



Location
3637 Dawes Street

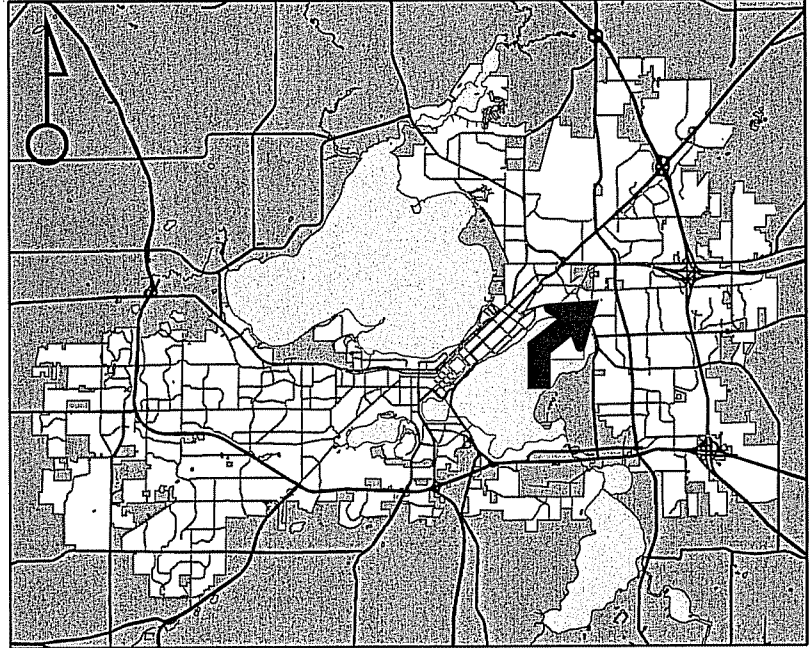
Project Name
Hicklin Garage Replacement

Applicant
Charles and Laura Hicklin

Existing Use
Single-family residence

Proposed Use
Construct accessory building exceeding
576 square feet in TR-C1 zoning

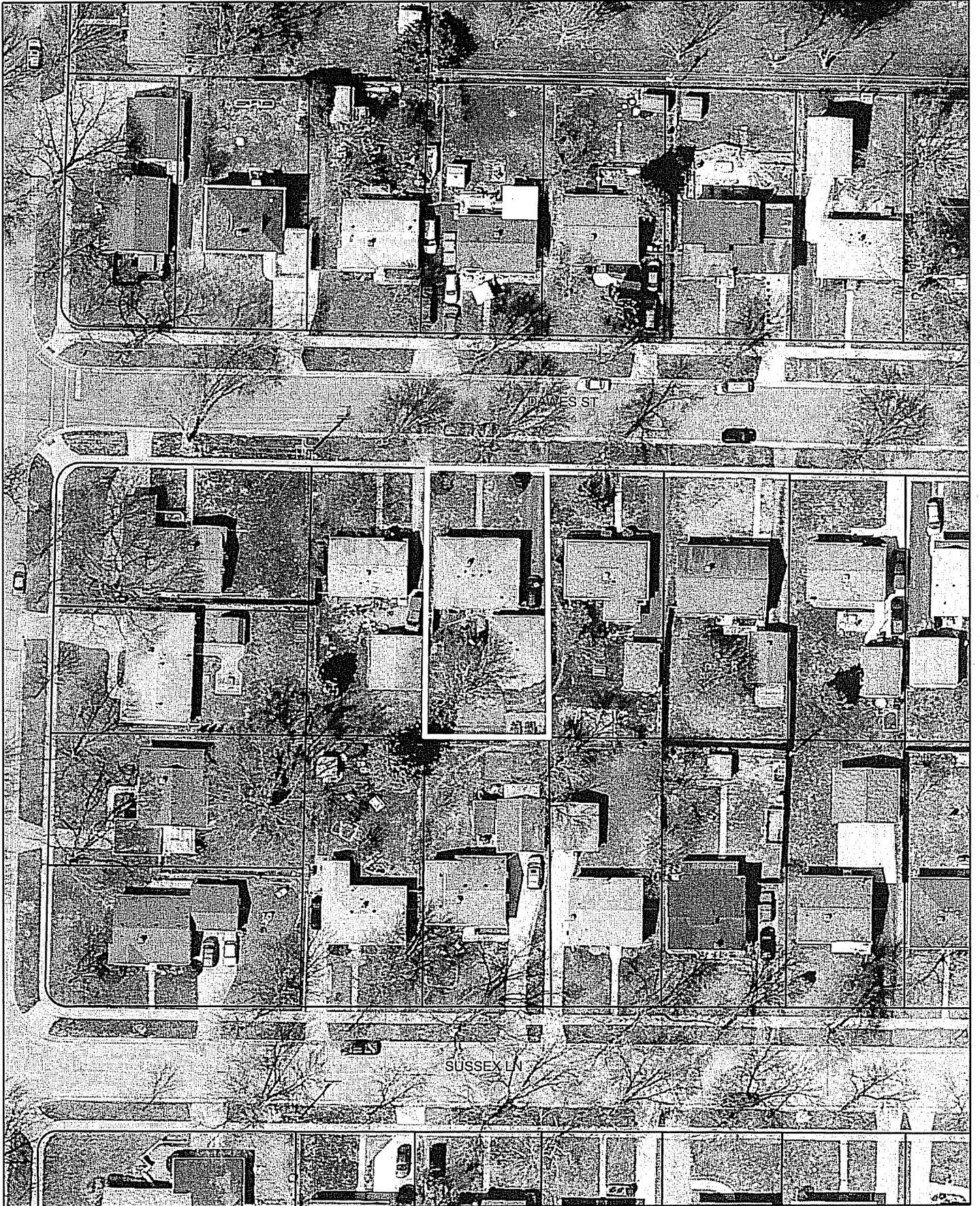
Public Hearing Date
Plan Commission
20 April 2015



