

# CITY OF MADISON

# Proposed Rezoning

Location: 731 State Street

Applicant: Presbyterian Student Center Foundation/  
Charles Oewel - CFC Corporation

From R6 District(s)

To PUD(GDP-SIP) District(s)

Existing Use: Presbyterian Student Center &  
Parking Lot

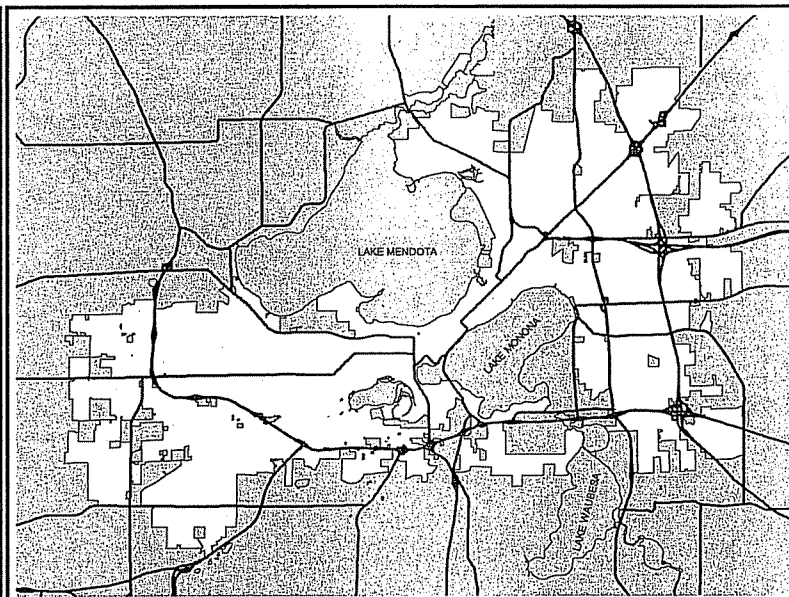
Proposed Use: Remodel Existing Religious Student  
Center & Build 6-Story Student Center  
with 44 Dwelling Units

File No. \_\_\_\_\_

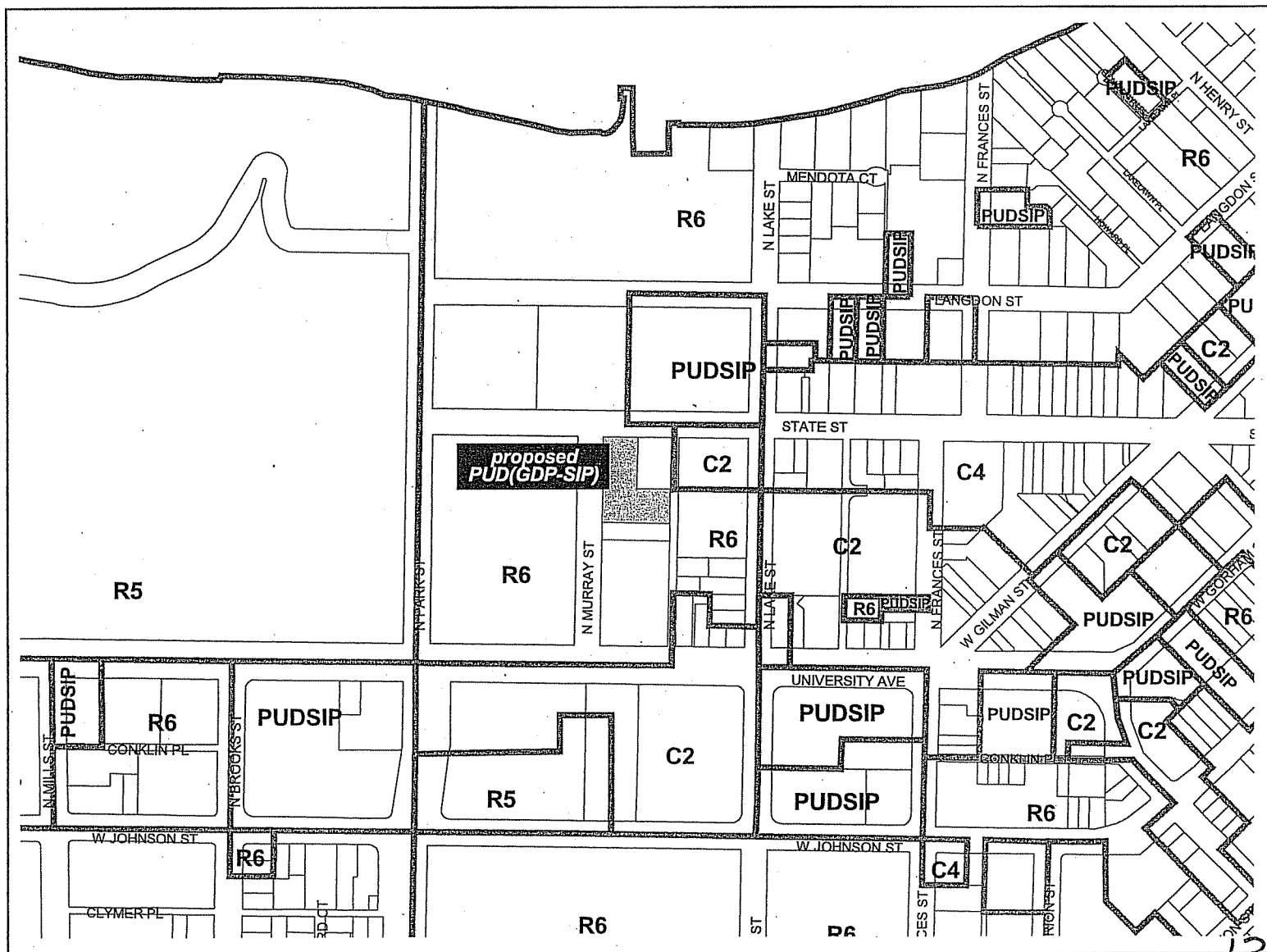
Public Hearing Dates:

Plan Commission 19 September 2005

Common Council 11 October 2005

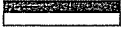


For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

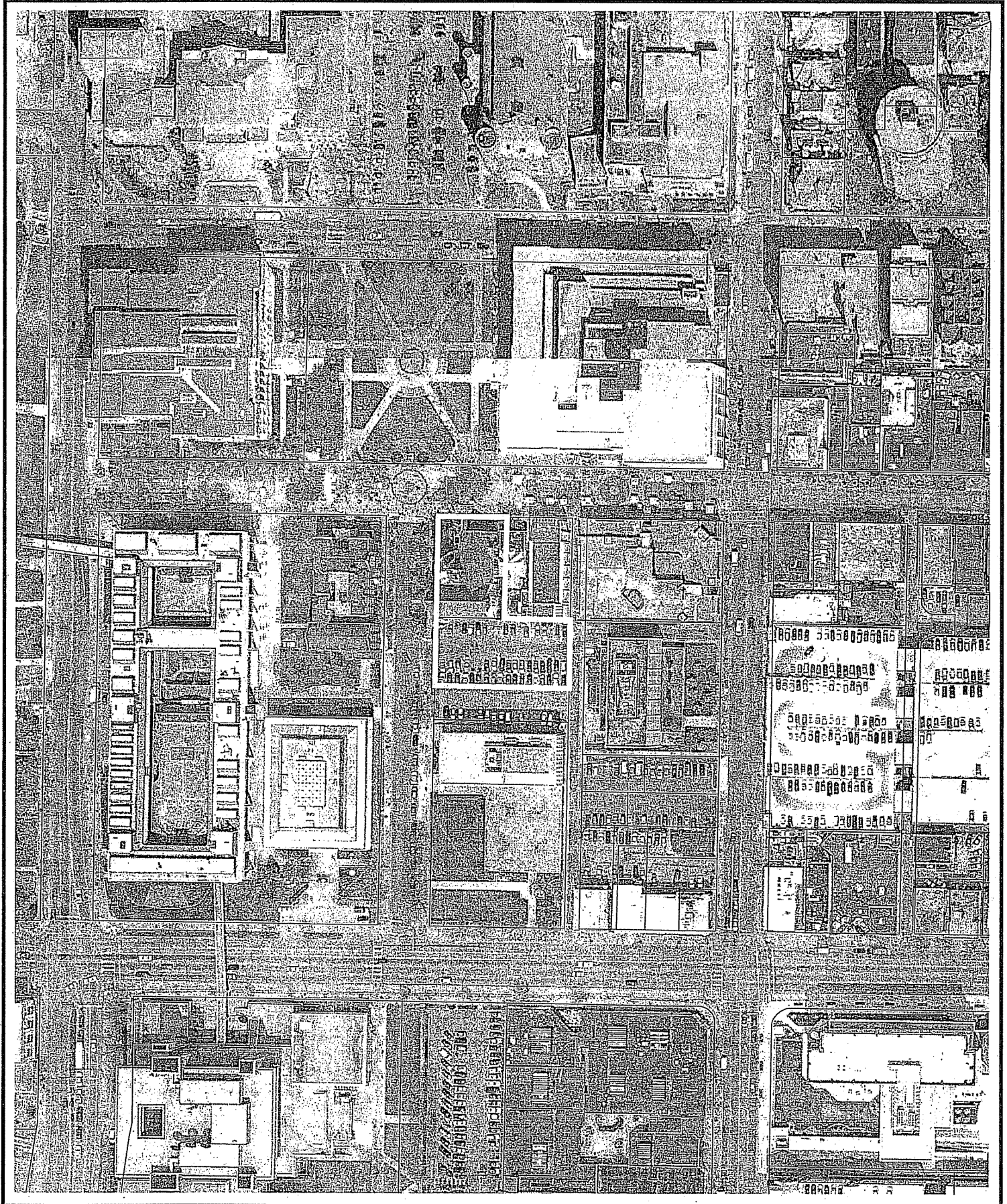


# 731 State Street

0 100 Feet



Date of Aerial Photography - April 2000 & 2003



**LAND USE APPLICATION  
Madison Plan Commission**

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2986  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

**FOR OFFICE USE ONLY:**

Amt. Paid \$1250 Receipt No. 62660  
Date Received 7-13-05  
Received By RT  
Parcel No. 0709-232-0403-9 404-7  
Aldermanic District 8, Austin King  
GQ Nat'l Register  
Zoning District R6  
**For Complete Submittal**  
Application  Letter of Intent   
IDUP N Legal Descript.   
Plan Sets  Zoning Text   
Alder Notification \_\_\_\_\_ Waiver   
Ngrbrd. Assn Not. \_\_\_\_\_ Waiver   
Date Sign Issued \_\_\_\_\_

1. Project Address: 731 State Street Project Area in Acres: 0.61  
Project Title (if any): Pres House Renovation and Addition

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from \_\_\_\_\_ to \_\_\_\_\_  Rezoning from R6 to PUD/PCD-SIP

Rezoning from \_\_\_\_\_ to PUD/PCD-GDP  Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use  Demolition Permit  Other Requests (Specify): \_\_\_\_\_

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Presbyterian Student Center Foundation Company: \_\_\_\_\_  
Street Address: 731 State Street City/State: Madison, WI Zip: 53703  
Telephone: (608) 257-1030 Fax: (608) 257-6639 Email: ted@preshouse.org

Project Contact Person: Charles Dewel Company: CFC Corporation  
Street Address: 1606 Juanita Lane, Ste. A City/State: Belvedere, CA Zip: 94920  
Telephone: (415) 789-0161 Fax: (415) 789-0497 Email: cdewel@cfccorp.com

Property Owner (if not applicant): \_\_\_\_\_  
Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Project Information:

Provide a general description of the project and all proposed uses of the site: Mixed use with chapel, restaurant and student center facilities in a renovated heritage building and office and student housing in a newly constructed building.

Development Schedule: Commencement May, 2006 Completion August, 2007

CONTINUE →

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**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 ½ inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee: \$ 1,200** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - The site is located within the limits of Downtown Plan, which recommends: Articulate design principles in the near-campus zone with PUD zoning. for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30 days** prior to filing this request:
  - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices: The 30 day notice was waived by Austin King and concurred by Brad Murphy
  - If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
 

Planner Tim Parks Date 3/16/05 | Zoning Staff Kathy Koedc Date 3/16/05

**The signer attests that this form has been completed accurately and all required materials have been submitted:**

Printed Name Charles Dewel Date 7/12/05  
 Signature Dewel Relation to Property Owner Development Consultant

Authorizing Signature of Property Owner [Signature] Date July 13 2005

# CFC Corporation

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1606 Juanita Lane  
Suite A  
Belvedere, CA 94920  
415.789.1269  
Fax: 415.789.0497

July 12, 2005

Mr. Timothy M. Parks  
Planner, Department of Planning and Development  
City of Madison  
P.O. Box 2985  
Madison, WI 53701-2985

Re: Letter of Intent  
Pres House Renovation and Addition  
Rezone R6 to PUD-SIP  
731 State Street

Dear Mr. Parks:

Pres House is submitting this Letter of Intent together with the Application materials including the plans, and zoning text for the Pres House renovation and addition.

