTION BOX.
- G. CONTACT LOCAL ELECTRICAL UTILITY TO COORDINATE FINAL ELECTRICAL UTILITY CONNECTIONS, LOCATIONS, INSTALLATION, ETC. UTILITY IS TO PROVIDE PRIMARY CONDUIT AND WIRING TO PAD MOUNTED TRANSFORMERS (W/ PADMOUNTED CT) LOCATED APPROXIMATELY WHERE SHOWN ON PLANS. SITE ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING TO MAIN ELECTRICAL ROOM. COORDINATE LOCATIONS OF SERVICE ENTRANCE CONDUIT W/ GENERAL CONTRACTOR FOR EXACT LOCATIONS OF MAIN DISTRIBUTION PANELS.
- H. CONTACT LOCAL TELEPHONE AND CABLE UTILITY TO COORDINATE FINAL CONNECTIONS, LOCATIONS, INSTALLATION, ETC. PROVIDE UNDERGROUND PVC CONDUIT FROM UTILITY CONNECTION POINT TO LOCATION OF COMMUNICATIONS BOARD LOCATED IN MAIN ELECTRICAL ROOM. OBTAIN PLAN APPROVAL PRIOR TO STARTING WORK. OWNER SHALL PAY CONNECTION CHARGES.

2

1

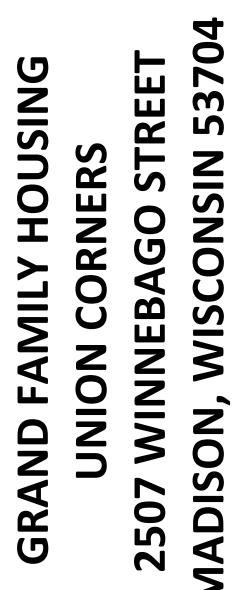
**REAL ESTATE DEVELOPMENT &** MANAGEMENT 200 N. MAIN STREET OREGON, WI 53575

Seal

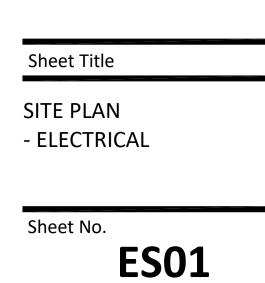
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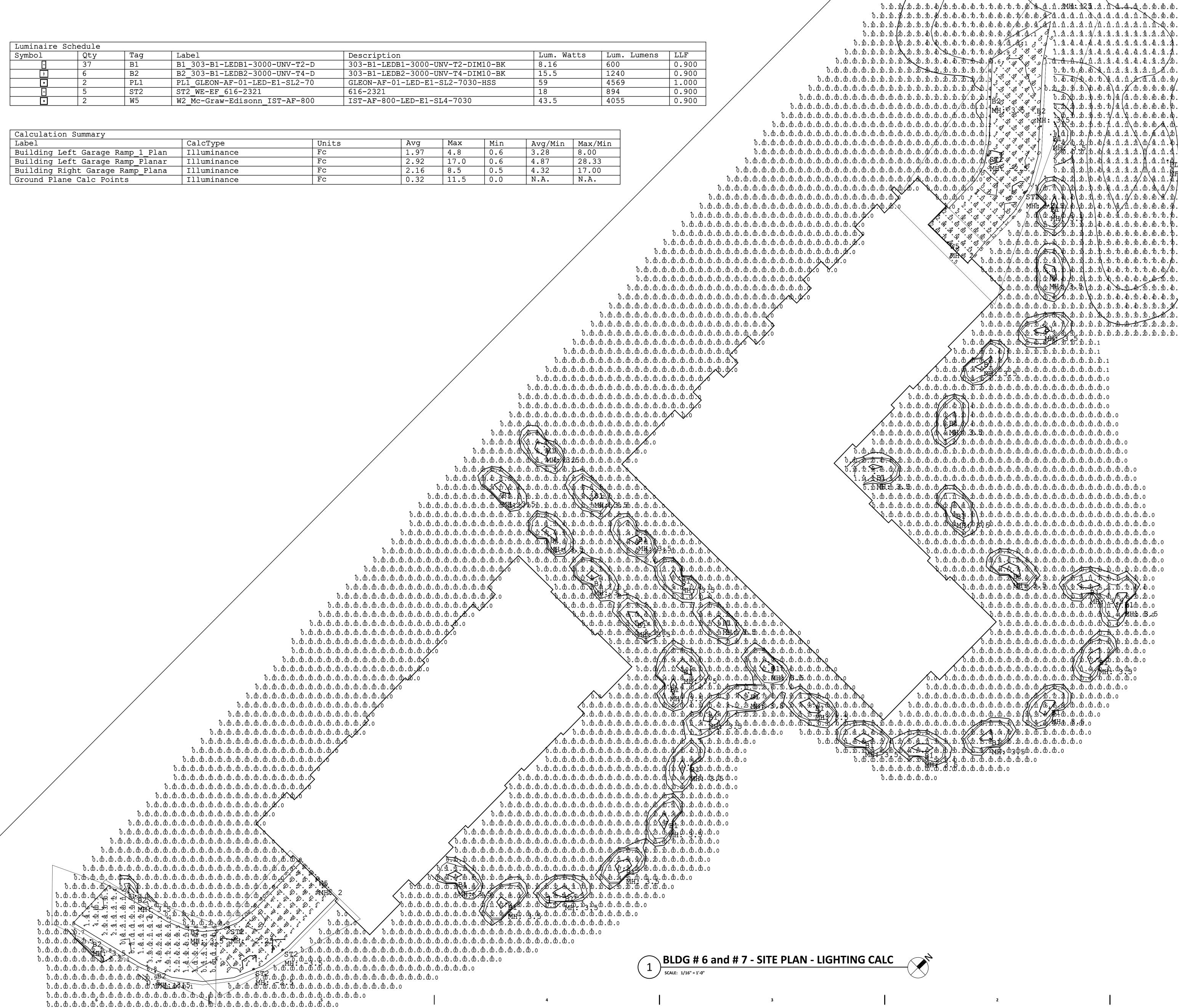
CONSTRUCTIO	ON DOCUMENTS
Project No.	
Plot Date:	December 27, 2017
Drawn by:	BVE
	USER
Date	Issue Description
December 27, 2017	/ Issued For Review
XXXXX	XXXX



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Luminaire Schedule						
Symbol	Qty	Tag	Label	Description		
•	37	B1	B1_303-B1-LEDB1-3000-UNV-T2-D	303-B1-LEDB1		
÷	6	B2	B2_303-B1-LEDB2-3000-UNV-T4-D	303-B1-LEDB2		
+	2	PL1	PL1_GLEON-AF-01-LED-E1-SL2-70	GLEON-AF-01-		
*	5	ST2	ST2_WE-EF_616-2321	616-2321		
+	2	W5	W2_Mc-Graw-Edisonn_IST-AF-800	IST-AF-800-L		

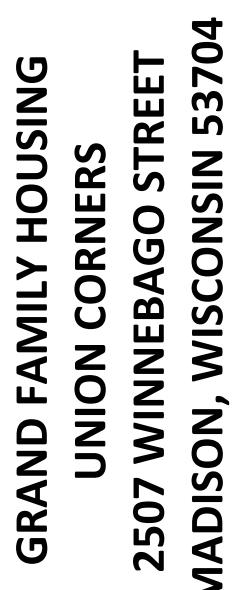
Calculation Summary				
	Label	CalcType	Units	
	Building Left Garage Ramp_1_Plan	Illuminance	FC	
	Building Left Garage Ramp_Planar	Illuminance	FC	
	Building Right Garage Ramp_Plana	Illuminance	FC	
	Ground Plane Calc Points	Illuminance	FC	



<sup>\*</sup> 0. <sup>\*</sup> 1. <sup></sup> ō.ħ.ħ. ´\_ ┩、゙1.オ.オ.オ.オ/.オ.オ.オ.オ.オ.オ.オ.オ.オ.オ. も. 市. 市. 塩. 煮. あ. む( ち. む. む. も. む. あ. あ. あ. 丸. む. む. す. す. 1 ゚゚゙゙゙゙゙゙゙゙゙. ぁ. ね. ね. ね. ぁ. ぁ. ぁ. ぁ. ぁ. ぇ も.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ.ま.。 も.む.な.む.む.む.丸,丸,丸,丸,丸,む.む.む.肉.丸.む.む. も.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ. あ. か. か. か. か. か. か. か. か えて、あ.カ.カ.カ.ガ. ホ. ホ. あ. あ. あ. あ. あ. か. 刻, 西, 南. 西. 南. 西. 本. 花. 西. 南. 西. 本. も. む. 敢. あ. あ. も. 主. 主. た. む. む. 表 10.5.5.5.10.10.5.6.6.5.5.5.6.6.6. 意. あ. あ. 赤. ホ. ホ. ホ. お. お. あ. あ. あ. あ. あ. た. わ の.あ.あ.あ.あ.む.な.ま、あ、お.お.お.お.お.お.お.お.お.あ.あ.あ.あ. 

**REAL ESTATE DEVELOPMENT 8** MANAGEMENT 200 N. MAIN STREET **OREGON, WI 53575** 

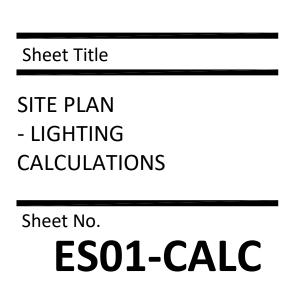




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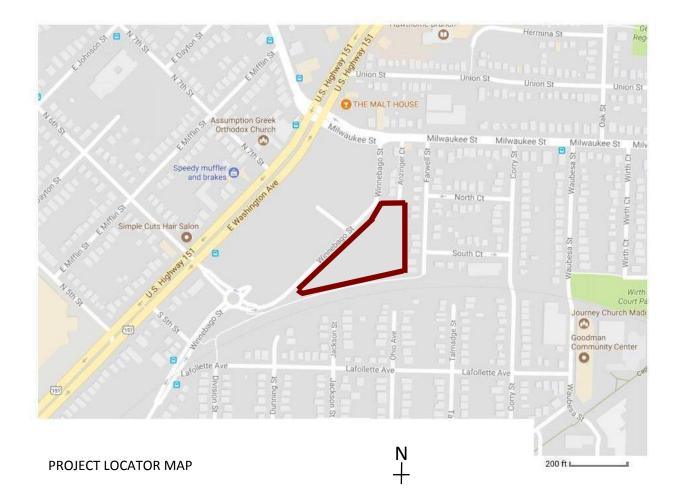
CONSTRUCT	ON DOCUMENTS
Project No.	
Plot Date:	December 27, 2017
Drawn by:	BVE
	USER
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December 27, 201	.7 Issued For Review
XXXXX	XXXX



## **GRAND FAMILY HOUSING**

Union Corners Grand family project is a new construction development consisting of a mix of affordable and market-rate units for families. Specifically, this development will be targeting grand families (grandparents raising grandchildren) and kinship families (family members raising other family members' children). The project will include **60** units total between two buildings, both three stories in height. The buildings will have access to underground parking with apartments and community space above. The project will also include the following interior amenities: community room, supportive service office, business center, and fitness center. In addition, additional community space is anticipated to serve a mix of residents ranging from children to seniors. Outdoor space will include a playground and community gardens. The project is the third piece of a master development on this site by Gorman & Company, Inc. who acquired a 5 acre parcel from the City of Madison in exchange for implementing the master development. Previous phases include the UW Health Clinic and a 90-unit, multi-family, mixed-income development.

The Grand family project includes a partnership with Lutheran Social Services (LSS) to provide supportive services. Space on the first floor has been designed to accommodate these services on-site.



SCALE:	GRAND FAMILY HOUSING	NEMAN
Sheet Name		& COMPANY, INC.
	UNION CORNERS - MADISON WI.	REAL ESTATE DEVELOPMENT AND MANGEMENT 200 N MANN STBEET
JULY 19, 2017	A Gorman & Company Neighborhood	OREGON, WI 53575



SIMPLE TWO STORY MASONRY BUILDING CORNER OF WINNEBAGO AND MILWAUKEE



NEWLY BUILT APARTMENTS ACROSS WINNEBAGO FROM SITE LOOKING EAST



METAL QUONSET HUT TYPICAL EAST SIDE ECLECTIC AESTHETIC



NEWLY BUILT APARTMENTS ACROSS WINNEBAGO FROM SITE LOOKING WEST

## ADJACENT BUILDING CONTEXT

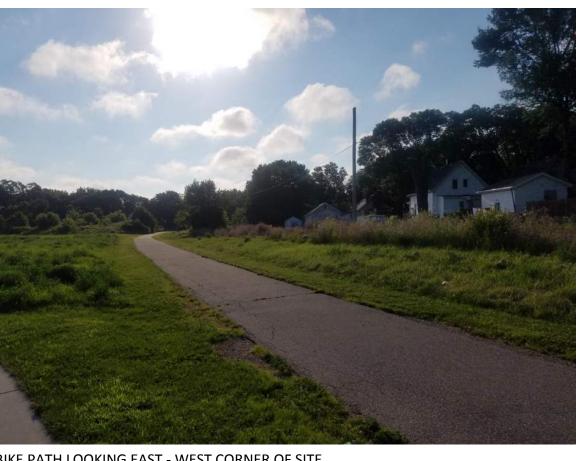
SCALE: Sheet Name	GRAND FAMILY HOUSING	GORMAN
	UNION CORNERS - MADISON WI.	REAL ESTATE DEVELOPMENT AND MANGEMENT 200 N. MAIN STREET
JULY 19, 2017	A Gorman & Company Neighborhood	OREGON, WI 53575