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid	\$1000 Receipt No. 001459-
Date Received	2/25/15 0003
Received By	JLK
Parcel No.	0710-043-0714-8
Aldermanic District	15 David Ahrens
Zoning District	TR-C1
Special Requirements	OK
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 3637 Dawes Street
Project Title (if any): Garage Replacement

2. **This is an application for** (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Charles and Laura Hicklin **Company:** Private Residence
Street Address: 3637 Dawes **City/State:** Madison **Zip:** 53714
Telephone: (608) 469-8936 **Fax:** () **Email:** clock_9@hotmail.com

Project Contact Person: Charles Hicklin **Company:** N/A
Street Address: Above **City/State:** _____ **Zip:** _____
Telephone: () **Fax:** () **Email:** _____

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Construction of a 28x27 foot garage at 3637 Dawes Street for private use of the resident

Development Schedule: Commencement May 2015 Completion July 2015

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|-----------------------------------------------|-------------------------------------------------|--------------------------------------------------------------|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

David Ahrens, District 15, Eastmorland Community Association notified via email 1/21/15

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks Date: 2/16/15 Zoning Staff: Pat Anderson Date: 2/16/15

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Laura and Charles Hicklin Relationship to Property: Owners

Authorizing Signature of Property Owner Laura M Hicklin (nee buyer) Date 2/24/15

This application represents a request for a conditional use permit to construct a 756 square foot (28'x27') garage at 3637 Dawes Street. The garage will be designed to provide two parking stalls and accommodate our storage needs. 3637 Dawes has a 60'x127' (7,560 s.f.) lot and a post-war single story ranch home located within a TR-C1 Traditional Residential – Consistent District 1. Under this zoning classification, the maximum size of an accessory building, such as a garage, is 576 square feet. This size allows for a typical 24'x24' garage.

The current 24' by 24' garage sits only six feet from the rear of the house. This does not allow parking for two vehicles in the garage, because the garage overlaps the rear of the house. We plan to demolish this garage and build a larger 28' x 27' foot garage to replace it. The proposed garage will be four feet wider, three feet deeper, and only eight inches taller than the maximum permitted garage in our zoning district. The garage will have a side yard setback of four feet, and a rear setback of seven and a half feet. The larger rear setback is to accommodate the required setback from the MG&E lines that run along the rear property line. The maximum lot coverage for all accessory buildings in our zoning district is 10% of the lot area, or in our case 756 square feet. The new 28' by 27' garage will not exceed this standard.