### Construction Schedule

Construction of the renovation and addition will commence in May 2006 and will complete in August 2007.

### Existing Conditions

The property consists of two legal lots. The first parcel (APN 0709-232-0403-9) is located at 731 State Street and contains 11,352 square feet of land. It is improved with a landmarked building constructed in 1931-1935 by the noted architect Edward Trough for the Presbyterian Student Center Foundation, the current owner. The Neo-Gothic Revival building contains 15,266 square feet of area on two floors plus basement. It is used primarily for a student center and chapel, but a restaurant called The Catacombs occupies the basement level and office space is rented out to several non-profit tenants on the second floor.

The second parcel (APN0709-232-0404-7) is located adjacent to the first parcel but has an address at 439 N. Murray Street. This parcel contains 15,135 square feet of land and is currently used as a parking lot.

Total site area is 26,486 square feet, or 0.61 acres.

### Development Team

Owner: Presbyterian Student Center Foundation  
731 State Street  
Madison, WI 53703  
Attn: Ted Schmidt

Architect: Sue and Associates  
500 E. Eighth Street  
Oakland, CA 94606  
Attn: Wendi Sue

Developer: CFC Corporation

1606 Juanita Lane, Suite A  
Belvedere, CA 94920  
Attn: Charles Oewel  
Engineer: SRI Design  
4610 University Ave. Suite 1018  
Madison, WI 53705  
Attn: Jun Lee

**Building Uses and Areas**

**Existing Building- Total Area of 15,266 SF**

Chapel and Student Center- 11,566 SF

Office- 1,200SF

Restaurant- 2,500 SF

**New Building- Total Area of 75,585 SF**

Student Housing and ancillary Facilities- 61,588 SF

Office- 13,987 SF

**Total Building Area- 90,851 SF**

**Number of Employees and Hours of Operation-** 6 including 2 pastors, business manager, accountant, and property management. The residential building will operate at all hours of the day to serve the residents and the Student Center will operate from 8:30 AM to 11:00 PM.

**Bedrooms per Dwelling Unit/ Total Bedrooms all located in one building**

# Units- 44 Units with a unit mix of 29 4 BR, 11 3BR, 2 2BR and 2 1BR units

# Bedrooms- 153

A Tabulation Form of the project scheduling parking, setbacks, building height, areas and open space provided appears on the cover page of the Architectural Drawings dated 7/10/05 prepared by Sue and Associates sent to you under separate cover.

**Occupancy**

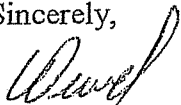
The building will serve approximately 230 student residents. There will be school aged children.

**Trash Removal**

A centrally located trash chute will be located on each floor for the convenience of the residents. The trash is collected at the Ground Floor in rollable dumpsters located within an enclosed trash storage room. A loading/unloading parking space measuring 11' by 35' is adjacent to the trash storage room for the use of refuse disposal trucks.

Pres House is happy to present this architecturally significant project for your review.

Sincerely,



Charles G. Oewel  
President  
CFC Corporation

Encl.

cc: Randy Bare

## Zoning Text

PUD-SIP

Pres House Renovation and Addition, 731 State Street

**Legal Description:** The lands subject to this Planned Unit Development District shall include the lands described in Exhibit A.

- A. **Statement of Purpose:** This zoning district is established to allow for the construction of a mixed use development with 12,000 square feet of office, student housing with 44 dwelling units and associated student lounges, and the renovation of a Landmarked building with 15,266 square feet of restaurant, chapel and student center area.
- B. **Permitted Uses:** The following are permitted uses within the PUD district.
  - 1. Multifamily residential uses as allowed in the R-6 zoning district.
  - 2. Commercial uses as allowed in the C-2 zoning district.
- C. **Lot Area:** As shown on the approved plans.
- D. **Height Regulations:** As shown on the approved plans.
- E. **Yard Regulations:** As shown on the approved plans.
- F. **Landscaping:** As shown on the approved plans.
- G. **Usable Open Space Requirements:** As shown on the approved plans.
- H. **Parking & Loading:** As shown on the approved plans.
- I. **Family Definition:** The family definition of this PUD-SIP shall coincide with the definition given in M.G.O. 28.03 for the R-6 zone.
- J. **Alterations and Revisions:** No alteration or revision of this PUD shall be permitted unless approved by the City Planning Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Architectural Review Committee, Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Planning Commission.

**Inclusionary Student Housing Leasing Plan**  
**Pres House Student Housing Development**

731 State Street

July 6, 2005

1. Project Narrative

General Character of the Development: The Pres House development will renovate the 15,266 square foot heritage building, distinguished by its Landmarked status, and new construction of a 6 story mixed use building containing 75,585 square feet of area. The heritage building is located at the southeast corner of State Street Mall and Murray Mall. The new construction will face Murray Mall south and adjacent to the heritage building. The mixed-use nature of this development will accommodate 12,000 square feet of office, 44 one, two, three and four bedroom apartment units containing 153 bedrooms and 233 beds and associated student lounges, meeting rooms and a leasing office. The site contains 26,486 square feet of land and is located within the Central Downtown Area, which does not require off street parking. This development will provide 5 parking spaces for loading, drop off and delivery, 1 handicapped space, 3 motorcycle parking spaces and 28 bicycle spaces. At the request of University planners, Pres House dropped plans for a 35-car garage and will build the ground floor office space in its place.

The student housing contained in this development will be leased by the bed. Accordingly, an inclusionary unit is defined as a bed within a bedroom. In the case of a single occupancy bedroom, each bed will be designated with the bedroom numbered on the plan. About 50% of the bedrooms will be single occupancy and 50% will be double occupancy. The double occupancy bedrooms will satisfy the 12 units at 50% AMI, and the single occupancy bedrooms will satisfy the 23 units at 60% AMI. In the case of a double occupancy bedroom, each bed will be designated with the bedroom numbered on the plan A or B.

2. Owner, Developer Identification

Owner and Developer: Presbyterian Student Center Foundation, 731 State Street, Madison, WI 53703 Attn: Ted Schmidt

Developer Representative: CFC Corporation, 1606 Juanita Lane, Suite A, Belvedere, CA, 94920 Attn: Charles Oewel

3. Construction Schedule

Pres House will commence construction in May 2006, and complete construction in August 2007. The student housing will be located in one building



and the inclusionary units will be completed at the same time as the market rate units.

#### 4. Plans

Plans drawn to scale have been sent under separate cover. Each bedroom is numbered as a unit number on each floor. The location and distribution of the inclusionary units is as follows:

			<u>50%AMI</u>	<u>60%AMI</u>
Ground Floor-	2 units @ 50% AMI	Unit 110 A and B	2	
	3units @ 60% AMI	Unit <del>102, 104, 129</del>		3
Second Floor-	2 units @ 50% AMI	Unit 222 A and B	2	
	4 units @ 60% AMI	Unit 202, 204, 223, 229		4
Third Floor-	2 units @ 50% AMI	Unit 310 A and B	2	
	4 units @ 60% AMI	Unit 302, 304, 323, 329		4
Fourth Floor-	2 units @ 50% AMI	Unit 422 A and B	2	
	4 units @ 60% AMI	Unit 402, 404, 423, 429		4
Fifth Floor-	2 units @ 50% AMI	Unit 508 A and B	2	
	4 units @ 60% AMI	Unit 502, 504, 523, 525		4
Sixth Floor-	2 units @ 50% AMI	Unit 606 A and B	2	
	4 units @ 60% AMI	Unit 502, 504, 523, 525	—	<u>4</u>
Totals			12	23

**PART 1 – DEVELOPMENT INFORMATION:**

Project or Plat Pres House Renovation and Addition  
 Project Address: 731 State Street Project Area (in acres): 0.61  
 Developer: Presbyterian Student Center Foundation Representative: Charles Coewel  
 Street Address: 1606 Juanita Lane, Ste. A City/State: Belvedere, CA Zip: 94920  
 Telephone: (415) 789-0161 Fax: (415) 789-0497 Email: coewel@cfccorp.com  
 Agent, If Any: \_\_\_\_\_ Company: \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

**PART 2 – PROJECT CONTENTS:**

Complete the following table as it pertains to this project:

Residential Use	MARKET-RATE UNITS		INCLUSIONARY UNITS		Total Units	Acres
	Owner-Occupied Units	Renter-Occupied Units	Owner-Occupied Units	Renter-Occupied Units		
Single-Family						
Duplexes						
Multi-Family Beds			198	35	233	0.61
TOTAL Beds			198	35	233	0.61

**PART 3 – AFFORDABLE HOUSING DATA:**

Number of Inclusionary Dwelling Units Proposed by Area Median Income (AMI) Level and Minimum Sale/Rent Price							
Owner-Occupied Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI							
Anticipated Sale Price							
Rental Units	30%	40%	50%	60%	70%	80%	Total
Number at Percent of AMI			12	23			35
Maximum Monthly Rent Price			\$ 640	\$ 768			

**PART 4 – DWELLING UNIT COMPARISON:**

Complete the following table as it pertains to this project:

	MARKET-RATE UNITS					INCLUSIONARY UNITS				
	Studio/Effcy	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms	Studio/Effcy	1 Bdrm	2 Bdrms	3 Bdrms	4/More Bdrms
Owner-Occupied Units with:		Single Room	Double Room				Single Room	Double Room		
Minimum Floor Area:										
Rental Units With:										
Minimum Floor Area:		346	173				346	173		

**PART 5 – INCENTIVES:** Section 28.04 (25) of the Zoning Ordinance provides the opportunity for applicants in projects where affordable dwelling units are required or where the developer has agreed to pay money in lieu of inclusionary dwelling units, to receive one or more incentives as compensation for complying with the Inclusionary Zoning requirements. Each of the eleven incentives listed below are affixed a point value. The incentive points available to an applicant is dependent upon the number of affordable dwelling units proposed at the various area median income (AMI) levels. The program rewards projects both for having a higher number of affordable dwelling units provided at lower AMI levels, and for having a higher percentage of affordable dwelling units incorporated into the development. The incentive and the corresponding number of points available are listed below. (MAP=Maximum Available Points) Please mark the box next to the incentives requested.

Incentive	MAP	Incentive	MAP
<input type="checkbox"/> Density Bonus (varies by project)	3	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund up to \$10,000 per unit for up to 50% of the affordable units provided.	2
<input checked="" type="checkbox"/> Parkland Development Fee Reduction	1	<input type="checkbox"/> Cash subsidy from Inclusionary Unit Reserve Fund of \$5000 for up to 50% of on-site afford-able units in projects with 49 or fewer detached units or projects with four or more stories and 75% of parking provided underground.	2
<input type="checkbox"/> Parkland Dedication Reduction	1	<input type="checkbox"/> Neighborhood Plan preparation assistance	1
<input type="checkbox"/> Off-street Parking Reduction up to 25%	1	<input type="checkbox"/> Assistance obtaining housing funding information	1
<input type="checkbox"/> Non-City provision of street tree planting	1		
<input type="checkbox"/> One addl. story in Downtown Design Zones	1		
<input checked="" type="checkbox"/> Residential parking permits in a PUD/PCD	1		
<input type="checkbox"/> Incentives Not Assigned a Point Value by Ordinance (Explain): _____			

**PART 6 – WAIVER:** The Plan Commission may waive the requirement to provide inclusionary dwelling units in the development if the applicant can present clear and convincing financial evidence that providing the required number of inclusionary dwelling units on-site renders providing the required number of inclusionary units financially infeasible. In such a case, a developer may request a waiver to provide the units off-site, assign the obligation to provide the units to another party, or pay cash in lieu of the units, or any combination of the above. If the waiver is granted, the required units may be provided as new construction off-site in another development within one mile of the subject development; off-site units shall be provided at least 1.25 times the number of units if provided within the subject development. Off-site units must be constructed within one year of the time that they would have been constructed within the subject development. The applicant may opt to pay money into the Inclusionary Unit Reserve Fund based on contribution rates established in Section 28.04 (25) of the Zoning Ordinance. If provision of the inclusionary dwelling units through the waiver is still financially infeasible, the developer may seek a reduction in the percent of units to the point where the project becomes financially feasible. If such a waiver is requested, a detailed explanation shall be provided in the required project narrative demonstrating the financial infeasibility of complying with the ordinance requirements and the rationale for the alternative proposed.

- If a waiver is requested, please mark this box  and include all of the necessary information required by the Zoning Ordinance and IZ Program Policy & Protocols to support your request.

