

URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

Date Submitted: <u>FEB. 21, 2017</u>	Informational Presentation Initial Approval Final Approval
UDC Meeting Date: <u>MARCH 22, 2017</u>	
Combined Schedule Plan Commission Date (if applicable): <u>APRIL 24, 2017</u>	

Please complete all sections of the application, including the desired meeting date and the type of action requested.

1. Project Address: 5712 ODANA ROAD - UDD #3
 Project Title (if any): SMART MOTORS - PRE-OWNED BUILDING

2. This is an application for (Check all that apply to this UDC application):
 New Development Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$500 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: JIM TRIATIK
 Street Address: 1314 EMIL ST.
 Telephone: (608) 257-2289 Fax: (608) 257-2906
 Project Contact Person: SAME AS ABOVE
 Street Address: _____
 Telephone: () _____ Fax: () _____

Company: SULLIVAN DESIGN BUILD
 City/State: MADISON WI Zip: 53713
 Email: JIM@SULLIVANDESIGNBUILD.COM

Company: _____
 City/State: _____ Zip: _____
 Email: _____

Project Owner (if not applicant): J.R. SMART
 Street Address: 5901 ODANA ROAD
 Telephone: (608) 275-7808 Fax: () _____

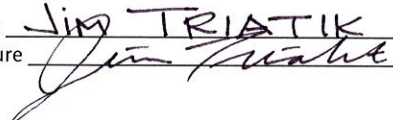
City/State: MADISON WI Zip: 53719
 Email: JRSMART@SMARTMOTORS.COM

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with AL MARTIN on 2-8-16.

(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

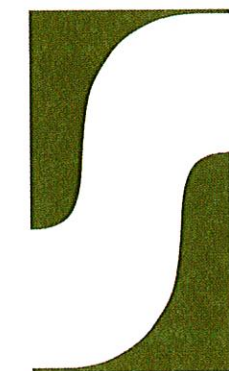
Name of Applicant JIM TRIATIK Relationship to Property ARCHITECT/BUILDER
 Authorized Signature  Date 2-20-17



SUBMITTAL TO:
CITY OF MADISON
Urban Design Commission

TYPE OF PROJECT:
Building Demolition/ new Pre-Owned
building
5712 Odana Road

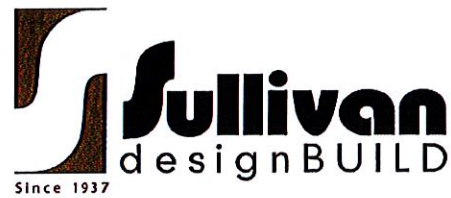
SUBMITTED:
02/22/2017



Since 1937

Sullivan
designBUILD

TEL: 608.257.2289



February 21, 2017

City of Madison
Department of Planning & Community & Economic Development
Madison Municipal Building
215 Martin Luther King Jr. Blvd., RM LL100
Madison, WI 53703

Re: Letter of Intent: Smart Motors, Inc. Pre-Owned Car Dealership, Madison, Wisconsin

To Whom It May Concern:

The following is submitted together with the plans and application for approval by City Planning Staff, the Plan Commission, and the Urban Design Commission.

Project Team:

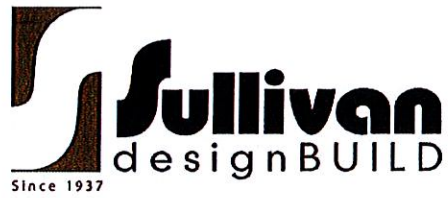
Applicant: Jim Budinetz
Smart Motors, Inc.
5901 Odana Road
Madison, WI 53719
(608) 275-7808
jbudinetz@smartmotors.com

Architect: Jim Triatik, AIA
Vice President/Architect
Sullivan DesignBUILD
1314 Emil Street
Madison, WI 53713
(608) 257-2289, ext. 6805
jim@sullivanandesignbuild.com

Engineer: Ryan Quam
Quam Engineering, LLC
4604 Siggelkow Road, Suite A
McFarland, WI 53558
(608) 838-7750
rquam@quamengineering.com

Landscape Architect: Jeremy Holmstadt / James Collar
Barnes, Inc.
6433 Nesbitt Road
Madison, WI 53719
(608) 845-3230

Legal: Bryan Esch
DeWitt Ross & Stevens S.C.
Two East Mifflin Street, Suite 600
Madison, WI 53703
(608) 395-6767
bce@dewittross.com



Introduction

Smart Motors, Inc. proposes the construction of a new pre-owned car dealership to be located at 5712 Odana Road. Once completed, the development will include a two-story building and asphalt parking area, which will be used primarily for the display and storage of pre-owned vehicle inventory. The development incorporates architectural features that are aesthetically similar to Smart Motors’ new car dealership located at 5901 Odana Road as well as landscaping features that are consistent with the goals of the Commercial Corridor – Transitional District (“CC-T”) and Urban Design District No. 3. Smart Motors has worked closely with Alder Mark Clear throughout the planning of this development and Alder Clear is supportive of the project.

The new development will require the demolition of two existing buildings located at 5712 and 5702 Odana Road. Therefore, this application is submitted for the demolition of the structures at those addresses and for a conditional use permit pursuant to MGO Sec. 28.067(3)(a)3.b so that the proposed building’s front yard setback may be extended to 100 feet.

Project Site

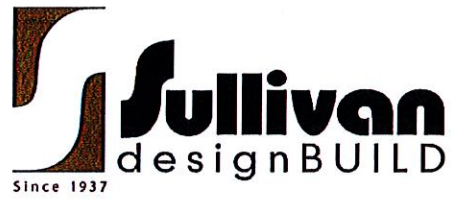
The 5.6-acre site for the development consists of two parcels located at 5712 Odana Road (Parcel No. 070930305284) and 5702 Odana Road (Parcel No. 070930305143). According to publicly available data listed on the City of Madison Assessor’s website, the combined land value of these two parcels (excluding improvements) is \$2,260,000. Both parcels are zoned CC-T.

Existing Site Conditions

The proposed development site is located at the northeast corner of the intersection of Odana Road and Tokay Boulevard in the City of Madison, Dane County, Wisconsin and includes two parcels at 5712 Odana Road and 5702 Odana Road. Each parcel includes an existing building and parking spaces used for vehicle inventory display and storage and for customer and employee parking. There is a driveway separating the 5712 and 5702 Odana Road parcels that is owned by a third party. Smart Motors is in the process of negotiating the purchase of this driveway. Surrounding properties consist of commercial uses, the majority of which are auto-related.

Project Description

The proposed development will be used as the location of Smart Motors’ pre-owned car dealership. The site will consist of a new, two-story building, which will be approximately 13,838 total square feet (10,952 sq. ft. on the main floor and 2886 square feet on the upper floor). The new building will be used as a pre-owned car dealership sales office and as private office space for Smart Motors’ employees.



The development at 5712 Odana Road will require Smart Motors to hire new full time employees, which will bring the total number of full time employees working at that location to approximately 35 individuals. Construction costs will be determined at a later date.

