



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: _____	<input type="checkbox"/> Initial Approval <input type="checkbox"/> Final Approval
UDC Meeting Date: <u>2-24-16</u>	
Combined Schedule Plan Commission Date (if applicable): _____	

1. Project Address: 5401 Tancho Drive
Project Title (if any): Tancho Drive Multi-Family Development (working name)

2. This is an application for (Check all that apply to this UDC application):

New Development Alteration to an Existing or Previously-Approved Development

A. Project Type: SIP for a previously approved GDP

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

AGENDA ITEM #	
LEGISTAR #	<u>70975</u>
ALD. DIST.	<u>17</u>

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee) Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: <u>Joseph Lee</u>	Company: <u>JLA Architects + Planners</u>
Street Address: <u>2418 Crossroads Drive - 2300</u>	City/State: <u>Madison, Wisconsin</u> Zip: <u>53718</u>
Telephone: <u>(608) 241-9500</u> Fax: <u>()</u>	Email: <u>jlee@jla-ap.com</u>

Project Contact Person: <u>Joseph Lee</u>	Company: <u>JLA Architects + Planners</u>
Street Address: <u>2418 Crossroads Drive - 2300</u>	City/State: <u>Madison, Wisconsin</u> Zip: <u>53718</u>
Telephone: <u>(608) 241-9500</u> Fax: <u>()</u>	Email: <u>jlee@jla-ap.com</u>

Project Owner (If not applicant): <u>Fiduciary Real Estate Development</u>	
Street Address: <u>789 N. Water Street - Suite 200</u>	City/State: <u>Milwaukee, Wisconsin</u> Zip: <u>53718</u>
Telephone: <u>(414) 226-4535</u> Fax: <u>()</u>	Email: <u>mschiltz@fred-inc.com</u>

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jay Wendt on November 9, 2015
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Joseph Lee Relationship to Property Project Designer

Authorized Signature _____ Date November 23, 2015



JOSEPH LEE + ASSOCIATES, LLC
2418 Crossroads Drive, Suite 2300
Madison, Wisconsin 53718
608.241.9500

January 6, 2016

Madison Plan Commission & Common Council
c/o Mr. Matt Tucker
Madison Zoning Administrator
215 Martin Luther King Jr. Boulevard
Madison, Wisconsin 53701-2985

RE: 22 Slate Apartments: PUD-SIP & CSM Submittals
5401 Tancho Drive

Mr. Tucker,

Please find enclosed, the following required materials for a PUD-SIP submittal and the UDC submittal, and associated CSM for our proposed "22 Slate Apartments" located at 5401 Tancho Drive on Madison's east side.

- Letter of Intent 59 total copies
 - 33 copies for SIP Submittal
 - 14 copies for UDC Submittal
 - 12 copies for CSM Submittal
- PUD-SIP Application
 - Seven (7) Full Size Plan Sets at 24"x36"
 - Twenty-Five (25) Reduced Sets at 11"x17"
 - One (1) Reduced Set at 8.5"x11"
 - One (1) Set of Storm Water Management Calculations
 - Application Fee
 - Fourteen (14) UDC Submittal Sets at 11"x17"
- CSM Application – Preliminary Plat
 - Eighteen (18) Sets at 11"x17"
- CD with Digital Files of Submittal

We respectfully request that our project be inserted into the Plan Commission/Common Council Meeting Schedule for review. Below is a brief description of the project.

Project Team:

The project team consists of the following members:

Owner:

Fiduciary Real Estate Development, Inc.

Architect:

JLA Architects & Planners

Civil Engineers:
 The Sigma Group
 JLA Architects & Planners

Landscape Architect:
 New Eden Landscape Architecture

Existing Site Conditions:

The 14.2 acre (+/-) site is located on the east side of Madison – just east of American Parkway. The site is currently a vacant parcel that is bordered by:

- Highway 151 to the east;
- Permanent open space and Madison parkland to the north;
- Various multi-family residential communities to the west and the south.

The site has a topographic change – dropping 10'-15' from north to south – and has no significant trees/vegetation. The site has an existing Storm Water management facility – shared with other adjacent buildings.

Project Program:

The "22 Slate Apartments" consists of seven (7) multi-family residential buildings and a single, stand-alone Clubhouse building. The buildings are organized around thoughtfully designed common greens that serve as common amenity space for the community. For this project, we are proposing to divide a single parcel into two (2) separate parcels via the Land Division/CSM process.

Residential Buildings:

There are two (2) different residential buildings types - Building Type 'A' and Building Type 'B'. Both are three story buildings above a single level of covered parking. They are to have a more traditional aesthetic to complement the existing traditional multi-family buildings adjacent to the project site.

BUILDING 'A'					
	TOTALS				
	Total Units		Common Space	Building Totals	
	833 A.S.F.			Area	Efficiency
	Qty.	Area			
Floor 5	-	-	-	-	#DIV/0!
Floor 4	-	-	-	-	#DIV/0!
Floor 3	15	12,410	2,380	14,790	83.9%
Floor 2	15	12,410	2,380	14,790	83.9%
Floor 1	14	11,810	2,980	14,790	79.9%
Totals	44	36,630	7,740	44,370	82.6%
Unit Breakdown	100%			1,008	s.f. per unit

NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change.

BUILDING 'B'					
	TOTALS				
	Total Units		Common Space	Building Totals	
	919 A.S.F.			Area	Efficiency
	Qty.	Area			
Floor 5	-	-	-	-	#DIV/0!
Floor 4	-	-	-	-	#DIV/0!
Floor 3	11	10,170	2,450	12,620	80.6%
Floor 2	11	10,170	2,450	12,620	80.6%
Floor 1	11	9,985	2,635	12,620	79.1%
Totals	33	30,325	7,535	37,860	80.1%
Unit Breakdown	100%			1,147	s.f. per unit

NOTE: Final Unit Counts, Types, Mix, and Sizes are subject to change.

Clubhouse Building:

The Clubhouse building will be a single story building with a basement level. At 3,500, it will contain the development's leasing office as well as common amenity spaces such as a club room, fitness center, and pool. Like the apartment buildings, the Clubhouse will have a more traditional aesthetic.

Density:

The total unit count for '22 Slate' is 264 units - resulting in a project density of 18.6 units/per acre. These units are comprised of the following unit mix:

- 14% Studio Units
- 44% One-Bedroom Units
- 6% One-Bedroom + Den Units
- 28% Two-Bedroom Units
- 8% Three-Bedroom Units.

Project Data

Currently, the Project Data for '22 Slate' is as follows:

22 SLATE PROJECT DATA									1/6/2016
BUILDING					PARKING				
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
A1	Multi-Family Residential	15,000 S.F.	45,000 S.F.	44	44	24	68	1.55 PER UNIT	
A2	Multi-Family Residential	15,000 S.F.	45,000 S.F.	44	44	24	68	1.55 PER UNIT	
A3	Multi-Family Residential	15,000 S.F.	45,000 S.F.	44	44	24	68	1.55 PER UNIT	
B1	Multi-Family Residential	13,000 S.F.	39,000 S.F.	33	33	18	51	1.55 PER UNIT	
B2	Multi-Family Residential	13,000 S.F.	39,000 S.F.	33	33	18	51	1.55 PER UNIT	
B3	Multi-Family Residential	13,000 S.F.	39,000 S.F.	33	33	18	51	1.55 PER UNIT	
B4	Multi-Family Residential	13,000 S.F.	39,000 S.F.	33	33	18	51	1.55 PER UNIT	
CH	Clubhouse	3,500 S.F.	3,500 S.F.	0	0	2	2	0.00 PER UNIT	
TOTALS		100,500 S.F.	294,500 S.F.	264	264	146	410	1.55 PER UNIT	

22 SLATE - BIKE PARKING					
BUILDING		BICYCLE PARKING			
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO
A1	44	44	6	50	1.14 PER UNIT
A2	44	44	6	50	1.14 PER UNIT
A3	44	44	6	50	1.14 PER UNIT
B1	33	33	4	37	1.12 PER UNIT
B2	33	33	4	37	1.12 PER UNIT
B3	33	33	4	37	1.12 PER UNIT
B4	33	33	4	37	1.12 PER UNIT
CLUBHOUSE		0	12	12	
TOTALS	264	264	46	310	1.17 PER UNIT

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	18.57 Units/Acre	264 Units / 14.22 AC. = 18.57
BUILDING COVERAGE	16.2% of Parcel	100,500 S.F. / 619,231 S.F. = 16.2%
FLOOR AREA RATIO	47.6% of Parcel	294,500 S.F. / 619,231 S.F. = 47.6%
IMPERVIOUS SURFACE	37.6% of Parcel	233,078 S.F. / 619,231 S.F. = 37.6%
LANDSCAPE AREA	62.4% of Parcel	386,153 S.F. / 619,231 S.F. = 62.4%

Project Schedule:

Currently, the anticipated Construction Schedule would be as follows. However, changing market conditions could result in either the acceleration or delay in this schedule.

- Phase 1
 - o Clubhouse – May 2016 to December 2016
 - o Building B2 – May 2016 to March 2017
 - o Building B4 – July 2016 to April 2017
 - o Building B3 – September 2016 to June 2017
 - o Building A3 – November 2016 to August 2017

- Phase 2
 - o Building A2 – July 2017 to April 2018
 - o Building B1 – September 2017 to June 2018
 - o Building A1 – November 2017 to August 2018

Project Cost:

The current anticipated value & construction cost of the project is as follows:

- Land Value \$2,480,000
- Total Construction Cost \$37,750,000

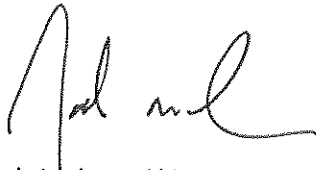
Post-Occupancy Operation:

After the completion of the project – it is anticipated that there would be seven (7) full-time equivalent jobs create. These will be a combination of Property Managers, Office Staff, Leasing Agents, and Maintenance Staff. The regular office hours would be as follows:

- Mondays-Fridays 8:00AM - 6:00PM
- Saturdays 10:00AM - 5:00PM
- Sundays 11:00AM - 4:00PM

We look forward to working with you, and other City of Madison Departments on this project. Please feel free to contact us if you have any questions or need anything else.

Regards,



Joseph M. Lee, AIA
JLA Architects + Planners

22 SLATE APARTMENTS

5401 Tancho Drive
Madison, Wisconsin



URBAN DESIGN COMMISSION SUBMITTAL IN CONJUNCTION WITH:

PUD-SIP Submittal

JLA
architects

 **Fiduciary**
REAL ESTATE DEVELOPMENT, INC

JLA PROJECT NUMBER: 15-0617

January 6, 2016

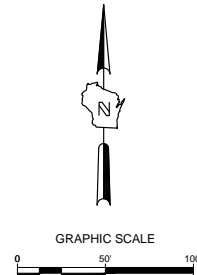
These documents reflect progress and intent and may be subject to change, including additional detail. There are not final construction documents and should not be used for final bidding or construction-related purposes.

REVISION SCHEDULE		
Mark	Description	Date

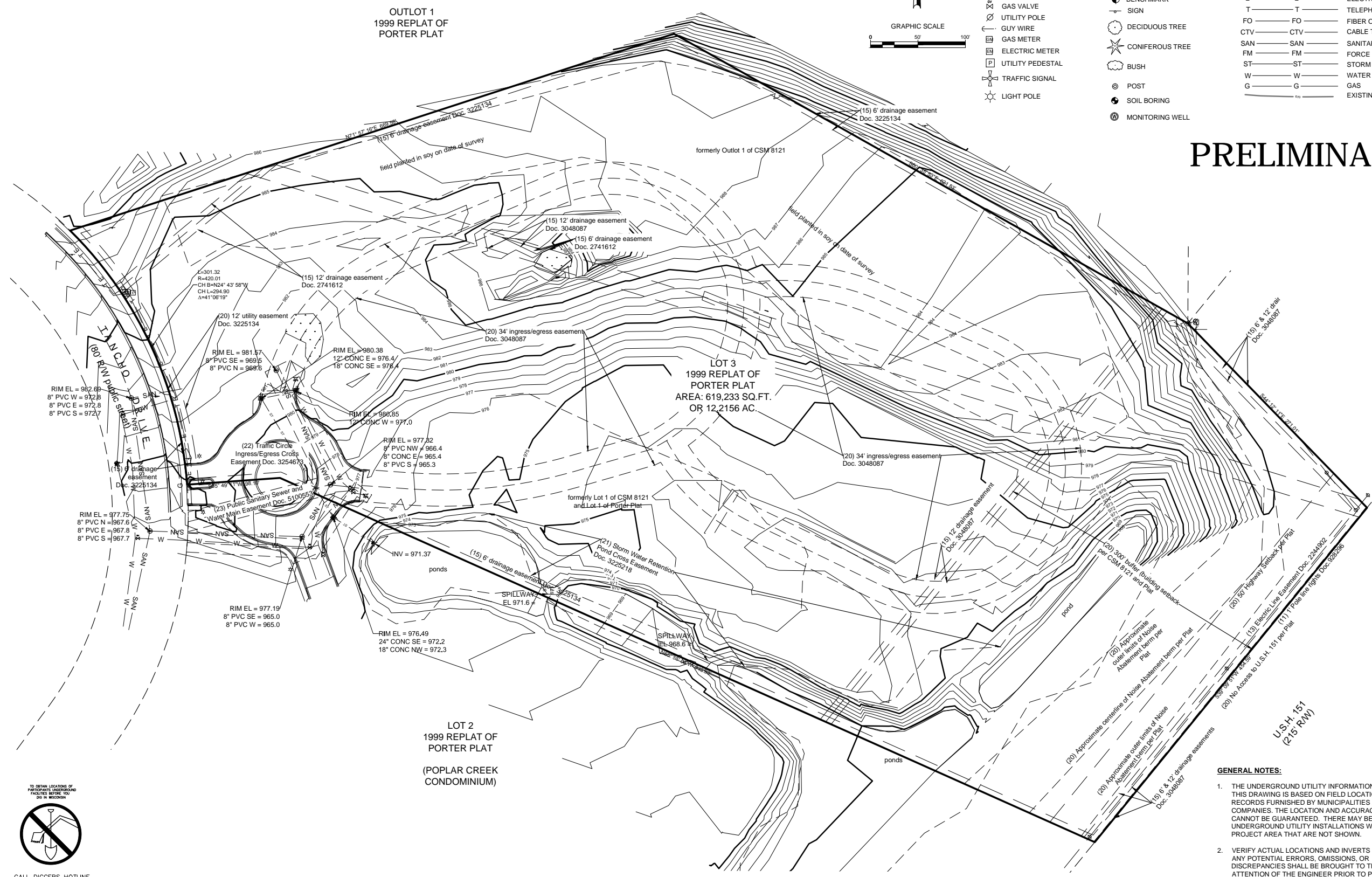
LEGEND:

— — — — —	SECTION 1/4 SECTION LINE
— — — — —	PROPERTY LINE
— — — — —	EASEMENT
-X-X-X-	CHAIN LINK FENCE
~~~~~	TREE LINE
OH — OH	OVERHEAD UTILITY LINE
E — E	ELECTRIC
T — T	TELEPHONE
FO — FO	FIBER OPTIC
CTV — CTV	CABLE TV
SAN — SAN	SANITARY SEWER
FM — FM	FORCE MAIN
ST — ST	STORM SEWER
W — W	WATER MAIN
G — G	GAS
— — — — —	EXISTING CONTOUR

- MANHOLE
- CATCH BASIN (ROUND)
- ROOF DRAIN
- HYDRANT
- WATER VALVE
- GAS VALVE
- UTILITY POLE
- GUY WIRE
- GAS METER
- ELECTRIC METER
- UTILITY PEDESTAL
- TRAFFIC SIGNAL
- LIGHT POLE
- IRON PIPE FOUND/SET
- REBAR FOUND/SET
- CHISELED CROSS FOUND/SET
- PK NAIL FOUND/SET
- SPIKE/NAIL
- MONUMENT
- BENCHMARK
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- POST
- SOIL BORING
- MONITORING WELL



**PRELIMINARY**



- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP, INC. ON SEPTEMBER 2015.
  4. DATUM FOR THE PROJECT SURVEY IS NAVD88. BENCHMARK FOR THE PROJECT SURVEY IS 1 1/2" REBAR IN MONUMENT BOX AT THE SW CORNER OF SECTION 14-8-10, WITH AN ELEVATION OF 950.41, PER CITY OF MADISON MONUMENT RECORD INDEX NO. 810087.

File: I:\Joseph Lee & Associates\15669 Tancho Drive\060 CAD\C - Civil\1500 Production - Civil Plans\500-Site Survey\15669 SURVEY.dwg



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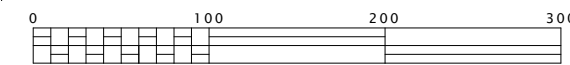
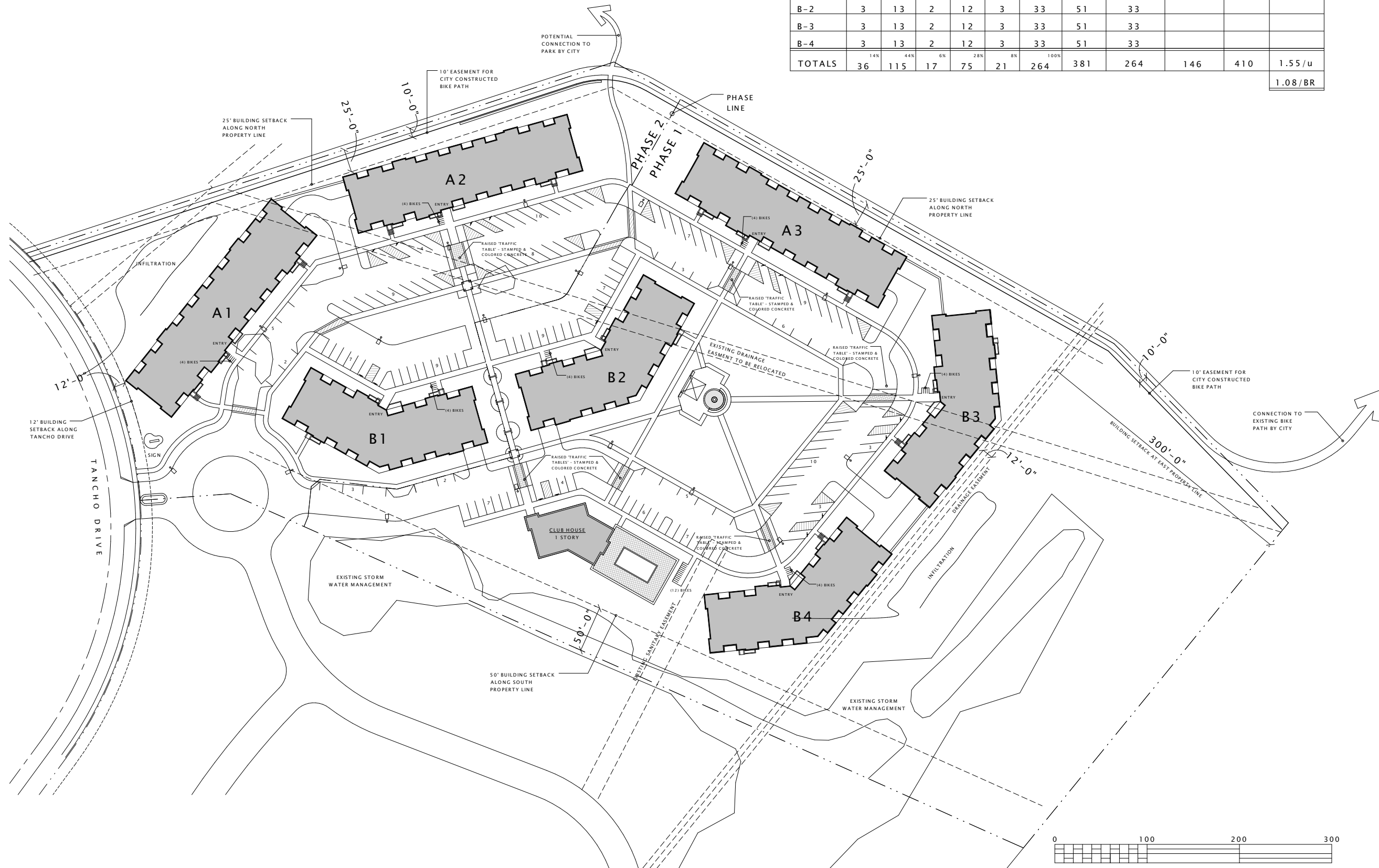
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

OUTLOT 1  
1999 REPLAT OF  
PORTER PLAT

LOT 3  
1999 REPLAT OF  
PORTER PLAT  
AREA: 619,233 SQ.FT.  
OR 12.2156 AC.

LOT 2  
1999 REPLAT OF  
PORTER PLAT  
(POPLAR CREEK  
CONDOMINIUM)

	UNITS								PARKING			
	ST.	1BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO	
A-1	8	21	3	9	3	44	59	44				
A-2	8	21	3	9	3	44	59	44				
A-3	8	21	3	9	3	44	59	44				
B-1	3	13	2	12	3	33	51	33				
B-2	3	13	2	12	3	33	51	33				
B-3	3	13	2	12	3	33	51	33				
B-4	3	13	2	12	3	33	51	33				
<b>TOTALS</b>	36	115	17	75	21	264	381	264	146	410	1.55/u	
											1.08/BR	



SCALE: ONE INCH = ONE HUNDRED FEET

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE January 6, 2016

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE PLAN - OVERALL

SHEET NUMBER

ASP-100



# PRELIMINARY

DISTURBANCE AREA= 11.06 ACRES

OUTLOT 1  
1999 REPLAT OF  
PORTER PLAT

INFILTRATION BASIN  
SHALL BE CONSTRUCTED  
FOLLOWING SITE  
STABILIZATION. PROVIDE  
CONSTRUCTION FENCE  
AROUND INFILTRATION  
BASIN DURING  
CONSTRUCTION TO  
PROTECT INFILTRATION  
BASIN FROM  
DISTURBANCE.

INFILTRATION BASIN A  
C401

PHASE 2

PHASE 1

LOT 3  
1999 REPLA  
PORTER PLAT  
AREA: 619,233 SQ.FT.  
OR 14.2156 AC.

LOT 2  
1999 REPLAT OF  
PORTER PLAT  
(POPLAR CREEK  
CONDOMINIUM)



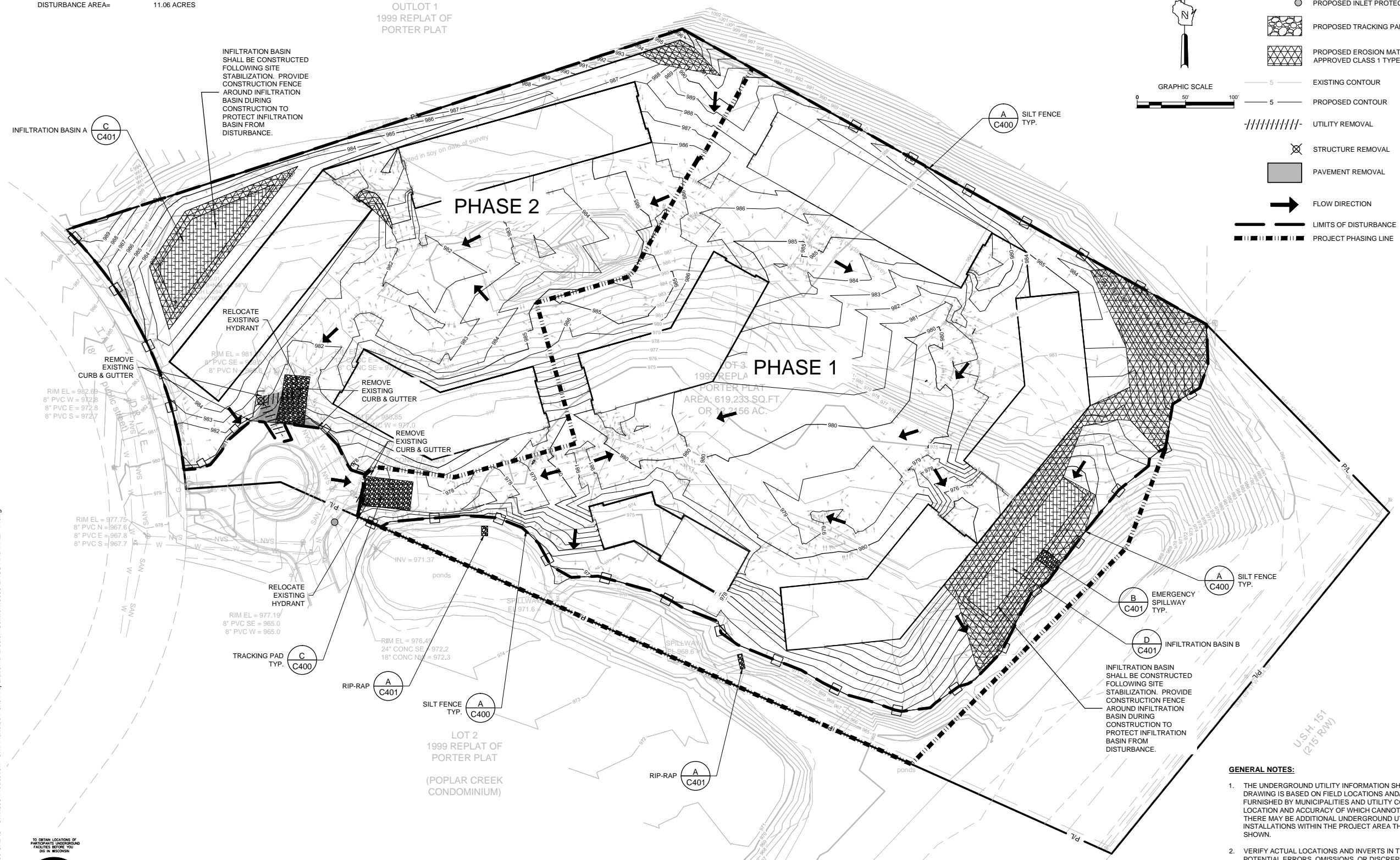
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WIS STATUTE 182.07(1)(7)(A)  
REQUIRES 3 WORK DAYS  
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### LEGEND:

- PROPOSED SILT FENCE (A C400)
- PROPOSED INLET PROTECTION (B C400)
- PROPOSED TRACKING PAD (C C400)
- PROPOSED EROSION MATTING WISDOT APPROVED CLASS 1 TYPE B (E C401)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- UTILITY REMOVAL
- STRUCTURE REMOVAL
- PAVEMENT REMOVAL
- FLOW DIRECTION
- LIMITS OF DISTURBANCE
- PROJECT PHASING LINE



INFILTRATION BASIN  
SHALL BE CONSTRUCTED  
FOLLOWING SITE  
STABILIZATION. PROVIDE  
CONSTRUCTION FENCE  
AROUND INFILTRATION  
BASIN DURING  
CONSTRUCTION TO  
PROTECT INFILTRATION  
BASIN FROM  
DISTURBANCE.

INFILTRATION BASIN B  
C401

EMERGENCY  
SPILLWAY  
TYP.  
C401

SILT FENCE  
TYP.  
C400

RIP-RAP  
C401

SILT FENCE  
TYP.  
C400

RIP-RAP  
C401

SILT FENCE  
TYP.  
C400

RIP-RAP  
C401

SILT FENCE  
TYP.  
C400

RIP-RAP  
C401

SILT FENCE  
TYP.  
C400

RIP-RAP  
C401

SILT FENCE  
TYP.  
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RIP-RAP  
C401

SILT FENCE  
TYP.  
C400

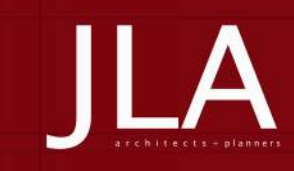
RIP-RAP  
C401

SILT FENCE  
TYP.  
C400

RIP-RAP  
C401

### GENERAL NOTES:

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2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.



JLA PROJECT NUMBER: 15-0617



THE SIGMA GROUP  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

Fiduciary Real Estate  
Development

PUD-SIP Submittal

22 SLATE

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DATE OF ISSUANCE JANUARY 6, 2016

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE  
**EROSION CONTROL AND  
SITE PREPARATION PLAN**

SHEET NUMBER

**C 002**

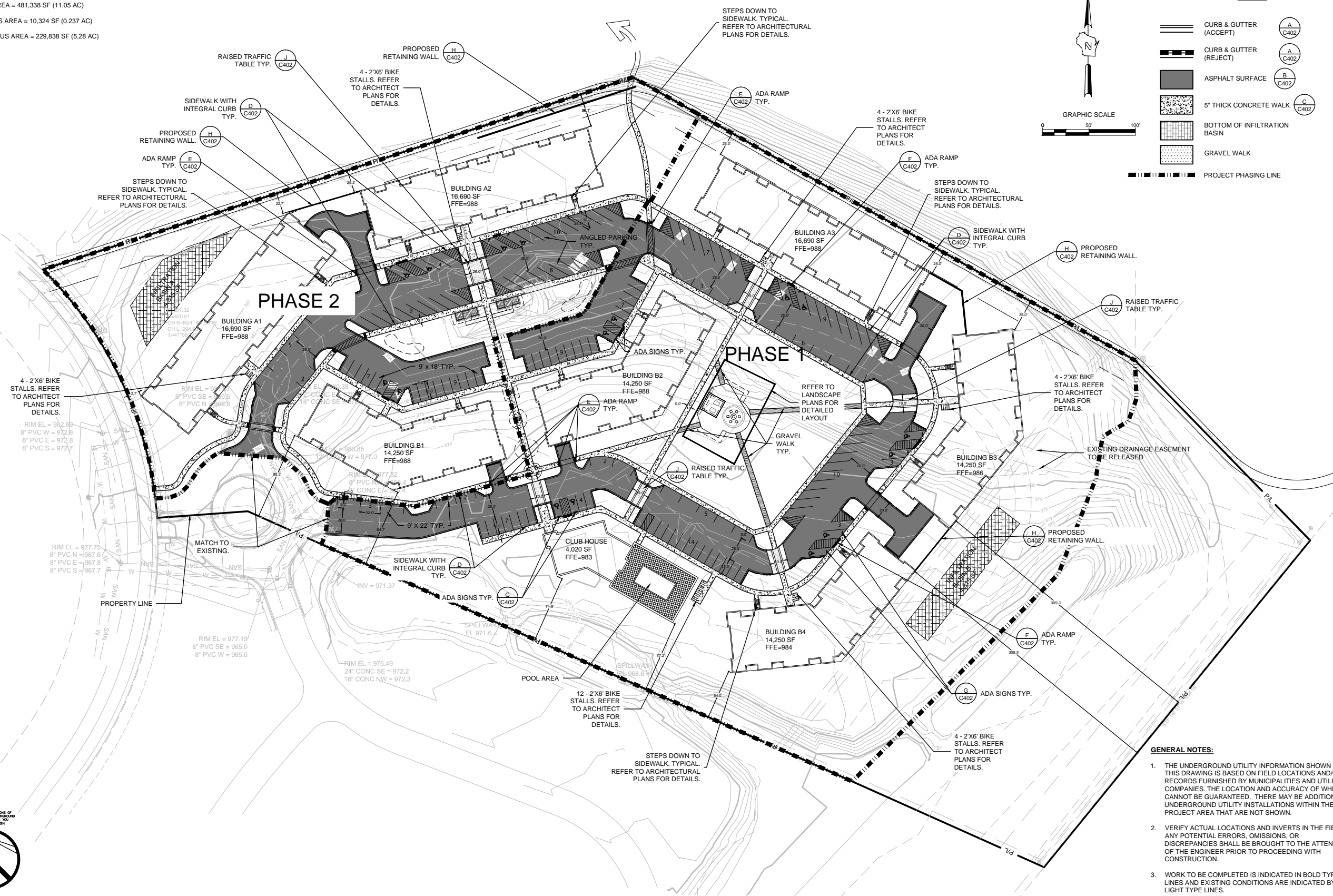
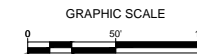
# PRELIMINARY

**SITE INFORMATION:**

TOTAL SITE = 619,233 SF (12.21 AC)  
 TOTAL DISTURBED AREA = 481,338 SF (11.05 AC)  
 EXISTING IMPERVIOUS AREA = 10,324 SF (0.237 AC)  
 PROPOSED IMPERVIOUS AREA = 229,838 SF (5.28 AC)

**LEGEND:**

- CURB & GUTTER (ACCEPT) (A C402)
- CURB & GUTTER (REJECT) (A C402)
- ASPHALT SURFACE (B C402)
- 5' THICK CONCRETE WALK (C C402)
- BOTTOM OF INFILTRATION BASIN
- GRAVEL WALK
- PROJECT PHASING LINE



File: I:\Joseph Lee & Associates\15669 Tanecho Drive\060 CAD\C - Civil\15669 Production - Civil Plans\503-Site Dimension Plan\15669 SITE DIM P.dwg



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**INFILTRATION BASIN INFORMATION**  
 TOTAL DISTURBED AREA = 481,338 SF (11.05 AC)  
 2% OF DISTURBED AREA = 9628 (0.22 AC)  
 INFILTRATION BASIN A = 4,815 SF (0.11 AC)  
 INFILTRATION BASIN B = 4,815 SF (0.11 AC)  
 INFILTRATION BASIN TOTAL = 9,630 (0.22 AC)

**GENERAL NOTES:**

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3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
6. WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.



JLA PROJECT NUMBER: 15-0617  
**Fiduciary**  
 REAL ESTATE DEVELOPMENT, INC.

**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210

Fiduciary Real Estate Development

PUD-SIP Submittal

22 SLATE

**PROGRESS DOCUMENTS**  
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DATE OF ISSUANCE JANUARY 6, 2016

REVISION SCHEDULE

Mark	Description	Date

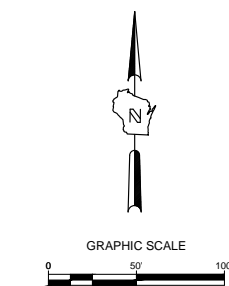
SHEET TITLE

**SITE PLAN**

SHEET NUMBER

**C 100**

CONTRACTOR SHALL REMOVE ANY OVERLYING LOAM, SANDY CLAY LOAM, SILTY CLAYS, ETC. IN INFILTRATION AREA TO THE FINE SANDY LOAM SOIL HORIZON AND BACKFILL WITH FINE SANDY LOAM OR MORE PERMEABLE SOIL AS DIRECTED BY PROJECT GEOTECHNICAL ENGINEER. DO NOT COMPACT BACKFILL.



- LEGEND:**
- 5' THICK CONCRETE WALK (C C401)
  - ASPHALT SURFACE (B C401)
  - BOTTOM OF INFILTRATION BASIN
  - 5' EXISTING CONTOUR
  - 5' PROPOSED CONTOUR
  - PROPOSED CURB & GUTTER SPOT GRADE (T/C: TOP OF CURB GRADE, FL: FLOW LINE CURB GRADE)
  - PROPOSED ASPHALT SPOT GRADE
  - PROJECT PHASING LINE

INFILTRATION BASIN 'A' (C C401)

**PRELIMINARY**

JLA PROJECT NUMBER: 15-0617

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REAL ESTATE DEVELOPMENT, INC.

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE: **OVERALL GRADING PLAN**