**PART 7 – APPLICANT’S DECLARATION:**

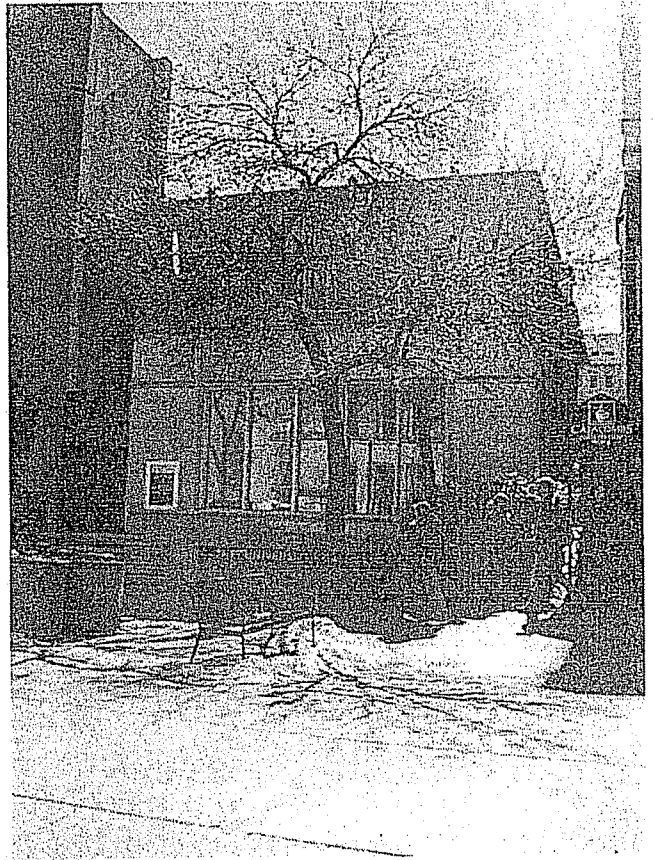
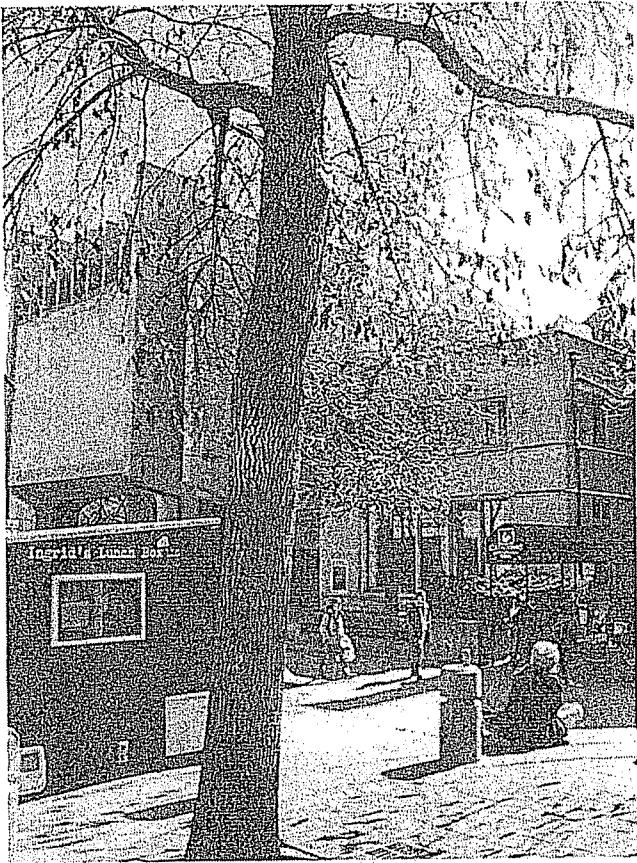
The signer shall attest that this application has been completed accurately and includes all requests for incentives or waivers; that they have attended both required pre-application staff meetings and given the required notice to the district alderperson and neighborhood association(s) prior to filing this application; and that all required information will be submitted on the corresponding application for zoning and/or subdivision approval by the Plan Commission. The applicant shall begin the declaration by stating below whether or not the project complies with the various requirements of the inclusionary zoning ordinance. Check the applicable box and provide any supporting comments.

Standards for Inclusionary Dwelling Units (IDUs)	Will Comply	Will not comply	Additional comments
Exterior Appearance of IDUs are similar to Market rate.	✓		
Proportion of attached and detached IDU units is similar to Market rate.	✓		
Mix of IDUs by bedroom size is similar to market rate.	✓		

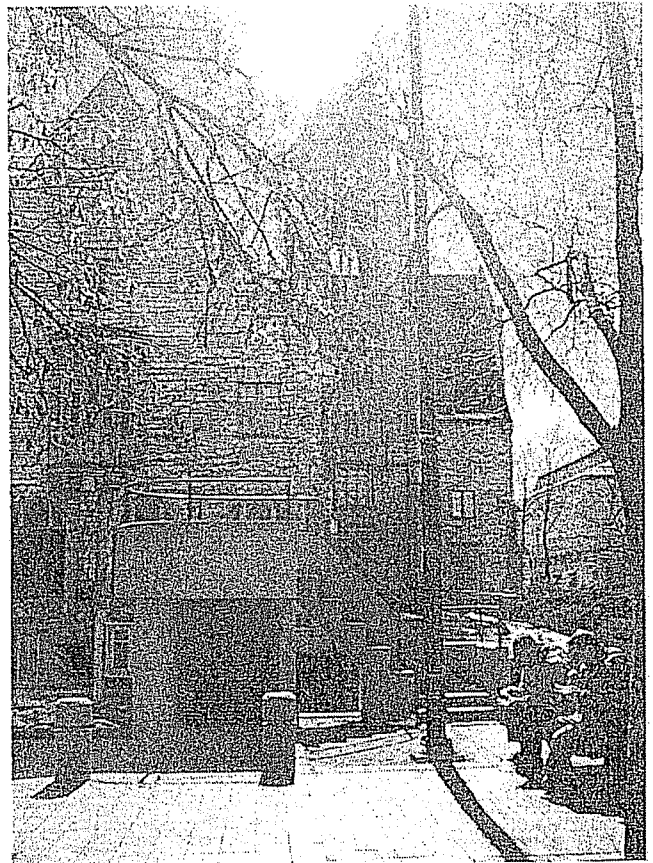
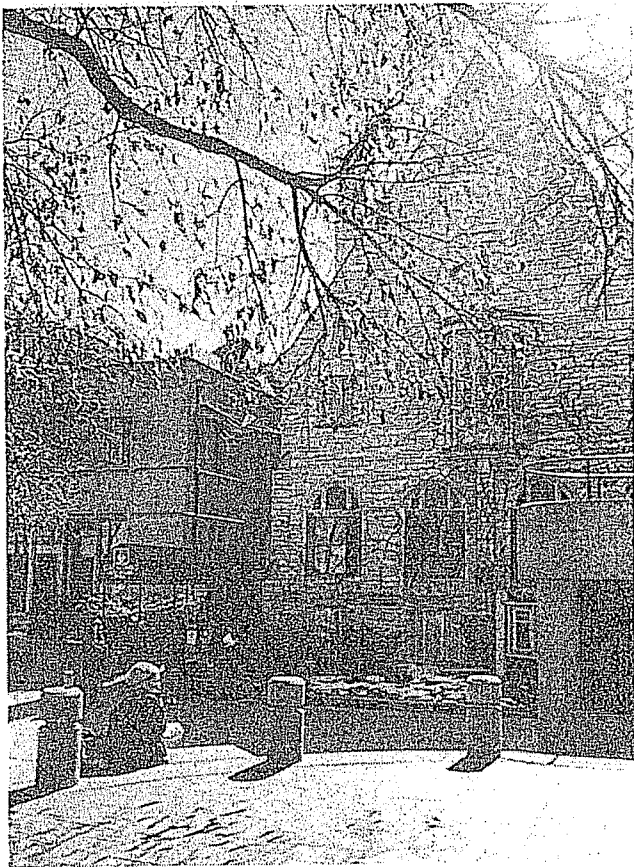
Standards for Inclusionary Dwelling Units (IDUs) (continued)	Will Comply	Will not comply	Additional comments
IDUs are dispersed throughout the project.	✓		
IDUs are to be built in phasing similar to market rate.	✓		
Pricing fits within Ordinance standards	✓		
Developer offers security during construction phase in form of deed restriction.	✓		
Developer offers enforcement for for-sale IDUs in form of option to purchase or for rental in form of deed restriction.	NA		
Developer describes marketing plan for IDUs.	✓		
Developer acknowledges need to inform buyers/renters of IDU status, responsibilities for notification.	✓		
Terms of sale or rent.	✓		
	Yes	No	Additional comments
Developer has arranged to sell/rent IDUs to non-profit or CDA to meet IDU expectations.		✓	
Developer has requested waiver for off-site or cash payment.		✓	
Developer has requested waiver for reduction of number of units.		✓	
Other:			

- The applicant discussed this development proposal with representatives from the Planning Unit, Zoning Administrator and Community Development Block Grant Office on: → June 16, 2005
- The applicant presented a preliminary development plan for this project to the Interdepartmental Review Staff Team on: → July 7, 2005
- The applicant notified Alderperson Austin King of District 8 of this development proposal in writing on: → March 18, 2005
- The applicant also notified Jeff Ermlinger of the State-Langdon neighborhood in writing on: → March 18, 2005
- The Inclusionary Dwelling Unit Plan Application package contains ALL of the materials required as noted on this form: I, as the undersigned, acknowledge that incomplete or incorrect submittals may cause delays in the review of this project. I am also familiar with the ongoing developer responsibilities summarized on page #2 of this application and outlined in the Inclusionary Zoning Ordinance and Program Policy and Protocols.

Applicant Signature Charles Dewel Date 7/6/05  
 Printed Name Charles Dewel Phone (415) 789-0161