We have owned this home since 2004. Over the last several years, to accommodate our growing family, we have made significant investments in the home. We have remodeled a bath, remodeled the kitchen, remodeled the basement including the addition of a bedroom and full bath, installed a new furnace and high efficiency a/c unit, installed a new roof, and insulated the attic. We remain committed to the home and neighborhood, because its location allows us to bike to work, walk to the supermarket, and it is close to schools, parks and other amenities.

There are two main reasons we are seeking the CUP: 1) The larger garage will accommodate parking for two vehicles (the current garage only offers one parking stall); 2) The larger garage will accommodate storage for items such as our kayaks, bicycles, stroller, children's toys, lawn mower etc. The alternative way for us meet these needs would be to construct a 576 square foot garage and a 180 square foot storage shed. The combined area of these two buildings would be 756 square feet. However, we believe that consolidating both parking and storage in a single structure will be more efficient, less costly, and ultimately be more attractive than having a garage and separate storage building.

We do have a maple tree in our back yard. As we began planning the project in 2014, we engaged Sean Gere, a professional arborist, to provide an evaluation of the tree and how we might pursue the project without damaging the tree. Unfortunately, his assessment of the tree was that it is diseased. The rear portion of the tree was showing signs of significant distress during the 2014 growing season. Leaves on that portion did not emerge in 2014. His estimate was that the tree will continue to deteriorate in the next several years and that it should be removed, regardless of the project plan. We will plant an appropriate replacement when the project is complete.

We have shared our plans with our neighbors on each side, behind us and across the street. Those that we were not able to talk to were provided a copy of the site plan and a narrative explaining the project. None of the neighbors has expressed any concerns. On February 10, 2015, we presented our plans to the Eastmorland Community Association. Members of the association were supportive of the project.

[Print](#)

[Close](#)

Conditional Use Permit

From: **Chuck H** (clock_9@hotmail.com)
Sent: Wed 1/21/15 10:55 PM
To: district15@cityofmadison.com (district15@cityofmadison.com);
president@eastmorland.org (president@eastmorland.org)

To: David Ahrens, Alderperson, District 15
Kathy Soukup, President, Eastmorland Community Association

This email is to provide notice to you that we plan to make application to the City of Madison Zoning department for a conditional use permit. We plan to replace the garage at our house at 3637 Dawes Street with one that is 28 feet by 27 feet, or 756 square feet. The zoning district for our home has a maximum permitted garage size of 576 square feet, or 24 feet by 24 feet. A larger garage is permitted as a conditional use.

We need the additional space for parking vehicles and for storage of household items such as bicycles, kayaks, baby stroller, lawn mower, snow blower and things like that.

If you have any questions regarding this CUP, please feel free to contact Chuck at 608-469-8936.

Thank you

Charles and Laura Hicklin
3637 Dawes Street
Madison WI 53714

EASTMORLAND COMMUNITY ASSOCIATION

P.O. Box 14584 Madison, Wisconsin 53708

Approximate areas bound by
Highway 30, Stoughton Road,
Cottage Grove Road, Atwood Avenue,
Lake Monona and Starkweather Creek

February 15, 2015

Madison Plan Commission

Dear Madison Plan Commission:

RE: Chuck and Laura Hicklin, 3637 Dawes Street request for a Conditional Use Permit

At our Eastmorland Community Association directors' meeting on Tuesday, February 10th, Chuck and Laura Hicklin talked to neighbors present about their plans and answered questions. Since neighbors present had no objections, and I have not heard anything from the neighbors near 3637 Dawes Street. We voted to approve the conditional use permit for the Hicklins to build a 27×28 foot garage.

Sincerely,

Kathy Soukup

Kathy Soukup
ECA President
608-244-8965 res.