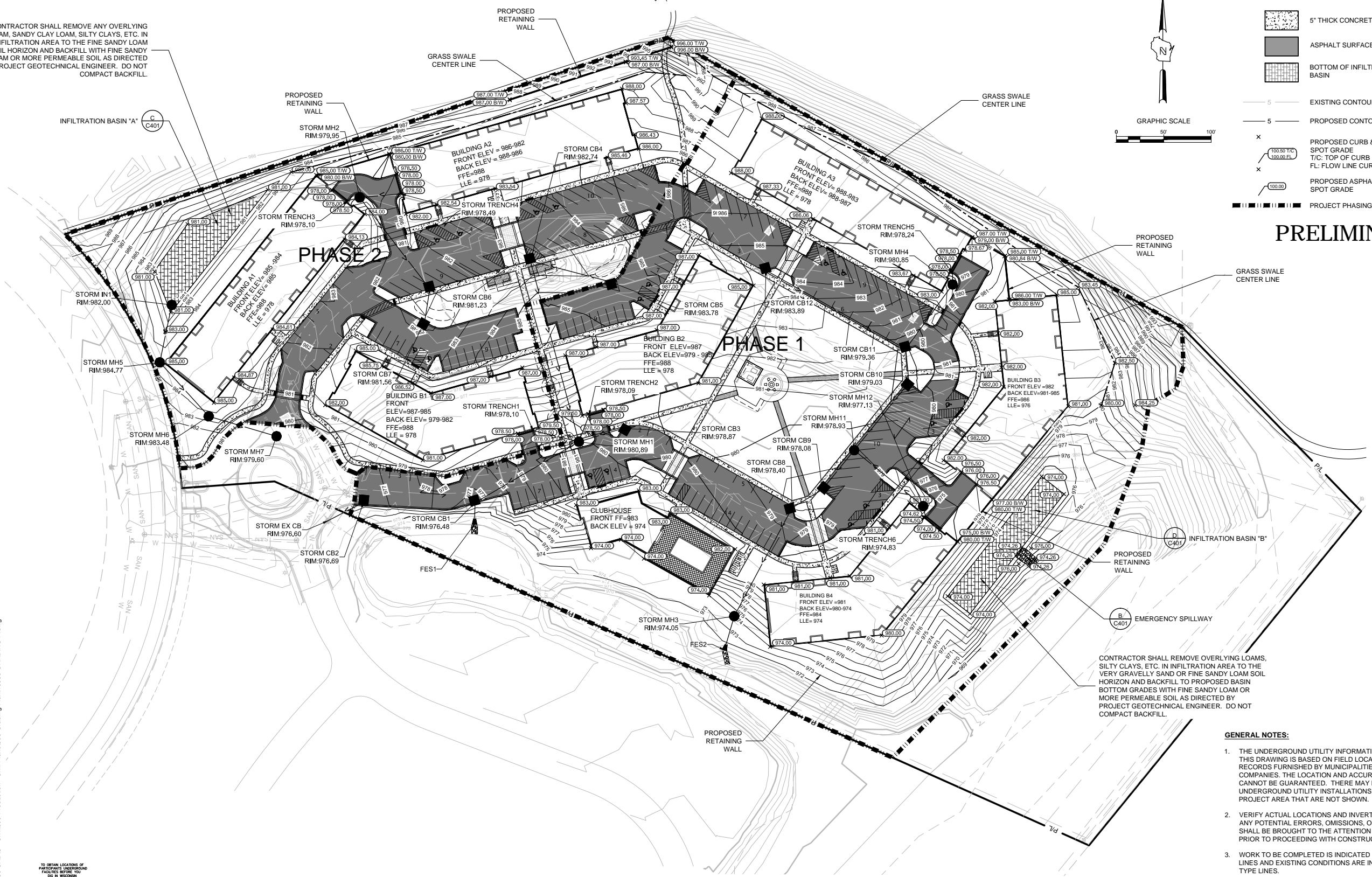
SHEET NUMBER: **C 200**

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CONTRACTOR SHALL REMOVE OVERLYING LOAMS, SILTY CLAYS, ETC. IN INFILTRATION AREA TO THE VERY GRAVELLY SAND OR FINE SANDY LOAM SOIL HORIZON AND BACKFILL TO PROPOSED BASIN BOTTOM GRADES WITH FINE SANDY LOAM OR MORE PERMEABLE SOIL AS DIRECTED BY PROJECT GEOTECHNICAL ENGINEER. DO NOT COMPACT BACKFILL.

APPROXIMATE TOTAL DISTURBED AREA = 481,338 SF (11.05 AC)  
OPTION 1 MAX 2% OF DISTURBED AREA REQUIRED FOR INFILTRATION = 9,628 SF (0.22 AC)  
OPTION 2: RECHARGE MIN. 2% OF DISTURBED AREA REQUIRED FOR INFILTRATION FOR RECHARGE = 9,628 SF (0.22 AC) (MIN.)  
PROVIDED = 9,630 SF (0.22 AC)

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
  - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
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  - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



JLA PROJECT NUMBER: 15-0617



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www.thesigmagroup.com  
1300 West Canal Street  
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SHEET TITLE

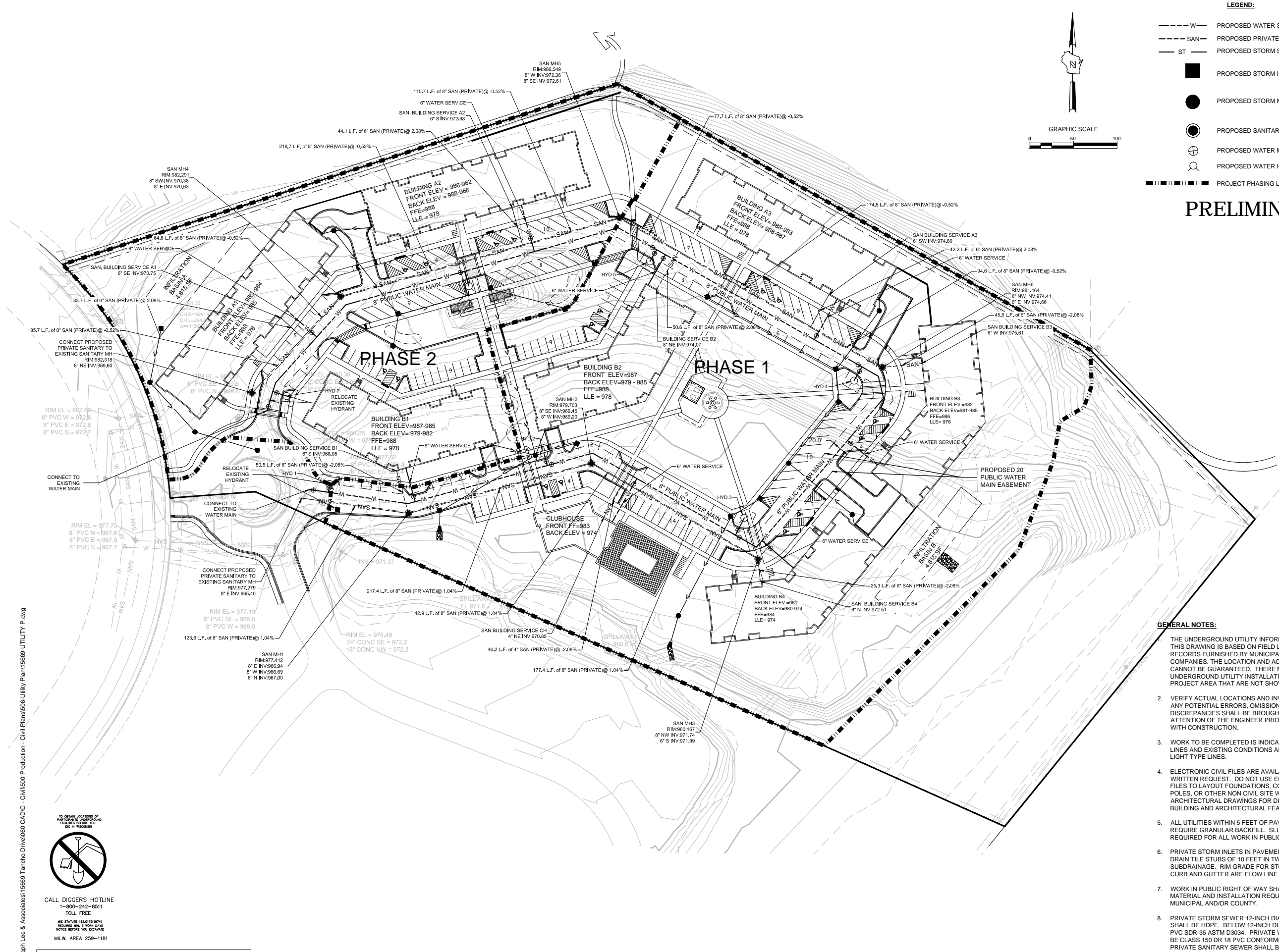
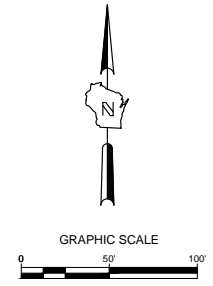
UTILITY PLAN

SHEET NUMBER

C 300

- LEGEND:**
- W --- PROPOSED WATER SERVICE
  - SAN --- PROPOSED PRIVATE SANITARY SEWER
  - ST --- PROPOSED STORM SEWER
  - PROPOSED STORM INLET (A) C403
  - PROPOSED STORM MANHOLE (B) C403
  - PROPOSED SANITARY MANHOLE (C) C403
  - ⊕ PROPOSED WATER MAIN VALVE
  - ⊙ PROPOSED WATER HYDRANT
  - PROJECT PHASING LINE

PRELIMINARY



GENERAL NOTES:

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- WORK IN PUBLIC RIGHT OF WAY SHALL FOLLOW MATERIAL AND INSTALLATION REQUIREMENTS PER MUNICIPAL AND/OR COUNTY.
- PRIVATE STORM SEWER 12-INCH DIAMETER OR LARGER SHALL BE HDPE. BELOW 12-INCH DIAMETER SHALL BE PVC SDR-35 ASTM D3034. PRIVATE WATER MAIN SHALL BE CLASS 150 DR 18 PVC CONFORMING TO AWWA C-900. PRIVATE SANITARY SEWER SHALL BE PVC SDR-35 ASTM D3034.
- COORDINATE FINAL LOCATION AND DESIGN OF PRIVATE UTILITY SERVICES (ELECTRIC, GAS, PHONE, CABLE) WITH UTILITY COMPANIES.

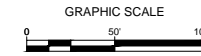
REFER TO SHEET C301 FOR STORM SEWER PLANS

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JLA PROJECT NUMBER: 15-0617



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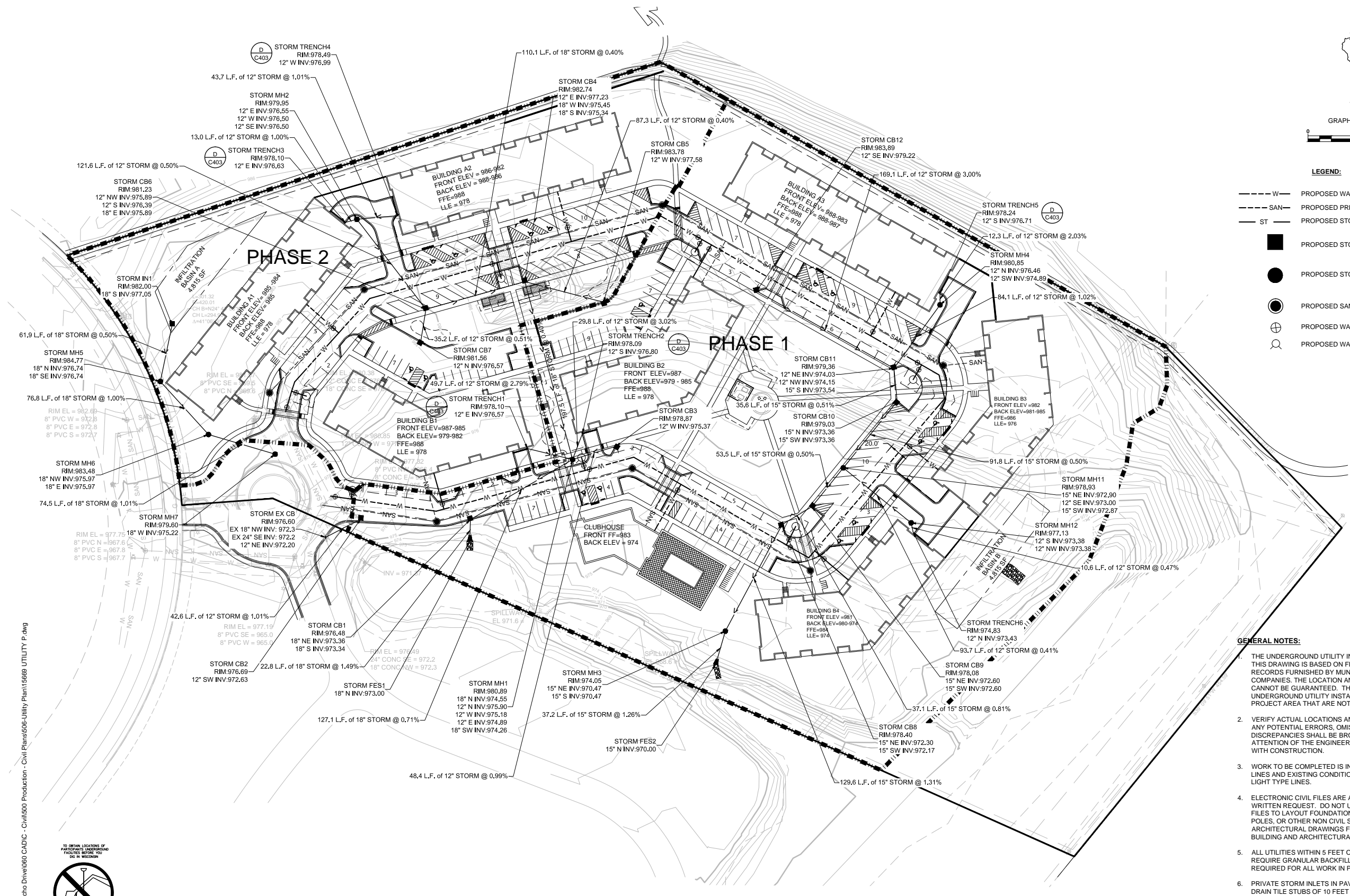
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

UTILITY PLAN  
STORM SEWER

SHEET NUMBER

C 301



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**22 SLATE APARTMENTS**  
5401 TANCHO DRIVE  
MADISON, WI

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OVERALL LANDSCAPE PLAN

SHEET NUMBER

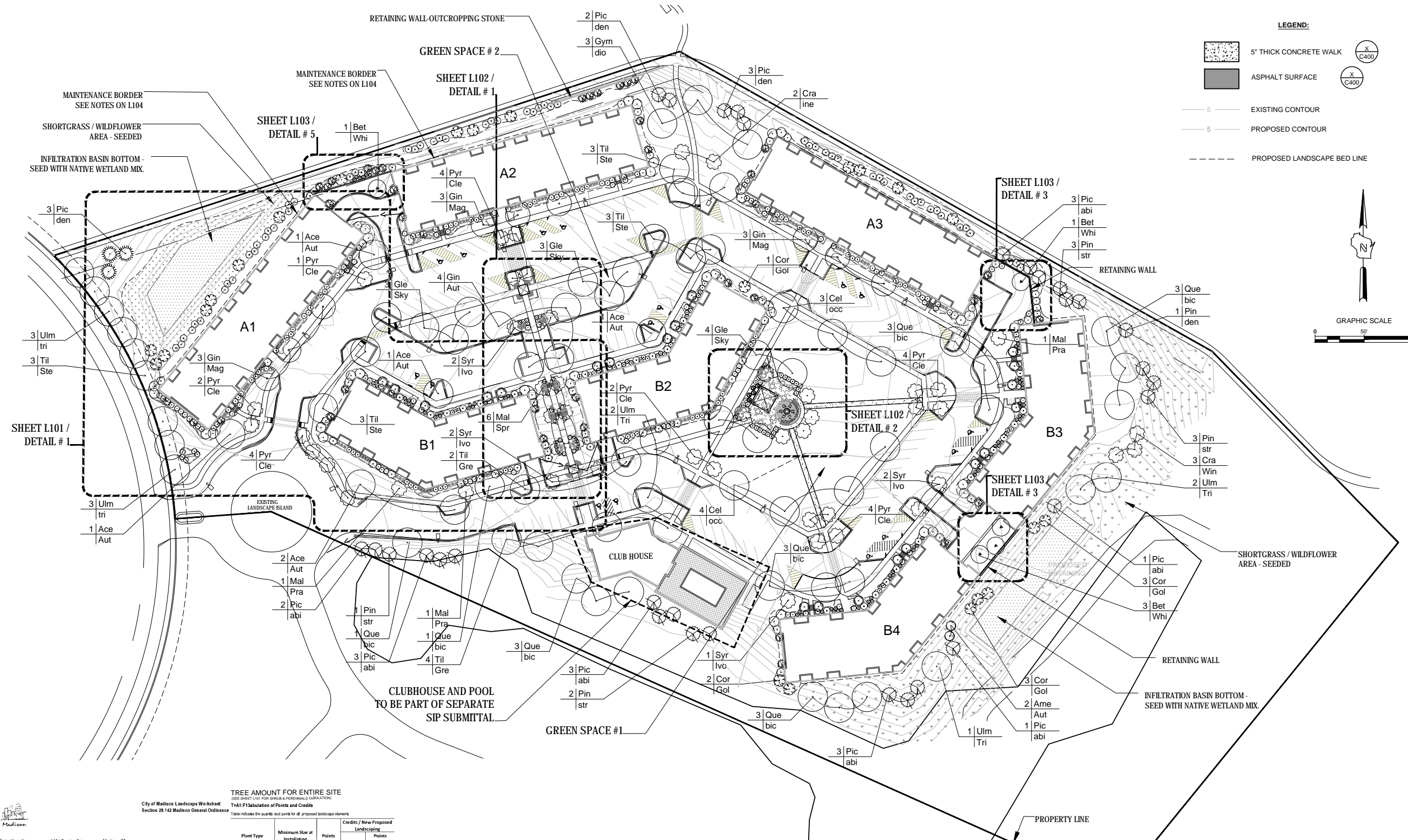
L 100

**LEGEND:**

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED LANDSCAPE BED LINE

GRAPHIC SCALE

0 50 100



**TREE AMOUNT FOR ENTIRE SITE**  
TABLE F1: Distribution of Plants and Credits

Plant Type	Minimum Size at Installation	Points	Credits / New Proposed Landscaping
		Quantity	Points Achieved
Overstory deciduous tree	2 1/2 inch caliper historical diameter at lowest height (dbh)	75	82
Tall evergreen tree	5-6 inch dbh	35	33
Ornamental tree	1 1/2 inch caliper	15	30
Upright evergreen shrub	3-4 inch dbh	10	14
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	0
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	0
Ornamental grass/perennials	#1 gallon container size, Min. 8"-18"	2	0
Ornamental / decorative lining or wall	4 per 10 linear ft		
Existing significant specimen tree	Minimum size 2 1/2 inch caliper dbh. *Tree must be within developed area and use not compromise more than 10% of total required points.	14 per caliper inch dbh. Maximum points per tree 200	0
	*Unless noted when proposed area, public use, and street corners more than 1/4 of required points	5 points per "leaf"	
<b>Sub Totals</b>			222
<b>Total Number of Points Provided</b>			550

**OVERALL TREE SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
<b>Trees</b>						
Ace / Aut	7	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	2 1/2"-3"	BB	
Bet / Whi	5	Betula populifolia 'Whiteaspire'	Whitespire Birch	8"-10"	BB	
Cel / occ	7	Celtis occidentalis	Common Hackberry	2 1/2"-3"	BB	
Gin / Aut	4	Gingko biloba 'Autumn Gold'	Autumn Gold Gingko	2 1/2"-3"	BB	
Gin / Mag	9	Gingko biloba 'Magyar'	Magyar Gingko	2 1/2"-3"	BB	
Gle / Sky	10	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2 1/2"-3"	BB	
Gym / dio	3	Gymnocladus dioica	Kentucky Coffeetree	2 1/2"-3"	BB	
Que / bic	17	Quercus bicolor	Swamp White Oak	2 1/2"-3"	BB	
Til / Gre	6	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2 1/2"-3"	BB	
Til / Ste	12	Tilia tomentosa 'Sterling'	Sterling Linden	2 1/2"-3"	BB	
Ulm / Tri	11	Ulmus 'Morton Glossy'	Triumph Elm	2 1/2"-3"	BB	
<b>Ev Trees</b>						
Pic / abi	16	Picea abies	Norway Spruce	5'-6"	BB	
Pic den	12	Picea glauca densata	Black Hill's Spruce	5'-6"	BB	
Pin / str	8	Pinus strobus	Eastern White Pine	5'-6"	BB	
<b>Om Trees</b>						
Amel/Aut	5	Amelanchier grandiflora x Autumn Brilliance	Autumn Brilliance Serviceberry	5'-6"	BB	Multi-stem
Cor / Gol	10	Comus mas 'Golden Glory'	Golden Glory Corneliancherry Dogwood	5'-6"	BB	Shrub form
Cra / ine	2	Crataegus crus galli inermis	Thornless Cockspur Hawthorne	1 1/2"-2"	BB	Tree form
Cra/Win	3	Crataegus viridis 'Winter King'	Winter King Hawthorn	1 1/2"-2"	BB	Tree form
Mal / Pra	7	Malus x Prairiefire	Prairiefire Crab	1 1/2"-2"	BB	Tree form
Mal / Spr	6	Malus x Spring Snow	Spring Snow Crab	1 1/2"-2"	BB	Tree form
Pyr / Cle	21	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	1 1/2"-2"	BB	Tree form
Syr / Ivo	7	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1 1/2"-2"	BB	Tree form

**City of Madison Landscape Worksheet**  
Section 28.142 Madison General Ordinance

Project Location: 5401 Tancho Drive, Madison, WI  
Name of Project: 22 Slate  
Owner / Contact: Fiduciary Real Estate Development, Inc. Michael Schütz  
Contact Phone: 414-674-4912  
Contact Email: mschutz@fred-inc.com

"Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect."

**Applicability**  
The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:  
(a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.  
(b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.  
(c) No demolition of a principal building is involved.  
(d) Any displaced landscaping elements must be replanted on the site and shown on a revised landscaping plan.

**Landscape Calculations and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is used up other activities, parking, drive ways and parking / loading facilities, but excluding the area of any building footprint of grade, land designated for open space uses such as athletic fields, and undeveloped land areas on the same zoning lot. Methods for calculating landscape points depend on the size of the lot and Zoning District.

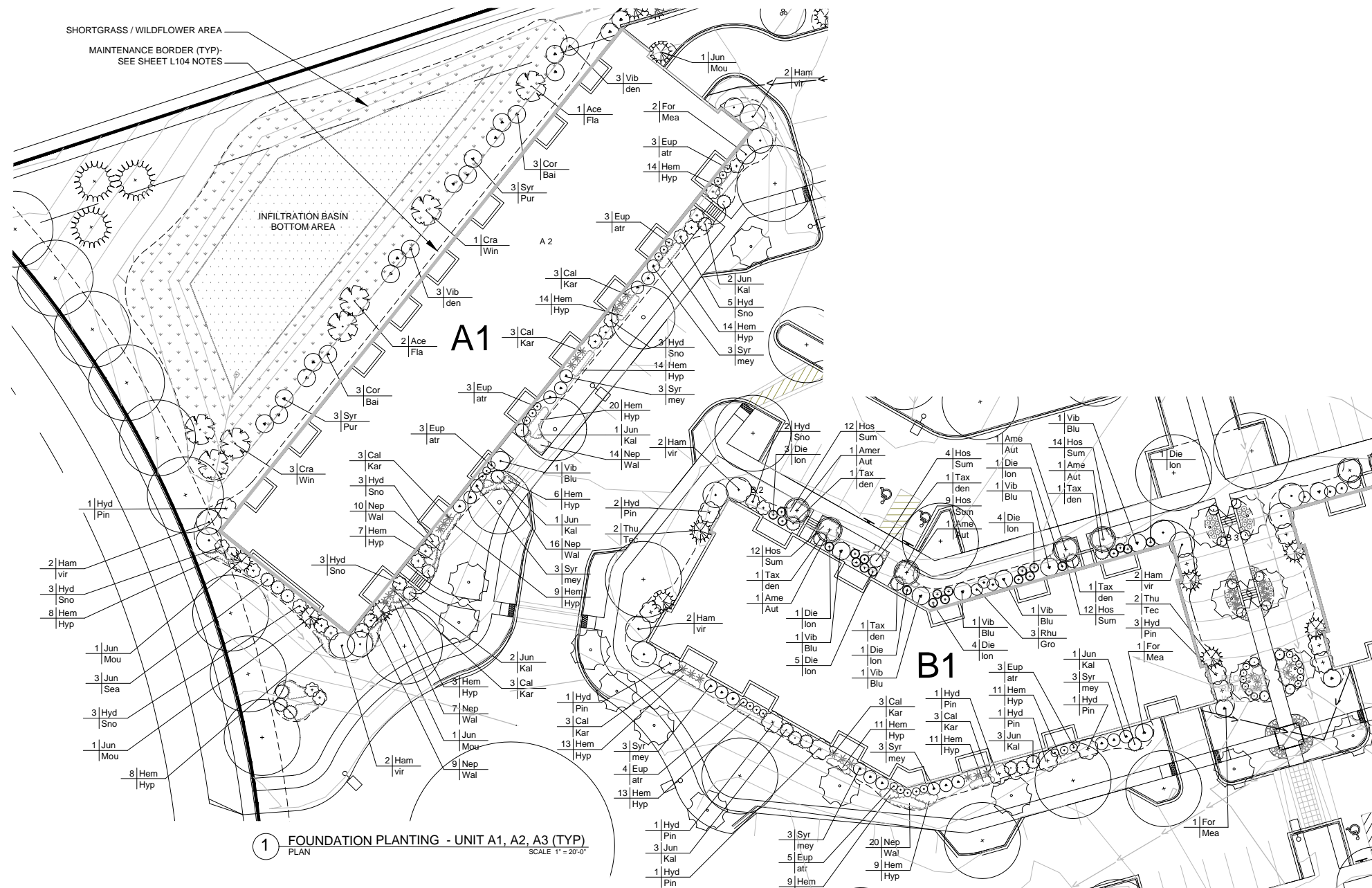