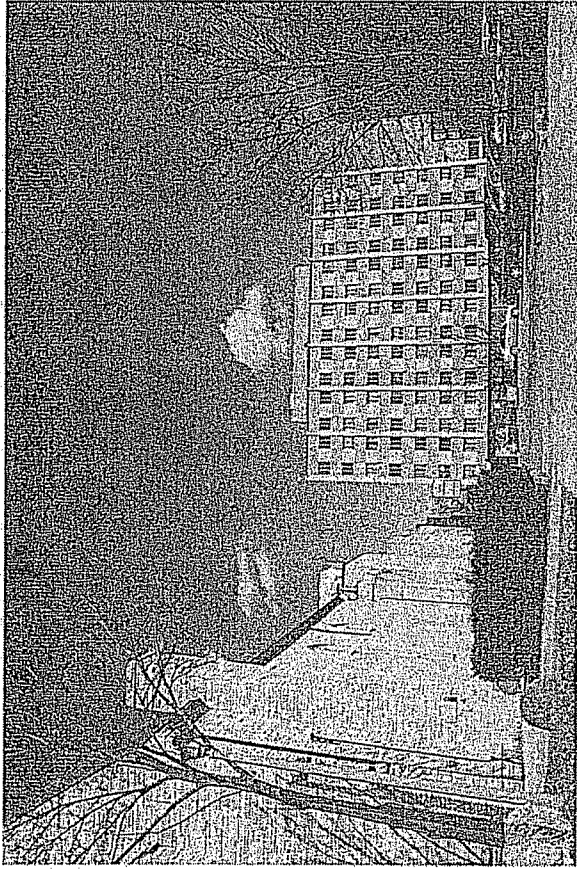


**State Street Elevation E to W**

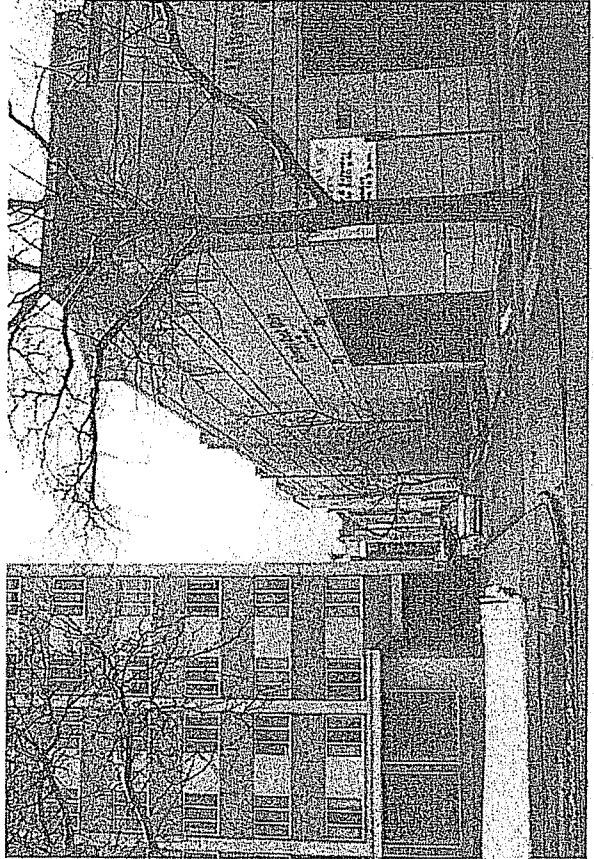




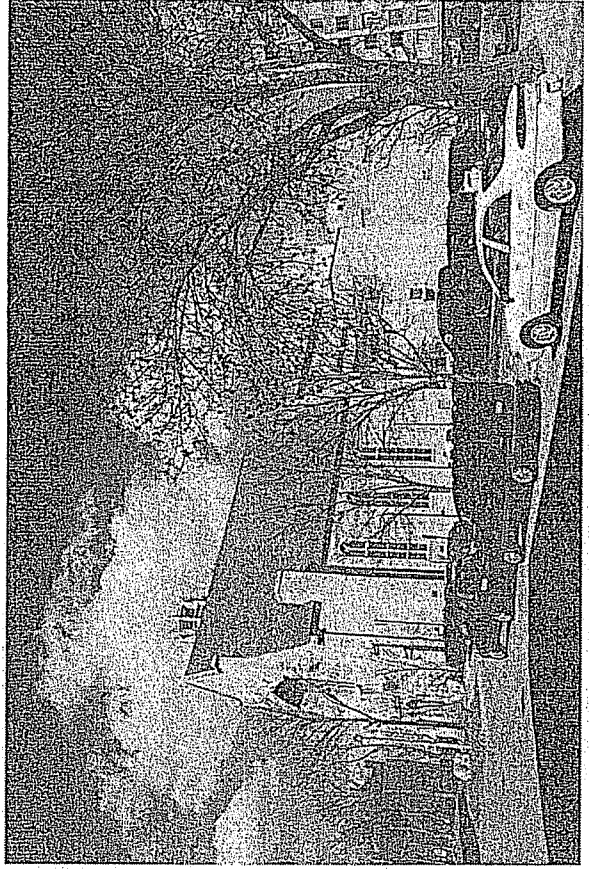
corner of Murray and State



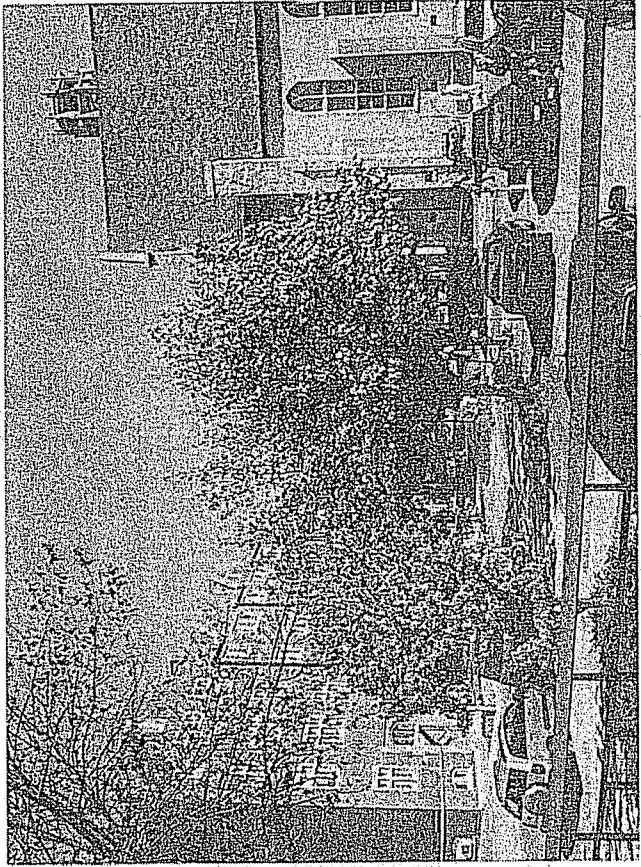
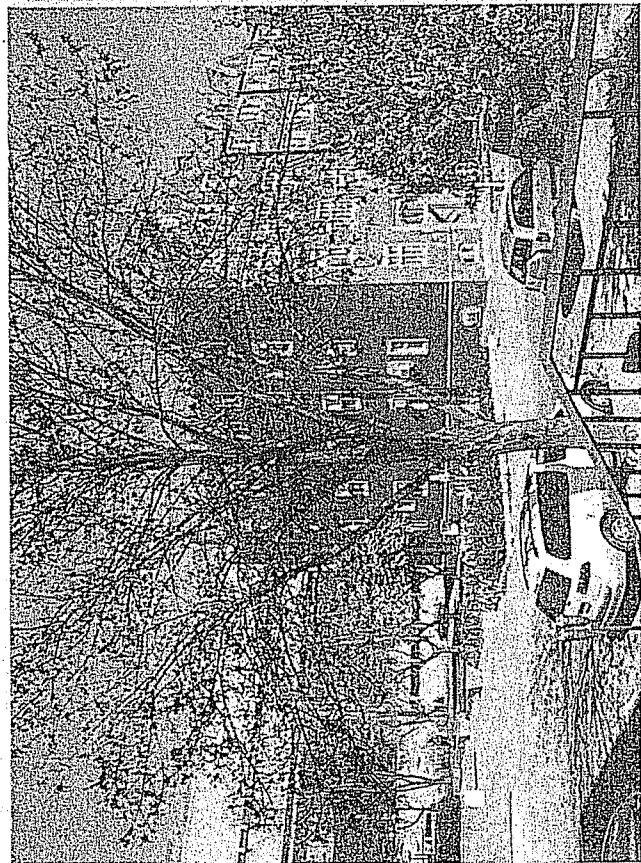
site of proposed addition from  
Murray Street



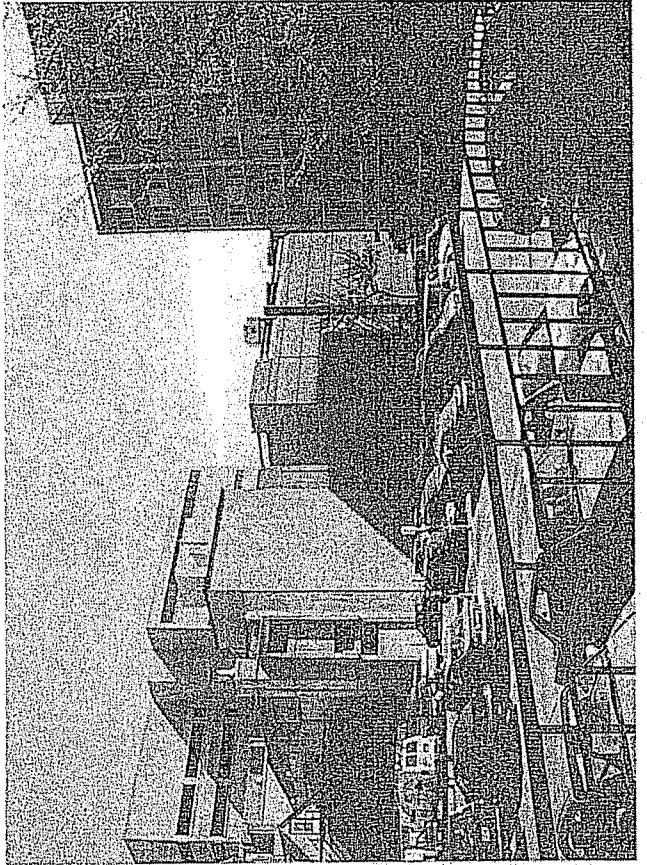
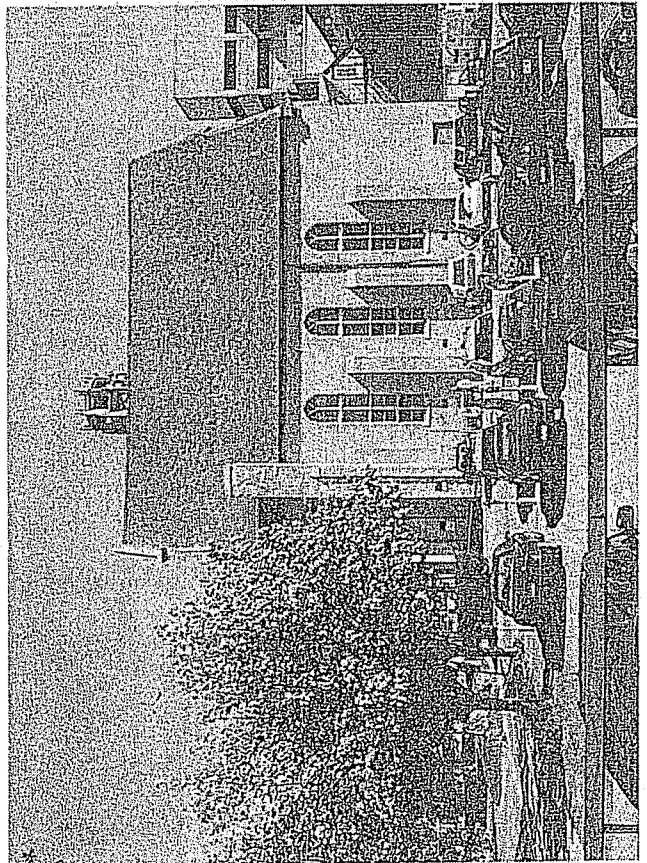
looking West down Alley from Lake  
Street towards site

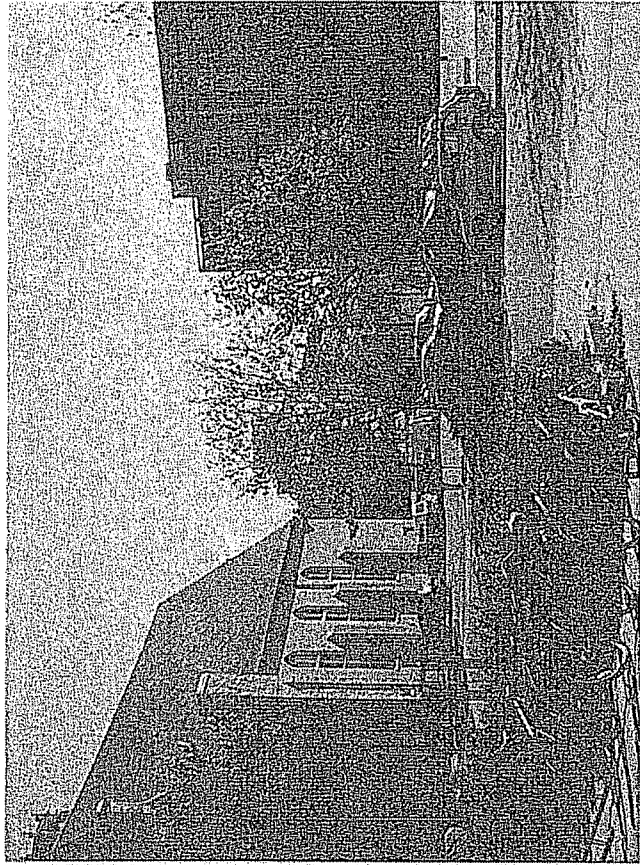


site of proposed addition from  
Murray Street

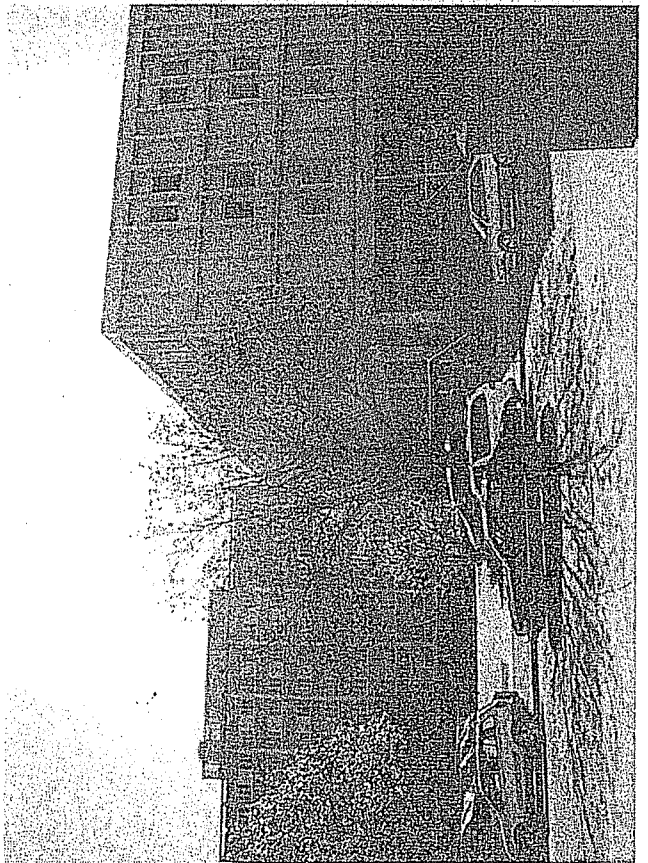
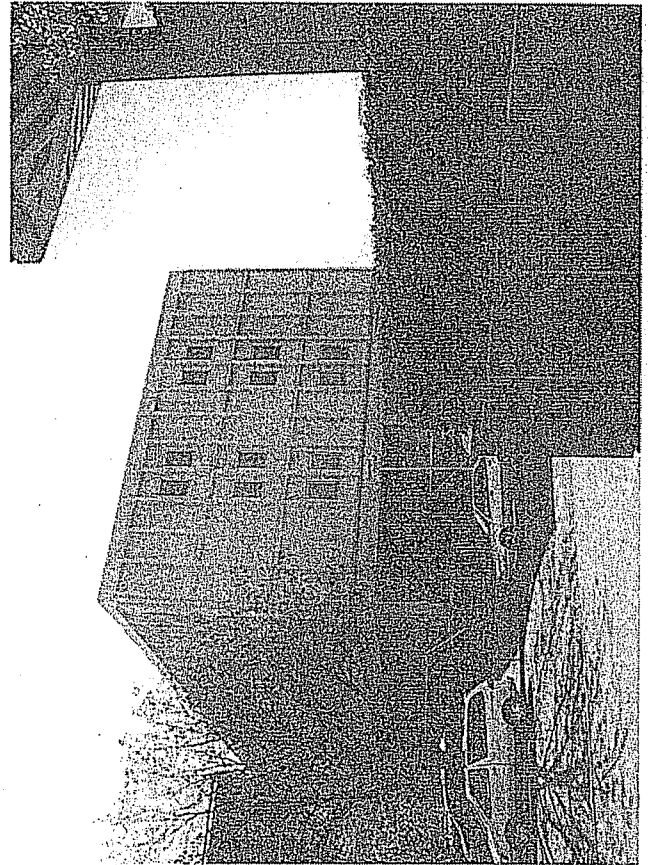