Hours of Operation

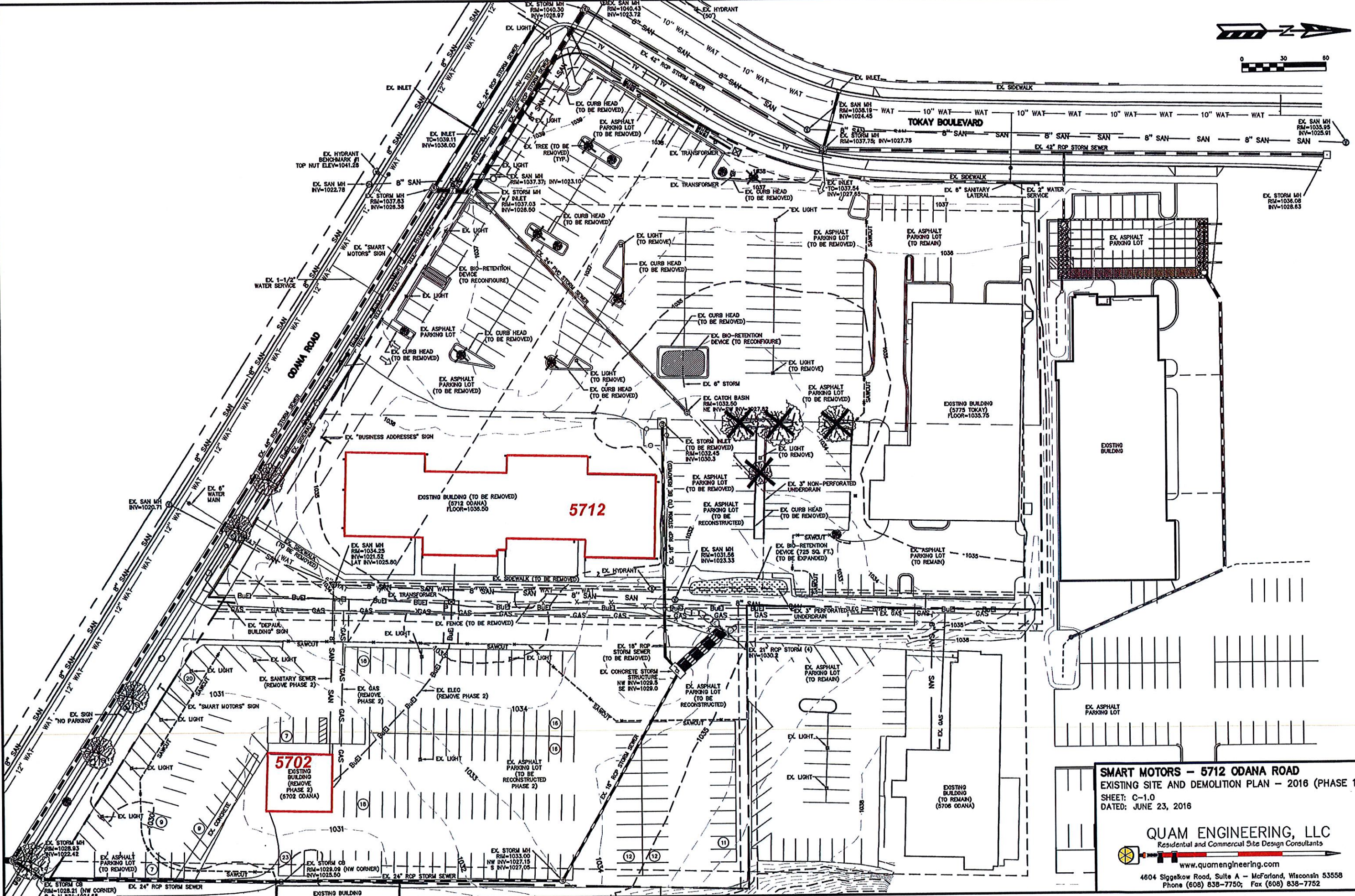
Mon. – Thurs. 7:00 a.m. – 8:00 p.m.
Fri. 7:00 a.m. – 6:00 p.m.
Sat. 7:00 a.m. – 4:00 p.m.
Sun. Closed

Project Schedule:

<u>Activity</u>	<u>Timeframe</u>
Submit for approvals	February 21, 2017
Start Demolition/Construction	Spring 2017
Finish Construction	Winter 2017

Sincerely,
Sullivan designBUILD

James M. Triatik, A.I.A.
Vice President / Project Architect



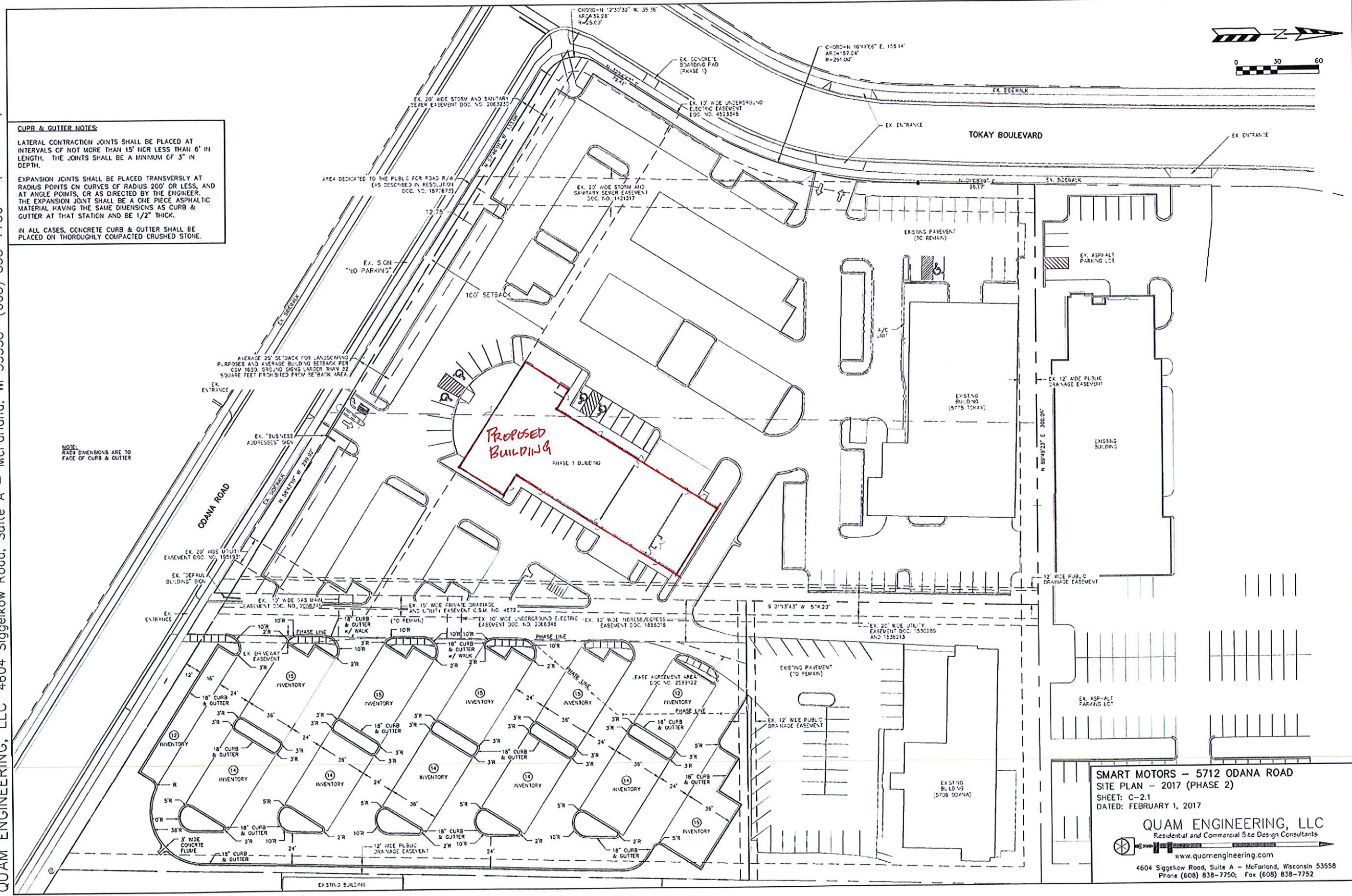
SMART MOTORS - 5712 ODANA ROAD
EXISTING SITE AND DEMOLITION PLAN - 2016 (PHASE 1)
SHEET: C-1.0
DATED: JUNE 23, 2016