COMMUNITY GARDEN LOCATION - NORTH EAST CORNER OF SITE



BIKE PATH LOOKING WEST - MIDDLE OF SITE

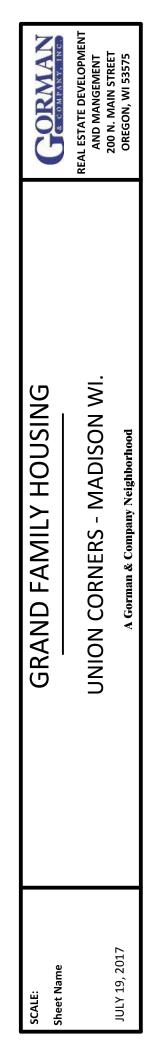


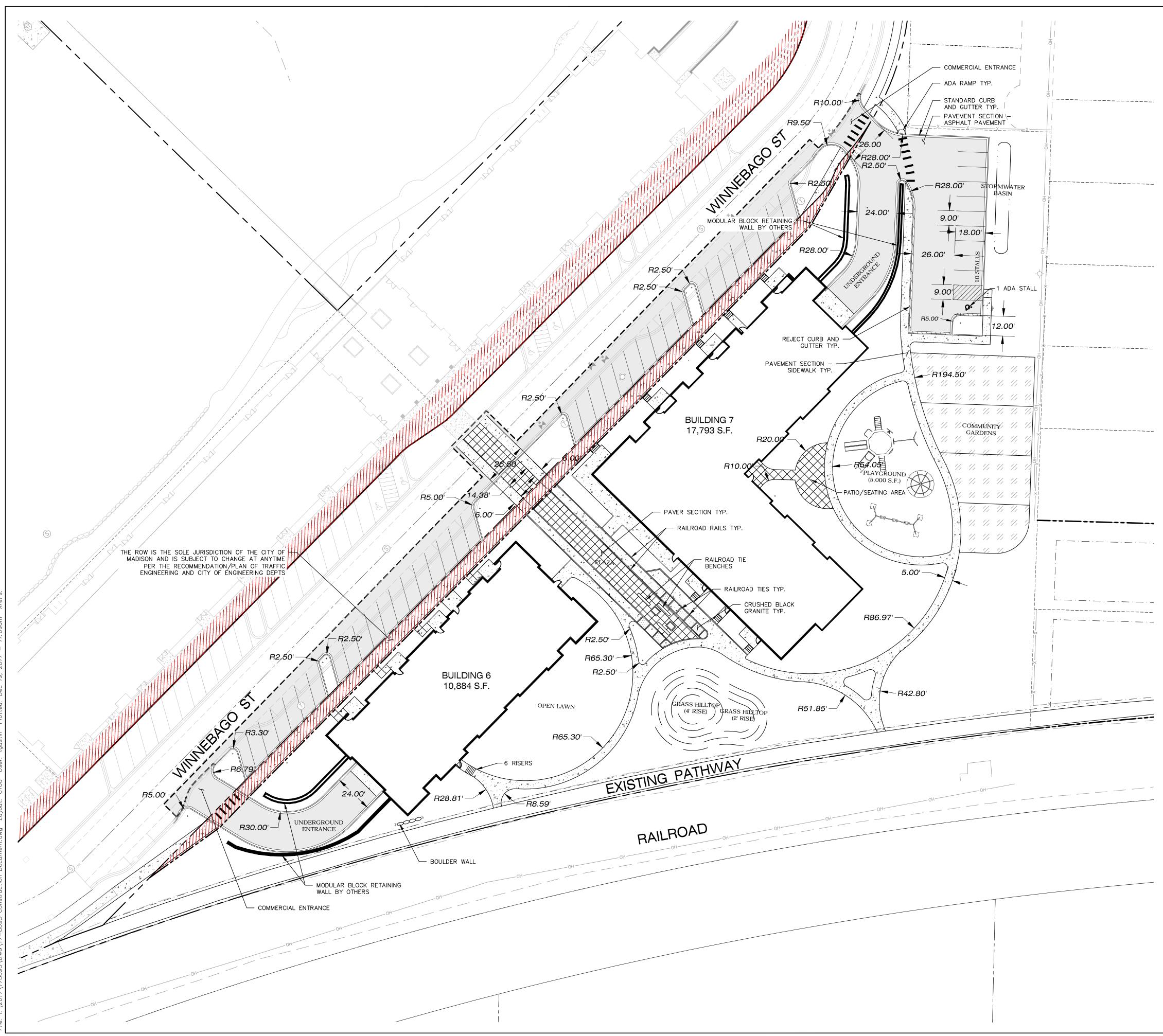
BIKE PATH LOOKING EAST - WEST CORNER OF SITE



BIKE PATH LOOKING WEST - EAST CORNER OF SITE

SITE CONTEXT





:: I: \2017\178095\DWG\17-8095 Construction Document.dwg Layout: C100 User: tgustin Plotted: Dec 19, 2017 – 11:09am Xref's:

## LEGEND (SITE PLAN)

	PROPERTY LINE
	RIGHT-OF-WAY
· · · ·	EASEMENT LINE
	BUILDING SETBACK LINE
	PAVEMENT SETBACK LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	HEAVY DUTY CONCRETE PAVEMENT
	SAWCUT EXISTING PAVEMENT
· · · ·	STORMWATER MANAGEMENT AREA
	BOULDER RETAINING WALL
	MODULAR BLOCK RETAINING WALL
⊶⊡	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
<b>.</b>	ADA PARKING BOLLARDS/SIGNS

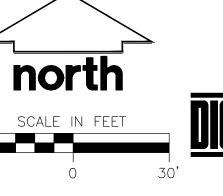
### GENERAL NOTES:

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
- 3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- 4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
- 5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

### SITE PLAN NOTES

- 1. ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- 2. ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- 3. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE CITY OF MADISON.
- 4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
- 6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- 7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- 8. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 9. 2' × 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
- 10. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

SITE INFORMATION BLOCK	
Site Address	WINNEBAGO ST
Existing Site Acreage (total)	3.17
Proposed Site Acreage (total)	3.05
Number of Building Stories	4
(above grade)	
Total Building Square Footage	28,676 SF
Use of property	MULTI-FAMILY
Number of parking stalls:	
Surface	
Large Stall	9
Accessible	1
Total Surface	10
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	5,428 S.F.
Existing Pervious Surface Area	132,657 S.F.
Proposed Impervious Surface Area	57,964 S.F.
Proposed Pervious Surface Area	74,894 S.F.
Proposed Impervious Surface Area Ratio *calculated with proposed site acreage 3.05	.44

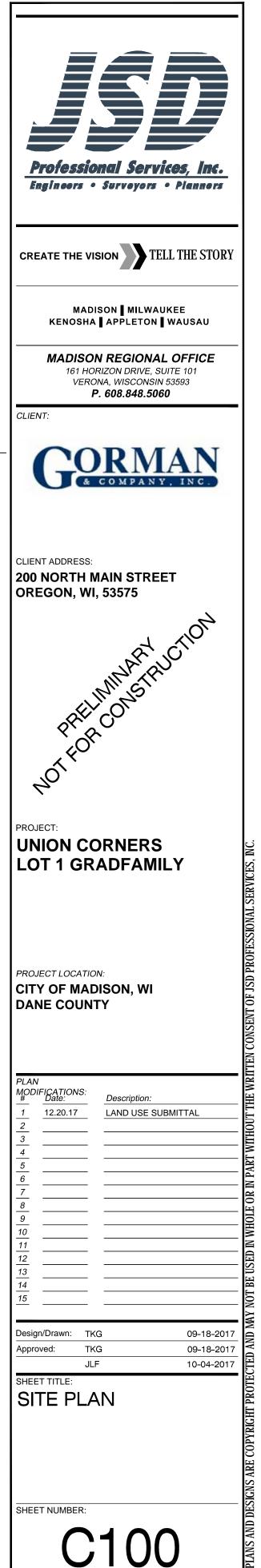


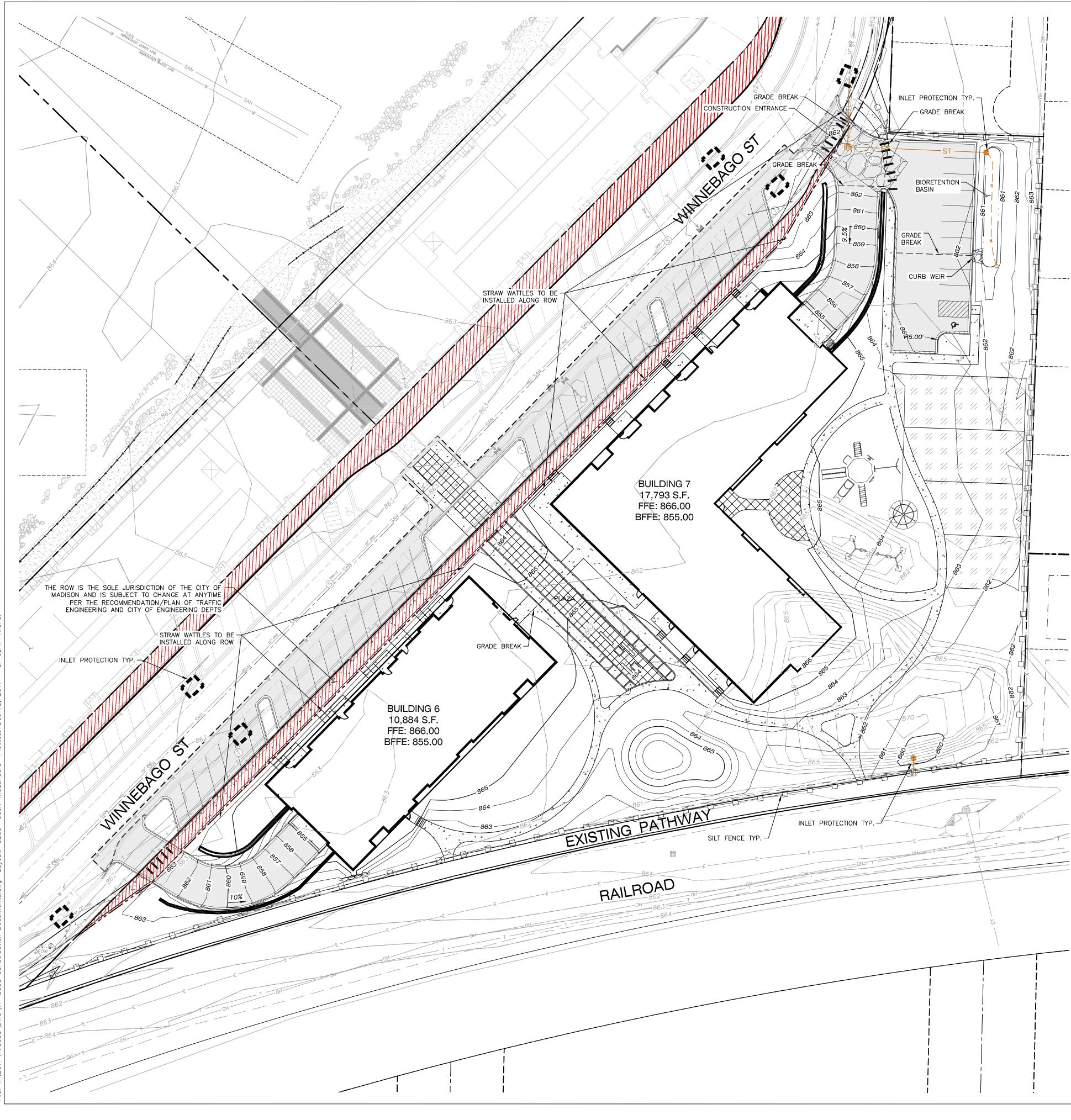
30'



JSD PROJECT NO:

17-8095





### LEGEND (GRADING & EROSION CONT

	PROPERTY LINE
	RIGHT-OF-WAY
· · · ·	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GU
	REJECT CURB AND GUTTE
	MOUNTABLE CURB
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PA
کے کے ا ح	CONCRETE PAVEMENT
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	HEAVY DUTY CONCRETE F
· · · ·	STORMWATER MANAGEMEN
	BOULDER RETAINING WALL
	MODULAR BLOCK RETAININ
0-□	LIGHT POLE (REFER TO F

### CONSTRUCTION SITE EROSION CONTR

\_\_\_\_

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES DEPARTMENT OF NATURAL RESOURCES EROSION http://www.dnr.state.wi.us/runoff/stormwater/tec
- 2. INSTALL EROSION CONTROL MEASURES PRIOR TO MATERIALS AS SHOWN ON PLAN. MODIFICATIONS CONDITIONS IF MODIFICATIONS CONFORM TO WDNR
- 3. INSPECTIONS AND MAINTENANCE OF ALL EROSION PROPER FUNCTION OF EROSION CONTROLS AT ALL END OF EACH WORK DAY.
- 4. INSPECT EROSION CONTROL MEASURES AFTER EAC INSPECTION.
- 5. EROSION CONTROL MEASURES SHALL NOT BE REM BEEN COMPLETED AND THAT A UNIFORM PERENNIA OF THE COVER FOR THE UNPAVED AREAS AND AR PERMANENT STABILIZATION MEASURES.
- 6. INSTALL A TRACKING PAD, 50' LONG AND NO LES MAINTAINED BY THE CONTRACTOR IN A CONDITION ADJACENT PUBLIC STREETS AFTER EACH WORKING
- 7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM
- EROSION CONTROL FOR UTILITY CONSTRUCTION (S
   A. PLACE EXCAVATED TRENCH MATERIAL ON TH
   B. BACKFILL, COMPACT, AND STABILIZE THE TH C. DISCHARGE TRENCH WATER INTO A SEDIMEI TECHNICAL STANDARD NO. 1061 PRIOR TO
- 9. ADDITIONAL EROSION CONTROL MEASURES, AS REQ INSTALLED WITHIN 24 HOURS OF REQUEST.
- 10. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZ STABILIZED WITH CLASS II, TYPE B EROSION MATT ALLOW. REFER BELOW TO NOTE NO. FIFTEEN (15)
- 11. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TE ACCORDANCE WITH WDNR REQUIREMENTS.
- □ 12. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TECHNICAL STANDARD 1068.

### 13. STABILIZATION PRACTICES:

13.1.	* STABILIZATION MEASURES SHALL BE INIT
	AFTER THE CONSTRUCTION ACTIVITIES HAVE TEMPORAR
13.2.	* THE INITIATION STABILIZATION MEASURES PRECLUDED BY SNOW COVER. IN THAT EVI
13.3.	* CONSTRUCTION ACTIVITY WILL RESUME O
	CEASED, (I.E. THE TOTAL TIME PERIOD THA FOURTEEN (14) DAYS. IN THAT EVENT, STA
	SITE BY THE SEVENTH (7) DAY AFTER CON
13.4.	* STABILIZATION MEASURES SHALL BE DET
	HAS CEASED, INCLUDING BUT NOT LIMITED THE FOLLOWING ARE ACCEPTABLE STABILIZ
	* PERMANENT SEEDING; IN ACCORDANCE
	* TEMPORARY SEEDING; MAY CONSIST C
	* HYDRO-MULCHING WITH A TACKIFIER

## \* GEOTEXTILE EROSION MATTING \* SODDING

## **GRADING AND SEEDING NOTES**

- . ALL DISTURBED AREAS SHALL BE SODDED AND/ MIX TO BE IN ACCORDANCE WITH LANDSCAPE PI
- ALL PROPOSED GRADES SHOWN ARE FINISHED ( PROPERLY AND SHALL REPORT ANY DISCREPANC
- 3. CONTRACTOR SHALL PROTECT ADJACENT PROPER COMPLETED AND NOTICE OF TERMINATION FILED.
- 4. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL SODDING AND/OR SEEDING AND MULCHING TO F
- . CONTRACTOR SHALL WATER ALL NEWLY SODDED/S LAPSE WITH NO SIGNIFICANT RAINFALL.
- 6. CONTRACTOR TO DEEP TILL ALL COMPACTED PER'
- 7. THE CONTRACTOR SHALL NOTIFY THE CITY OF M
- 8. IF GRADING ACTIVITIES STOP ON ANY PORTION ( TEMPORARILY STABILIZED.
- 9. ALL SLOPES 20% OR GREATER SHALL BE TEMPO 2 WEEKS OF DISTURBANCE.