For lots larger than five (5) acres, points shall be provided at five (5) points per ten thousand (10,000) square feet for the first five (5) developed acres, and (1) point per one thousand (1,000) square feet for all additional acres.

Total landscape points required: 5,000 points



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1 FOUNDATION PLANTING - UNIT A1, A2, A3 (TYP) PLAN SCALE 1" = 20'-0"

2 FOUNDATION PLANTING - UNIT B1, B2 (TYP) PLAN SCALE 1" = 20'-0"

SHRUB & PERENNIAL AMOUNT FOR ENTIRE SITE  
TABLE F1: Tabulation of Points and Credits

Plant Type	Minimum Size at Installation	Points	Credits / New Proposed Landscaping	
			Quantity	Points Achieved
Deciduous tree	3-12 inch caliper measured diameter at breast height (DBH)	35	0	0
Tall evergreen tree	5-8 inch caliper	35	0	0
Ornamental tree	1-12 inch caliper	15	0	0
Upright evergreen shrub	3-4 inch caliper	10	38	380
Shrub, deciduous	#3 gallon container size min. 12"-24"	3	400	1218
Shrub, evergreen	#3 gallon container size min. 12"-24"	4	77	308
Ornamental grass/perennial	#1 gallon container size min. 8"-12"	2	132	264
Ornamental/decorative border or wall	4' per 10' linear ft.	4	10	40
Existing significant specimen tree	Minimum size 3-12 inch caliper dbh. *Trees must be within developed area and site not comprise more than 30% of total required points.	1	0	0
Landscaping for public safety and/or transportation	*If suitable material within developed area, publicly accessible, and cannot comprise more than 5% of total required points.	5	0	0
Sub Totals			653	2,170

PLANT SCHEDULE - Building A1 (Typical for A1, A2, A3)

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
<b>Om. Trees</b>						
Ace/gin	3	Acer ginnala 'Flame'	Flame Amur Maple	5'-6"	BB	Shrub form
Cra/Win	4	Crataegus viridis 'Winter King'	Winter King Hawthorn	1 1/2'-2"	BB	Tree form
<b>Evergreen</b>						
Jun / Buf	3	Juniperus sabina 'Buffalo'	Buffalo Juniper	18"-24"	Cont.	
Jun/Kal	10	Juniperus chinensis 'Kallay's'	Kallay's Compact Juniper	18"-24"	Cont.	
Jun/Mou	4	Juniperus chinensis 'Mountbatten'	Mountbatten Juniper	4'-5"	BB	
Jun / Sea	3	Juniperus chinensis 'Sea Green'	Dense Yew	18"-24"	Cont.	
<b>Shrubs</b>						
Cor / Bai	6	Cornus alba 'Baihalo'	Ivory Halo Dogwood	18"-24"	Cont.	
For / Mea	2	Forsythia x Meadowlark	Meadowlark Forsythia	24"-30"	Cont.	
Ham / vir	1	Hamamelis virginiana	Common Witchhazel	4'-5"	Cont.	
Hyd / Pin	1	Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	18"-24"	Cont.	
Hyd / Sno	22	Hydrangea arborescens 'Grandiflora'	Snowhill Hydrangea	15'-18"	Cont.	
Syr / mey	9	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	18"-24"	Cont.	
Syr / Pur	6	Syringa vulgaris	Common Purple Lilac	30"-36"	Cont.	
Vib / Blu	1	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	30"-42"	Cont.	
Vib / den	6	Viburnum dentatum	Arrowwood Viburnum	3'-4"	BB	
<b>Perennials</b>						
Cal / Kar	9	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass			
Eup / atr	12	Eupatorium maculatum 'Gateway'	Gateway Joe-Pye Weed			
Hem / Hyp	117	Hemerocallis x Hyperion	Hyperion Daylily			
Nep / Wal	56	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint			

PLANT SCHEDULE - Building B1 (Typical for B1, B2, B3, B4)

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
<b>Om. Trees</b>						
Ame / Aut	5	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5'-6"	BB	Shrub form
Cra/Win	4	Crataegus viridis 'Winter King'	Winter King Hawthorn	1 1/2'-2"	BB	Tree form
<b>Evergreen</b>						
Jun / Buf	3	Juniperus sabina 'Buffalo'	Buffalo Juniper	18"-24"	Cont.	
Jun/Kal	7	Juniperus chinensis 'Kallay's'	Kallay's Compact Juniper	18"-24"	Cont.	
Jun/Mou	4	Juniperus chinensis 'Mountbatten'	Mountbatten Juniper	4'-5"	BB	
Jun / Sea	3	Juniperus chinensis 'Sea Green'	Dense Yew	18"-24"	Cont.	
Tax / den	6	Taxus densiformis	Dense Yew	15'-18"	Cont.	
Thu / Tec	2	Thuja occidentalis 'Techny'	Techny Arborvitae	4'-5"	BB	
<b>Shrubs</b>						
Cor / Bai	6	Cornus alba 'Baihalo'	Ivory Halo Dogwood	18"-24"	Cont.	
Die / Ion	20	Diervilla lonicera 'Jewel'	Jewell Bush Honeysuckle		Cont.	
For / Mea	2	Forsythia x Meadowlark	Meadowlark Forsythia	24"-30"	Cont.	
Ham / vir	4	Hamamelis virginiana	Common Witchhazel	4'-5"	Cont.	
Hyd / Pin	9	Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	18"-24"	Cont.	
Hyd / Sno	2	Hydrangea arborescens 'Grandiflora'	Snowhill Hydrangea	15'-18"	Cont.	
Rhu / Gro	3	Rhus aromatica 'Gro Low'	Gro Low Sumac	15'-18"	Cont.	
Syr / Pur	6	Syringa vulgaris	Common Purple Lilac	30"-36"	Cont.	
Vib / Blu	6	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	30"-42"	Cont.	
<b>Perennials</b>						
Cal / Kar	9	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	1 gallon	Cont.	
Eup / atr	12	Eupatorium maculatum 'Gateway'	Gateway Joe-Pye Weed	1 gallon	Cont.	
Hem / Hyp	77	Hemerocallis x Hyperion	Hyperion Daylily	1 gallon	Cont.	
Hos / Sum	63	Hosta x Sum & Substance	Sum & Substance Hosta	1 gallon	Cont.	
Nep / Wal	20	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gallon	Cont.	

City of Madison Landscape Worksheet  
Section 28.142 Madison General Ordinance

Project Location: 5401 Tanchow Drive, Madison, WI  
Name of Project: 22 Slate  
Owner / Contact: Fiducary Real Estate Dev. Michael Schitz  
Contact Phone: 414.274.4212  
Contact Email: mschitz@fid-inc.com

"Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect"

**Accessibility**  
The following standards apply to exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten (10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any proposed landscaping elements must be replaced on the site and shown on a revised landscaping plan.

**Landscape Calculation and Distribution**  
Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as the area within a single contiguous boundary which is made up of structures, parking, driveways and loading / loading facilities, but excluding the area of any building footprint, grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. Methods for calculating landscape points depend on the size of the lot and Zoning District.

For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area	355,964 sq. ft.
Five (5) acres =	217,800 sq. ft.
Remaining developed area	137,264 sq. ft.
Remaining of points	1372 points
Total landscape points required	5,003 points



CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE  
NO STATE, FEDERAL OR LOCAL PERMITS REQUIRED UNLESS YOU ARE A PROFESSIONAL ENGINEER OR ARCHITECT. NOTICE BEFORE YOU DIG!  
MILW. AREA 259-1181

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JLA PROJECT NUMBER: 15-0617



THE SIGMA GROUP  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210



PUD-SIP Submittal

22 SLATE APARTMENTS  
5401 TANCHOW DRIVE  
MADISON, WI

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: JANUARY 6, 2016

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

LANDSCAPE PLANS TYPICAL BUILDING

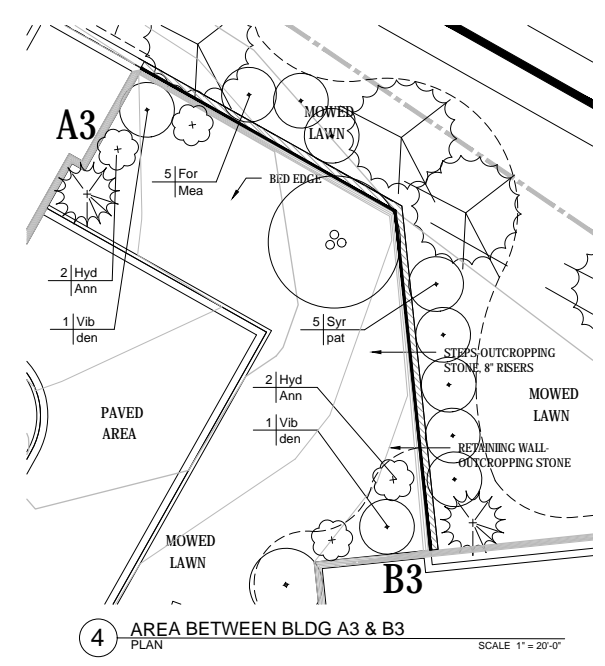