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \SU-28-08\SU28BASE2013.DWG

CURB & GUTTER NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
 EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
 IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

NOTE:
 RADIUS DIMENSIONS ARE TO FACE OF CURB & GUTTER

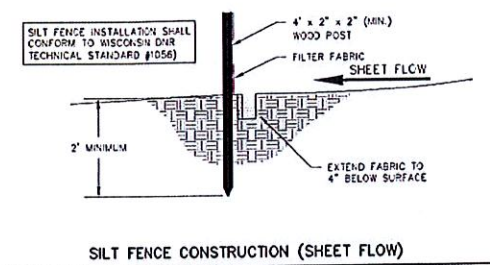
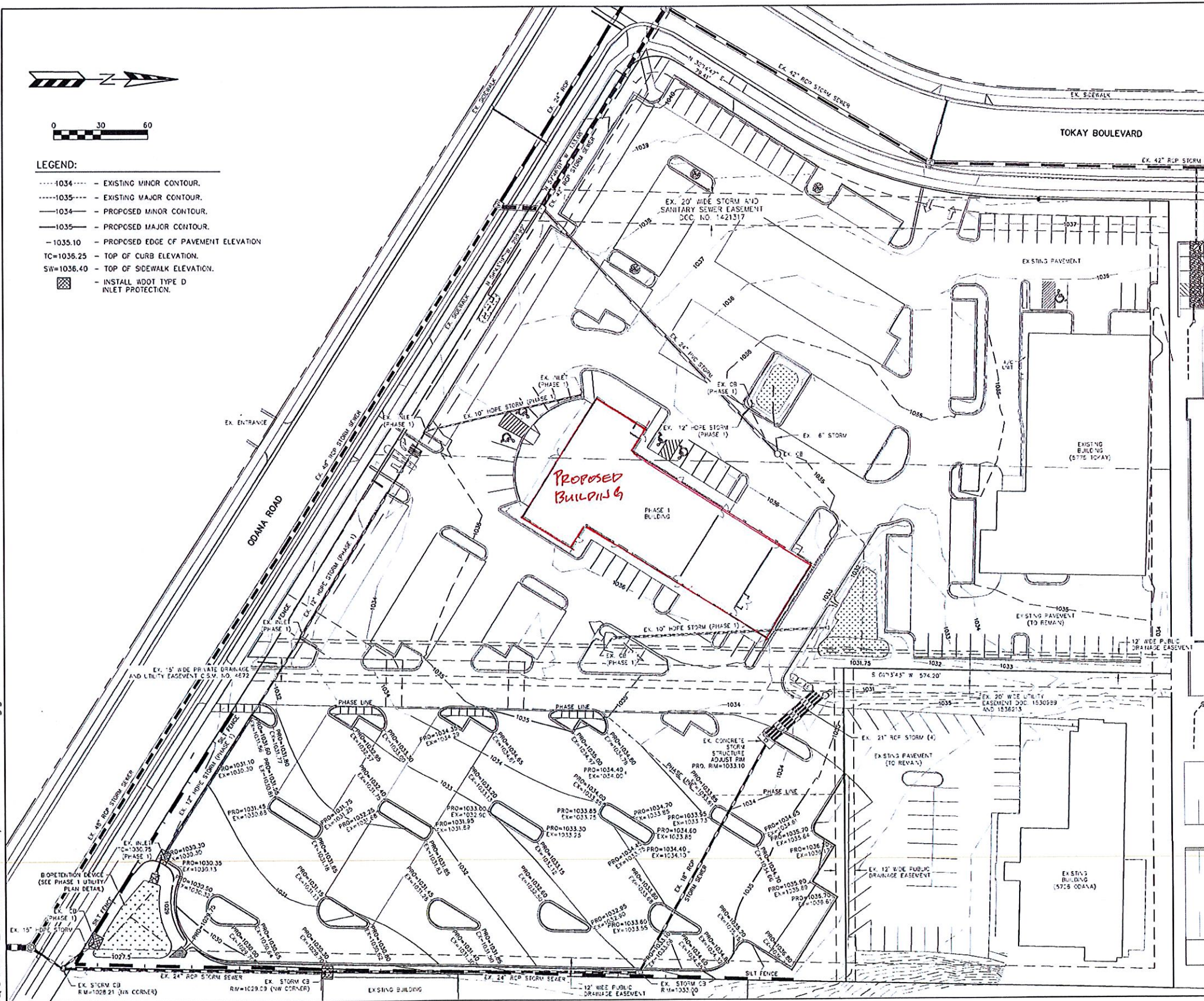


SMART MOTORS - 5712 ODANA ROAD
 SITE PLAN - 2017 (PHASE 2)
 SHEET: C-2.1
 DATED: FEBRUARY 1, 2017

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 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



- LEGEND:**
- 1034--- - EXISTING MINOR CONTOUR.
 - 1035--- - EXISTING MAJOR CONTOUR.
 - 1034— - PROPOSED MINOR CONTOUR.
 - 1035— - PROPOSED MAJOR CONTOUR.
 - 1035.10 - PROPOSED EDGE OF PAVEMENT ELEVATION
 - TC=1036.25 - TOP OF CURB ELEVATION.
 - SW=1036.40 - TOP OF SIDEWALK ELEVATION.
 - ▣ - INSTALL ROOT TYPE D INLET PROTECTION.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

100(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

- EROSION NOTES:**
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.
- TIME SCHEDULE:**
- | | |
|--------------------------------|---|
| MAY 15, 2018 | INSTALL INITIAL EROSION CONTROL DEVICES. |
| MAY 15 - AUGUST 15, 2018 | DEMOLISH EXISTING BUILDING, CONSTRUCT PARKING LOT IMPROVEMENTS AND RESTORE DISTURBED AREAS. |
| AUGUST 15 - SEPTEMBER 15, 2018 | CONSTRUCT BIO-RETENTION DEVICE |

RESTORATION NOTES:
 ALL LAWN AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE #0 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 830 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET.
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:
 SMART MOTORS
 ATTN: ALLEN FOSTER
 5901 ODANA ROAD
 MADISON, WI 53719