Standing on South side of property, looking NW to NE

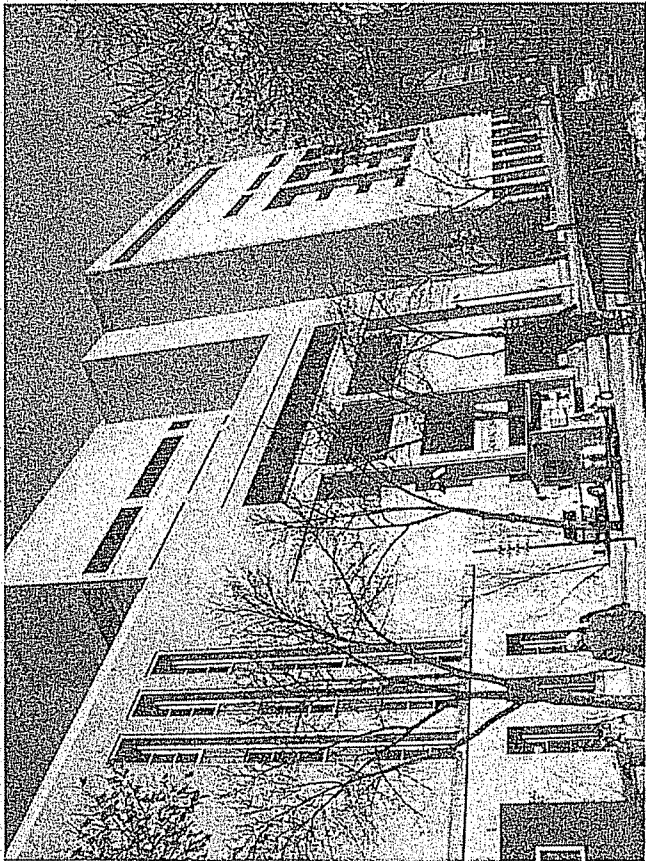




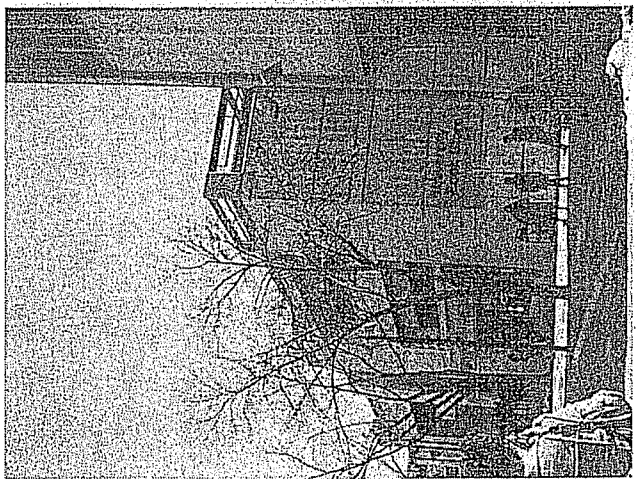
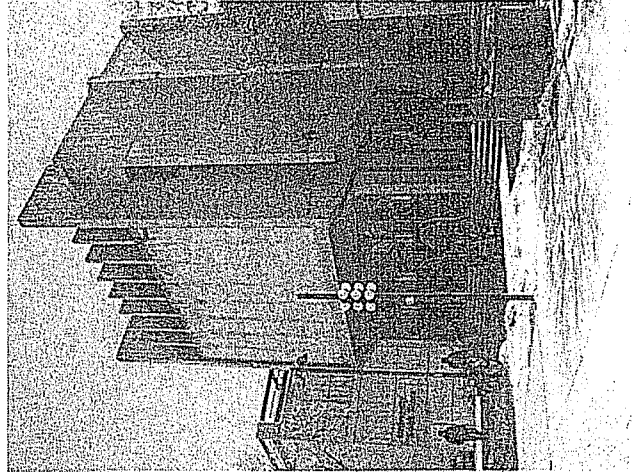
Standing on West side of property, looking NE to SE



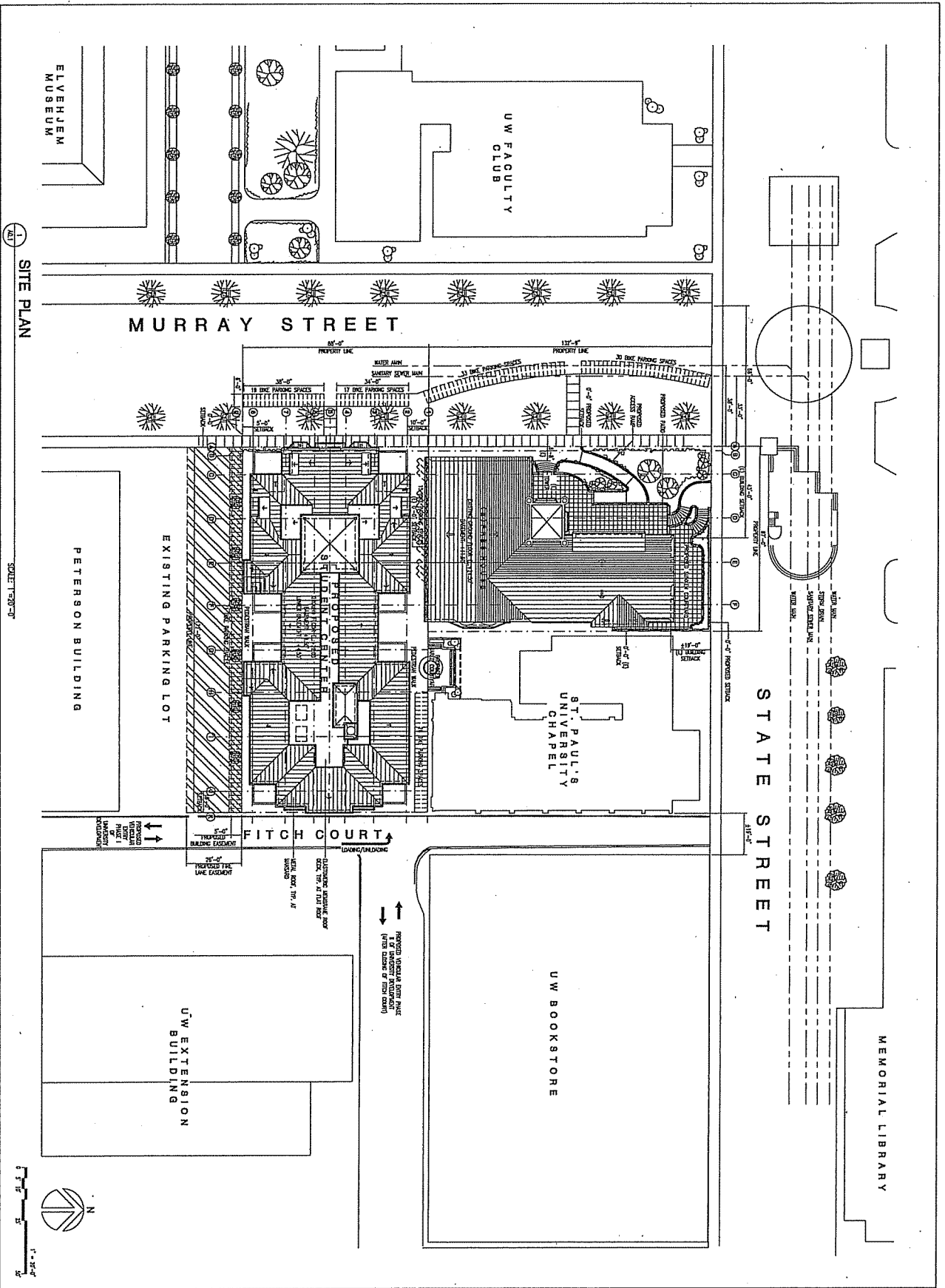




on North side of property looking NE to SE down State Street

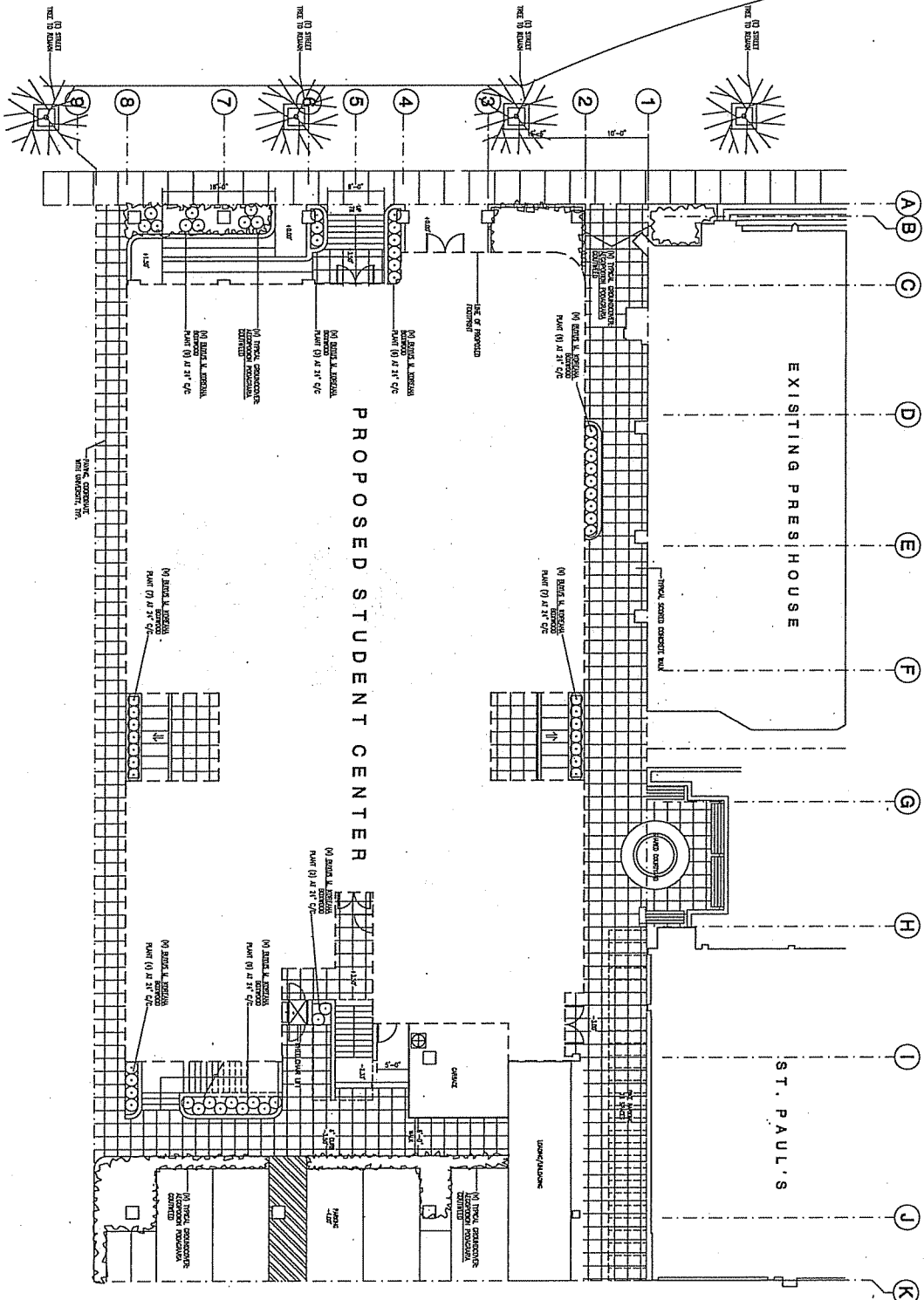






<b>SUE ASSOCIATES</b> ARCHITECTURE & PLANNING 500 East Eighth Street Oxnard, CA 93030 (805) 834-2900																																					
<small>The architect, consultant, planner, writer, artist, and other professionals who have prepared this architectural drawing are not responsible for the accuracy of the information shown here. The user of this drawing should verify the accuracy of the information shown here. The user of this drawing should also verify the accuracy of the information shown here.</small>																																					
PROJECT NAME: <b>PRES HOUSE RENOVATION AND ADDITION</b>																																					
734 STATE STREET MADISON, WISCONSIN CONSULTANT:																																					
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NO.	DATE	DESCRIPTION	BY																																		
PROJECT NO. _____ Sheet No. _____ DRAWN BY: LARNE CHECKED BY: _____ SCALE: 1/8" = 1'-0" DATE: 11/28/00																																					
PROJECT TITLE: <b>SITE PLAN</b> PROJECT NUMBER FROM PLAN:																																					