## CONSTRUCTION SEQUENCING

1. INSTALL EROSION CONTROL MEASURES PRIOR TO 2. STRIP TOPSOIL.

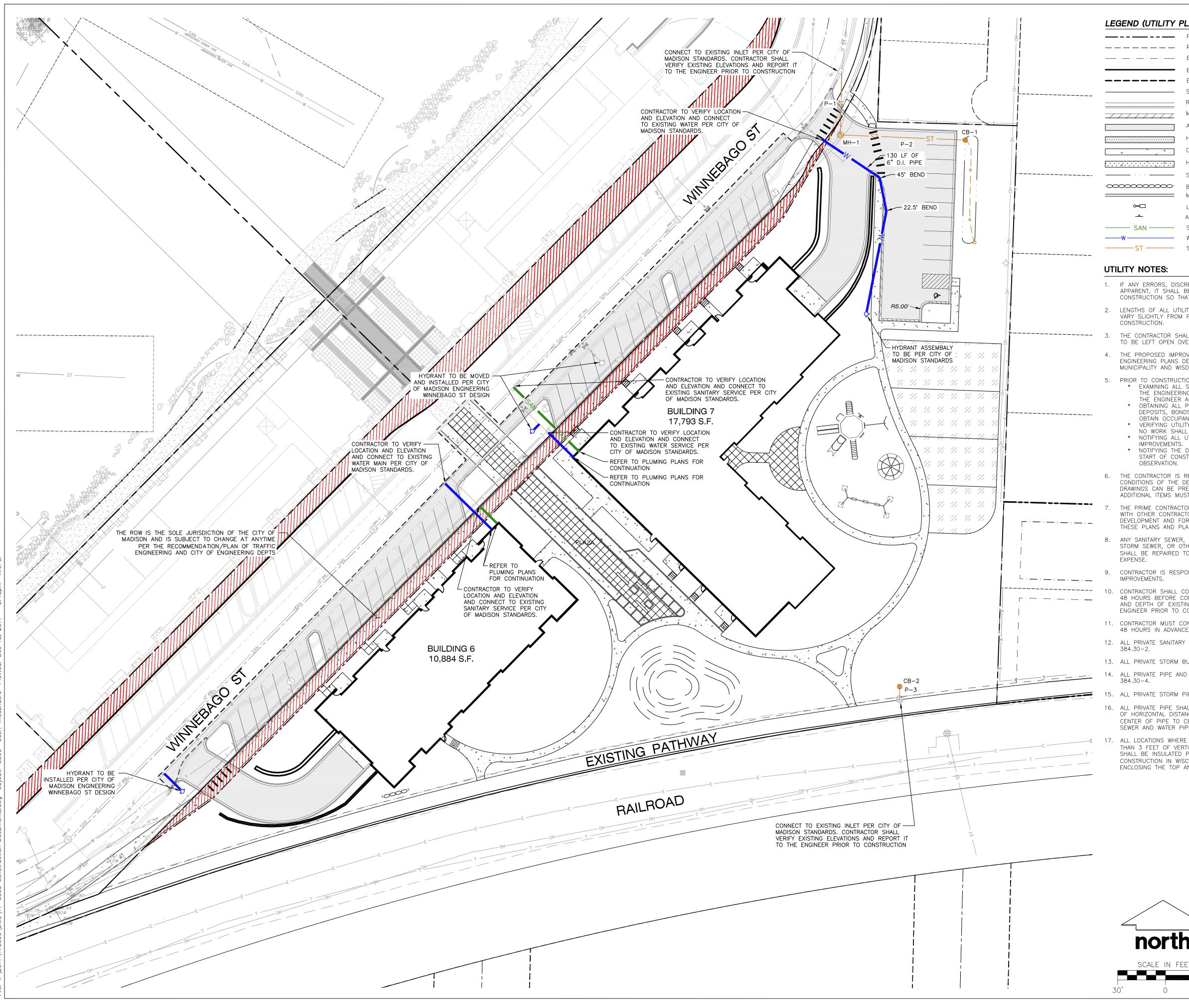
- 3. INSTALL ALL SWALES AND TEMP SEED BASIN
- 4. EXCAVATE BUILDING FOUNDATIONS.
- 5. COMPLETE ALL OTHER GRADING.
- 6. INSTALL STORM SEWER & INLET PROTECTION MEA
- 7. INSTALL AGGREGATE BASE COURSE AND PAVING
- 8. STABILIZE NEWLY GRADED SOILS.
- 9. COMPLETE EXTERIOR BUILDING WORK AND DOWNS
- 10. REGRADE & STABILIZE TEMPORARY SEDIMENT BASIN.

& EROSION CONTROL PLAN)				
PROPERTY LINE RIGHT-OF-WAY	864 865	PROPOSED 1 FOOT CONTOUR PROPOSED 1 FOOT CONTOUR		
EASEMENT LINE		DRAINAGE DIRECTION		
BUILDING OUTLINE EDGE OF PAVEMENT	ST	STORM SEWER UNDERDRAIN		
STANDARD CURB AND GUTTER	-D	SILT FENCE		
REJECT CURB AND GUTTER MOUNTABLE CURB		INLET PROTECTION, TYPE D	Professional S	ervices. Inc.
ASPHALT PAVEMENT		SPOT ELEVATION	Engineers • Surve	
HEAVY DUTY ASPHALT PAVEMENT	→-934.20 FG	EP – EDGE OF PAVEMENT FG – FINISH GRADE EC – EDGE OF CONCRETE		
CONCRETE PAVEMENT HEAVY DUTY CONCRETE PAVEMENT		TS – TOP OF STEP TS – BOTTOM OF STEP RIM – RIM ELEVATION		
STORMWATER MANAGEMENT AREA		GRADE BREAK	CREATE THE VISION	TELL THE STORY
BOULDER RETAINING WALL				
MODULAR BLOCK RETAINING WALL LIGHT POLE (REFER TO PHOTOMETRIC PLAN)			MADISON MADISON MADISON	
ADA PARKING BOLLARDS/SIGNS			MADISON REG	
E EROSION CONTROL REQUIREME	ENTS (CSECR) NOT	ES:	161 HORIZON DE VERONA, WISC	RIVE, SUITE 101
MENT CONTROL PRACTICES SHALL BE DESIGNED AL RESOURCES EROSION AND SEDIMENT CONTRO us/runoff/stormwater/techstds.htm			P. 608.84	
ROL MEASURES PRIOR TO ANY SITE WORK, INCL ON PLAN. MODIFICATIONS TO SEDIMENT CONTRO NTIONS CONFORM TO WDNR TECHNICAL STANDAR	OL DESIGN MAY BE CONDU		COR	MAN
ENANCE OF ALL EROSION CONTROL MEASURES EROSION CONTROLS AT ALL TIMES. EROSION C AY.	CONTROL MEASURES ARE TO	D BE IN WORKING ORDER AT THE	& COMP	ANY, INC.
ROL MEASURES AFTER EACH 1/2" OR GREATER SURES SHALL NOT BE REMOVED UNTIL ALL LAN				
THAT A UNIFORM PERENNIAL VEGETATIVE COVER E UNPAVED AREAS AND AREAS NOT COVERED E DN MEASURES.	: HAS BEEN ESTABLISHED 3Y PERMANENT STRUCTURE	WITH A DENSITY OF AT LEAST 70% S OR THAT EMPLOY EQUIVALENT	CLIENT ADDRESS: 200 NORTH MAIN S OREGON, WI, 5357	_
.D, 50' LONG AND NO LESS THAN 12" THICK B NTRACTOR IN A CONDITION WHICH WILL PREVEN ETS AFTER EACH WORKING DAY OR MORE FREQ ROLS ON THE DOWNSTREAM SIDE OF STOCKPILE	T THE TRACKING OF MUD QUENTLY AS REQUIRED.		OREGON, WI, 5357	J TION
UTILITY CONSTRUCTION (STORM SEWER, SANITAL	RY SEWER, WATER MAIN, E	TC.):	P	
) TRENCH MATERIAL ON THE HIGH SIDE OF THE CT, AND STABILIZE THE TRENCH IMMEDIATELY AF CH WATER INTO A SEDIMENTATION BASIN OR FIL PARD NO. 1061 PRIOR TO RELEASE INTO THE S	FTER PIPE CONSTRUCTION. TERING TANK IN ACCORDAN		CELINIT.	
ONTROL MEASURES, AS REQUESTED BY STATE IN OURS OF REQUEST.	ISPECTORS, LOCAL INSPEC	TORS, AND/OR ENGINEER SHALL BE	Phi C	
REATER SHALL BE STABILIZED WITH CLASS I, TYI II, TYPE B EROSION MATTING, WITHIN 7 DAYS ( O NOTE NO. FIFTEEN (15) FOR STABILIZATION	OF REACHING FINAL GRADE	AND/OR AS SOON AS CONDITIONS	NOTED	
HALL FILE A NOTICE OF TERMINATION UPON VEG R REQUIREMENTS.	ETATIVE STABILIZATION AND	)/OR PROPERTY SALE IN		
KE ALL NECESSARY STEPS TO CONTROL DUST A	RISING FROM CONSTRUCTION	DN OPERATIONS. REFER TO WDNR		De
068. S:			UNION CORNE	-
N MEASURES SHALL BE INITIATED AS SOON AS ACTIVITIES HAVE TEMPORARILY OR PERMANENTL NSTRUCTION ACTIVITY IN THAT PORTION OF THE IN STABILIZATION MEASURES BY THE SEVENTH ( SNOW COVER. IN THAT EVENT, STABILIZATION ST DN ACTIVITY WILL RESUME ON A PORTION OF TH THE TOTAL TIME PERIOD THAT THE CONSTRUCTION DAYS. IN THAT EVENT, STABILIZATION MEASURES EVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY N MEASURES SHALL BE DETERMINED BASED ON NCLUDING BUT NOT LIMITED TO WEATHER COND G ARE ACCEPTABLE STABILIZATION MEASURES: IT SEEDING; IN ACCORDANCE WITH APPROVED C IY SEEDING; MAY CONSIST OF SPRING OATS(100 ULCHING WITH A TACKIFIER E EROSION MATTING	Y CEASED. NO MORE THAN SITE HAS CEASED UNLESS (7) DAY AFTER CONSTRUCT SHALL BE INITIATED AS SO HE SITE WITHIN FOURTEEN ON ACTIVITY IS TEMPORARIL ES DO NOT HAVE TO BE II Y HAS TEMPORARILY CEASE SITE CONDITIONS AT THE DITIONS AND LENGTH OF TIL CONSTRUCTION SPECIFICATION	N SEVEN (7) DAYS SHALL PASS S: DON ACTIVITY HAS CEASED IS DON AS PRACTICABLE. (14) DAYS FROM WHEN ACTIVITY LY CEASED IS LESS THAN NITIATED ON THAT PORTION OF THE D. TIME OF CONSTRUCTION ACTIVITY ME MEASURE MUST BE EFFECTIVE.	PROJECT LOCATION: CITY OF MADISON, DANE COUNTY	, WI
DING NOTES			PLAN	
SHALL BE SODDED AND/OR SEEDED AND MUL DANCE WITH LANDSCAPE PLAN.	CHED IMMEDIATELY FOLLOW	VING GRADING ACTIVITIES. SOD/SEED	MODIFICATIONS: <u>#</u> <u>Date:</u> <u>Descrip</u> 1 12.20.17 LAND	otion: JSE SUBM <b>I</b> TTAL
S SHOWN ARE FINISHED GRADES. CONTRACTOR REPORT ANY DISCREPANCIES TO THE ENGINEEF				
ROTECT ADJACENT PROPERTIES WITH SILT FENCI CE OF TERMINATION FILED.	NG FOR EROSION CONTRO	L UNTIL CONSTRUCTION IS	<u>4</u> <u>5</u>	
HISEL-PLOW OR DEEP TILL WITH DOUBLE TINES		EMENT FACILITIES JUST PRIOR TO		
DING AND MULCHING TO PROMOTE INFILTRATION ATER ALL NEWLY SODDED/SEEDED AREAS DURIN		WHENEVER THERE IS A 7 DAY		
TICANT RAINFALL.			<u>10</u>	
TILL ALL COMPACTED PERVIOUS SURFACES PRI			<u>12</u> <u>13</u>	
STOP ON ANY PORTION OF LAND FOR 14 OR ED.			<u>14</u> <u>15</u>	
GREATER SHALL BE TEMPORARY SEEDED, MULCI ANCE.	HED, OR OTHER MEANS OF	F COVER PLACED ON THEM WITHIN	Design/Drawn: MSS	12/13/2017
QUENCING		$\frown$	Approved: MSS	12/13/2017
FROL MEASURES PRIOR TO ANY CONSTRUCTION	ACTIVITIES.			
ND TEMP SEED BASIN		north	GRADING &	
UNDATIONS.		SCALE IN FEET		() N
GRADING. & INLET PROTECTION MEASURES.				
ASE COURSE AND PAVING IN PARKING AREAS.	30'	0 30'		
ED SOILS.			SHEET NUMBER:	• •
UILDING WORK AND DOWNSPOUTS.	Ulābi	(H) 🛓 NU I LINE	C20	$\mathbf{)}$
TEMPORARY SEDIMENT BASIN.				

17-8095

Toll Free (800) 242-8511

JSD PROJECT NO:



# LEGEND (UTILITY PLAN)

	PROPERTY LINE
	RIGHT-OF-WAY
· ·	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	MOUNTABLE CURB
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
4	CONCRETE PAVEMENT
+ + <sup>4</sup> + + + + <sup>4</sup> + + + + + + + + + + + +	HEAVY DUTY CONCRETE PAVEMENT
· ·	STORMWATER MANAGEMENT AREA
	BOULDER RETAINING WALL MODULAR BLOCK RETAINING WALL
-	LIGHT POLE (REFER TO PHOTOMETRIC PLAN
<u> </u>	ADA PARKING BOLLARDS/SIGNS
SAN ———	SANITARY SEWER
	WATERMAIN
ST ———	STORM SEWER

1. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION

THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.

4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDNR.

5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR: \* EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION. \* OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.

 VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. \* NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE

START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.

THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.

ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S

9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.

10. CONTRACTOR SHALL CONTACT THE CITIES PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.

> 11. CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITIES WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.

12. ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS

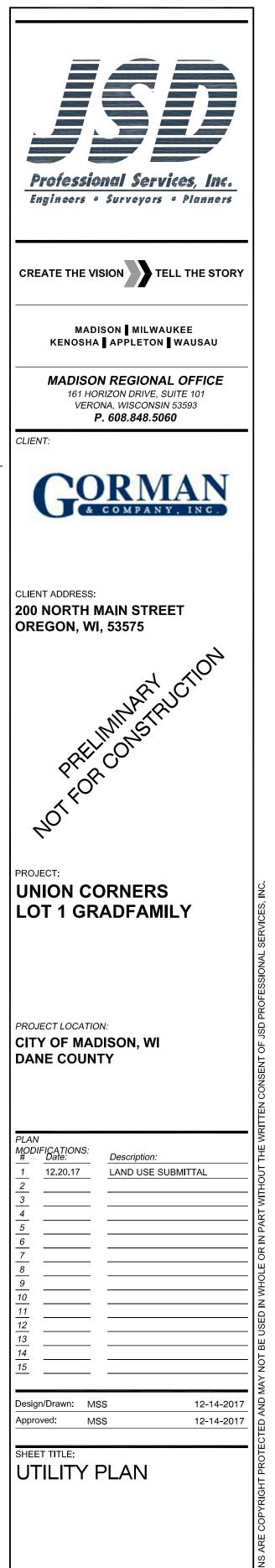
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS

ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(8)(B)4.A.

SCALE IN FEET

ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8 INCLUDING AT LEAST 8' OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6' OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.

ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPERATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENCLOSING THE TOP AND SIDES OF WATER MAIN.