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

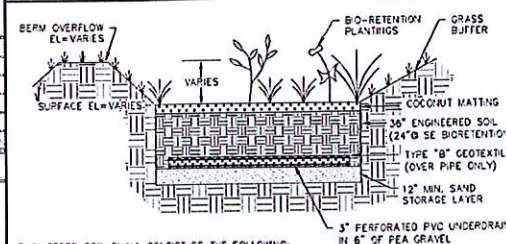
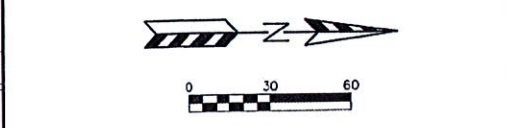
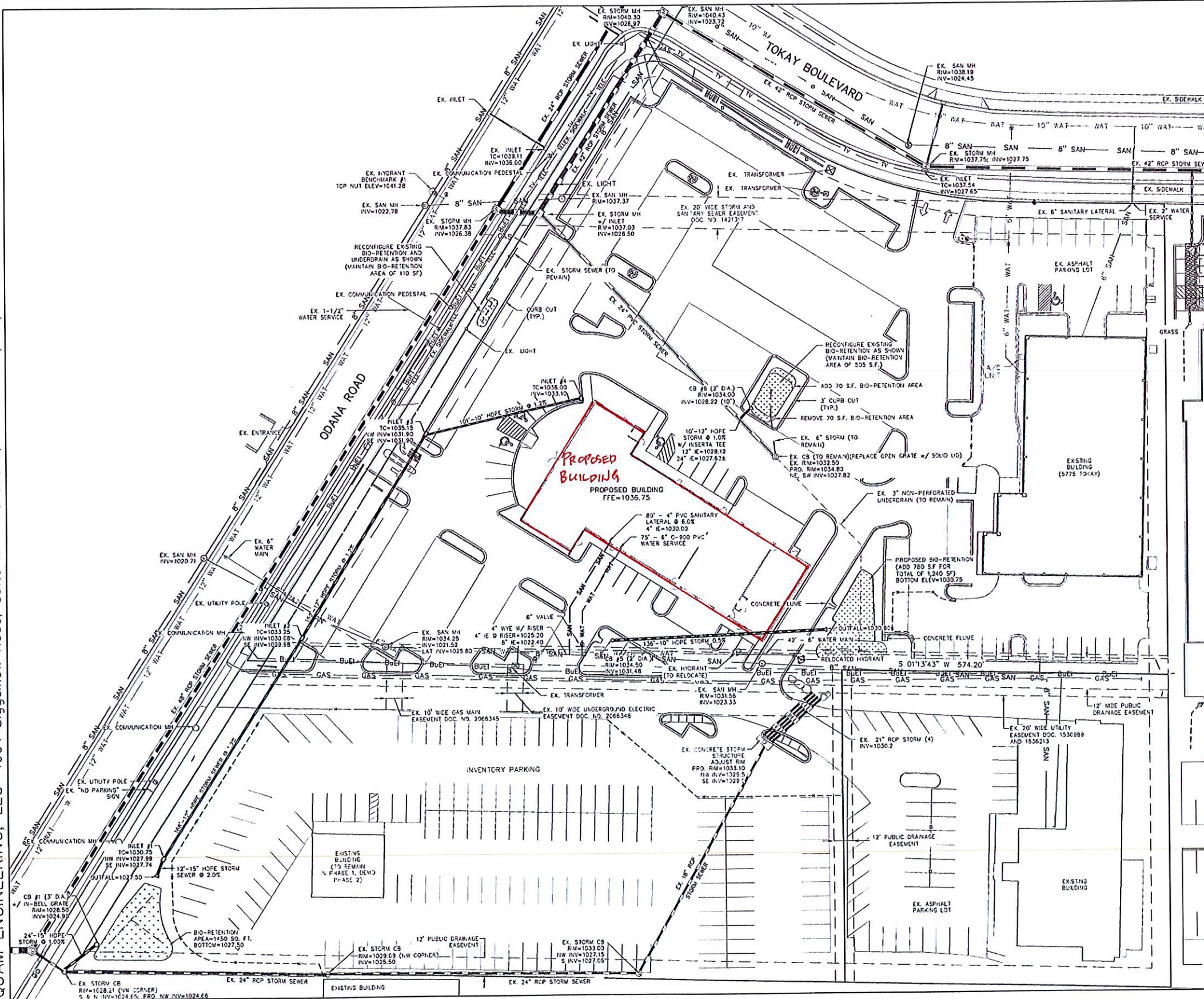
**SMART MOTORS - 5712 ODANA ROAD
 GRADING AND EROSION CONTROL PLAN-2017 (PHASE 2)**

SHEET: C-3.1
 DATED: FEBRUARY 1, 2017

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com

4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:
 70% SILICA SAND; 30% COMPOST #1 PH 5.5-6.5
 COMPOST SHALL MEET YOUR SPECIFICATION 5100.
 STORAGE/TIERFACE LAYER SHALL CONSIST OF SAND AS FOLLOWS:
 SAND: WASHED QUARTZ OR SILICA 0.02 - 0.04 INCHES IN DIA.
 BIORETENTION PLANTINGS TO BE PLANTED AT ONE PLUG PER SQUARE FOOT. PLUGS TO BE PLANT STOCK NAMED IN THE WET PRAIRIE SHORT STATURE MIX FROM AGRICOL CORPORATION OR APPROVED EQUIVALENT. A MINIMUM OF 10 DIFFERENT PLANT STOCK NAMES TO BE PLANTED.
 TO PREVENT COMPACTION OF ENGINEERED SOIL AND SUBSOILS, CONTRACTOR SHALL PROTECT AGAINST MACHINERY ENTERING OR COMPACTING THE BIO-RETENTION AREA.