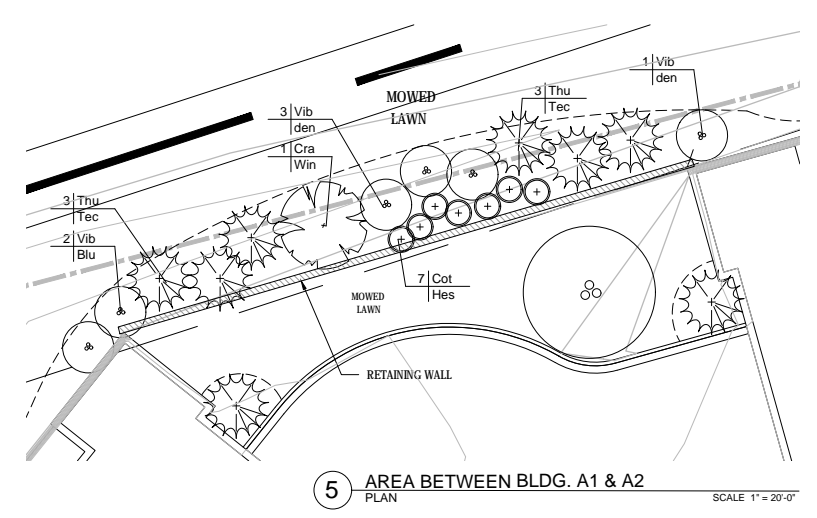
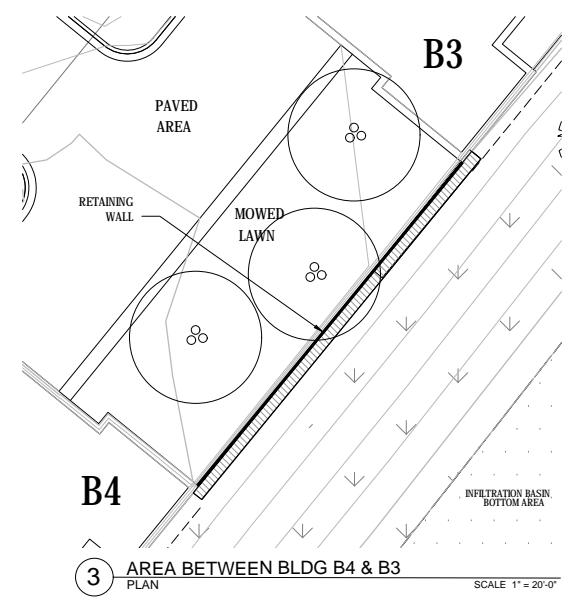
SHEET NUMBER

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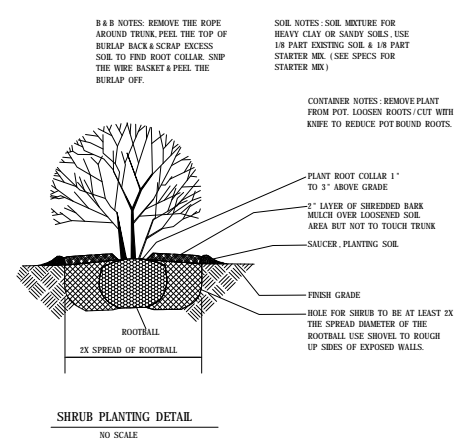
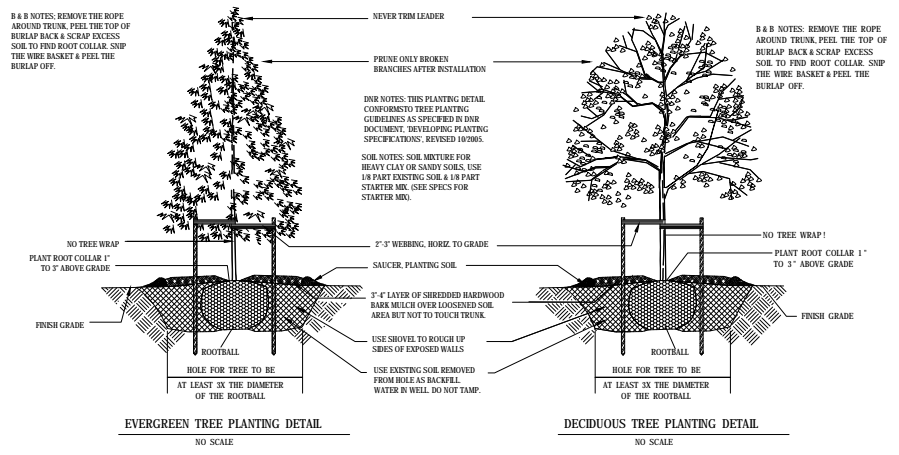


**PLANT SCHEDULE - DETAIL # 5**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
<b>Evergreen</b>						
Thu / Tec	6	Thuja occidentalis 'Techny'	Techny arbutive	18"-24"	Cont.	
<b>Trees</b>						
Cra / Win	1	Crataegus crusgalli 'Winter King'	Winter King Hawthorne	1 1/2" - 2" caliper	B & B	
<b>Shrubs</b>						
Cot / Hes	7	Cotoneaster 'Hessei'	Hester Cotoneaster	15"-18"	Cont.	
Vib / Blu	2	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	15"-18"	Cont.	
Vib / Den	4	Viburnum dentatum	Arrowwood Viburnum	3'-4"	Cont.	

**PLANT SCHEDULE - DETAIL # 4**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
<b>Shrubs</b>						
For / Mea	3	Forsythia x Meadowlark	Meadowlark Forsythia	30"-36"	Cont.	
Hyd / Ann	4	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	15"-18"	Cont.	
Syr / pat	8	Syringa patula	Miss Kim Lilac	24"-30"	Cont.	
Vib / den	2	Viburnum dentatum	Arrowwood Viburnum	3'-4"	Cont.	



**LANDSCAPE INSTALLATION NOTES**

- The Landscaping Contractor shall verify location of all underground utilities and additional information prior to installation of all landscaping. Call Digger's Hotline.
- Rough grading and drainage shall be completed prior to Landscape Contractor's commencing work. Verify all existing site and grading conditions prior to construction.
- All landscape work shall be in conformance with all applicable local codes & ordinances.
- All areas disturbed by grading or site construction shall be fine graded, planted or seeded.
- Contractor shall verify plant quantities shown on plan and provide a list to the Architect identifying the species and sized to be used throughout the project. The Landscape Architect reserves the right to reject any sub-standard planting material. Such rejected material shall be removed from the project site immediately.
- All planting beds shall receive a blended topsoil mix to a depth of 6" and turf areas a depth of 3". Contractor shall provide positive drainage away from all buildings for a minimum of 10'. Remove excessive clay, gravel & stones which would be detrimental to healthy plant growth. Roto-till new topsoil into existing soil.
- All perennial and groundcover areas shall receive a blend of organic soil amendments prior to planting. Roto-till the amendments into the new topsoil to a depth of 6". Avoid damage to existing tree roots where applicable by lightly working amendments into soil with pitch fork.

Add to beds:  
2 inch cover of plant starter soil mix  
1/2 lb. of 5-10-5 garden fertilizer (Ozmocote or Milorganite)

11. All planting and maintenance beds shall be edged with aluminum edging - Permaloc Clean Line, Size: 1/8" x 4" x 16", Finish: mill or approved equal.
- SEED MIXES (See plans for locations)**
- SEEDED MOWED TURF:**  
"Dexu 50 Lawn Seed Mix"  
Available from Reinders (800) 785-3301  
Shall be installed & maintained per supplier's specifications.
- |                                   |                               |
|-----------------------------------|-------------------------------|
| 20% Kentucky Bluegrass            | 25% Creeping Red Fescue       |
| 15% Bluebonnet Kentucky Bluegrass | 15% Quebec Perennial Ryegrass |
| 15% Kenblue Kentucky Bluegrass    | 10% Wicked Perennial Ryegrass |
- SHORT GRASS / WILDFLOWER AREA / DETENTION BASINS**  
"Short Prairie Wildflower & Grass Mix"  
Available from Reinders, Sussex, WI  
Phone 1-800-785-3301 / Or approved equal.  
To be installed & maintained per supplier's specifications.
- NATIVE WETLAND MIX - INFILTRATION BOTTOM**  
"Native Wetland Mix"  
Available from Reinders, Sussex, WI  
Phone 1-800-785-3301 / Or approved equal.  
To be installed & maintained per supplier's specifications.

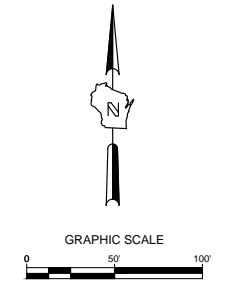
TO OBTAIN LOCATIONS OF  
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MILW. AREA 259-1181

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PUD-SIP SUBMITTAL

22-SLATE APARTMENTS

**PROGRESS DOCUMENTS**

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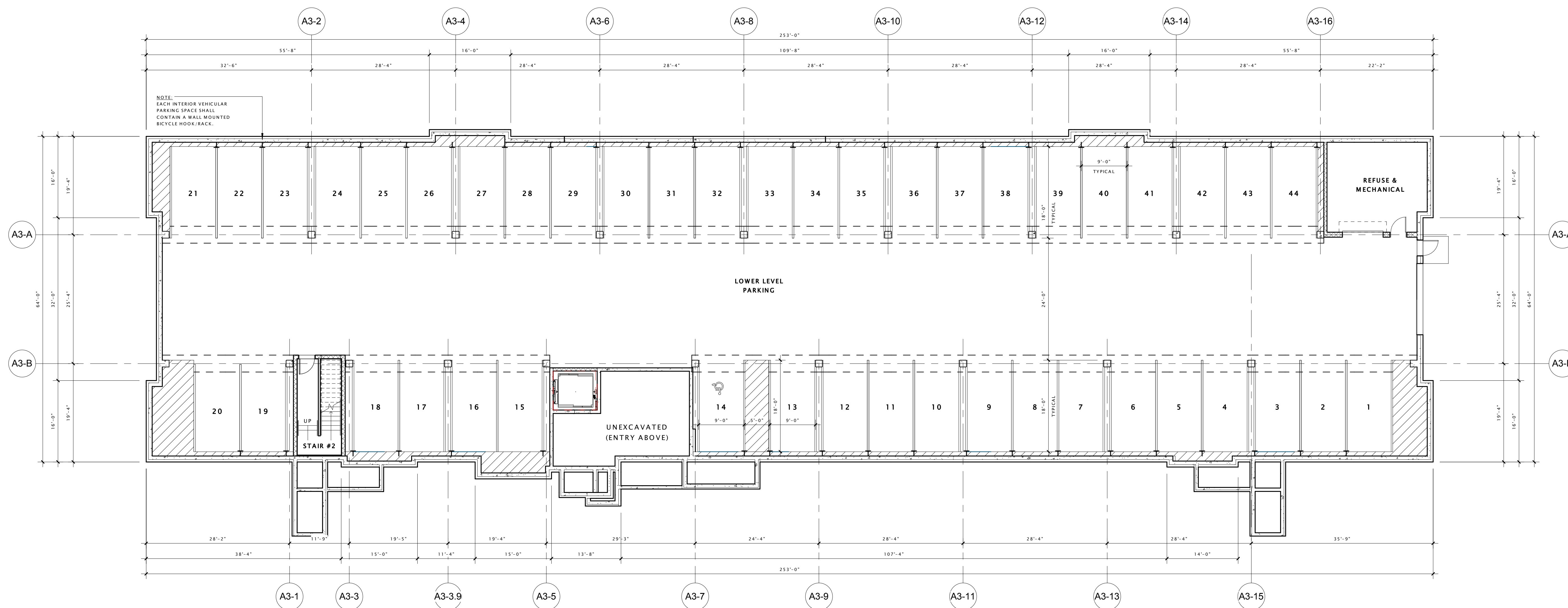
REVISION SCHEDULE		
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SHEET TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A100-A3



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22-SLATE APARTMENTS

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SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101-A3



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REVISION SCHEDULE		
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SHEET TITLE  
**SECOND FLOOR PLAN**

SHEET NUMBER  
**A102-A3**



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22-SLATE APARTMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A103-A3





⑥ TYPICAL 'A' BUILDING - FRONT ELEVATION  
3/32" = 1'-0"



⑪ TYPICAL 'A' BUILDING - END ELEVATION  
3/32" = 1'-0"

PUD-SIP SUBMITTAL

22-SLATE APARTMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER  
A200-A



⑥ TYPICAL 'A' BUILDING - REAR ELEVATION  
3/32" = 1'-0"



⑪ TYPICAL 'A' BUILDING - END ELEVATION (W/ GARAGE)  
3/32" = 1'-0"

PUD-SIP SUBMITTAL

22-SLATE APARTMENTS

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A201-A**





PUD-SIP SUBMITTAL

22-SLATE APARTMENTS

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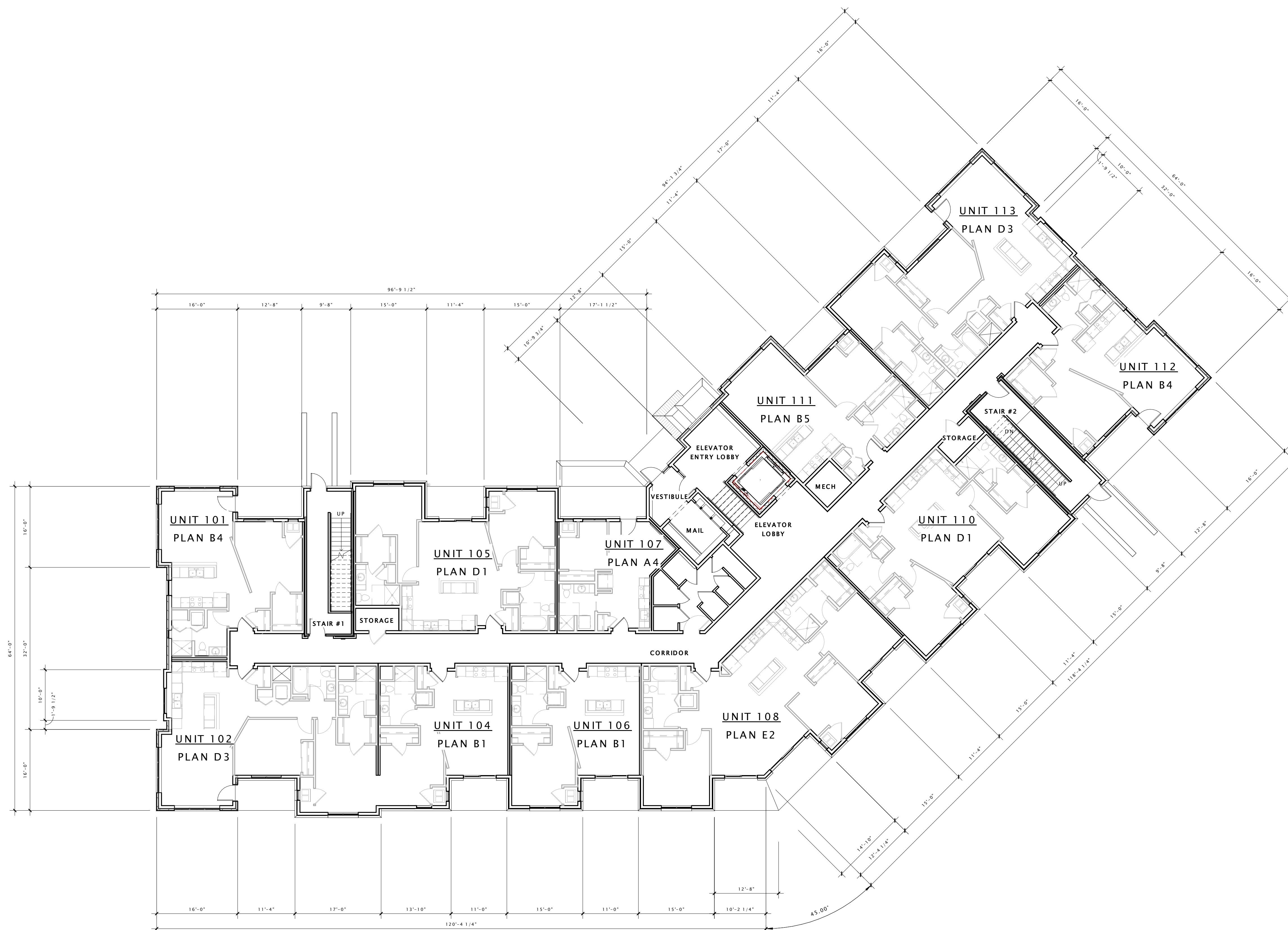
REVISION SCHEDULE		
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SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101-B3



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22-SLATE APARTMENTS

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SHEET TITLE  
**SECOND FLOOR PLAN**

SHEET NUMBER  
**A102-B3**



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22-SLATE APARTMENTS

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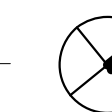
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Mark	Description	Date

SHEET TITLE

THIRD FLOOR PLAN

SHEET NUMBER

A103-B3





6 TYPICAL 'B' BUILDING - FRONT ELEVATION #1  
3/32" = 1'-0"



11 TYPICAL 'B' BUILDING - FRONT ELEVATION #2  
3/32" = 1'-0"



16 TYPICAL 'B' BUILDING - END ELEVATION  
3/32" = 1'-0"

PUD-SIP SUBMITTAL

22-SLATE APARTMENTS

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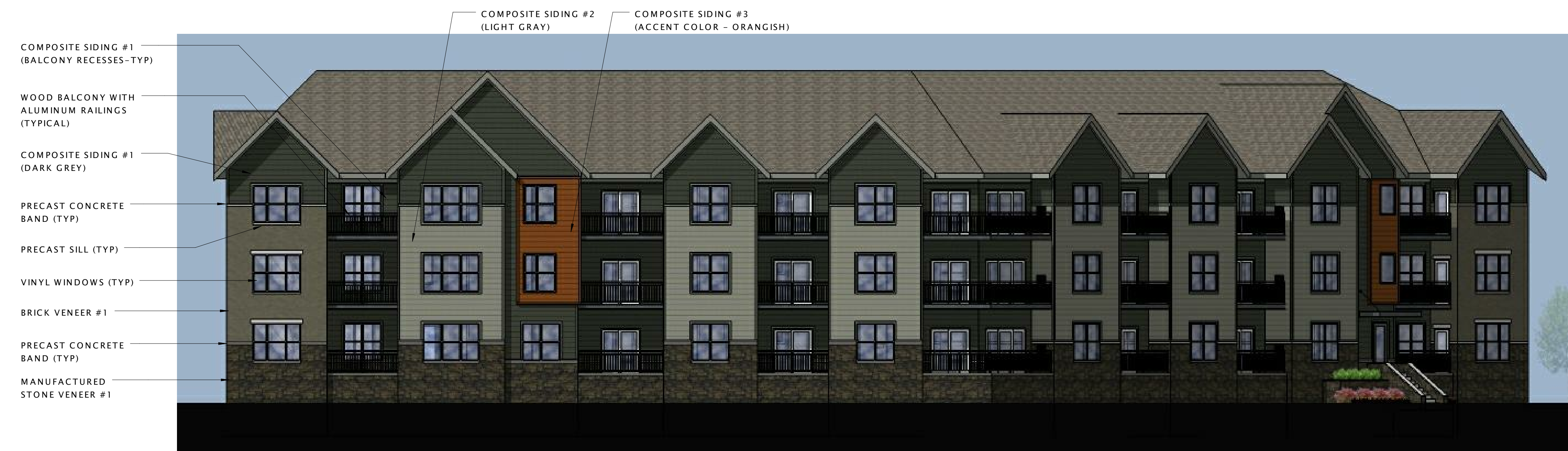
EXTERIOR ELEVATIONS

SHEET NUMBER

A200-B



6 TYPICAL 'B' BUILDING - REAR ELEVATION #1  
3/32" = 1'-0"



11 TYPICAL 'B' BUILDING - REAR ELEVATION #2  
3/32" = 1'-0"



16 TYPICAL 'B' BUILDING - END ELEVATION (W/ GARAGE)  
3/32" = 1'-0"

PUD-SIP SUBMITTAL

22-SLATE APARTMENTS

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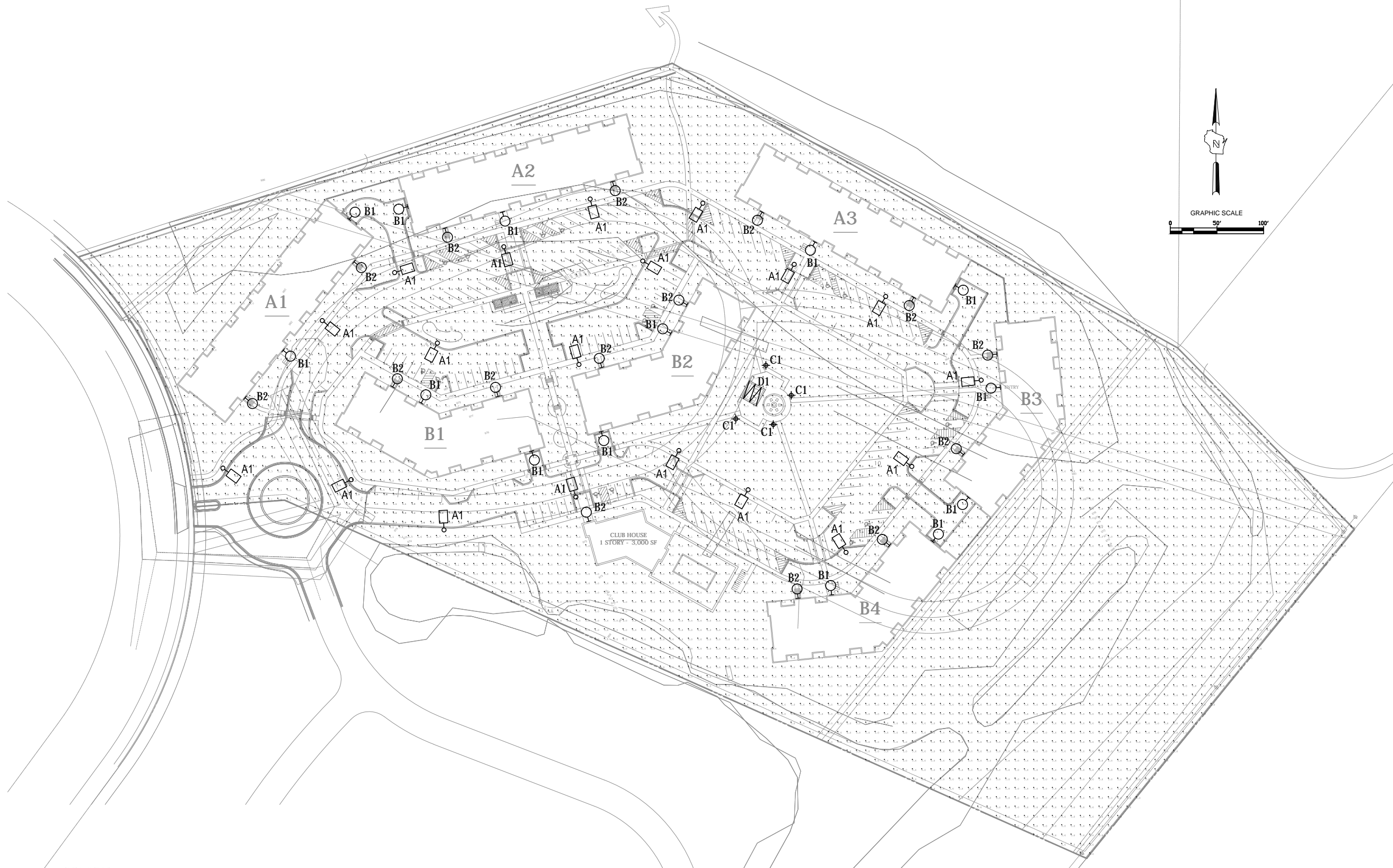
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201-B