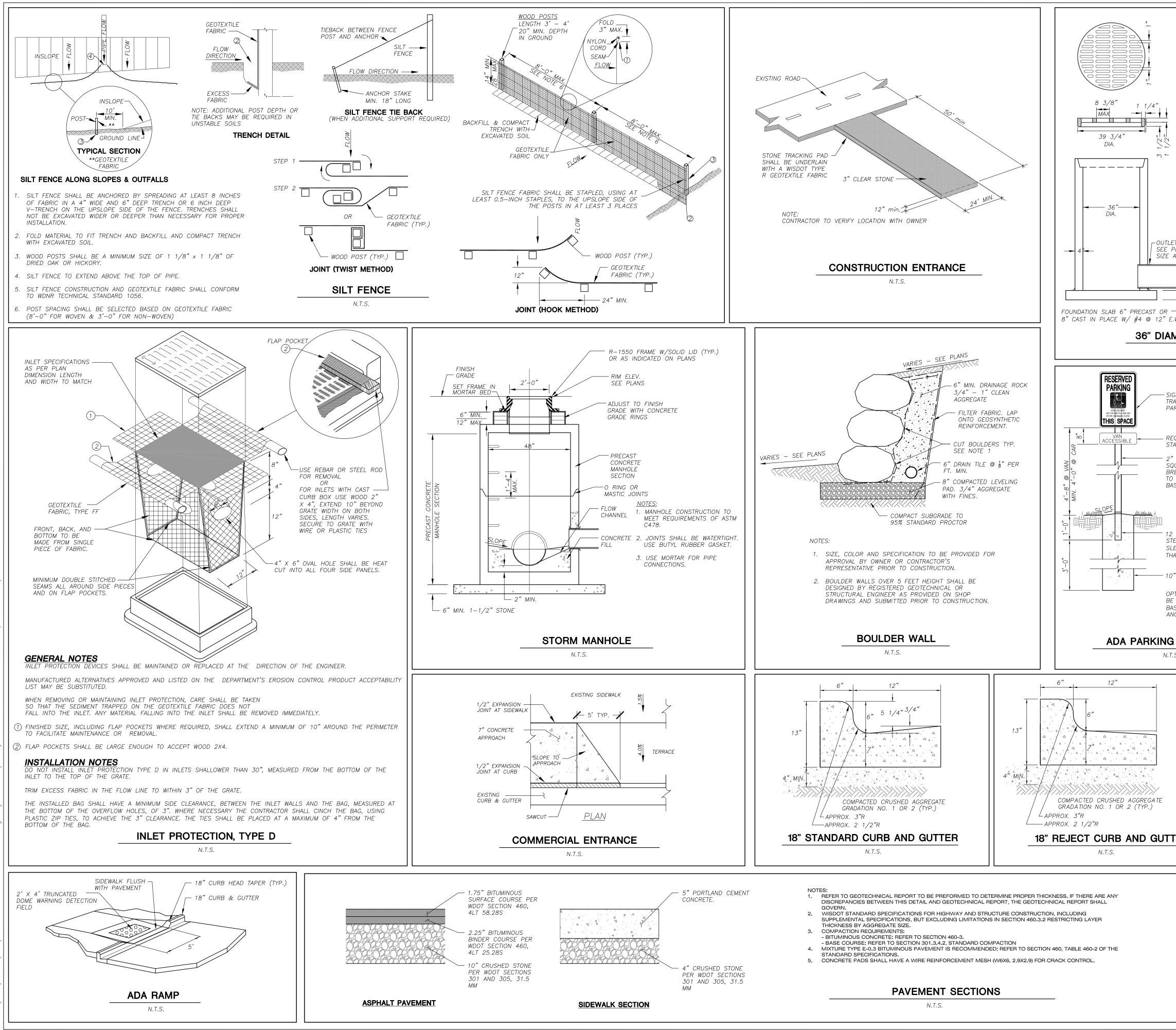


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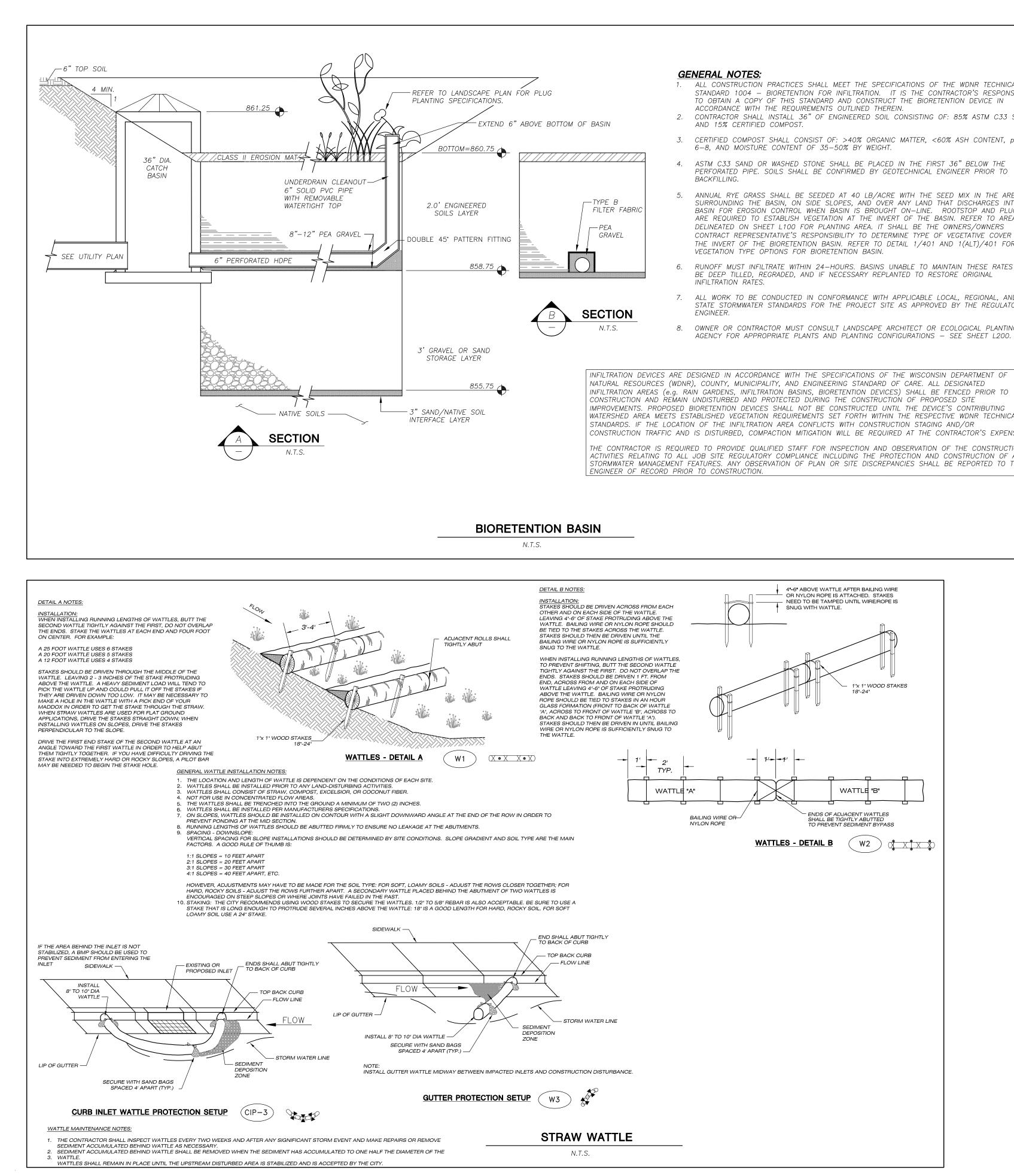
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Β Μ Γ Α Γ Γ	N BELL GRATE IS CUSTO BY THE NEENAH FOUNDR MADISON CONCRETE PIPE RATE IS CAST GRAY IRO O MEET ASTM A-48 CL ASHTO M105 SPECIFICA MYDRAULICS ARE AVAILAB RATES ARE AASHTO H20	Y COMPANY TO SPECIFICATIONS N MANUFACTURED ASS 35 B AND TIONS – GRATE LE UPON REQUEST D LOAD RATED	
E F A	RATE SETS FLUSH WITH BASIN BELL PRECAST REINFORCED CC BASIN IS MANUFACTURED ASTM C—478 AND AASHT SPECIFICATIONS	NCRETE CATCH TO MEET	<b>Professional Services, Inc.</b> Engineers • Surveyors • Planners
- C S W	STANDARD CATCH BASIN )'–6", 1'–0", 2'–0", 3'- STOCK 36" DIA. CATCH E VITH OR WITHOUT A 6" T BASE OR AS SPECIFIED	-0" AND 4'-0" BASINS AVAILABLE	CREATE THE VISION
C M II R	CATCH BASIN JOINT MATE CS-102 AND/OR CS-20. MANUFACTURED BY CONC NC., WHICH MEETS OR E REQUIREMENTS OF FEDER	2 AS RETE SEALANTS XCEEDS PAL SPECIFICATION	MADISON MILWAUKEE KENOSHA APPLETON WAUSAU
TLET PIPE A E PLAN FOR F E AND I.E. K	SS—S—210 (210A), AASH ASTM C—990 PIPE TO CATCH BASIN CO KOR—N—SEAL AS MANUFA NC., WHICH MEETS OR E REQUIREMENTS OF ASTM	DNNECTORS: CTURED BY NPC XCEEDS	MADISON REGIONAL OFFICE 161 HORIZON DRIVE, SUITE 101 VERONA, WISCONSIN 53593 P. 608.848.5060 CLIENT:
E.W.			GORMAN & COMPANY, INC.
AMETER S	TORM INLET		
SIGNAGE – COM TRANS 200.07 H PARKING SIGNS			CLIENT ADDRESS: 200 NORTH MAIN STREET OREGON, WI, 53575
REQUIRED @ VAI STALL ONLY			CLIMINART PUCTIC
2" x 2" x 12 G SQUARE STEEL BREAKAWAY TYPE TO BE PAINTED BASALT GREY	TUBE E SIGN POST		OREGON, WI, 53575
12 GA. GALVANIZ STEEL TUBE ANC SLEEVE (ONE SIZ THAN SIGN POST	CHOR POST ZE LARGER		PROJECT: UNION CORNERS LOT 1 GRADFAMILY
10" CONCRETE F	FILLED POST HOLE		
BE UTILIZED IN	I POST SYSTEM MAY LIEU OF CONCRETE MIN. 3'-0" LONG SLEEVE.		PROJECT LOCATION:
I <b>G STALL S</b> I.T.S.	SIGN		CITY OF MADISON, WI DANE COUNTY
TTER			PLAN       Date:       Description:         1       12.20.17       LAND USE SUBMITTAL         2
			SHEET TITLE: DETAILS
		Toll Free (800) 2	SHEET NUMBER: <b>C400</b> JSD PROJECT NO: 17-8095

THESE PLANS AND DESIGNS ARE COPVRIGHT PROTECTED AND MAY NOT RELISED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVI

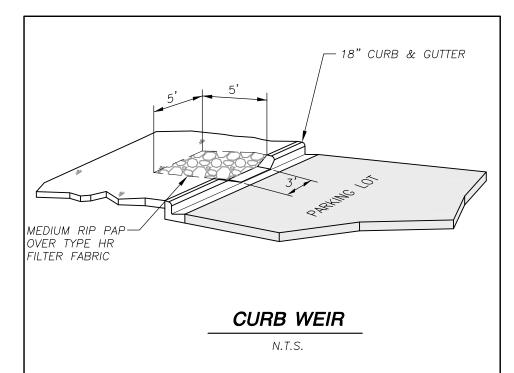


# 1. ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN 2. CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 85% ASTM C33 SAND 3. CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF ASTM C33 SAND OR WASHED STONE SHALL BE PLACED IN THE FIRST 36" BELOW THE PERFORATED PIPE. SOILS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO

- 5. ANNUAL RYE GRASS SHALL BE SEEDED AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. ROOTSTOP AND PLUGS ARE REQUIRED TO ESTABLISH VEGETATION AT THE INVERT OF THE BASIN. REFER TO AREA DELINEATED ON SHEET L100 FOR PLANTING AREA. IT SHALL BE THE OWNERS/OWNERS CONTRACT REPRESENTATIVE'S RESPONSIBILITY TO DETERMINE TYPE OF VEGETATIVE COVER AT THE INVERT OF THE BIORETENTION BASIN. REFER TO DETAIL 1/401 AND 1(ALT)/401 FOR
- RUNOFF MUST INFILTRATE WITHIN 24-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL
- 7. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY
- 8. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS - SEE SHEET L200.

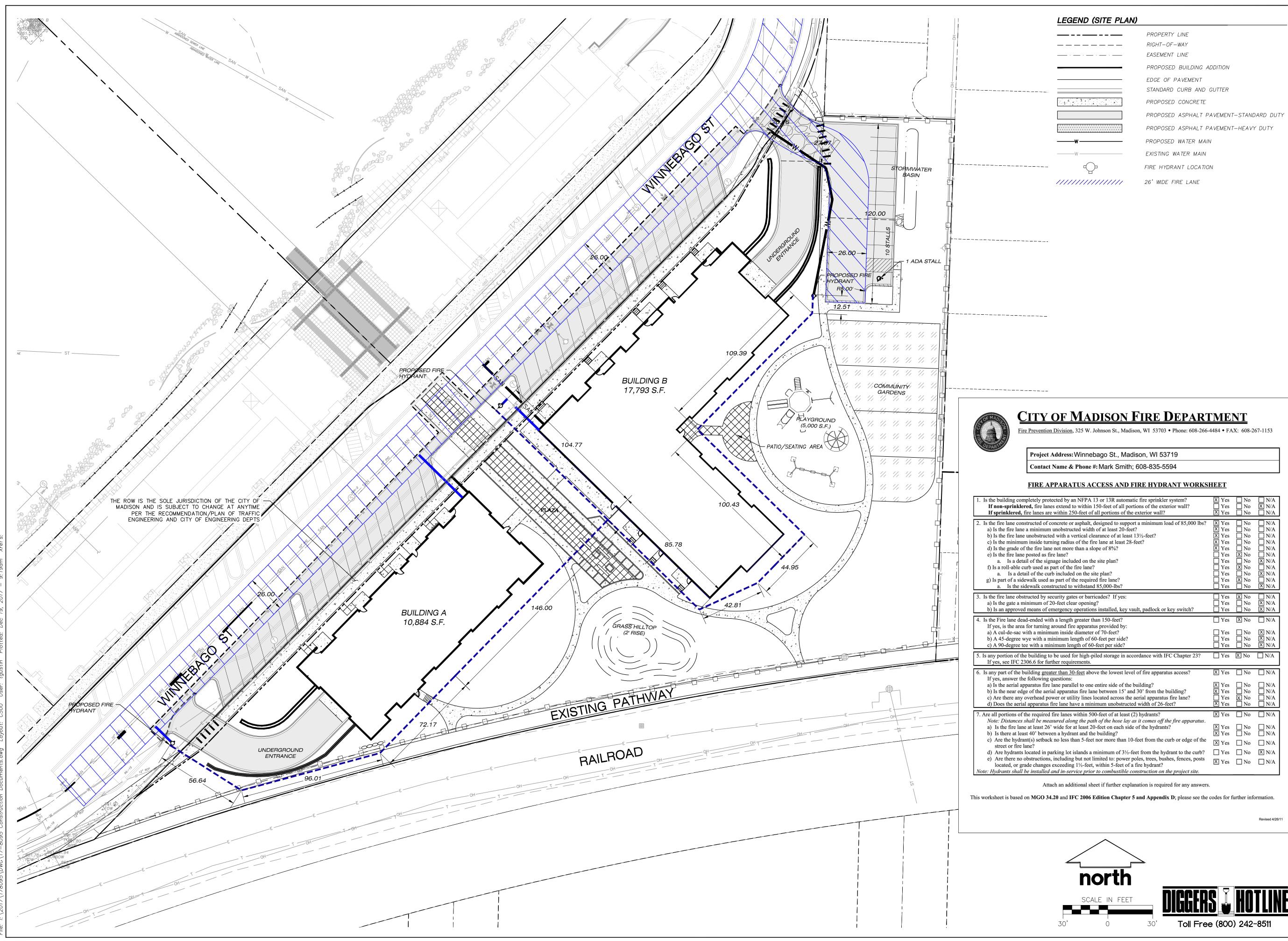
NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE



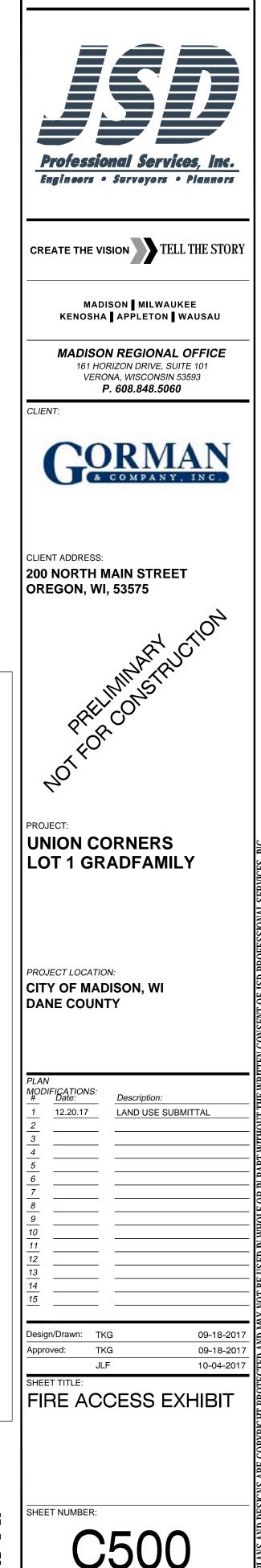
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CREATE THE VIS	SION TELL THE STORY
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161 HOR VERON	I REGIONAL OFFICE RIZON DRIVE, SUITE 101 VA, WISCONSIN 53593
CLIENT:	. 608.848.5060
Ge	RMAN COMPANY, INC.
CLIENT ADDRESS: 200 NORTH M OREGON, WI,	
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<i>, , , ,</i>	
PROJECT: UNION CO LOT 1 GR/ PROJECT LOCATION CITY OF MAD	ORNERS ADFAMILY
PROJECT: UNION CO LOT 1 GR/	ORNERS ADFAMILY
PROJECT: UNION CO LOT 1 GRA PROJECT LOCATION CITY OF MAD DANE COUNT PLAN MODIFICATIONS: # 12.20.17 2	ORNERS ADFAMILY
PROJECT: UNION CO LOT 1 GRA PROJECT LOCATION CITY OF MAD DANE COUNT PLAN MODIFICATIONS: # Date: 1.2.20.17	DRNERS ADFAMILY
PROJECT:         UNION COLOT 1 GRA         PROJECT LOCATION         CITY OF MAD         DANE COUNT         PLAN         MODIFICATIONS:         #       12.20.17         2       3         4       5         5       6         7       8         9	DRNERS ADFAMILY
PROJECT:         UNION CO         LOT 1 GR/         PROJECT LOCATION         CITY OF MAD         DANE COUNT         PLAN         MODIFICATIONS:         #       12.20.17         2       3         4       5         6       7         8       9         10       11         11       12         13       13	DRNERS ADFAMILY
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PROJECT: UNION CO LOT 1 GRA PROJECT LOCATION CITY OF MAD DANE COUNT PLAN MODIFICATIONS: 1 12.20.17 2 3 4 5 6 7 7 8 9 10 10 11 12 13 14 15 Design/Drawn: MSS Approved: MSS SHEET TITLE: DETAILS	PRNERS ADFAMILY
PROJECT:         UNION CO         LOT 1 GR/         PROJECT LOCATION         CITY OF MAD         DANE COUNT         PLAN         MODIFICATIONS:         #         1         12.20.17         2         3         4         5         6         7         8         9         10         11         12         13         14         15         Design/Drawn: MSS         Approved: MSS	PRNERS ADFAMILY





GEND	(SITE	PLAN)	
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	PROPERTY LINE RIGHT-OF-WAY
· · · · ·	EASEMENT LINE PROPOSED BUILDING ADDITION
	EDGE OF PAVEMENT STANDARD CURB AND GUTTER
	PROPOSED CONCRETE PROPOSED ASPHALT PAVEMENT-STANDARD DUTY
	PROPOSED ASPHALT PAVEMENT-HEAVY DUTY
<b></b>	PROPOSED WATER MAIN EXISTING WATER MAIN
	FIRE HYDRANT LOCATION
///////////////////////////////////////	26' WIDE FIRE LANE

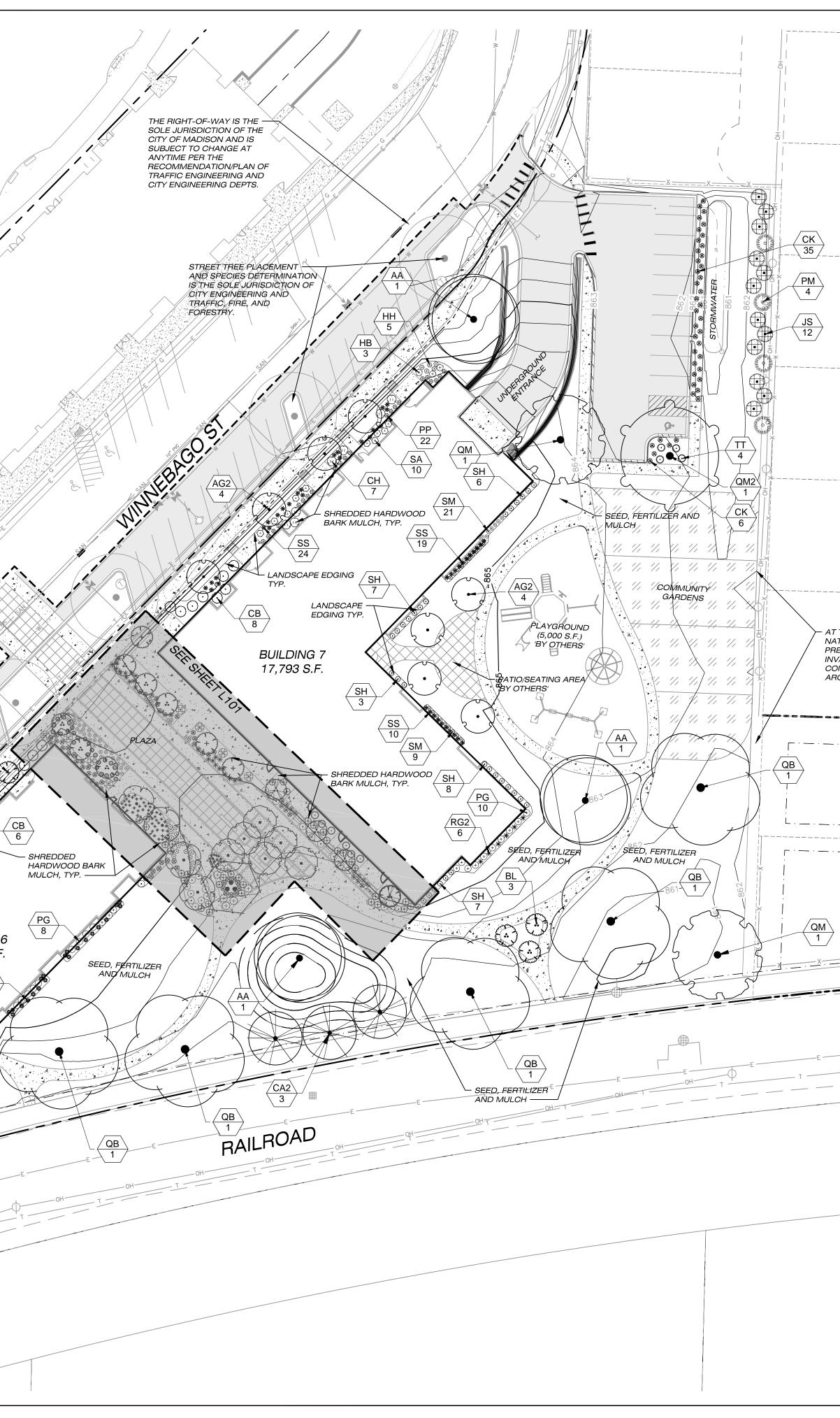


JSD PROJECT NO:

17-8095

by an NFPA 13 or 13R automatic fire sprinkler system? and to within 150-feet of all portions of the exterior wall? a 250-feet of all portions of the exterior wall?	X Yes Ves X Yes	No    No    No	□ N/A X N/A N/A
e or asphalt, designed to support a minimum load of 85,000 lbs? tructed width of at least 20-feet? a vertical clearance of at least 13½-feet? dius of the fire lane at least 28-feet? tore than a slope of 8%? ? cluded on the site plan? the fire lane? ided on the site plan? of the required fire lane? I to withstand 85,000-lbs?	X Yes X Yes X Yes X Yes Yes Yes Yes Yes Yes Yes Yes Yes	<ul> <li>□ No</li> <li>□ No</li> <li>□ No</li> <li>□ No</li> <li>○ No</li> </ul>	<ul> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>N/A</li> <li>X/A</li> <li>X/A</li> <li>X/A</li> <li>X/A</li> <li>X/A</li> </ul>
gates or barricades? If yes: clear opening? cy operations installed, key vault, padlock or key switch?	☐ Yes ☐ Yes ☐ Yes	X No No No	N/A N/A N/A
gth greater than 150-feet? fire apparatus provided by: ide diameter of 70-feet? n length of 60-feet per side? length of 60-feet per side?	☐ Yes ☐ Yes ☐ Yes ☐ Yes	X No No No No No	N/A N/A N/A N/A N/A
ed for high-piled storage in accordance with IFC Chapter 23? quirements.	Yes	X No	N/A
<u>a 30-feet</u> above the lowest level of fire apparatus access? ns: urallel to one entire side of the building? aratus fire lane between 15' and 30' from the building? utility lines located across the aerial apparatus fire lane? e have a minimum unobstructed width of 26-feet?	X Yes X Yes Yes Yes X Yes	☐ No ☐ No ☐ No X No ☐ No	□ N/A □ N/A □ N/A □ N/A □ N/A
hes within 500-feet of at least (2) hydrants? along the path of the hose lay as it comes off the fire apparatus. for at least 20-feet on each side of the hydrants? rdrant and the building? ss than 5-feet nor more than 10-feet from the curb or edge of the	X Yes X Yes X Yes X Yes	□ No □ No □ No □ No	□ N/A □ N/A □ N/A □ N/A
lot islands a minimum of 3½-feet from the hydrant to the curb? ling but not limited to: power poles, trees, bushes, fences, posts ling 1½-feet, within 5-feet of a fire hydrant? service prior to combustible construction on the project site.	☐ Yes X Yes	☐ No ☐ No	X N/A

5 6		Serviceberry		1.5"Cal	12	
 	BL	Betula nigra `Little King` TM / Fox Valley Birch	B & B	1.5"Cal	3	_
	SF	Sorbus aucuparia `Fastigiata` / Oakleaf Mountain Ash	B & B	1.5"Cal	1	_
	CODE	BOTANICAL NAME / COMMON NAME	ROOT CONDITION	N SIZE AT PLANTING	QTY	- V _
	AA	Acer x freemanii `Jeffsred` / Autumn Blaze Maple	B & B	2.5"Cal	3	W
	CA2	Carpinus caroliniana / American Hornbeam	B & B	1.5"Cal	3	_
	QB	Quercus bicolor / Swamp White Oak	B & B	2.5"Cal	5	
$\left( \cdot \right)$	40			2.0 00/		
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	QM	Quercus macrocarpa / Burr Oak	B & B	2.5"Cal	2	
$\overline{\left( \cdot \right)}$	QM2	Quercus muehlenbergii / Chinkapin Oak	B & B	2.5"Cal	3	
IDUOUS SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SIZE AT PLANTING		
	СН	Clethra alnifolia 'Hummingbird' / Summersweet	3 gal	Min. 18"-24"	13	
$\odot$	CB	Cornus baileyi / Bailey`s Red-twig Dogwood	3 gal	Min. 18"-24"	14	
	SA	Spiraea albiflora / Japanese White Spirea	3 gal	Min. 18"-24"	10	
RGREEN SHRUBS	CODE JS	BOTANICAL NAME / COMMON NAME Juniperus x pfitzeriana `Sea Green` / Sea Green Juniper	5 gal	SIZE AT PLANTING Min. 18"-24"	QTY 12	
Show the second s	РМ	Pinus mugo mugo / Dwarf Mugo Pine	5 gal	Min. 18"-24"	4	
Õ	TT	Taxus x media `Tauntonii` / Tauton Yew	5 gal	Min. 18"-24"	4	
IAMENTAL GRASSES/PERENNIAL	S CODE AT	BOTANICAL NAME / COMMON NAME Allium tanguticum `Summer Beauty` / Summer Beauty Globe Lily	CONT 1 Gal	SIZE AT PLANTING	QTY 21	
	СК	Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	1 Gal	10-12" Ht.	41	
	НН	Hemerocallis x `Happy Returns` / Happy Returns Daylily	1 Gal	10-12" Ht.	13	
 (+)	НВ	Heuchera x `Berry Smoothie` / Berry Smoothie Coral Bells	1 Gal	10-12" Ht.	8	
 ;;;;;;;;;;;;;;;;;;;;;;;;;;;;;;;	PP	Panicum virgatum `Praire Fire` / Red Switch Grass	1 Gal	10-12" Ht.	49	
 	РН	Pennisetum alopecuroides `Hameln` / Hameln Dwarf Fountain Grass	1 Gal	10-12" Ht.	10	
•	PL	Perovskia atriplicifolia `Little Spire` TM / Little Spire Russian Sage	1 Gal	10-12" Ht.	9	
+	PG	Potentilla fruticosa `Gold Star` / Gold Star Potentilla	1 Gal	10-12" Ht.	18	
*	RG2	Rudbeckia fulgida sullivantii `Goldsturm` / Black-eyed Susan	1 Gal	10-12" Ht.	15	
•	SM	Salvia nemorosa `Mainacht` / Maynight Salvia	1 Gal	10-12" Ht.	30	
¥	SS	Solidago speciosa / Showy Goldenrod	1 Gal	10-12" Ht.	61	
	SH	Sporobolus heterolepis / Prairie Dropseed	1 Gal	10-12" Ht.	31	
Sh <sup>e</sup> re Sh <sup>e</sup> re						
	×	STREET TREE PLACE AND SPECIES DETER IS THE SOLE JURISD CITY ENGINEERING TRAFFIC, FIRE, AND FORESTRY.	RMINATION ICTION OF AND	M2 1		HB 5 HH 8 RG2 9
THE RIGHT-OF-WAY IS SOLE JURISDICTION C CITY OF MADISON AN SUBJECT TO CHANGE ANYTIME PER THE RECOMMENDATION/P TRAFFIC ENGINEERING CITY ENGINEERING D	DF THE D IS AT LAN OF G AND	MINIE QM2 1			RGROU	
Bot Barrow of	PISAN				E	- SEED, FERTILIZER AND MULCH E TOH
SAM-	E		E	E	DH	T 0H



LEGEND	(SITE	PLAN)
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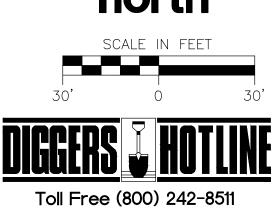
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PROPERTY LINE RIGHT-OF-WAY BUILDING OUTLINE EDGE OF PAVEMENT STANDARD CURB AND GUTTER REJECT CURB AND GUTTER MOUNTABLE CURB ASPHALT PAVEMENT CONCRETE PAVEMENT HEAVY DUTY CONCRETE PAVEMENT STORMWATER MANAGEMENT AREA MODULAR BLOCK RETAINING WALL LIGHT POLE (REFER TO PHOTOMETRIC PLAN) ADA PARKING BOLLARDS/SIGNS