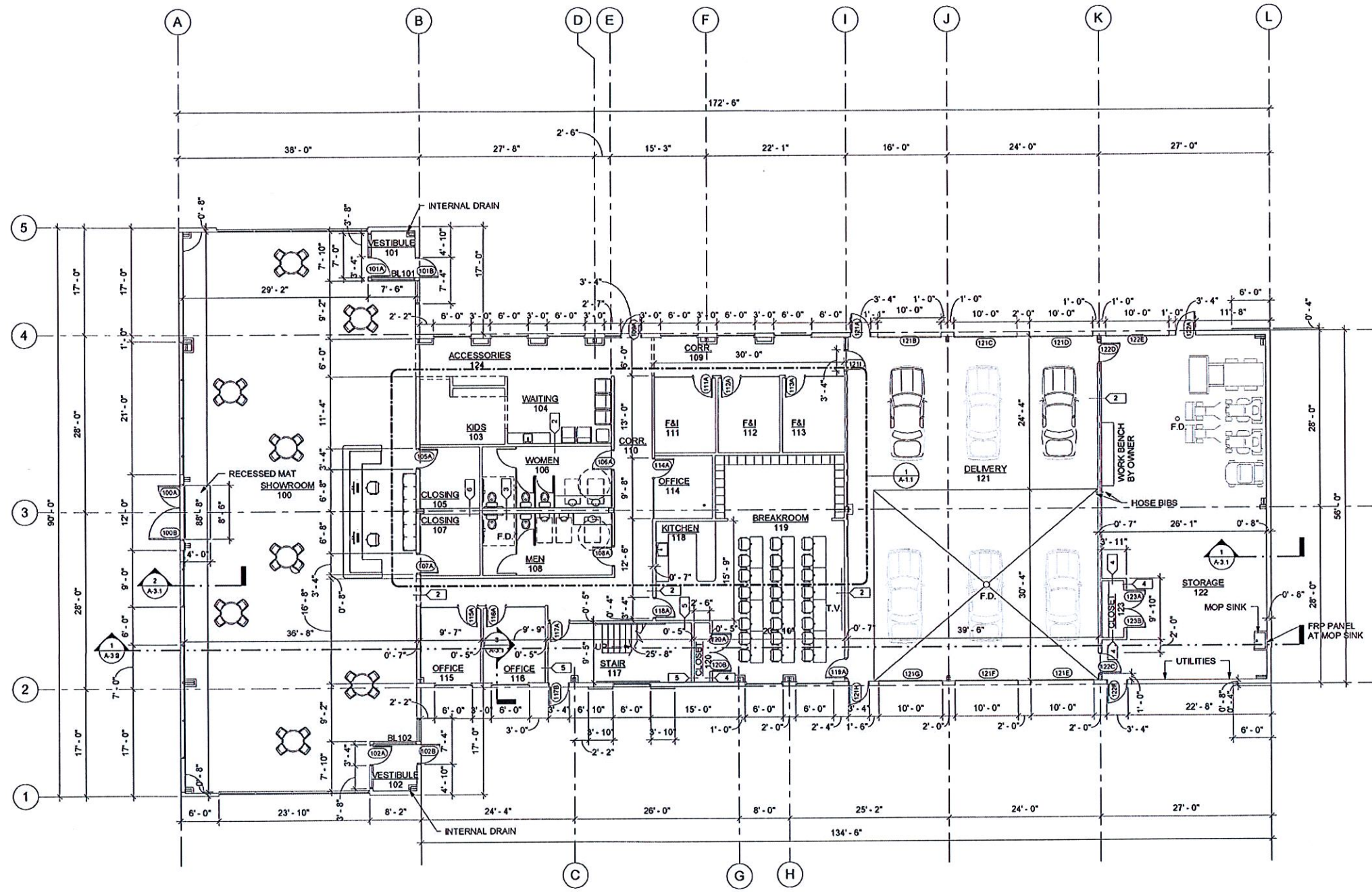
BIORETENTION DETAIL

GENERAL NOTES:
 ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PPE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.
 THE CONTRACTOR SHALL REPLACE ALL DAMAGED SIDEWALK AND CURB AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER.

UTILITY NOTES:
 ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.
 THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 ALL WATER MAIN SHALL BE BURED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
 MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
 ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2) OF STATE STATUTES.
 THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.
 ANY DAMAGE TO ODANA ROAD PAVEMENT WILL REQUIRE PATCHING IN ACCORDANCE WITH THE CITY ENGINEERING STREET PATCHING CRITERIA.
 THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

SMART MOTORS - 5712 ODANA ROAD
 UTILITY PLAN - 2017 (PHASE 1)
 SHEET: C-4.0
 DATED: FEBRUARY 1, 2017

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 4604 Siggekkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



1 FLOOR PLAN
1/8" = 1'-0"



INTERIOR WALL TYPES KEY
NOTE: ALL WALLS ARE TYPE 1 UNLESS OTHERWISE NOTED.

<p>1/2" GYPSUM BOARD 3/4" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" GYPSUM BOARD</p>	<p>1/2" GYPSUM BOARD 6" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" GYPSUM BOARD</p>	<p>1/2" CEMENT BOARD 17" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" CEMENT BOARD</p>
<p>1/2" GYPSUM BOARD 3/4" 20 GA. METAL STUDS AT 16" O.C. 1/2" GYPSUM BOARD</p>	<p>(1) LAYERS 1/2" GYPSUM BOARD 3/4" 20 GA. METAL STUDS AT 16" O.C. (1) LAYERS 1/2" GYPSUM BOARD</p> <p>1-HOUR FIRE RATING PER UL DESIGN NO. U465.</p>	<p>1/2" GYPSUM BOARD 17" 20 GA. METAL STUDS AT 16" O.C. R-11 BATT INSULATION 1/2" GYPSUM BOARD</p>