Hicklin Garage Plan



3637 Dawes Street - Madison WI 53714

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION


THIS PLAN IS DESIGNED TO COMPLY WITH THE UNIFORM DWELLING CODE OF THE STATE OF WISCONSIN

DRAWING KEY:

SECTION INDICATOR:


 DRAWING NUMBER

 PAGE

DOOR & WINDOW SIZES (SINGLE):



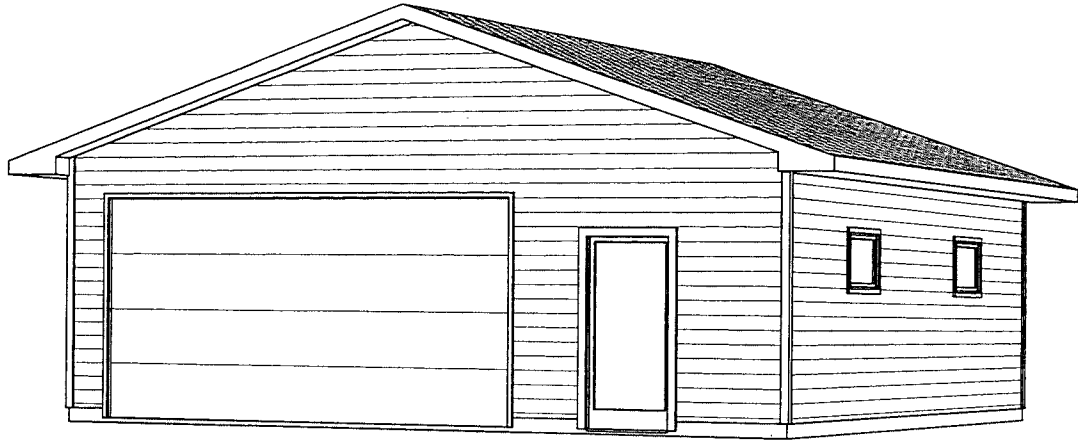
 WIDTH (FEET) ——— HEIGHT (INCHES)
 WIDTH (INCHES) ——— HEIGHT (FEET)

EXAMPLE 1: 6068 = 6'-0" WIDE X 6'-8" HIGH
 EXAMPLE 2: 3050 = 3'-0" WIDE X 5'-0" HIGH

ROOF/ CEILING SLOPE INDICATOR

PITCH (VERT: HORIZ) ——— X:12

ARROW INDICATES DIRECTION OF UP SLOPE



INDEX OF DRAWINGS

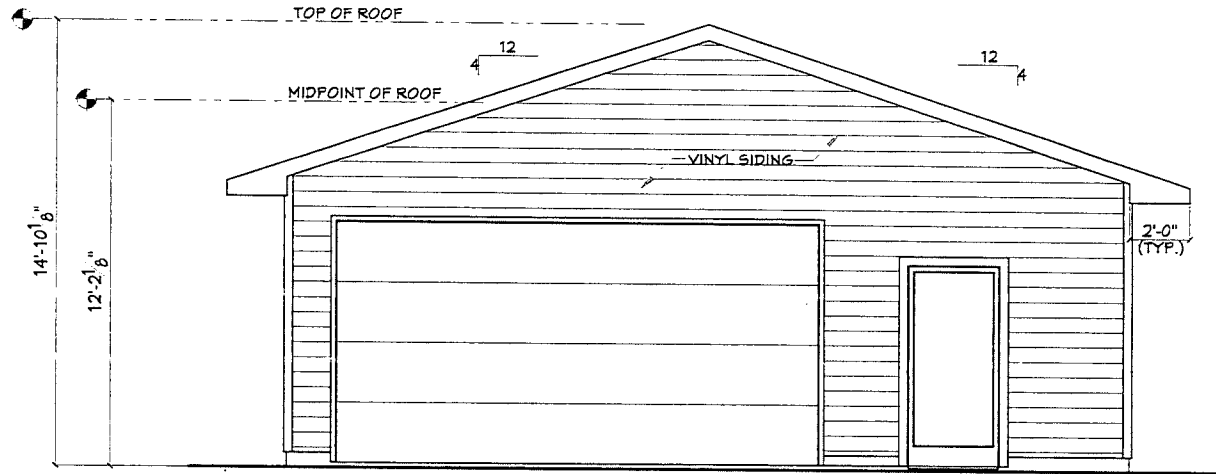
- 1.0- COVER SHEET, PROJECT INFO, DRAWING KEY
- 2.0- FOUNDATION/ FLOOR PLANS/ FRAMING PLANS
- 3.0- ELEVATIONS
- 4.0- SECTIONS & DETAILS
- 5.0- ADDITIONAL DETAILS & SPECIFICATIONS
- 6.0- GENERAL NOTES AND SPECIFICATIONS
- 7.0- NAILING SCHEDULE