# MURRAY STREET



LANDSCAPE PLAN

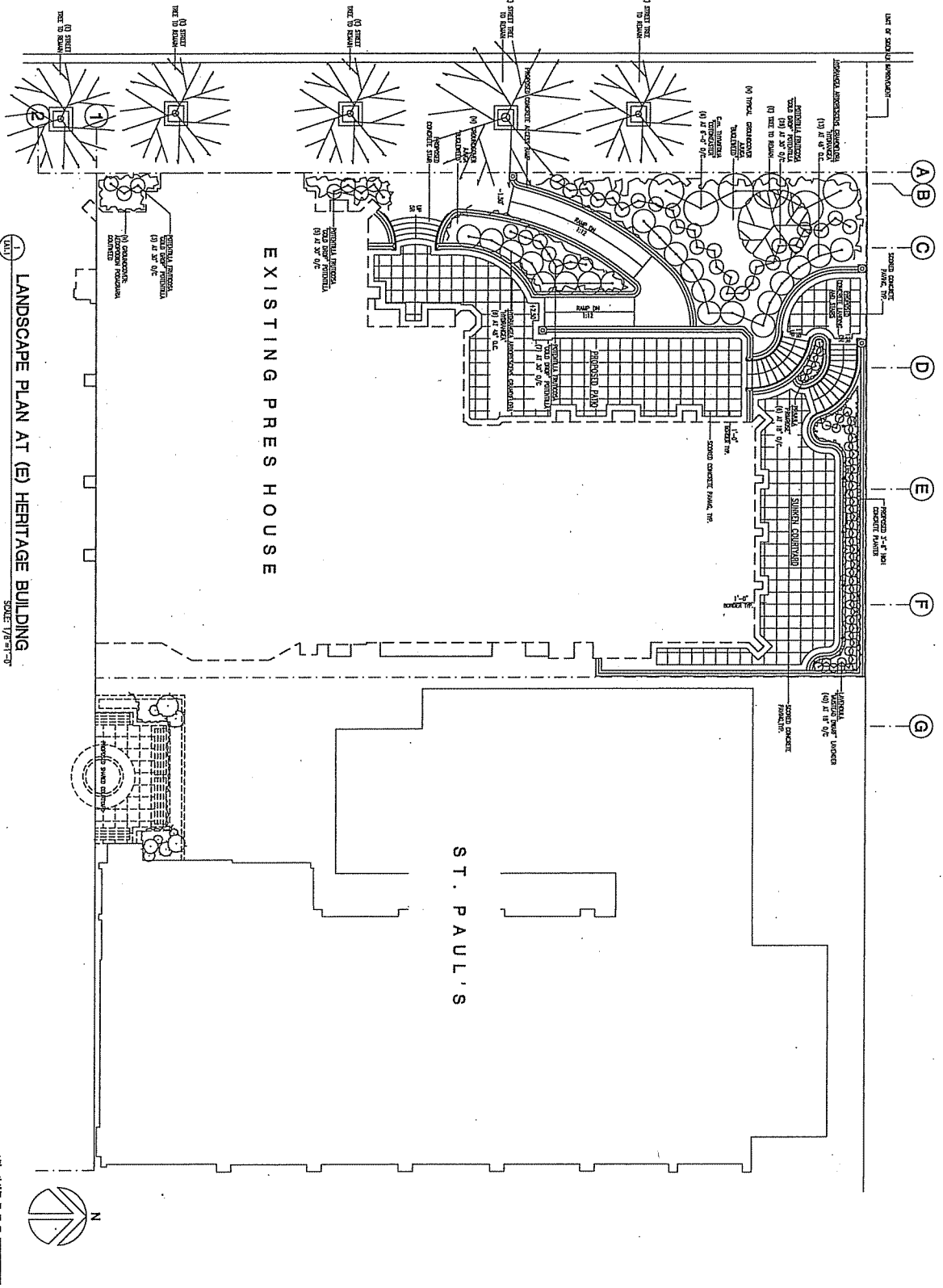
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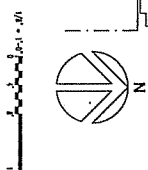
# FITCH COURT

<p><b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING</p> <p>500 East Sixth Street Omaha, NE 68102 (402) 552-2100</p>		<p>PROJECT NAME: <b>PRES HOUSE RENOVATION AND ADDITION</b></p> <p>PROJECT NO.: LA10</p> <p>DESIGNED BY: SUE ASSOCIATES</p> <p>DATE: 07/20/03</p>																
<p>725 STATE STREET LINCOLN, NEBRASKA CONSULTANT</p>																		
<p>REVISION</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NO.	DATE	DESCRIPTION	BY												
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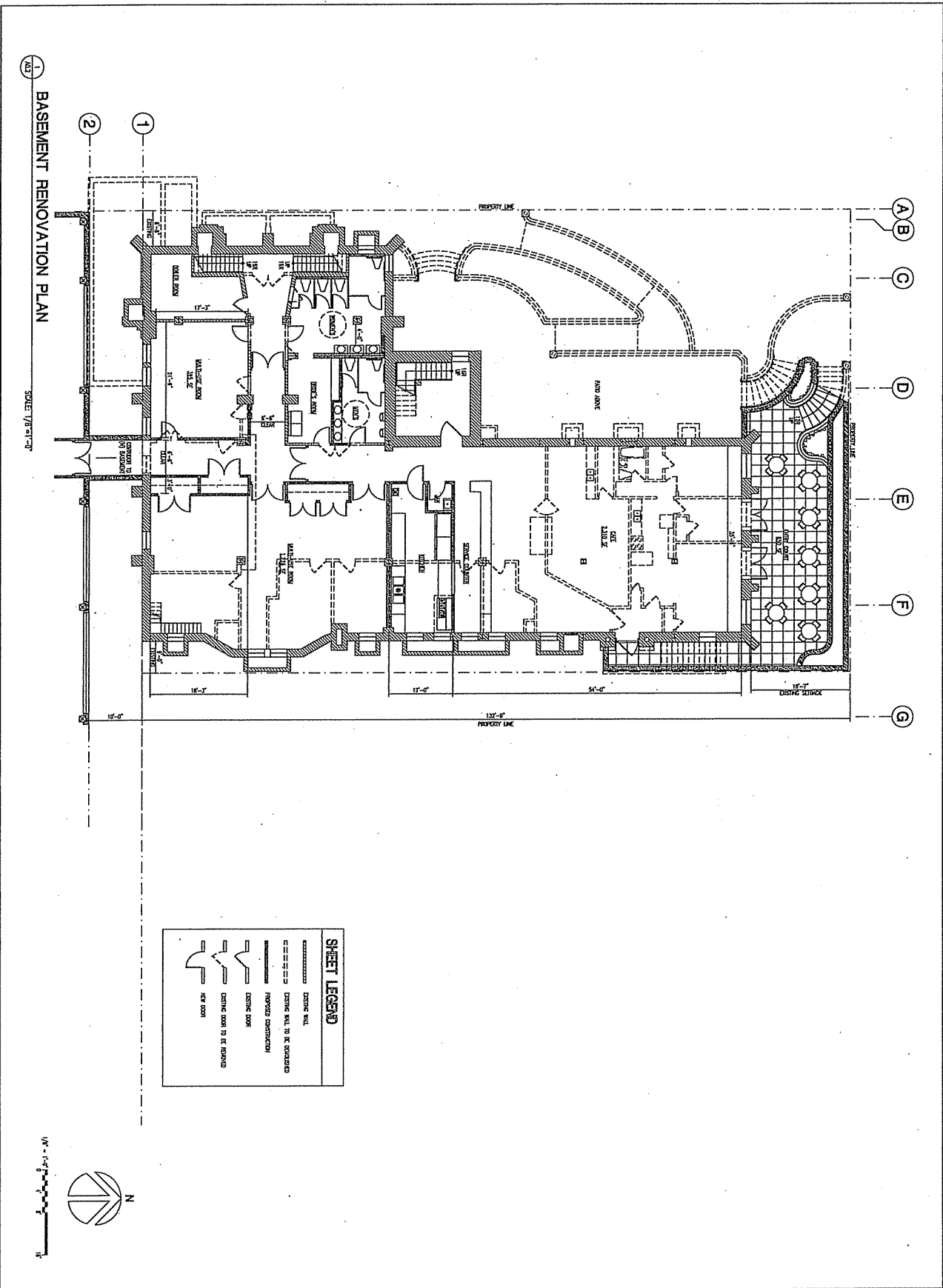
# MURRAY STREET



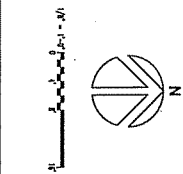
LANDSCAPE PLAN AT (E) HERITAGE BUILDING  
SCALE: 1/8" = 1'-0"




<b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING 800 East South Street Orange, CA 92668 (949) 854-2400		<b>PROJECT NAME:</b> PRES HOUSE RENOVATION AND ADDITION  <b>771 STATE STREET</b> OAKLAND, CALIFORNIA CONSULTANT:	
PROJECT NO. _____ DRAWN BY: LAM CHECKED BY: BJ SCALE: 1/8" = 1'-0" DATE: 02/20/01			
<b>REVISIONS</b>			
NO.	DATE	DESCRIPTION	BY

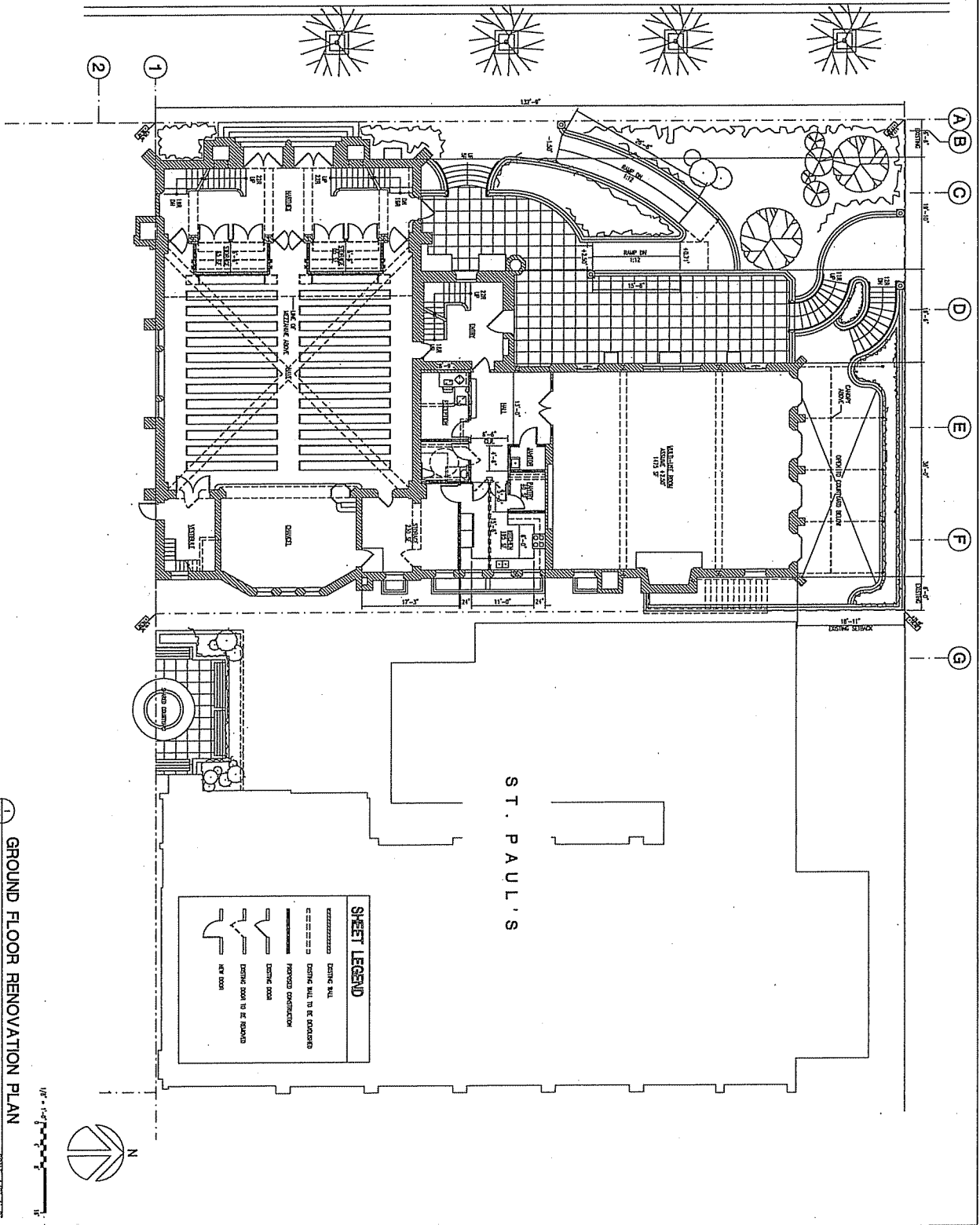


SHEET LEGEND	
	DINING WALL
	DINING WALL TO BE EXPANDED
	REMOVED DIMENSION
	DINING DOOR
	DINING DOOR TO BE REMOVED
	NEW DOOR