TO OBTAIN LOCATION OF PARTICIPATING UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
CALL DIGGERS HOTLINE  
1-800-242-9511  
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WIS STATUTE 182.015(1)(b)4  
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MILW. AREA 259-1181

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**1 SITE LIGHTING PLAN**  
SCALE: 1" = 50'

**CALCULATION SUMMARY**

Label	Calc/Type	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AND DRIVES	Illuminance	Fc	1.21	8.2	0.1	12.10	82.00
OVERALL SITE @ 4FT	Illuminance	Fc	0.27	17.8	0.0	N.A.	N.A.

**LUMINAIRE SCHEDULE**

TYPE	SYMBOL	PICTURE	DESCRIPTION	LAMPING NO.	LAMP TYPE	MANUFACTURER	CATALOG NUMBER	HEIGHT
A1	⊙		POLE MOUNT AREA FIXTURE	1	250W PSMH	LUMARK	PFF12523P20	20'-0" POLE 3'-0" BASE
B1	⊙		LED WALL PACK	-	26 W LED	LUMARK	XTOR3A	12'-0" AFG
B2	⊙		LED WALL PACK	-	26 W LED	LUMARK	XTOR3A	9'-0" AFG
C1	⊕		30" BOLLARD	-	39W PAR20 MH	LUMIERE	1900-OA-30-MHPAR20	30" POLE
D1	<		HIGH OUTPUT 3000K LED STRING LIGHTS	-	LED	TIVOLI	LSL-12-WW-C-12	PAVILION STRUCTURE

**DESCRIPTION**

The Tribute Pole and Fixture Combo features all you need for easy selection and installation for poles and fixtures. Including the quality die-cast Tribute area luminaire and 8" arm complete with lamp, square straight steel pole and necessary anchorage. Available in single and dual fixture combinations. The Tribute and Pole Combo is ideal for parking areas, access roadways and other general off street area/site lighting applications.

<b>Catalog #</b>		<b>Type</b>
<b>Project</b>		
<b>Comments</b>		<b>Date</b>
<b>Prepared by</b>		

**SPECIFICATION FEATURES**

**Construction**

Rugged, one-piece, die-cast aluminum housing and door frame finished in dark bronze polyester powder paint. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One stainless spring latch and two stainless steel hinges allow tool-less opening and removal of door frame. U.L. Listed and CSA certified for wet locations.

Anchor bolts are per ASTM A576 with two nuts, two flat washers, and one lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

**Mounting**

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole.

**Finish**

Housing and arm finished in a five-stage premium TGIC bronze polyester powder coat paint.

**Pole**

Shaft is one-piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts.

**Reflector**

Hydroformed anodized aluminum reflector offered in an adjustable Type II/III or a Type IV distribution. Optical modules are field rotatable in 90° increments and offered standard with medium or mogul-base lampholders.

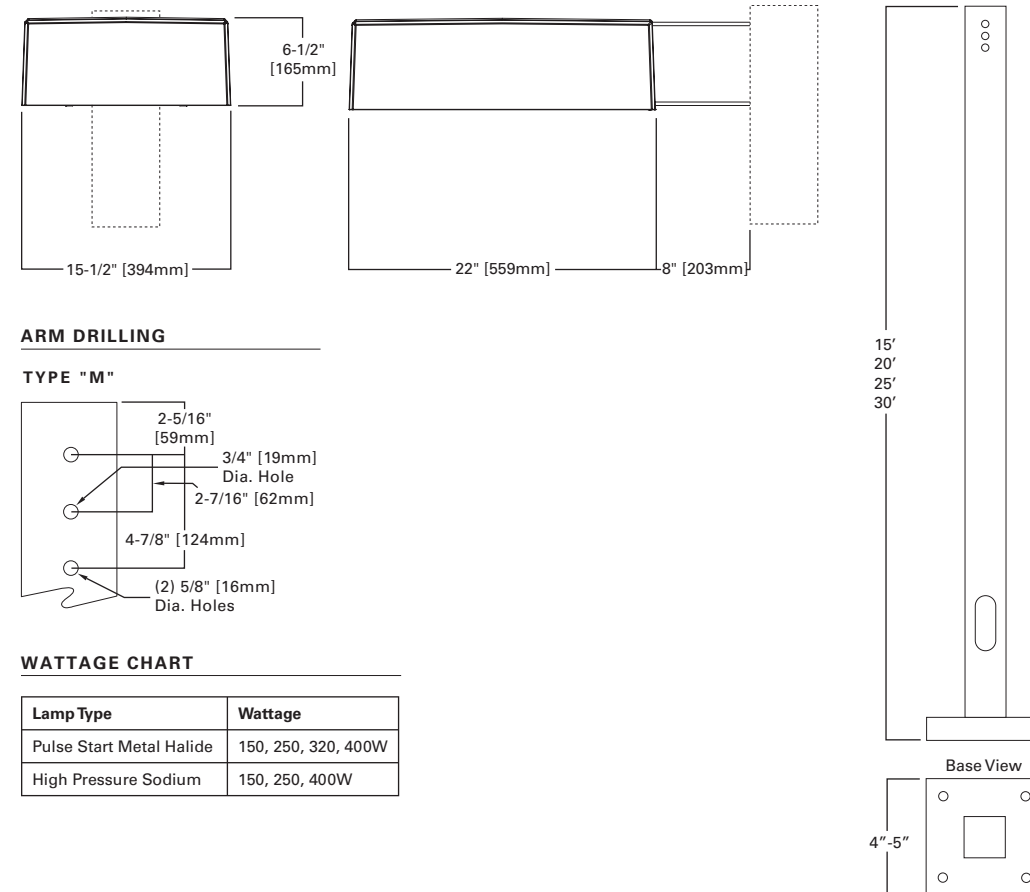


**PFT  
TRIBUTE AND  
POLE COMBO**

**150 - 400W**  
High Pressure Sodium  
Pulse Start Metal Halide

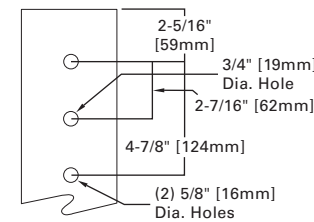
**POLE AND FIXTURE COMBO**

**DIMENSIONS**



**ARM DRILLING**

**TYPE "M"**



**WATTAGE CHART**

Lamp Type	Wattage
Pulse Start Metal Halide	150, 250, 320, 400W
High Pressure Sodium	150, 250, 400W

**CERTIFICATIONS**

UL Wet Location Listed  
CSA Certified  
EISA Compliant ©

**ENERGY DATA**

**Hi-Reactance Ballast Input Watts**  
150W HPS HPF (190 Watts)  
150W MP HPF (185 Watts)

**CWA Ballast Input Watts**

250W MP HPF (283 Watts) ©  
250W HPS HPF (295 Watts)  
320W MP HPF (365 Watts) ©  
400W MP HPF (452 Watts) ©  
400W HPS HPF (465 Watts)

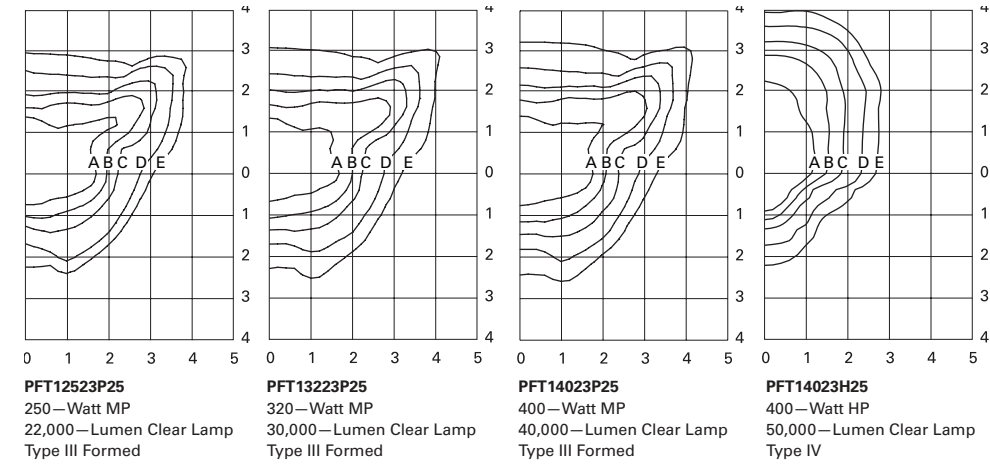
**EPA DATA**

**Effective Projected Area:** (Sq. Ft.)  
**Single Fixture:** 1.59  
**Dual Fixture:** 3.18

**SHIPPING DATA**

**Approximate Net Weight:**  
39 lbs. (17.73 kgs.)

PHOTOMETRICS (COMPLETE IES FILES AVAILABLE AT WWW.COOPERLIGHTING.COM)



**Footcandle Table**  
Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	1.69	0.34	0.13	0.06

ORDERING INFORMATION

Sample Number: PFT1153H159N/AB

Series	Number of Fixtures	Lamp Wattage	Distribution	Lamp Type ¹	Pole Height	Zone	Options (Add as Suffix)
PFT=Tribute Fixture and Pole Combo	1=1 2=2	15=150W 25=250W 32=320W 40=400W	23=Type II/III 4F=Type IV Formed	P=Pulse Start Metal Halide H=High Pressure Sodium	15=15' 20=20' 25=25' 30=30'	9=90 MPH Wind Zone 0=100 MPH Wind Zone	CEC=California Title 20 Compliant Ballast (Applies to 200-320W and 400W MP Only) N/AB=No Anchor Bolts (Used when ordered separately)

NOTES: 1. 8" arm and pole adapter included with fixture. Lamp included with all PFT configurations. Supplied with multi-tap ballast 120/208/240/277V wired 277V with straight steel shaft, anchor bolts, template, base cover and hardware.

STOCK OPTION CONFIGURATIONS

Mounting Height (Feet)	Square Steel Pole Shaft Size (Inches)	Maximum Wind Zone (MPH)	Number of Fixture(s)	Lamp Type	Wattage	IES Distribution Type	EISA Compliant	Catalog Number
15'	4'	100	1	MP	150W	2/3	•	PFT11523P15N/AB
20'	4'	100	1	MP	250W	2/3	•	PFT12523P20
	4'	100	1	MP	250W	2/3	•	PFT12523P20N/AB
	4'	100	2	MP	250W	2/3	•	PFT22523P20
	4'	100	2	MP	250W	2/3	•	PFT22523P20N/AB
	4'	100	1	MP	400W	2/3	•	PFT14023P20
	4'	100	1	MP	400W	2/3	•	PFT14023P20N/AB
	4'	100	2	MP	400W	2/3	•	PFT24023P20
25'	4'	90	1	MP	250W	2/3	•	PFT12523P25
	4'	90	1	MP	250W	2/3	•	PFT12523P25N/AB
	4'	80	2	MP	250W	2/3	•	PFT22523P25
	4'	90	1	MP	400W	2/3	•	PFT14023P25
	4'	90	1	MP	400W	2/3	•	PFT14023P25N/AB
	4'	80	2	MP	400W	2/3	•	PFT24023P25
	4'	80	2	MP	400W	2/3	•	PFT24023P25N/AB

NOTES: 1 Four Anchor bolts and one template included with each Mombro Combo setup. 2 To order without anchor bolts, add "N/AB" to end of catalog number, no dashes. 3 8" Square Pole Arm included inside each Tribute fixture carton. 4 All Tribute fixtures come equipped with Type II/III (adjustable—set to Type III) or Type IV distribution. 5 Lamp is included. 6 Supplied with Multi-tap voltages 120/208/240/277V wired 277V. 7 Check Stock Guide for availability. 25'-5" and Type IV configurations available in select warehouses only.



ONE TO TWO FIXTURE CONFIGURATIONS

Mounting Height (Feet)	Square Steel Pole Shaft Size (Inches)	Maximum Wind Zone (MPH)	Number of Fixture(s)	Lamp Type	Wattage	IES Distribution Type	EISA Compliant	Catalog Number
15'	4'	100	1	HPS	150W	2/3	--	PFT11523H15
	4'	100	2	HPS	150W	2/3	--	PFT21523H15
	4'	100	1	MP	150W	2/3	EXEMPT	PFT11523P15
	4'	100	2	MP	150W	2/3	EXEMPT	PFT21523P15
	4'	100	1	MP	250W	2/3	•	PFT12523P15
	4'	100	2	MP	250W	2/3	•	PFT22523P15
20'	4'	100	1	HPS	250W	2/3	--	PFT12523H20
	4'	100	2	HPS	250W	2/3	--	PFT22523H20
	4'	100	1	HPS	400W	2/3	--	PFT14023H20
	4'	100	2	HPS	400W	2/3	--	PFT24023H20
	4'	100	1	MP	400W	4	•	PFT1404FP20
	4'	100	2	MP	400W	4	•	PFT2404FP20
25'	4'	90	1	HPS	250W	2/3	--	PFT12523H25
	4'	80	2	HPS	250W	2/3	--	PFT22523H25
	4'	90	1	HPS	400W	2/3	--	PFT14023H25
	4'	80	2	HPS	400W	2/3	--	PFT24023H25
	4'	90	1	MP	400W	4	•	PFT1404FP25
	4'	80	2	MP	400W	4	•	PFT2404FP25
25'	5'	100	2	HPS	400W	2/3	--	PFT24023H250
	5'	100	2	MP	400W	2/3	•	PFT24023P250
	5'	100	2	MP	400W	4	•	PFT2404FP250
30'	5'	90	1	HPS	250W	2/3	--	PFT12523H30