SMART MOTORS PRE-OWNED VEHICLES
NEW FACILITY
5712 ODANA RD
MADISON, WI 53719



1314 Erie St.
Madison, WI 53713
Tel: (608) 257-2200
Fax: (608) 257-2998

Sullivan
designBUILD
Since 1927

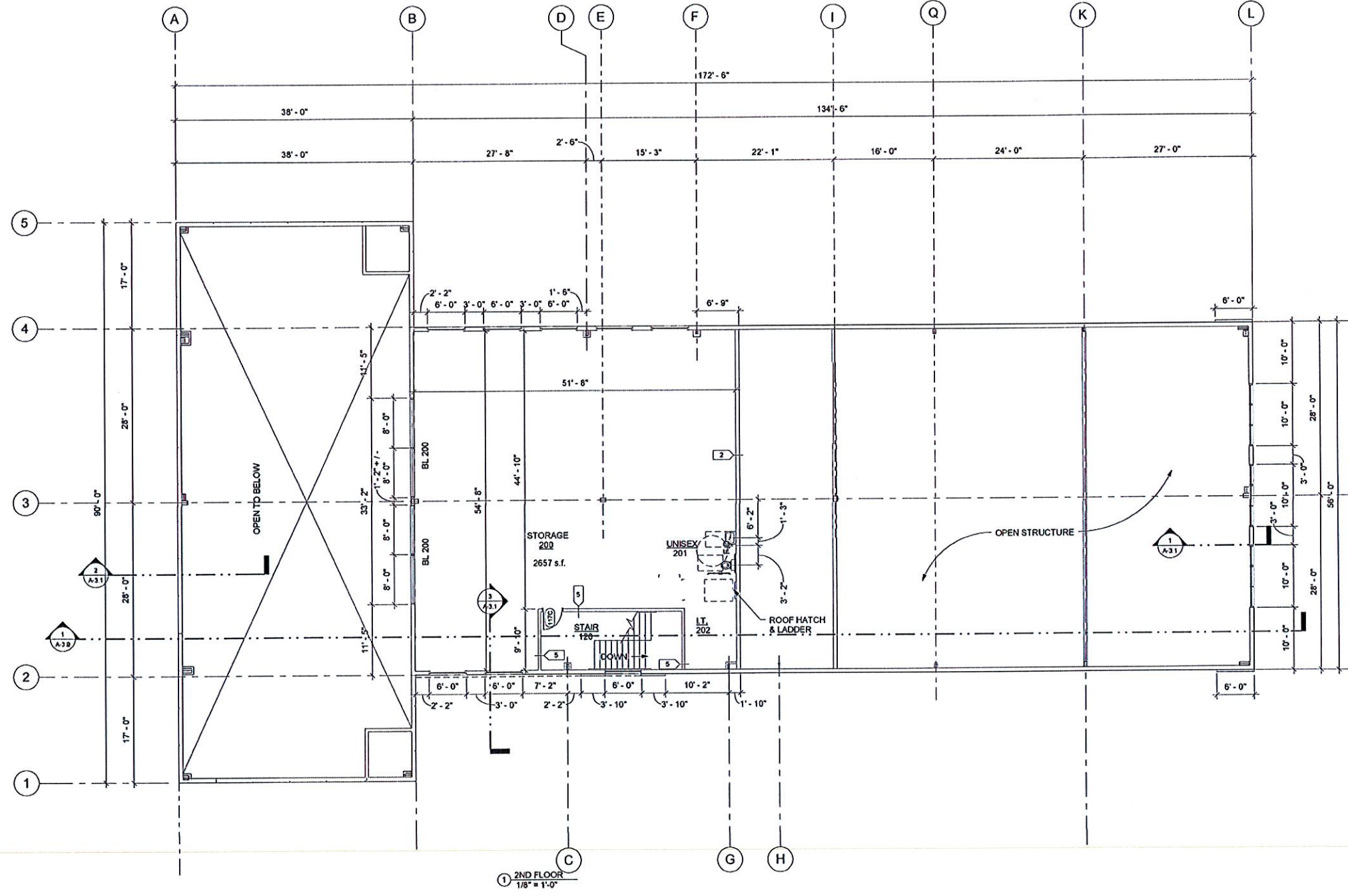
No.	Revision Schedule	Description	Date

DRAWING NAME:
OVERALL FLOOR PLAN

SHEET NO.:
A-1.0

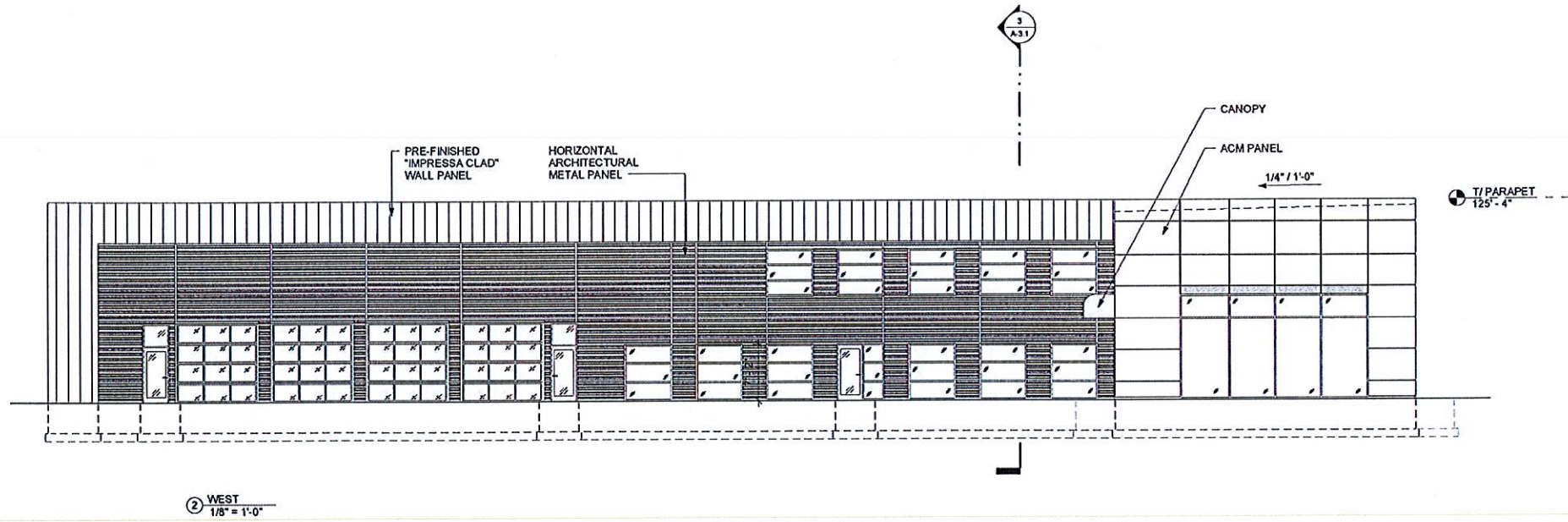
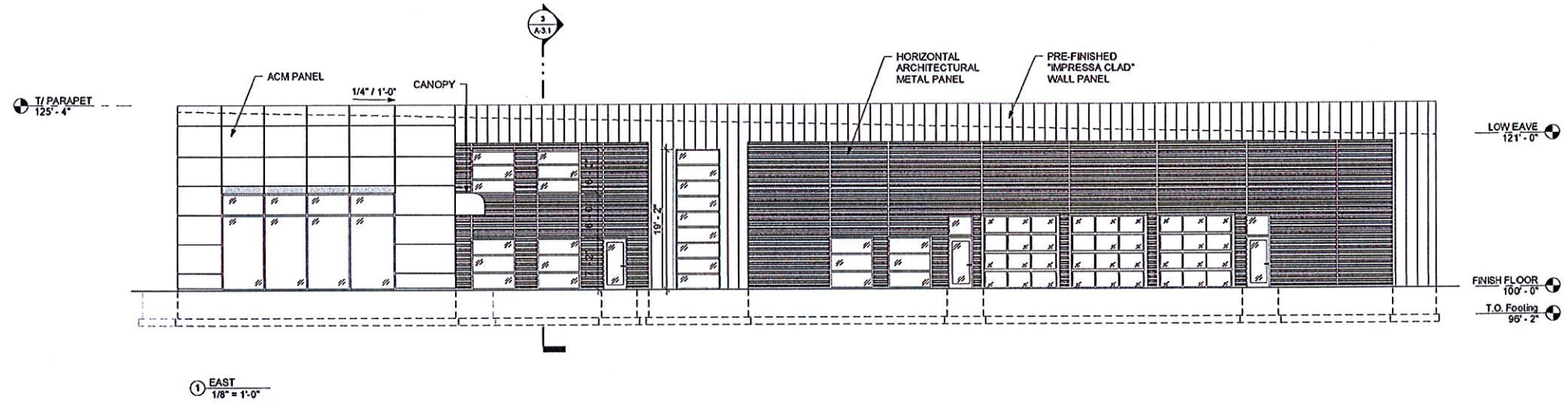
SCALE: 1/8" = 1'-0"
DRAWN BY: BSS
DATE: 2/15/2017

215-153



1 2ND FLOOR
1/8" = 1'-0"

SHEET NO. A-1.2 <small>215-153</small>	DRAWING NAME: 2ND FLOOR PLAN SCALE: 1/8" = 1'-0" DRAWN BY: BSS DATE: 2/12/2017	1314 Ermi St. Madison, WI 53713 Tel: (608) 257-2808 Fax: (608) 257-2806 Sullivan designBUILD Since 1937	SMART MOTORS PRE-OWNED VEHICLES NEW FACILITY 5712 ODANA RD MADISON, WI 53719 SMART MOTORS																					
		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">No.</th> <th style="width: 75%;">Revision Schedule</th> <th style="width: 20%;">Date</th> </tr> <tr> <th>No.</th> <th>Description</th> <th></th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>		No.	Revision Schedule	Date	No.	Description																
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No.	Description																							



SMART MOTORS PRE-OWNED VEHICLES



NEW FACILITY
5712 ODANA RD
MADISON, WI 53719



No.	Description	Date

DRAWING NAME:
ELEVATIONS

SCALE: 1/8" = 1'-0"
DRAWN BY: BSS
DATE: 2/1/2017

SHEET NO.
A-2.0

215-153

LOW EAVE
121'-0"