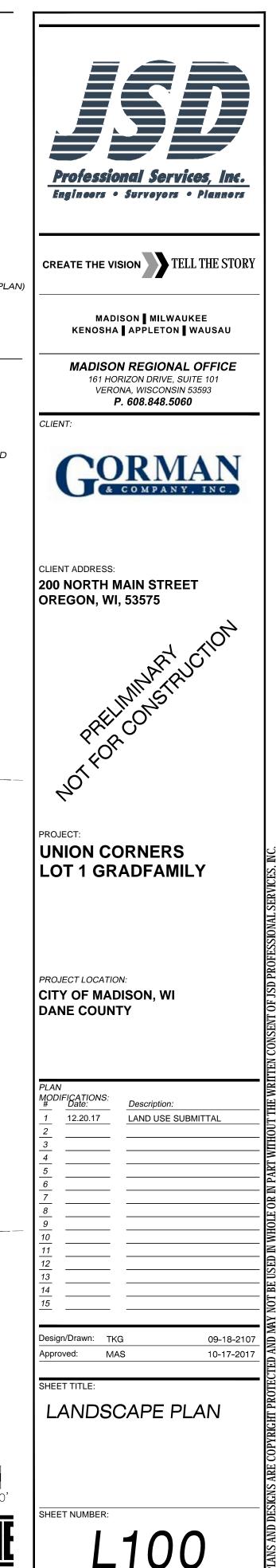
## GENERAL NOTES:

- 1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- 2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- 4. DRAWING FOR REVIEW NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- 5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- 6. REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN

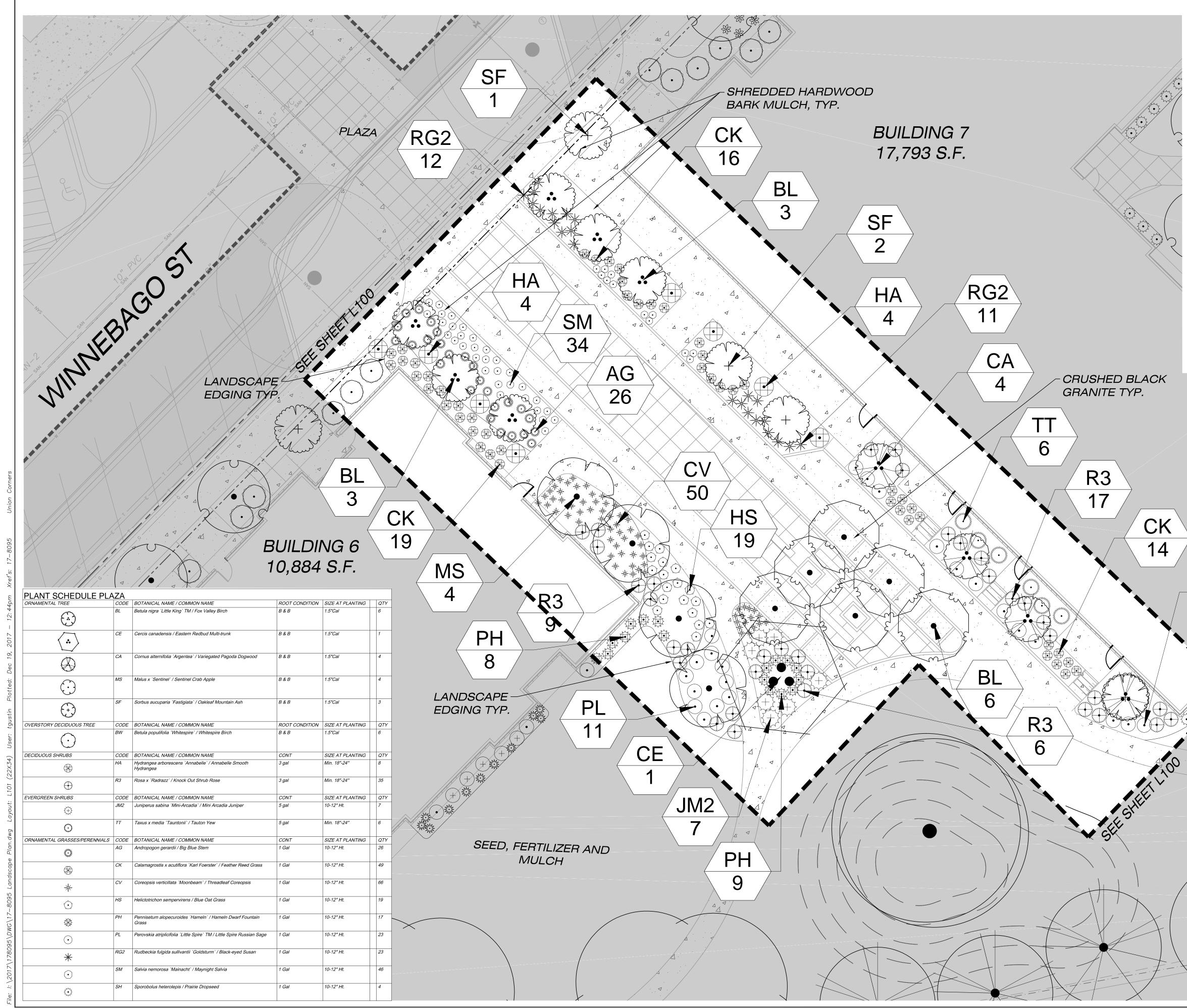
TIME OF CONSTRUCTION ALL TIVE AND SUITABLE SPECIES TO BE ESERVED AND PROTECTED. /ASIVE SPECIES TO BE REMOVED. DNTACT PROJECT LANDSCAPE ICHITECT FOR APPROVAL.	
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JSD PROJECT NO:



17-8095



# LEGEND (SITE PLAN)

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PROPERTY LINE RIGHT-OF-WAY BUILDING OUTLINE EDGE OF PAVEMENT STANDARD CURB AND GUTTER REJECT CURB AND GUTTER MOUNTABLE CURB ASPHALT PAVEMENT CONCRETE PAVEMENT HEAVY DUTY CONCRETE PAVEMENT CRUSHED BLACK GRANITE STORMWATER MANAGEMENT AREA MODULAR BLOCK RETAINING WALL LIGHT POLE (REFER TO PHOTOMETRIC PLAN) ADA PARKING BOLLARDS/SIGNS

## GENERAL NOTES:

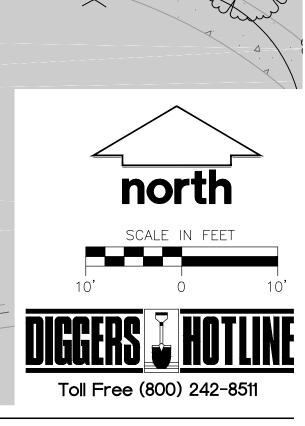
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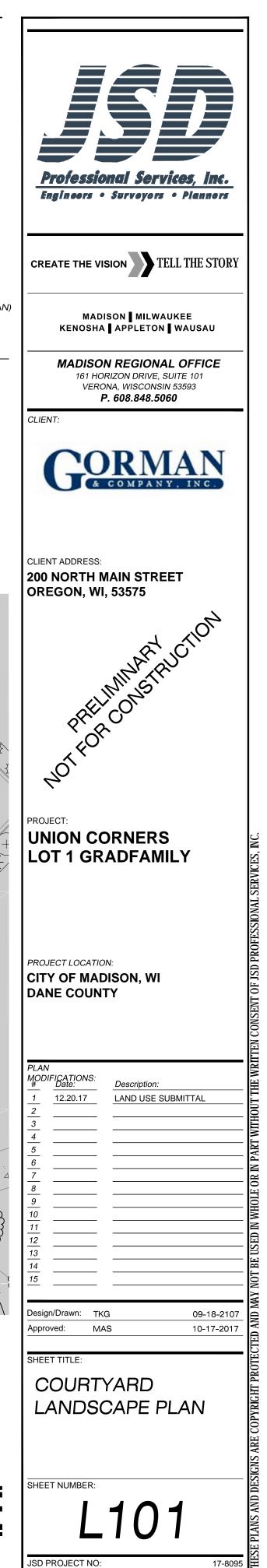
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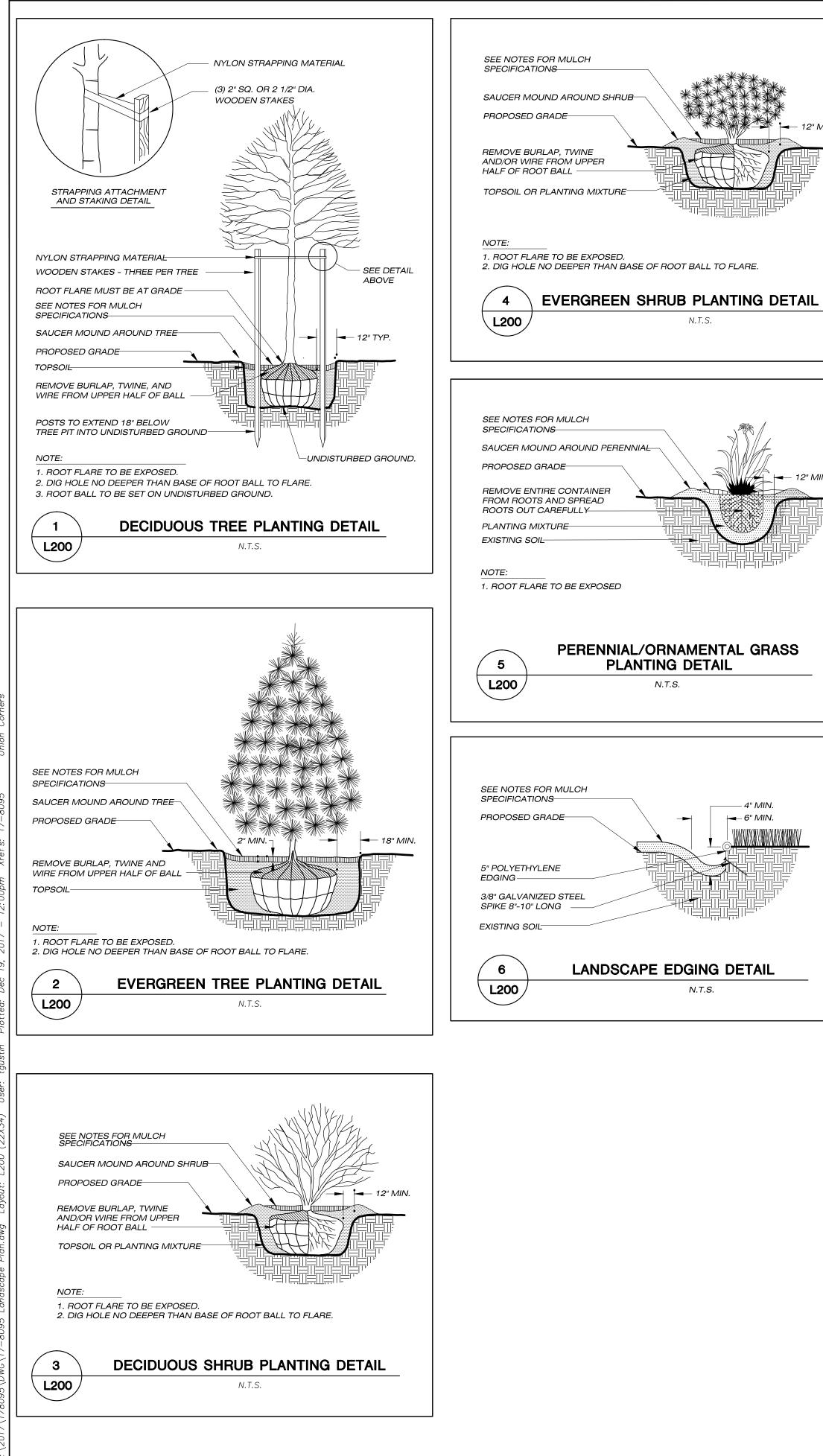
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## CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location	Address UNION CORNERS	S, MADISON, WI 537	704
Name of Project	GORMAN -GRAND FAMIL	Y DEVELOMENT	
Owner / Contact	GORMAN		
Contact Phone	(608) 848-5060	Contact Email	JUSTIN.FRAHM@JSDINC.COM

\*\* Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. \*\*

## Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

#### Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area	29,288
Total landscape points required	489

(b) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

- Total square footage of developed area
- Five (5) acres = 217,800 square feet
- First five (5) developed acres = 3,630 points
- Remainder of developed area
- Total landscape points required

(c) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area \_

Total landscape points required

#### 10/2013

#### **Tabulation of Points and Credits**

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Dignt True / Element	Minimum Size at	Deinte		Existing caping		roposed caping
Plant Type/ Element	Installation	Points	Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2 <sup>1</sup> / <sub>2</sub> inch caliper measured diameter at breast height (dbh)	35			22	770
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15			35	525
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3			80	240
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4			33	132
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2			575	1150
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 <sup>1</sup> / <sub>2</sub> inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"				
Sub Totals						2,817

Total Number of Points Provided 2,817

\* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nurserv Stock

## **GENERAL NOTES**

- SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE. PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED. SECURE AREA. PROTECTING THE ROOT MASS WITH WET SOIL. MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

#### LANDSCAPE MATERIAL NOTES

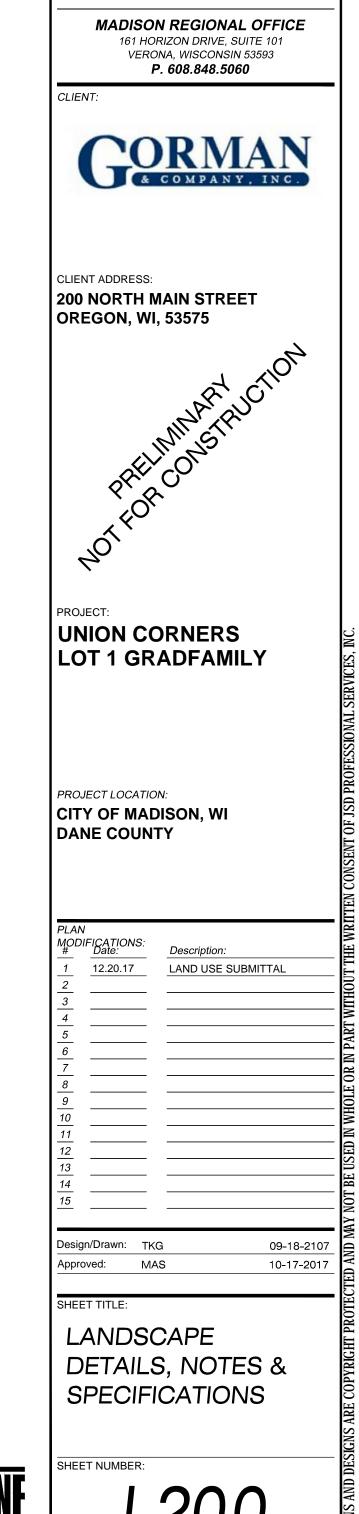
- 1. MATERIALS SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS: A. PLANTING AREAS = 24" B. TREE PITS = SEE DETAILS
- 2. PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENTDO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS CRUSHED BLACK GRANITE: ALL PLANTING AREAS LABELED ON PLAN IN PLAZA AREA SHALL RECEIVE 2" DEPTH OF CRUSHED BLACK GRANITE. SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. CRUSHED BLACK GRANITE AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC.
- 4. MATERIALS TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- 5. MATERIALS EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- 6. MATERIALS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE SPREAD BY HAND BROADCAST METHOD OR APPROPRIATE SPREADER EQUIPMENT WITH EARTH CARPET'S 'MADISON PARKS' OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS
- MATERIALS BIORETENTION BASIN/PRAIRIE SEED MIX: AREAS SPECIFIED ON PLAN TO BE BROADCAST SEEDED WITH "DIVERSE PRAIRIE FOR MEDIUM SOILS" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WESTFIELD, WISCONSIN, 53964, TEL. 608-296-3679 (OR APPROVED FOUVALENT) INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.

#### CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE, RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL

GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD

LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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MADISON MILWAUKEE

KENOSHA APPLETON WAUSAU

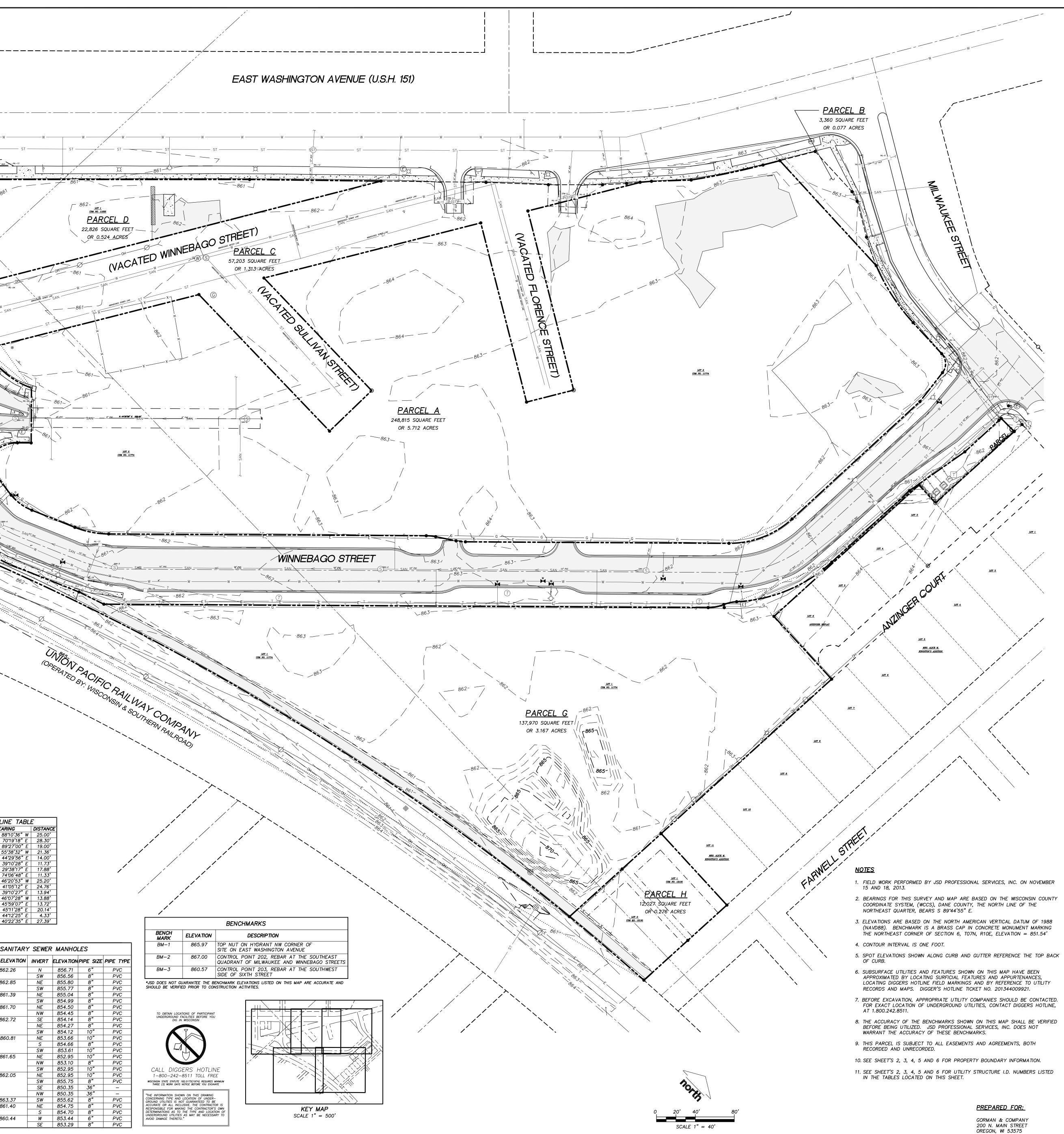


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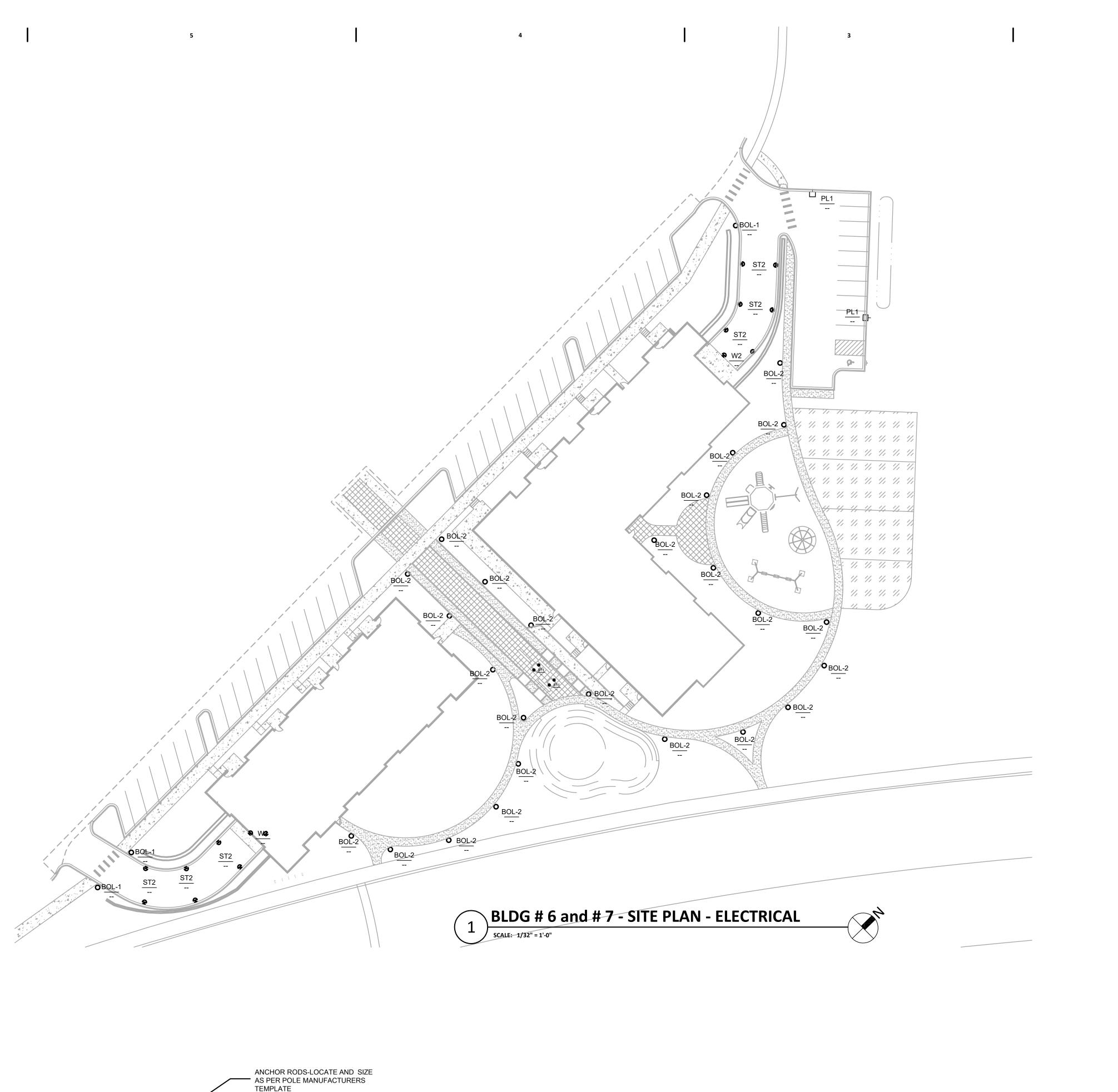
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AREA TABLE           PARCEL         SQUARE FEET         ACRES           A         248,815         5.712           B         3,360         0.077           C         57,203         1.313           D         22,826         0.524           E         27,018         0.620           F         5,455         0.125           G         137,970         3.167           H         12,027         0.276	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	E TABLE         ELTA       CHORD       CHORD BEARING         '22'11"       1033.48'       S       74'06'26" W         '15'28"       100.55'       S       84'39'53" W         06'43"       934.95'       S       72'58'48" W         34'54"       102.57'       N       80'58'31" E         '57'10"       131.04'       N       86'17'23" E         '41'03"       16.32'       N       33'10'30" E         '41'19"       13.51'       N       31'40'38" E         '52'38"       105.71'       N       21'34'58" E
STORM SEWER INLETS           INLET ID         RIM ELEVATION         INVERT         ELEVATION PIPE SIZE           INL-1         860.85         S         858.05         12"           INL-2         860.33         S         856.83         12"           W         856.93         12"	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	52'22"       69.44'       S       23'04'50" W         07'31"       9.69'       S       50'04'47" W         07'31"       9.69'       S       50'04'47" W         25'03"       35.31'       S       55'13'33" W         44'46"       26.26'       S       80'18'28" W         51'18"       40.77'       N       78'23'30" W         15'38"       6.47'       N       38'50'02" W         42'09"       30.49'       N       19'08'51" E         '17'21"       62.12'       S       84'36'04" W         34'29"       75.33'       N       32'25'30" E         LINE       BEARING
$ \begin{array}{ c c c c c c c c c c c c c c c c c c c$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
INL-10         861.34         SW         854.59         12"           INL-11         861.30         NE         854.70         12"           INL-12         861.01         SE         855.41         12"           INL-13         859.74         SW         857.24         12"           INL-14         859.86         NE         857.06         12"           INL-15         861.07         NE         858.47         12"           INL-16         860.84         NE         **         **           NW         **         **         **	RCP         C-31         130.07'         980.00'         07           RCP         C-32         10.85'         15.00'         41'           RCP         C-33         26.12'         15.00'         99           RCP         STORM SEWER         8000'         90'	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
SW         **         **           SW         857.84         **           BOTTOM         857.84         **           INL-17         860.61         SW         858.46         6"           SE         857.91         15"         15"           INL-18         861.42         NE         857.42         18"           INL-19         861.75         NE         857.10         18"           INL-19         861.75         NE         857.00         18"           INL-20         861.65         SW         858.25         12"           W         857.00         18"         18"           INL-21         860.88         NW         858.28         12"           INL-22         860.71         SE         857.61         18"           INL-23         859.23         SW         857.61         18"           INL-24         859.28         NE         857.18         12"           INL-25         860.14         SW         858.44         8"	RCP         N           **         STM-2         862.01         SE           HDPE         NE         SW           RCP         STM-3         861.54         SE           RCP         STM-3         861.54         SE           RCP         STM-3         861.54         SE           RCP         STM-4         861.40         SW           RCP         STM-5         861.43         S           RCP         STM-5         861.43         SE           RCP         STM-5         861.43         S           RCP         NW         NE         NE           RCP         STM-6         860.43         BOTTOM	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
NW         858.04         12"           INL-26         860.01         SW         858.11         6"           SE         857.91         12"         NE         857.91         12"           INL-27         860.20         NW         855.80         24"           INL-28         861.58         NW         858.13         12"           INL-29         860.63         NE         **         **           SW         **         **         **           BOTTOM         858.13         **         **	RCP         STM-7         860.50         SE           HDPE         NW         NW           RCP         STM-8         859.96         SE           RCP         STM-8         859.96         SE           RCP         STM-8         859.96         SE           RCP         NW         SW         NW           RCP         STM-9         861.40         S           RCP         STM-9         SE         NW           RCP         STM-9         861.40         S           ***         NW         **         SE	855.80       18"       RCP         **       **       -         855.36       **       RCP         856.96       12"       RCP         856.71       12"       RCP         855.36       **       RCP         856.71       12"       RCP         855.36       **       RCP         855.36       **       RCP         855.36       **       RCP         855.36       **       RCP         856.00       24"       RCP         856.00       24"       RCP         SAN-10       861.4         856.00       24"         RCP       SAN-11

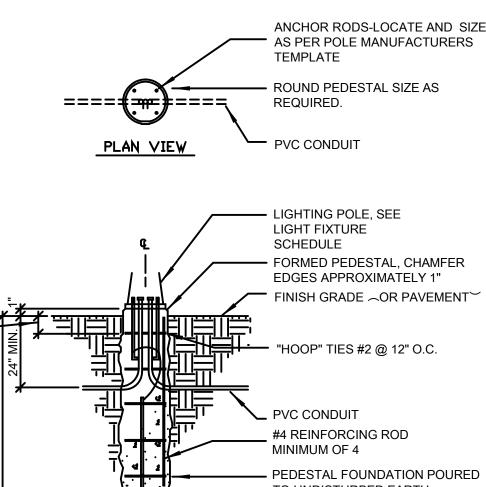


LOT 3

PREPARED FOR: GORMAN & COMPANY

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LE I URVI B. I		I OTE 1 AND 2 CEDIEIED SUBVEY MAD NO 11774 DECADDED IN VOLUME 72 DACES 134 130 AS DOCUMENT NO 1105068 LOTE 1	NN 11-25-2013				
ECT NO:_ EYEL NO/F T NC	<u>EEE</u> Professional Services, Inc.	AND 2. CERTIFIED SURVEY MAP No. 11835. RECORDED IN VOLUME 72. PAGES 247-251. AS DOCUMENT NO. 4190000, EOIS 1	DATE				
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<u>Е</u> — ЈН 27		FLORENCE STREET, ALL OF VACATED SULLIVAN STREET, THAT PART OF WINNEBAGO STREET VACATED PER CITY OF MADISON	APPROVED BY DATE				
<u>182</u> 3/7	161 HORIZON DRIVE, SUITE 101	ENACTMENT No. RES-06-00599, AND THAT PART OF MILWAUKEE STREET VACATED PER CITY OF MADISON ENACTMENT No.	HPJ 11-27-2013				
<u>2</u> 76	VERONA, WISCONSIN 33393 PHONE: (608)848-5060	NORTHEAST QUARTER. THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, AND THE NORTHWEST QUARTER OF THE SOUTHEAST	DWGNAME				
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CONCRETE BASE WITH POLE BASE COVER 2 FIXTURE TYPY PL1 BASE MOUNTING DETAIL SCALE: NTS

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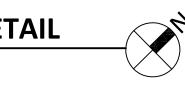
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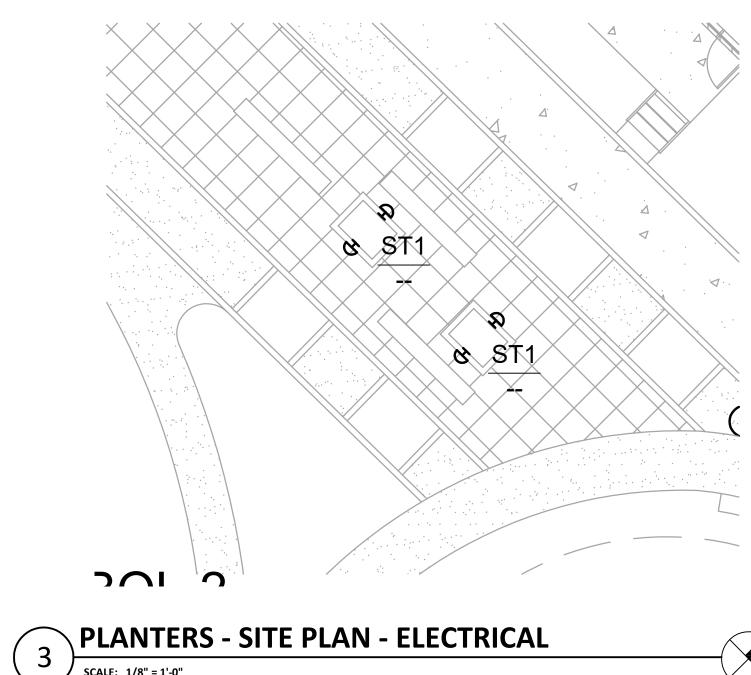
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TO UNDISTURBED EARTH

GROUND ROD WITH #3 AWG BOND TO 2 ANCHOR BOLTS





3

SCALE: 1/8" = 1'-0"