<b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING 800 EAST 82ND STREET SUITE 200 CHICAGO, IL 60649 (312) 534-7400																				
PROJECT NAME: <b>PRES HOUSE RENOVATION AND ADDITION</b>		PROJECT NO.: 774 STATE STREET MADISON, WISCONSIN CONSULTANT:																		
PRODUCT ID: SHEET NO.:	DRAWN BY: LARVA CHECKED BY: ES SCALE: AS SHOWN DATE: 7/20/01	SHEET TITLE: <b>BASEMENT RENOVATION PLAN</b> A02																		
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REV. NO.	DATE	DESCRIPTION																		
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4																				
5																				

# MURRAY STREET

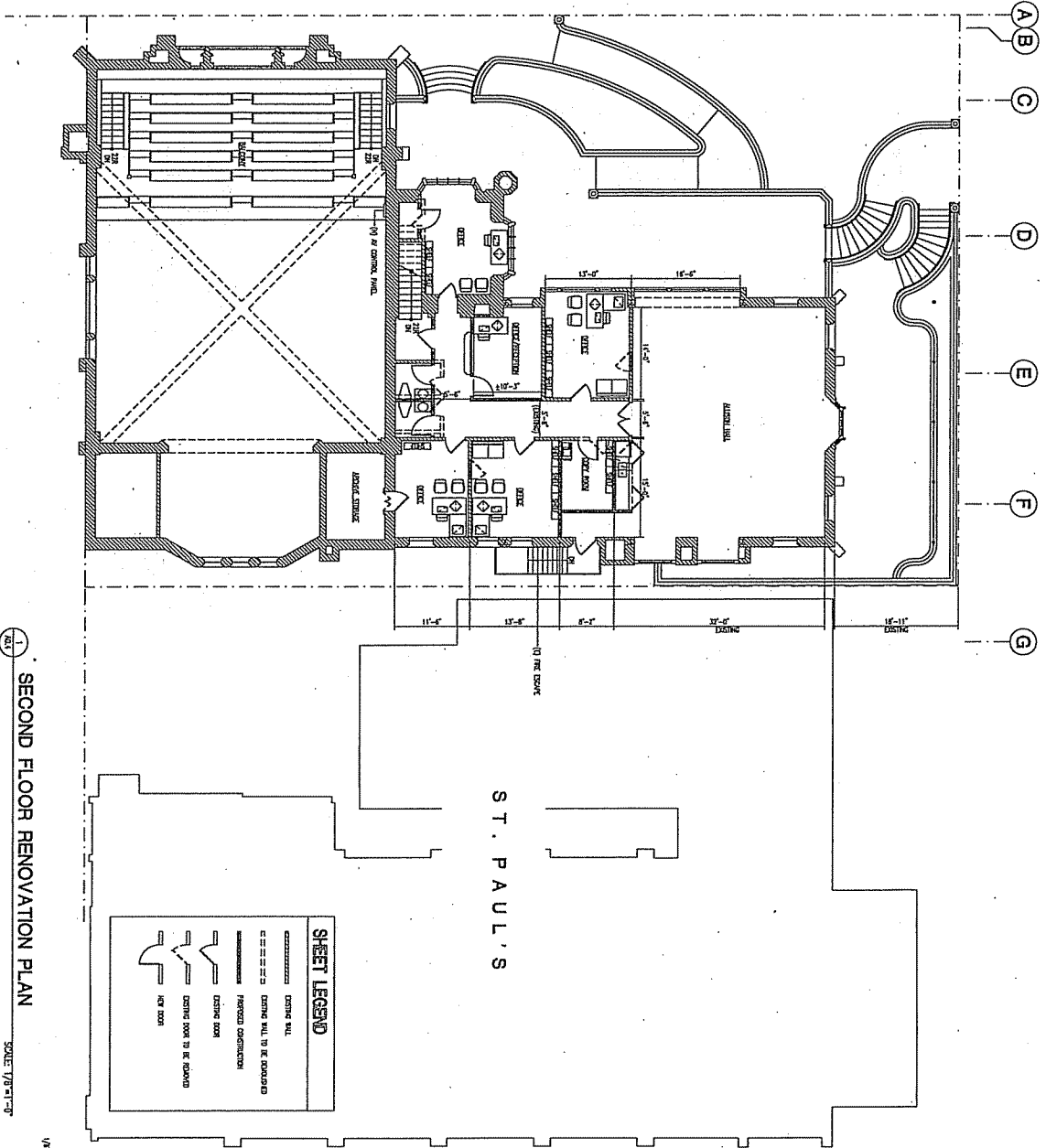


GROUND FLOOR RENOVATION PLAN  
SCALE: 1/8" = 1'-0"

<p><b>SUE ASSOCIATES</b> ARCHITECTURE - PLANNING</p> <p>500 EAST BRYAN STREET SANTA ANA, CA 92701 (714) 834-2400</p>		<p><b>PROJECT NAME:</b> PRES HOUSE RENOVATION AND ADDITION</p> <p><b>CONSULTANT:</b> 724 STATE STREET SANTA ANA, CALIFORNIA</p>	
<p><b>PROJECT NO.:</b></p> <p><b>DESIGNED BY:</b> JAMES</p> <p><b>CHECKED BY:</b> JAMES</p> <p><b>SCALE:</b> AS SHOWN</p> <p><b>DATE:</b> 7/20/07</p>		<p><b>SHEET TITLE:</b> GROUND FLOOR RENOVATION PLAN</p> <p><b>SHEET NO.:</b> A0.3</p>	
<p><b>NO. DATE DESCRIPTION</b></p> <p>BY</p>		<p><b>REVISION</b></p>	

MURRAY STREET

STATE STREET




SECOND FLOOR RENOVATION PLAN  
SCALE: 1/8" = 1'-0"

**SHEET LEGEND**

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- PROPOSED CONSTRUCTION
- EXISTING DOOR
- EXISTING DOOR TO BE REMOVED
- NEW DOOR

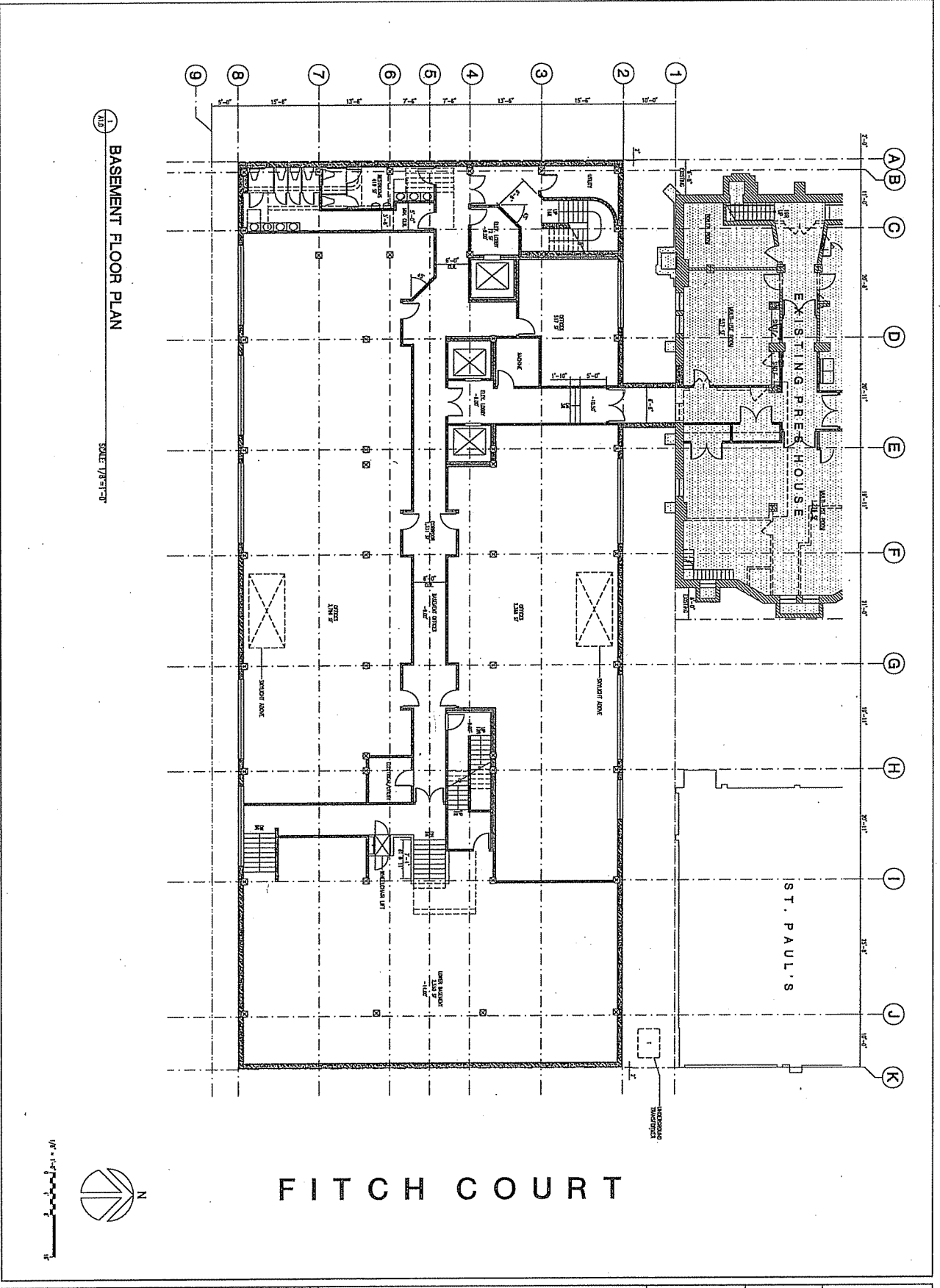


1" = 1'-0"

<p><b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING</p>  <p>800 EAST EIGHT STREET OAKLAND, CA 94608 (510) 834-2400</p>		<p>PROJECT NAME: <b>PRES HOUSE RENOVATION AND ADDITION</b></p> <p>PROJECT NO.: 724 STATE STREET MASON, WISCONSIN CONSULTING</p>																				
<p>PRODUCT NO.: SHEET NO.: DRAWN BY: CHECKED BY: SCALE: DATE:</p>	<p>PROJECT TITLE: <b>SECOND FLOOR RENOVATION PLAN</b></p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY																
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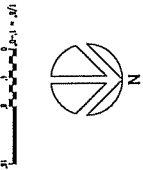
A0.4





1 BASEMENT FLOOR PLAN

SCALE 1/8"=1'-0"