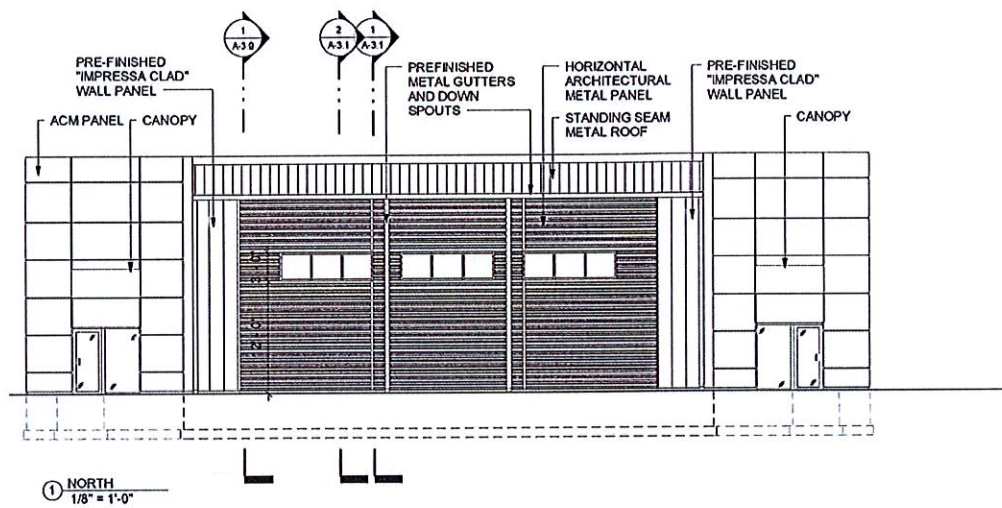
FINISH FLOOR
100'-0"

T.O. Footing
96'-2"

LOW EAVE
121'-0"

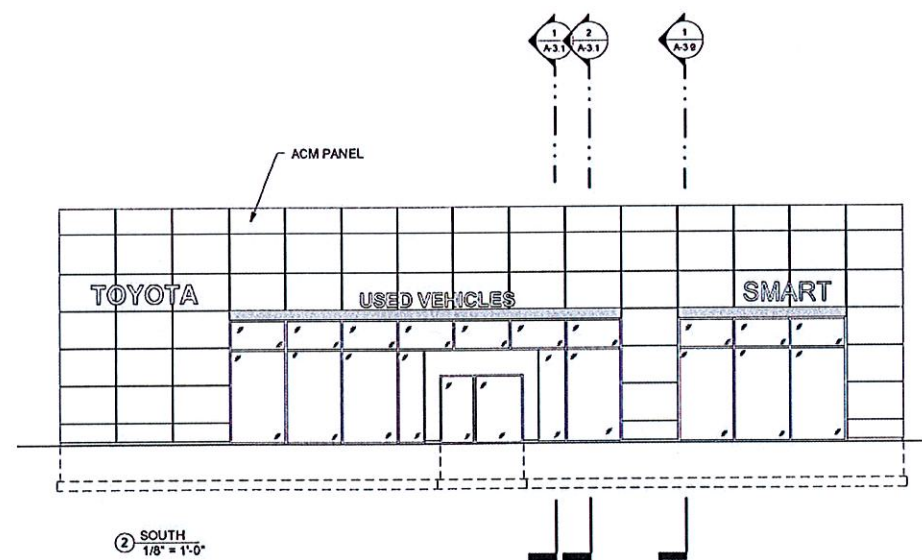
FINISH FLOOR
100'-0"

T.O. Footing
96'-2"



- T/ PARAPET 125'-4"
- LOW EAVE 121'-0"
- FINISH FLOOR 100'-0"
- T.O. Footing 96'-2"

① NORTH
1/8" = 1'-0"



② SOUTH
1/8" = 1'-0"