Ryan Moe Home Design
 www.RyanMoe.com
 Email: info@RyanMoe.com
 Phone/ Fax: 800-782-1985

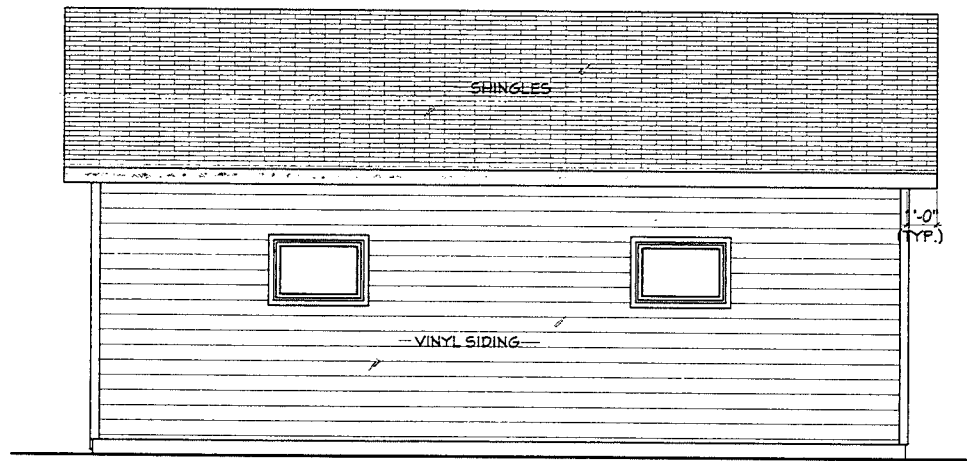
Project Info:
Hicklin Garage Plan
 3637 Dawes Street - Madison WI 53714
© 2015 RYAN MOE HOME DESIGN - SEE PAGE 6 FOR GENERAL NOTES AND DISCLAIMERS

REVISIONS

DRAWN BY:
RDM
 PROJECT#: 43390
 ISSUE DATE: 2-09-15
 SHEET NO:
1.0



FRONT ELEVATION
SCALE: 1/4"=1'-0"



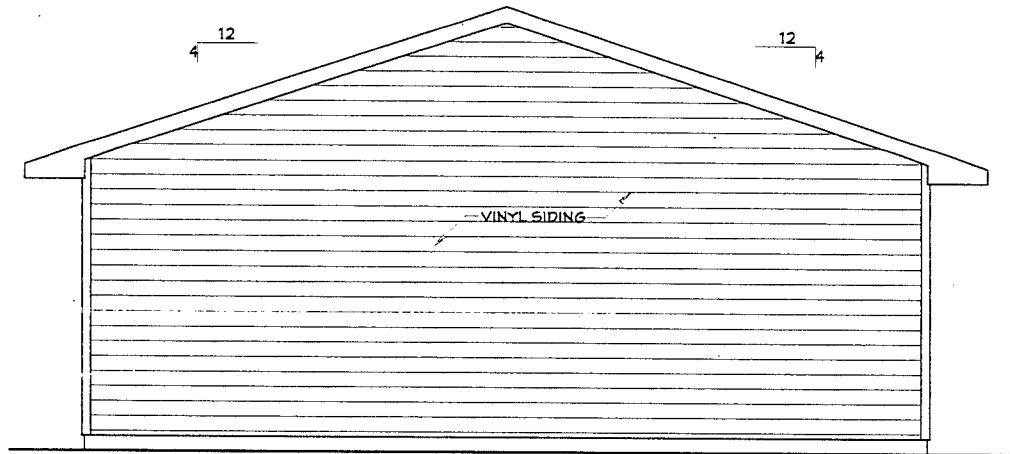
RIGHT ELEVATION
SCALE: 1/4"=1'-0"