4

2

1

CIRCUITRY & LIGHTING CONTROL NOTES:
A. LIGHTING CIRCUITRY TO BE FED FROM BUILDING # XXX LIGHTING HOUSE PANEL "LP-1".
B. CIRCUIT NUMBERS FOR LIGHTING IS INDICATED BY NUMBER UNDER FIXTURE TYPE, 'HOME-RUNS' ARE SHOWN FOR OVERRIDING OR MORE EXACT INTENTIONS.
C. TYPICAL FIXTURE TYPE AND CIRCUIT NUMBER: <u>A1</u> — FIXTURE TYPE <u>10</u> — CIRCUIT NO.
D. CIRCUIT NUMBERS FOR POWER DEVICES/EQUIPMENT IS INDICATED ADJACENT TO THE SYMBOL.
E. PROVIDE LIGHTING CONTROL FROM LOW VOLTAGE LIGHTING CONTROL PANEL LVRP-1. SEE CIRCUITS LISTED ON THE PANELBOARD SCHEDULES AND LOW VOLTAGE RELAY SCHEDULE.
F. WIRING SCHEDULE:
1 2 #8 XHHW + GR, 2" PVC CONDUIT
2 4 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM
3 8 #8 XHHW + GR, 2-1/2" PVC CONDUIT MINIMUM
4 3 #6 XHHW + GR, 2" PVC CONDUIT MINIMUM
5 3 #8 XHHW + GR, 2" PVC CONDUIT MINIMUM
SPECIFIC NOTES (POWER):
1 PROVIDE TRANSITION CABINET FOR SECONDARY SIDE OF OF TRANSFORMER TO BUILDING CABLE TRANSITIONS - COORDINATE WITH UTILITY, AND GC FOR EXACT LOCATIC
2 PEDESTAL MOUNTED WP RATED RECEPTACLE BOX WITH LOCKING COVER - COLE LTG # TL310-WCS-PED, WITH 2 DUPLEX RECEPTACLES - CONCRETE BASE TO BE COMBIN WITH BOLLARDS - COORDINATE WITH MFGRS
SPECIFIC NOTES (COMMUNICATIONS):
C1 COMMUNICATIONS CONDUITS - PROVIDE (TWO) 4" CONDU SETS, EACH FOR CABLE AND TELEPHONE, FOR ENTRANC CABLES BY UTILITIES. COORDINATE EXACT LOCATION WI UTILITIES AND CIVIL CONTRACTOR. RUN CONDUITS OUT FROM BUILDING. PROVIDE LABELED RED FLAG, STAKED 2 ABOVE GRADE IF BACKFILLED PRIOR TO CABLES BEING INSTALLED (CAP ENDS OF CONDUITS). SEE SHEET E100 F INTERIOR CONTINUATION.
C2 PROVIDE SECURITY ENTRANCE VIA "LONG READER" FOB KEY DOOR ENTRANCE/SECURITY SYSTEM READER FOR GARAGE DOOR OPERATION. MOUNT ABOVE GARAGE DOO

# ELECTRICAL GENERAL NOTES:

- A. CONTRACTOR TO PROVIDE QUANTITY OF CONDUITS AS REQUIRED. COORDINATE WITH GENERAL CONTRACTOR (GC) WHEN RUNNING CONDUIT IN EXPOSED STRUCTURE ÀRÉAS SO AS TO RUN CONDUIT IN PARALLEL AND PERPENDICULAR PATHS TO BUILDING ELEMENTS.
- B. ALL PAINTING OF ALL EXPOSED CONDUIT WILL BE BY THE G.C. AND WILL MATCH SURFACE UPON WHICH IT IS ATTACHED.
- C. ALL CONDUIT SHALL BE ROUTED A MINIMUM OF 36" BELOW FINISHED GRADE. EXACT METHOD OF ROUTING OUTDOOR LIGHTING WIRING SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. UNLESS OTHERWISE NOTED, ALL EXTERIOR LIGHTING WIRING SHALL BE #8AWG COPPER AND SHALL BE ROUTED IN SCHEDULE 40 PVC. MINIMUM CONDUIT SIZE IS 1" (AT CONNECTION TO FIXTURES).
- D. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE AND CODE COMPLIANT INSTALLATION.
- E. ALL FIXTURES, POLES, ARMS, BASES, ETC. SHALL BE PROVIDED WITH FACTORY APPLIED POWDER PAINT FINISH. THE ELECTRICAL CONTRACTOR SHALL PAINT ANY EXPOSED EQUIPMENT TO MATCH.
- F. NO CONTINUOUS CONDUIT RUN SHALL EXCEED 100 FEET (30 METERS) WITHOUT A JUNCTION BOX.
- G. CONTACT LOCAL ELECTRICAL UTILITY TO COORDINATE FINAL ELECTRICAL UTILITY CONNECTIONS, LOCATIONS, INSTALLATION, ETC. UTILITY IS TO PROVIDE PRIMARY CONDUIT AND WIRING TO PAD MOUNTED TRANSFORMERS (W/ PADMOUNTED CT) LOCATED APPROXIMATELY WHERE SHOWN ON PLANS. SITE ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND WIRING TO MAIN ELECTRICAL ROOM. COORDINATE LOCATIONS OF SERVICE ENTRANCE CONDUIT W/ GENERAL CONTRACTOR FOR EXACT LOCATIONS OF MAIN DISTRIBUTION PANELS.
- H. CONTACT LOCAL TELEPHONE AND CABLE UTILITY TO COORDINATE FINAL CONNECTIONS, LOCATIONS, INSTALLATION, ETC. PROVIDE UNDERGROUND PVC CONDUIT FROM UTILITY CONNECTION POINT TO LOCATION OF COMMUNICATIONS BOARD LOCATED IN MAIN ELECTRICAL ROOM. OBTAIN PLAN APPROVAL PRIOR TO STARTING WORK. OWNER SHALL PAY CONNECTION CHARGES.

2

1

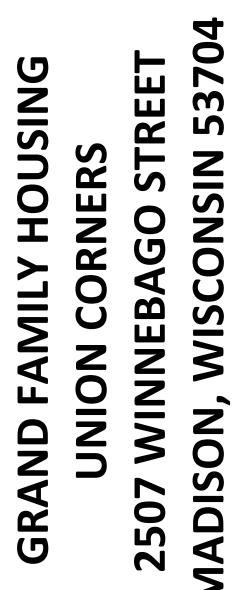
**REAL ESTATE DEVELOPMENT &** MANAGEMENT 200 N. MAIN STREET OREGON, WI 53575

Seal

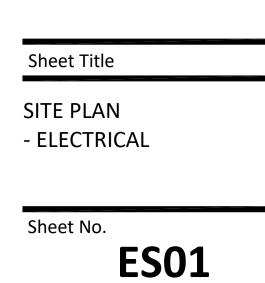
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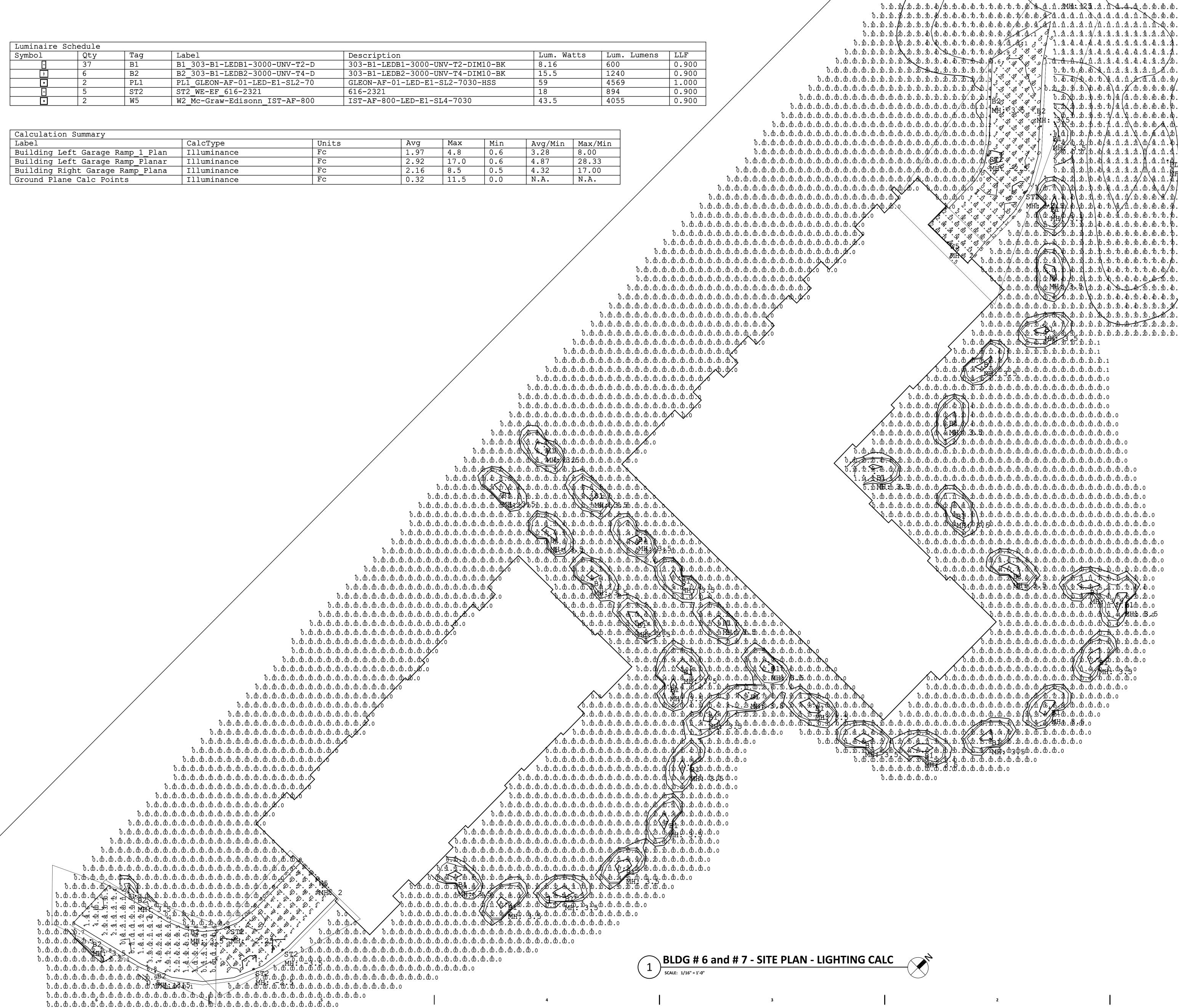
CONSTRUCTIO	ON DOCUMENTS
Project No.	
Plot Date:	December 27, 2017
Drawn by:	BVE
	USER
Date	Issue Description
December 27, 2017	/ Issued For Review
XXXXX	XXXX



Α

Luminaire Sche	edule			
Symbol	Qty	Tag	Label	Description
•	37	B1	B1_303-B1-LEDB1-3000-UNV-T2-D	303-B1-LEDB1
÷	6	B2	B2_303-B1-LEDB2-3000-UNV-T4-D	303-B1-LEDB2
+	2	PL1	PL1_GLEON-AF-01-LED-E1-SL2-70	GLEON-AF-01-
*	5	ST2	ST2_WE-EF_616-2321	616-2321
+	2	W5	W2_Mc-Graw-Edisonn_IST-AF-800	IST-AF-800-L

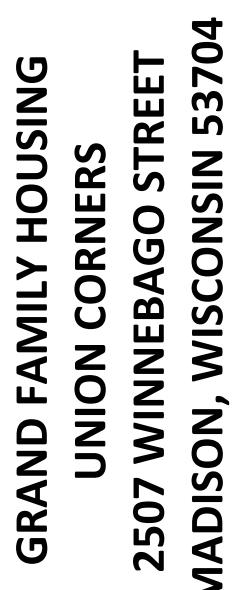
Calculation Summary			
Label	CalcType	Units	
Building Left Garage Ramp_1_Plan	Illuminance	Fc	
Building Left Garage Ramp_Planar	Illuminance	Fc	
Building Right Garage Ramp_Plana	Illuminance	Fc	
Ground Plane Calc Points	Illuminance	Fc	



<sup>\*</sup> 0. <sup>\*</sup> 1. <sup></sup> ō.ħ.ħ. ´\_ ┩、゙1.オ.オ.オ.オ/.オ.オ.オ.オ.オ.オ.オ.オ.オ.オ. も. 市. 市. 塩. 煮. あ. あ( ち. あ. あ. カ. あ. あ. あ. あ. カ. オ. カ. イ ゚゚゙゙゙゙゙゙゙゙゙. ぁ. ね. ね. ね. ぁ. ぁ. ぁ. ぁ. ぁ. ぇ も.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ.ま.。 も.あ.あ.あ.あ. か. か. か. か. か. か. か. か. カ. オ. オ. オ. も.む.な.む.む.む.丸,丸,丸,丸,丸,む.む.む.肉.丸.む.む. も.あ.あ.あ.あ.あ.あ.あ.あ.あ.あ. あ. か. か. か. か. か. か. か. か えて、あ.カ.カ.カ.ガ. ホ. ホ. あ. あ. あ. あ. あ. か. 刻, 西, 南. 西. 南. 西. 本. 花. 西. 南. 西. 本. も. む. 敢. あ. あ. も. 主. 主. た. む. む. 表 10.5.5.5.10.10.5.6.6.5.5.5.6.6.6. の.あ.あ.あ.あ.む.な.ま、あ、お.お.お.お.お.お.お.お.お.あ.あ.あ.あ. 

**REAL ESTATE DEVELOPMENT 8** MANAGEMENT 200 N. MAIN STREET **OREGON, WI 53575** 

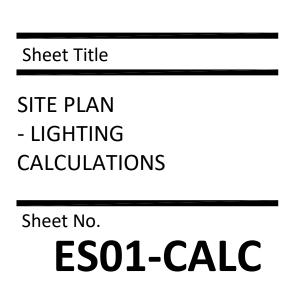




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CONSTRUCTION	ON DOCUMENTS
Project No.	JN DOCOMILINTS
Plot Date:	December 27, 2017
Drawn by:	BVE
	USER
Date	Issue Description
December 27, 201	7 Issued For Review
XXXXX	XXXX





1 SCALE 1/8"=1'-0"





2 EAST ELEVATION SCALE: 1/8"=1'-0"

3 WEST ELEVATION







REAL ESTATE DEVELOPMENT & MANAGEMENT 200 N. MAIN STREET OREGON, WI 53575

# GRAND FAMILY - BUILDING #6 at UNION CORNERS 2431 WINNEBAGO STREET MADISION, WI 53704

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Project No.	Project Number
Plot Date:	5/1/2018 3:31:45 PM
Drawn by:	Author

Date Issue Descriptio

#### Sheet Title

EXTERIOR BUILDING ELEVATIONS

A201

Sheet No.



CORRUGATED METAL PANEL - BRIGHT	
04 ROOF OVERALL PLAN	
HORIZONTAL COMPOSITE SIDING - WARM GRAY - DARK	
TRUSS BEARING 132'-3 7/8"	
NARROW RANGE BRICK - WARM GRAY - DARK	
03 FLOOR 1223'2 3/4"	
STANDING SEAM METAL - WARM GRAY - DARK DZ POOR 112'0 7/8"	



REAL ESTATE DEVELOPMENT & MANAGEMENT 200 N. MAIN STREET OREGON, WI 53575

GRAND FAMILY - BUILDING #7 at UNION CORNERS 2531 WINNEBAGO STREET MADISON, WI 53704

Project No.	Project Number
Plot Date:	5/1/2018 9:01:19 PM
Drawn by:	Author

Sheet Title EXTERIOR BUILDING ELEVATIONS

A201

Sheet No.