SMART MOTORS PRE-OWNED VEHICLES
NEW FACILITY
5712 ODANA RD
MADISON, WI 53719



1314 Emil St.
Madison, WI 53713
Tel: (608) 257-2289
Fax: (608) 257-2506

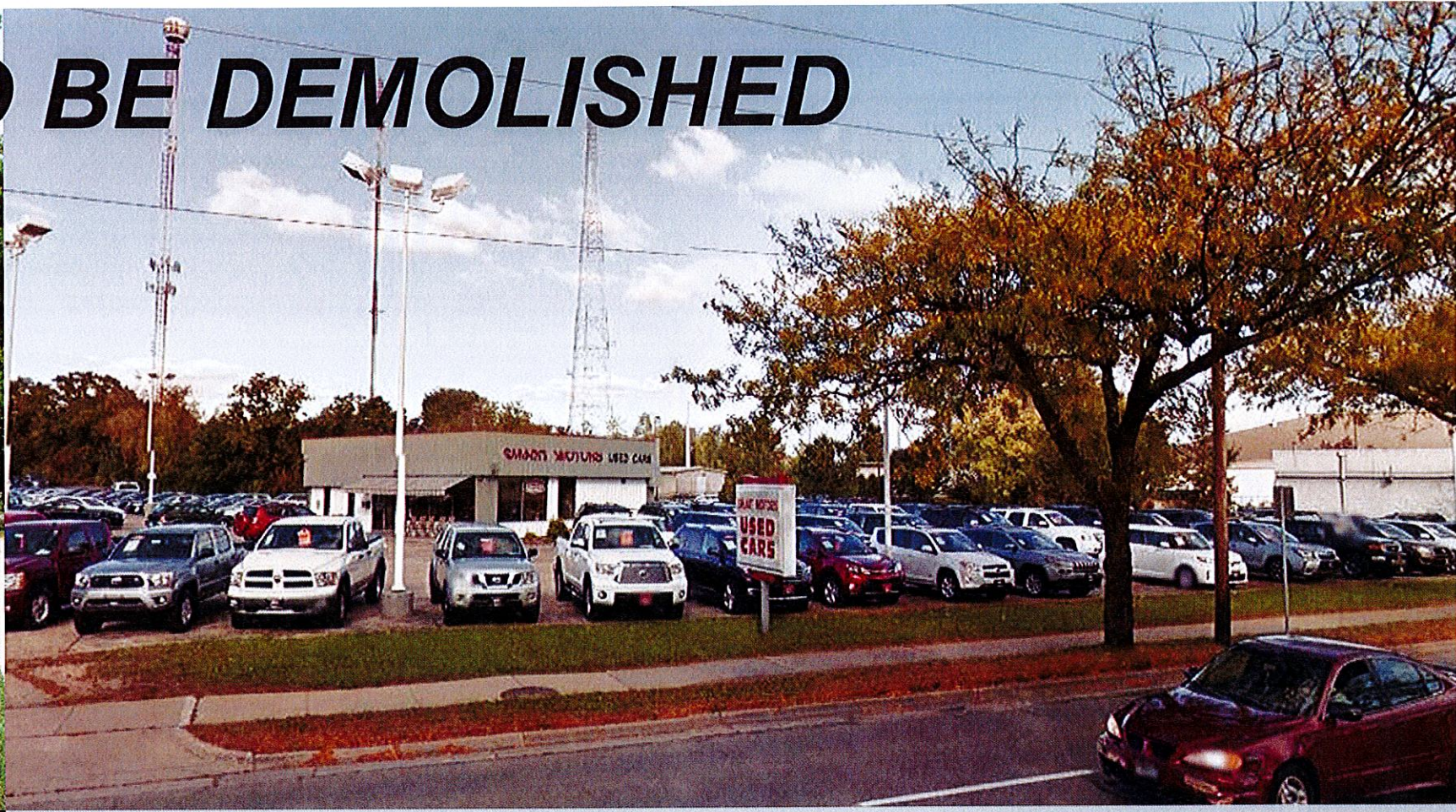
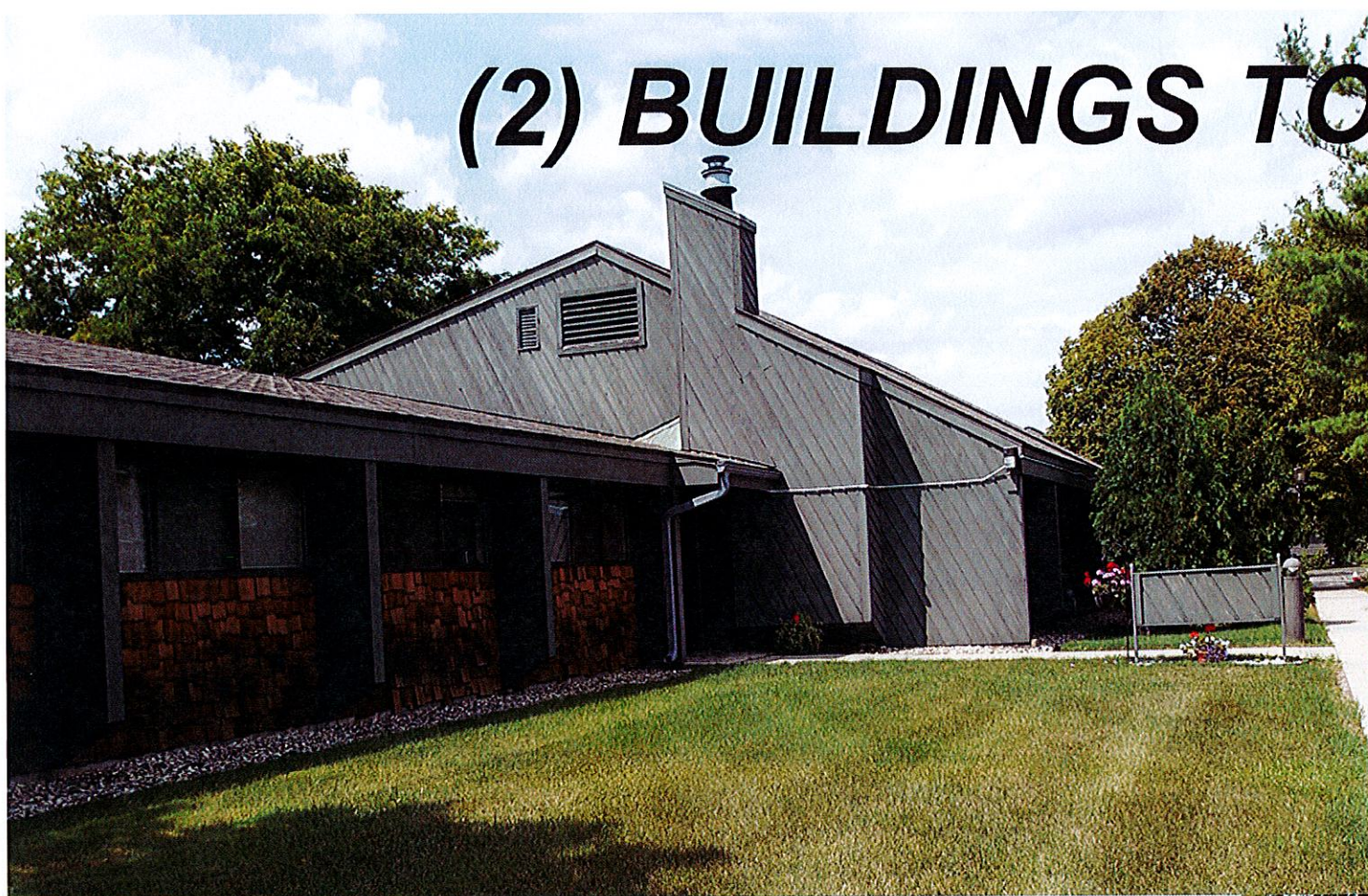


Revision Schedule	
No	Date

DRAWING NAME
ELEVATIONS
SCALE: 1/8" = 1'-0"
DRAWN BY: BSS
DATE: 2/20/17

SHEET NO.
A-2.1
215-153

(2) BUILDINGS TO BE DEMOLISHED



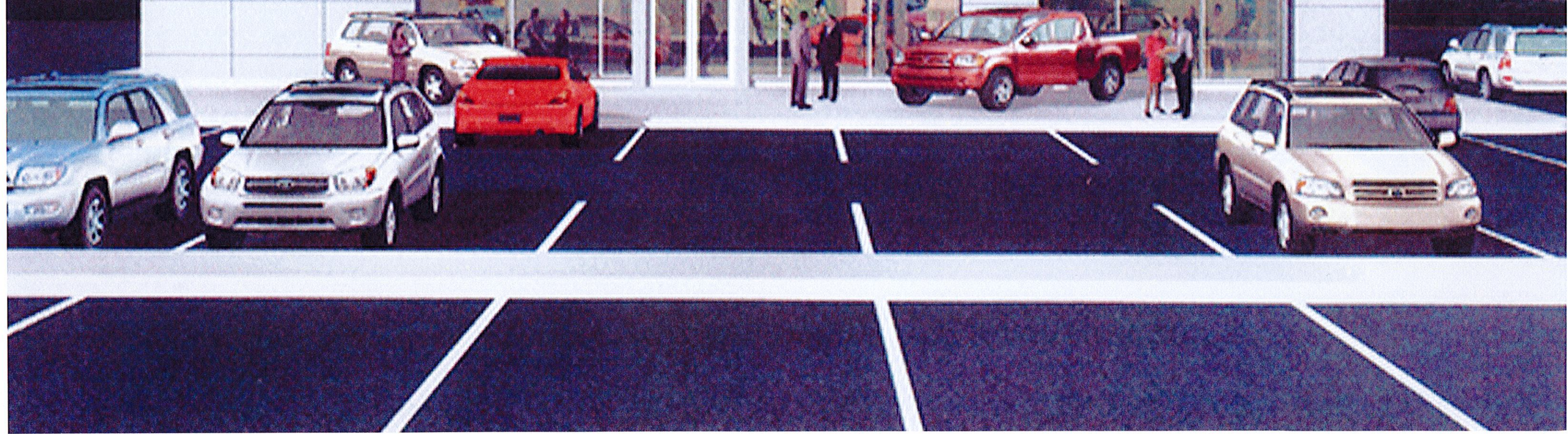
5702 ODANA RD.

5712 ODANA RD.



USED VEHICLES

DEALER NAME








TOYOTA

USED VEHICLES

SMART

CERTIFIED