	5'	80	2	HPS	250W	2/3	•	PFT22523H30
	5'	90	1	HPS	400W	2/3	--	PFT14023H30
	5'	80	2	HPS	400W	2/3	--	PFT24023H30
	5'	90	1	MP	250W	2/3	•	PFT12523P30
	5'	80	2	MP	250W	2/3	•	PFT22523P30
	5'	90	1	MP	400W	2/3	•	PFT14023P30
	5'	80	2	MP	400W	2/3	•	PFT24023P30
	5'	90	1	MP	400W	4	•	PFT1404FP30
5'	80	2	MP	400W	4	•	PFT2404FP30	

NOTES: 1 Four Anchor bolts and one template included with each Momb Combo setup. 2 To order without anchor bolts, add "N/AB" to end of catalog number, no dashes. 3 8" Square Pole Arm included inside each Tribute fixture carton. 4 All Tribute fixtures come equipped with Type II/III (adjustable—set to Type III) or Type IV distribution. 5 Lamp is included. 6 Supplied with Multi-tap voltages 120/208/240/277V wired 277V. 7 Check Stock Guide for availability. 25'-5" and Type IV configurations available in select warehouses only.

THREE TO FOUR FIXTURE CONFIGURATIONS

Mounting Height (Feet)	Square Steel Pole Shaft Size (Inches)	Maximum Wind Zone (MPH)	Number of Fixture(s)	Lamp Type	Wattage	IES Distribution Type	EISA Compliant	Catalog Number
20'	4'	100	3	HPS	250W	2/3	--	PFT32523H20
	4'	90	4	HPS	250W	2/3	--	PFT42523H20
	4'	100	3	HPS	400W	2/3	--	PFT34023H20
	4'	90	4	HPS	400W	2/3	--	PFT44023H20
	4'	100	3	MP	250W	2/3	•	PFT32523P20
	4'	90	4	MP	250W	2/3	•	PFT42523P20
	4'	100	3	MP	400W	2/3	•	PFT34023P20
	4'	90	4	MP	400W	2/3	•	PFT44023P20
25'	4'	80	3	HPS	250W	2/3	--	PFT32523H25
	4'	80	4	HPS	250W	2/3	--	PFT42523H25
	4'	80	3	HPS	400W	2/3	--	PFT34023H25
	4'	80	4	HPS	400W	2/3	--	PFT44023H25
	4'	80	3	MP	250W	2/3	--	PFT32523P25
	4'	80	4	MP	250W	2/3	--	PFT42523P25
	4'	80	3	MP	400W	2/3	--	PFT34023P25
	4'	80	4	MP	400W	2/3	--	PFT44023P25
30'	5'	80	3	HPS	250W	2/3	--	PFT32523H30
	5'	80	4	HPS	250W	2/3	--	PFT42523H30
	5'	80	3	HPS	400W	2/3	--	PFT34023H30
	5'	80	4	HPS	400W	2/3	--	PFT44023H30
	5'	80	3	MP	250W	2/3	•	PFT32523P30
	5'	80	4	MP	250W	2/3	•	PFT42523P30
	5'	80	3	MP	400W	2/3	•	PFT34023P30
	5'	80	4	MP	400W	2/3	•	PFT44023P30

NOTES: 1 Four Anchor bolts and one template included with each Mombbo Combo setup. 2 To order without anchor bolts, add "N/AB" to end of catalog number, no dashes. 3 8" Square Pole Arm included inside each Tribute fixture carton. 4 All Tribute fixtures come equipped with Type II/III (adjustable—set to Type III) or Type IV distribution. 5 Lamp is included. 6 Supplied with Multi-tap voltages 120/208/240/277V wired 277V. 7 Check Stock Guide for availability. 25'-5' and Type IV configurations available in select warehouses only.

### DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

<b>Catalog #</b>		<b>Type</b>	
<b>Project</b>			
<b>Comments</b>		<b>Date</b>	
<b>Prepared by</b>			

### SPECIFICATION FEATURES

#### Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 7W and 18W. The large housing is available in the 26W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

#### Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

#### Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 7W models operate in -40°C to 40°C [-40°F to 104°F]. 18W and 26W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 90% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

#### Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

#### Warranty

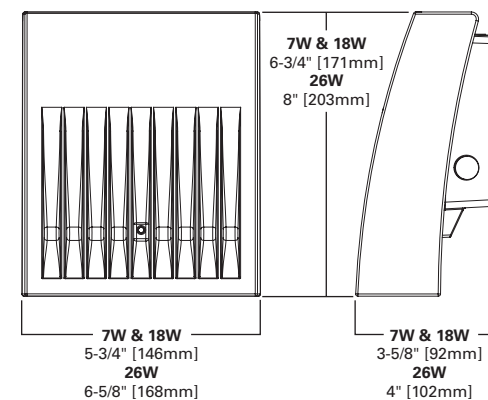
Five-year warranty.



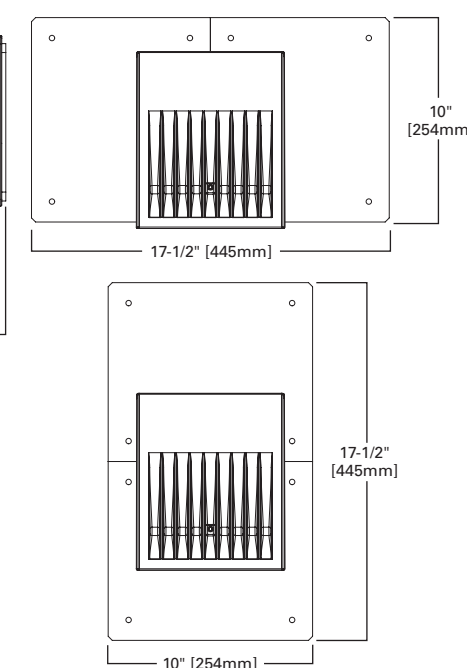
## XTOR CROSSTOUR LED

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

### DIMENSIONS



### ESCUTCHEON PLATES



### CERTIFICATION DATA

UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingressed Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified*

### TECHNICAL DATA

40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

### EPA

Effective Projected Area (Sq. Ft.):  
XTOR1A/XTOR2A=0.34  
XTOR3A=0.45

### SHIPPING DATA:

Approximate Net Weight:  
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
<b>XTOR1A Model</b>		
25°C	> 92%	> 290,000
40°C	> 92%	> 290,000
50°C	> 91%	> 270,000
<b>XTOR2A Model</b>		
25°C	> 91%	> 270,000
40°C	> 90%	> 260,000
50°C	> 88%	> 225,000
<b>XTOR3A Model</b>		
25°C	> 91%	> 280,000
40°C	> 91%	> 270,000
50°C	> 89%	> 240,000

**LUMENS - CRI/CCT TABLE**

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	722	1,633	1,523	2,804	2,284
Delivered Lumens (With Flood Accessory Kit) ¹	468	1,060	978	2,168	1,738
B.U.G. Rating ²	B0-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5,000	5,000	3,500	5,000	3,500
CRI (Color Rendering Index)	65	65	70	65	70
Power Consumption (Watts)	7W	18W	18W	26W	26W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

**CURRENT DRAW**

Voltage	Model Series		
	XTOR1A	XTOR2A	XTOR3A
120V	0.05A	0.15A	0.22A
208V	0.03A	0.08A	0.13A
240V	0.03A	0.07A	0.11A
277V	0.03A	0.06A	0.10A
347V	0.025A	0.058A	0.082A

**ORDERING INFORMATION**

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 7W XTOR2A=Small Door, 18W XTOR3A=Small Door, 26W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K ²	[Blank]=Carbon Bronze (Standard) WT=Summit White <b>TBD</b>	PC1=Photocontrol 120V ³ PC2=Photocontrol 208-277V ^{3,4} 347V=347V ⁵ HA=50°C High Ambient ⁵	WG/XTOR=Wire Guard ⁶ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁷ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES: 1 DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

**STOCK ORDERING INFORMATION**

7W Series	18W Series	26W Series
XTOR1A=7W, 5000K, Carbon Bronze	XTOR2A=18W, 5000K, Carbon Bronze	XTOR3A=26W, 5000K, Carbon Bronze
XTOR1A-WT=7W, 5000K, Summit White	XTOR2A-N=18W, 3500K, Carbon Bronze	XTOR3A-N=26W, 3500K, Carbon Bronze
XTOR1A-PC1=7W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=18W, Summit White	XTOR3A-WT=26W, Summit White
	XTOR2A-PC1=18W, 120V PC, Carbon Bronze	XTOR3A-PC1=26W, 120V PC, Carbon Bronze

**5-DAY QUICK SHIP ORDERING INFORMATION**

7W Series	18W Series	26W Series
XTOR1A-WT-PC1=7W, 5000K, Summit White, 120V PC	XTOR2A-PC2=18W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=26W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=18W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=26W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=18W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=26W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=18W, 3500K, Summit White	XTOR3A-N-WT=26W, 3500K, Summit White
	XTOR2A-N-PC1=18W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=26W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=18W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=26W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=18W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=26W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=18W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=26W, 3500K, Summit White, 208-277V PC