Email: info@RyanMoe.com
 Phone/ Fax: 800-782-1985
Ryan Moe Home Design
 www.RyanMoe.com

Project Info:
Hicklin Garage Plan
 3631 Dawes Street - Madison WI 53714
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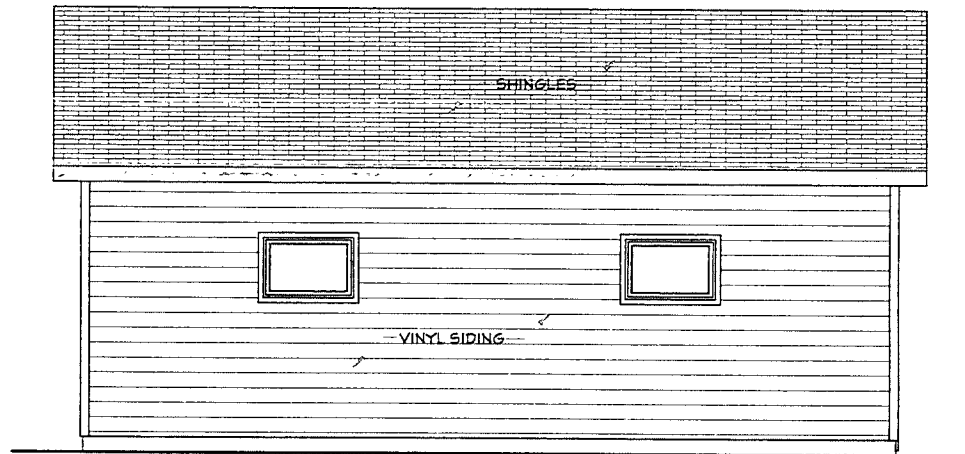
REVISIONS

DRAWN BY:
RDM
 PROJECT:
 43340
 ISSUE DATE:
 2-09-15
 SHEET NO:
3.0



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

Ryan Moe Home Design
 www.RyanMoe.com
 Email: info@RyanMoe.com
 Phone/ Fax: 800-782-1985

Project Info:
Hicklin Garage Plan
 3651 Dawes Street - Madison WI 53714
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REVISIONS

DRAWN BY:
RDM
 PROJECT#:
43390
 ISSUE DATE:
2-09-15
 SHEET NO:
3.1

WALL BRACING TO BE PROVIDED BY CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING (METHOD 3 OF SECTION R602.10.3). ALL EXTERIOR WALLS TO HAVE CONTINUOUS SHEATHING

STRENGTH OF FRAMING MATERIALS
 All framing lumber except wall studs shall be A-F&P&NDS (or other approved agency) rated southern pine, grade 2 or better having the following minimum properties:

- Bending stress "Fb" = 2x4= 1265
- Bending stress "Fb" = 2x6= 1150
- Bending stress "Fb" = 2x8= 1065
- Bending stress "Fb" = 2x10 = 920
- Bending stress "Fb" = 2x12 = 865
- Horizontal shear "Fv" = 70 PSI
- Compression perpendicular to grain "Fc" = 565 PSI
- Modulus of elasticity "E" - 1,400,000 PSI

LVL beams shall have the following minimum properties:

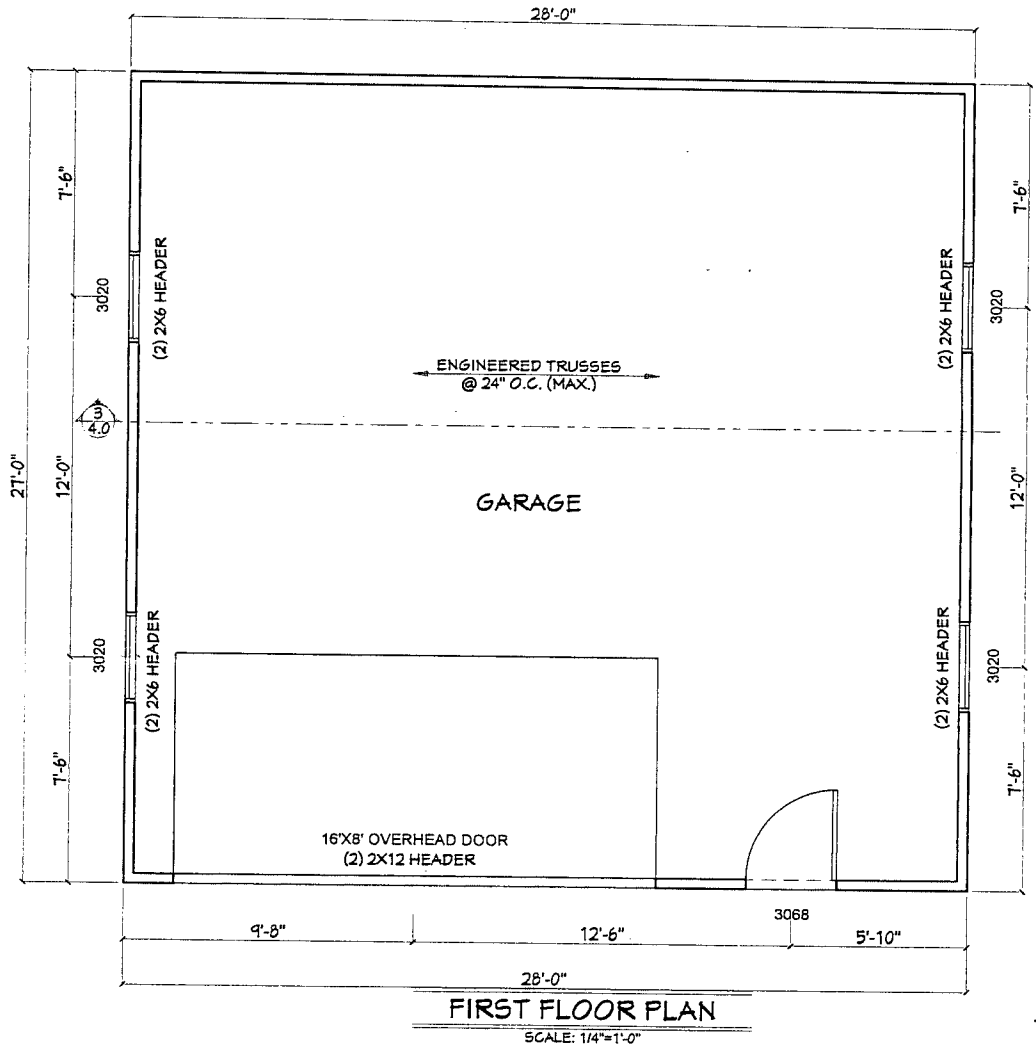
- Bending stress "Fb" = 2600 PSI
- Horizontal shear "Fv" = 285 PSI
- Compression perpendicular to grain "Fc" = 750 PSI
- Compression parallel to grain "Fc" = 2510 PSI
- Modulus of elasticity "E" - 1,900,000 PSI

Wood studs to be SPF stud grade or better, having the following minimum properties:

- Compression perpendicular to the grain Fc = 425 PSI
- Bending Stress, Fb rep = 650 PSI
- Modulus of Elasticity, E = 1,200,000

DESIGN LOADS:

ATTICS WITHOUT STORAGE	10PSF
ATTICS WITH LIMITED STORAGE	20PSF
ROOF LIVE LOAD	30PSF
MINIMUM SOIL BEARING CAPACITY:	2000PSF



Ryan Moe Home Design
 Email: info@RyanMoe.com
 Phone/ Fax: 800-782-1985
 WWW.RYANMOE.COM

Project Info:
Hicklin Garage Plan
 3637 Dumas Street - Madison WI 53714
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2.0