**DESCRIPTION**

The Aspen 1900-OA bollard features a sleek, contemporary aesthetic and low glare fixed optics. Fixtures that utilize a metal halide lamp source include an integral core & coil ballast (electronic ballast optional); fixtures with a halogen source are available with integral or remote 12V transformer. Our patented LumaLevel™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration. Aspen bollards are available in two standard sizes.

Catalog #		Type
Project		
Comments		Date
Prepared by		

**SPECIFICATION FEATURES**

**A ... Material**

Housing is precision-machined from corrosion-resistant 6061-T6 aluminum extrusion. Mounting base is cast from corrosion-resistant silicone aluminum alloy.

**B ... Finish**

Fixture and mounting base are double protected by a chromate conversion undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Fixture housing is available in a variety of standard colors. Mounting base is painted black.

**C ... Lens**

Lens is machined from solid U.V. stabilized clear acrylic and is designed to produce maximum light output with low brightness.

**D ... Adjustable Mounting Base**

Cast aluminum mounting base assembly is equipped with the patented LumaLevel™ leveling system that includes mounting chassis, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. The LumaLevel™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

**E ... Anchor Bolts & Template**

Three (3) 3/8" x 12" galvanized anchor bolts and a galvanized steel anchor bolt template are standard. Anchor bolts and template are available to ship in advance of fixture for rough-in purposes (specify option -LAB and order anchor bolts/template kit separately).

**F ... Hardware**

Stainless steel hardware is standard to provide maximum corrosion-resistance.

**G ... Socket**

MH39PAR20: Ceramic socket with 250° C Teflon® coated lead wires and medium base. 50MR16: Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

**H ... Electrical**

MH39PAR20: Integral core & coil ballast is standard (120/208/240/277/347V). Rated for -20° C starting temperature. Integral electronic ballast (120/277V) is available (specify option -EL). 50MR16: 12V transformer required (not included). Remote transformer is available from Lumière as an accessory - see the Accessories & Technical Data section of this catalog for details. Integral 12V transformer is available as an option (specify option -IT).

**I ... Lamp**

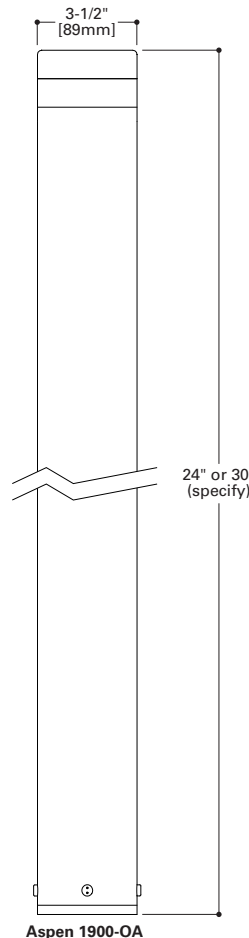
Not included. Available from Lumière as an accessory - see reverse side of this page.

**J ... Labels & Approvals**

UL and cUL listed, standard wet label. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

**K ... Warranty**

Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.



ASPEN  
1900-OA  
Open Aperture

39W (max.) PAR20  
Metal Halide

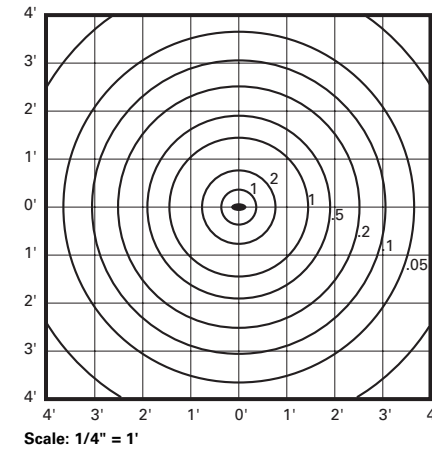
50W (max.) MR16  
Halogen  
Low Voltage

Bollard

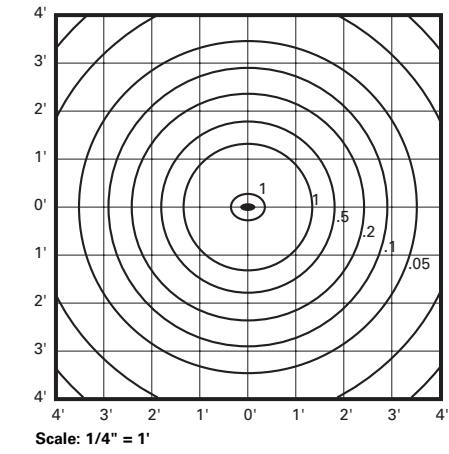
Aspen **1900-OA-30-MHPAR20** Lamp=MH39PAR20/FL Lumens=2000

Aspen 1900-OA-24-50MR16 Lamp=50MR16 Lumens=950

ISO Footcandle Plot



ISO Footcandle Plot



LAMP INFORMATION

Lamp	ANSI Code	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
CDM39PAR20/SP	M130KK-39	39	10°	23,000	3000	9000	medium	120-347
50MR16/NSP	EXT	50	12°	11,000	3050	4000	GU5.3 bi-pin	12

NOTE: Inferior quality lamps may adversely affect the performance of this product. Use only name brand lamps from reputable lamp manufacturers.

NOTES AND FORMULAS

- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.

12V | Litesphere™ LED Strand

CAT:	FEET:
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TYPE:	PROJECT:
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Energy-efficient, low voltage strand lighting using wedge-base LED lamps protected by clear, frosted or colored polycarbonate globes.

**Features**

- Flexible 16AWG. cord available in Black or White with matching socket.
- Shatterproof, polycarbonate, O-ring fitted globes protect lamps with clarity and seamless appearance.
- Socket is parallel wired and permanently fixed to cord.
- Field cuttable.

**Mounting**

Each Socket has mounting holes for screw attachment in under-eave applications. Use 1/8" stainless steel wire cable (by others) and hanger clips for festoon applications.

**Applications**

Ideal for indoor and outdoor applications.

**Warranty**

3 years

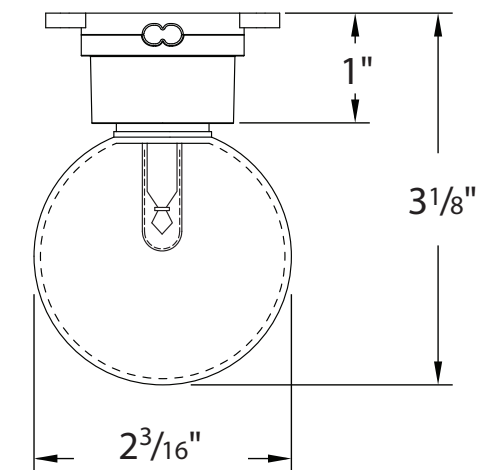


Technical Information

Lamp Spacing	6" O.C.	12" O.C.	18" O.C.	24" O.C.
*Lumens/ft(STD)	8	4	3	2
*Lumens/ft (HO)	24	12	9	6
*Watts/ft (STD)	0.2	0.1	0.08	0.05
*Watts/ft (HO)	0.52	0.26	0.20	0.13
*Lumens/watt* (STD)	40	40	40	40
*Lumens/watt (HO)	46	46	46	46
CRI	> 80/TYP83			
LED Colors	1900°K, 2700°K, , 3000°K, 3500°K, 4000°K (+/- 80°K) 3SDCM White (4200°K), Warm White (2800°K)			
Rated Life	75,000 hr.			
Ordering Increment	1'			
Operating Voltage	12V DC			
Power Supply	Class II			

* 3000°K Sample

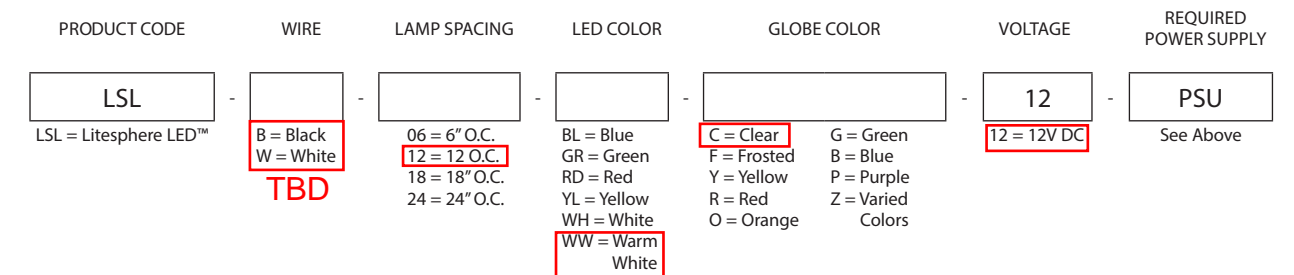
Profile Dimensions



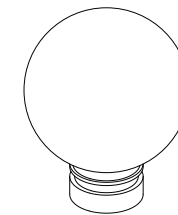
### Recommended Power Supplies

CAT NO	APPLICATION	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	LISTING	DIMENSIONS	ELECTRONIC OR AC MAGNETIC
ADNM-80-1-5-12-D	Outdoor	120-277V AC / 12V DC	60W / 1X5A	cULus	12"W X 12"L X 4"D	Electronic
ADNM-150-2-5-12-D		120-277V AC / 12V DC	120W / 2X5A	cULus	12"W X 12"L X 4"D	Electronic
ADNM-240-3-5-12-D		120-277V AC / 12V DC	180W / 3X5A	cULus	12"W X 12"L X 4"D	Electronic
ADNM-320-4-5-12-D		120-277V AC / 12V DC	240W / 4X5A	cULus	12"W X 12"L X 4"D	Electronic
ADUL-80-1-5-12-D	Indoor	120-277V AC / 12V DC	60W / 1X5A	UL/ETL/CSA	10"W X 10"L X 4"D	Electronic
ADUL-150-2-5-12-D		120-277V AC / 12V DC	120W / 2X5A	UL/ETL/CSA	10"W X 10"L X 4"D	Electronic
ADUL-240-3-5-12-D		120-277V AC / 12V DC	180W / 3X5A	UL/ETL/CSA	10"W X 10"L X 4"D	Electronic
ADUL-320-4-5-12-D		120-277V AC / 12V DC	240W / 4X5A	UL/ETL/CSA	10"W X 10"L X 4"D	Electronic
MT-60-1-5-12-D	Indoor/Outdoor	120V AC / 12V DC	60W / 1X5A	cULus	2.50"W X 12.32"L X 1.56"D	Electronic
MT-60-1-5-12-DD		120V AC / 12V DC	60W / 1X5A	cULus	2.50"W X 12.32"L X 1.56"D	Electronic
JT-60-1-5-12-D	Indoor/Outdoor	120V AC / 12V DC	60W / 1X5A	cETLus	4.25"W X 8.50"L X 3.25"D	Magnetic
JTH-60-1-5-12-D		277V AC / 12V DC	60W / 1X5A	cETLus	4.25"W X 8.50"L X 3.25"D	Magnetic
JT-240-4-5-12-D		120V AC / 12V DC	240W / 4X5A	cETLus	8.50"W X 16.00"L X 4.50"D	Magnetic
JTH-240-4-5-12-D		277V AC / 12V DC	240W / 4X5A	cETLus	8.50"W X 16.00"L X 4.50"D	Magnetic

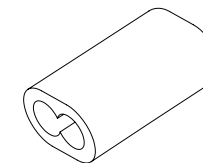
### Ordering Information



### Wiring Accessories



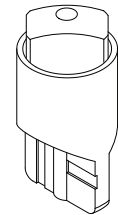
**REPLACEMENT GLOBES**  
**LS-CG** Clear  
**LS-FG** Frosted  
**LS-YG** Yellow  
**LS-RG** Red  
**LS-OG** Orange  
**LS-GG** Green  
**LS-BG** Blue  
**LS-PG** Purple



**LS-EC-BK** Black end cap  
**LS-EC-WH** White end cap



**LS-HANG-CLIP**  
 Hanger clip for installation from 8 gauge stainless steel aircraft cable



**REPLACEMENT LEDS**  
**LSL-BL-F-12** Blue  
**LSL-GR-F-12** Green  
**LSL-RD-F-12** Red  
**LSL-YL-F-12** Yellow  
**LSL-WH-F-12** White  
**LSL-WW-F-12** Warm White