FITCH COURT

**SUE ASSOCIATES**  
 ARCHITECTS - PLANNERS  
 600 East Eighth Street  
 Oakland, CA 94608  
 (510) 534-2400

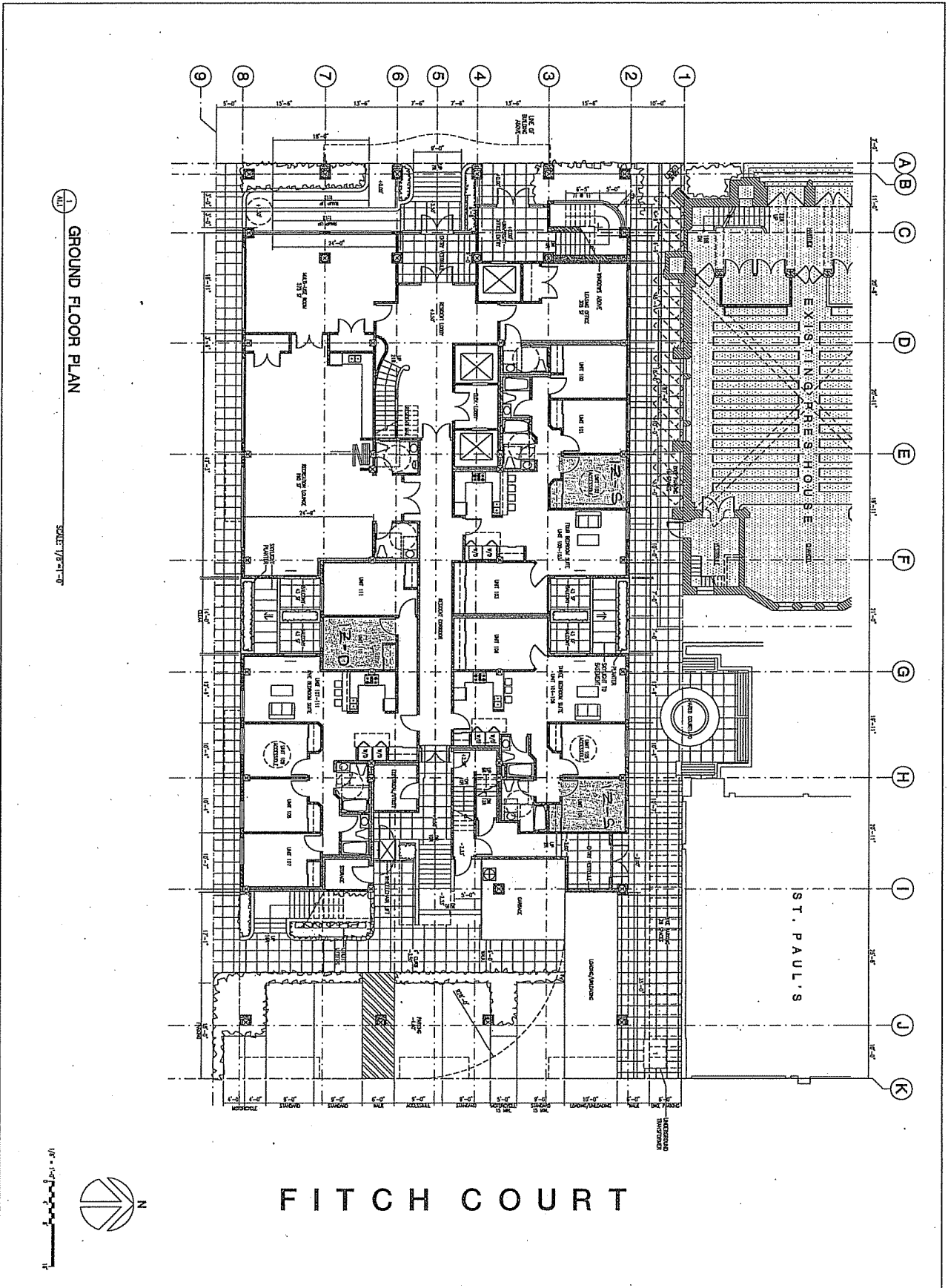
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**PRESS HOUSE RENOVATION AND ADDITION**

721 STATE STREET  
 OAKLAND, WISCONSIN  
 CONSULTANT:

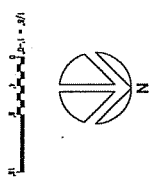
NO.	DATE	DESCRIPTION	BY

WISCONSIN LICENSED PROFESSIONAL ARCHITECT  
 SHEET TITLE:  
**BASEMENT FLOOR PLAN**  
 PROJECT NO.:  
 SHEET NO.:  
 DRAWN BY: YES  
 CHECKED BY: B  
 SCALE: AS SHOWN  
 DATE: 10/01/00

**A10**

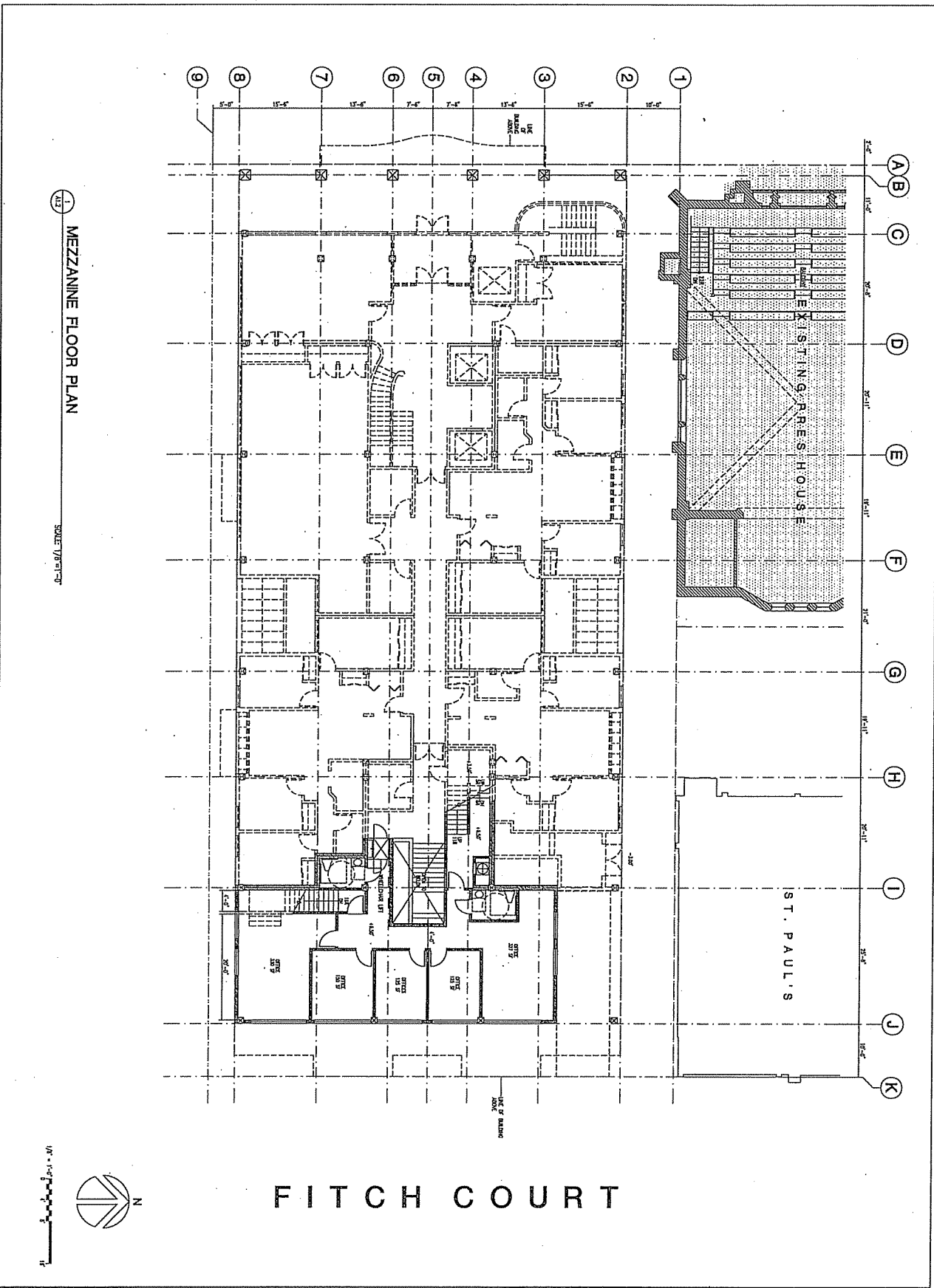


1  
A11  
GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"



FITCH COURT

<p><b>SUE ASSOCIATES</b> ARCHITECTS - PLANNERS 800 EAST BROAD STREET ORLANDO, FL 32805 (305) 834-2100</p>		<p><b>PROJECT NAME:</b> PRES HOUSE RENOVATION AND ADDITION</p> <p><b>725 STATE STREET LONDON, MICHIGAN CONSULTANT:</b></p>	<p>This document, including drawings, specifications and schedules, is the property of Sue Associates, Inc. and shall remain the property of Sue Associates, Inc. until the project is completed. It is to be used only for the project and site for which it was prepared. It is not to be reproduced, copied, or distributed in any form without the written consent of Sue Associates, Inc. The drawings, specifications and schedules are to be read in conjunction with the contract documents. The drawings, specifications and schedules shall prevail in the event of any conflict.</p>																
<p><b>PROJECT NO.:</b> SHAW INC. <b>DESIGNED BY:</b> WSA <b>CHECKED BY:</b> EB <b>SCALE:</b> AS SHOWN <b>DATE:</b> 11/20/00 <b>REVISION:</b></p>																			
<p><b>REVISION</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	BY													<p><b>PROJECT TITLE:</b> MICHIGAN UNIVERSITY REHAB PROJ <b>PROJECT NO.:</b> 11-11-11 <b>SHEET TITLE:</b> GROUND FLOOR PLAN A11</p>	
NO.	DATE	DESCRIPTION	BY																



**SUE ASSOCIATES**  
 ARCHITECTURE • PLANNING  
 800 East 84th Street  
 Oakland, CA 94603  
 (415) 534-2400

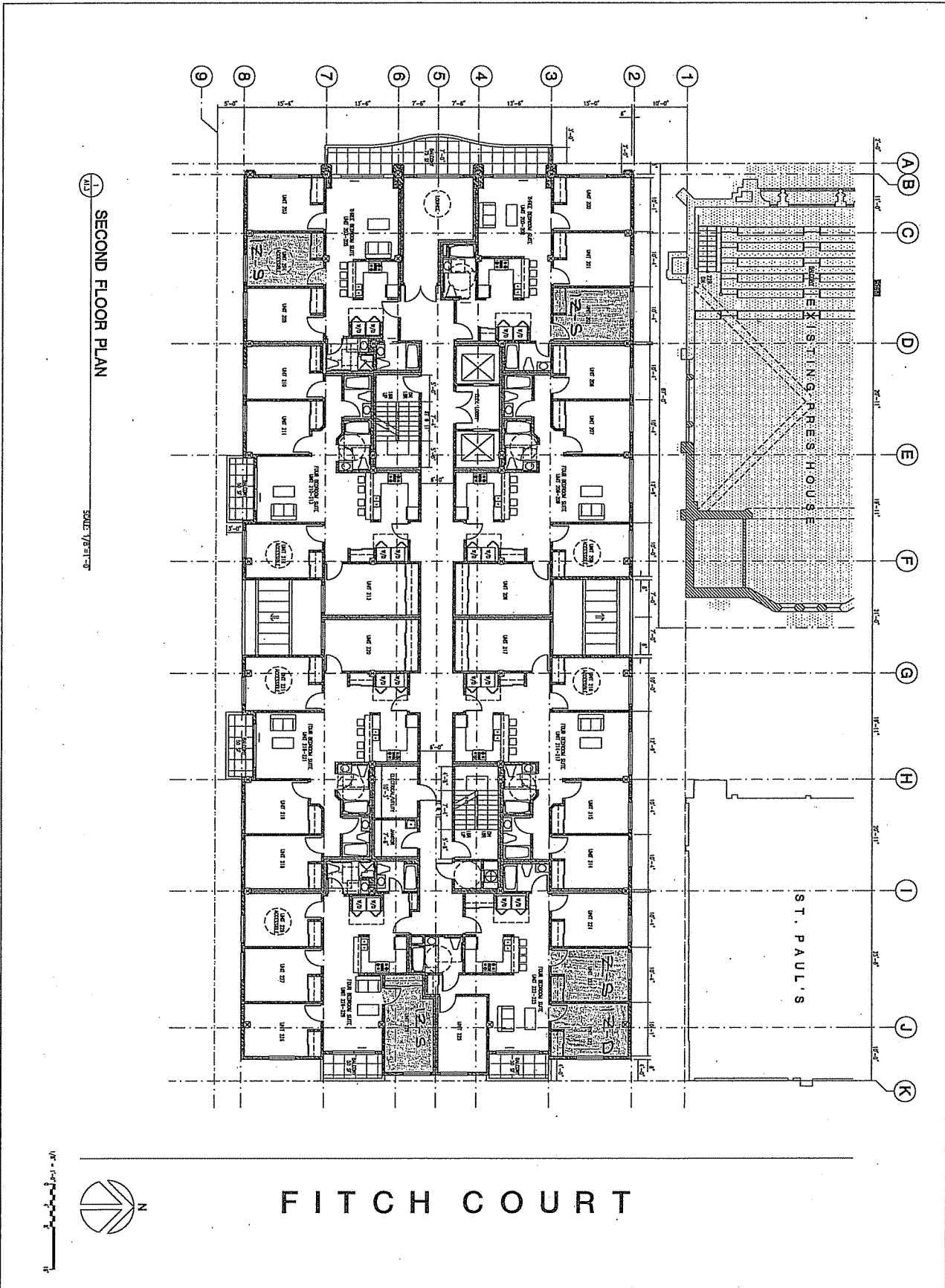
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**PROJECT NAME:**  
 PRES HOUSE  
 RENOVATION AND  
 ADDITION

**725 STATE STREET  
 LUBRON, WISCONSIN  
 CONSULTANT:**

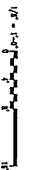
NO.	DATE	DESCRIPTION	BY

**WISCONSIN PERMITTING FORM 1219**  
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 PROJECT NO.: A12  
 DESIGNER: [Signature]  
 CHECKED BY: [Signature]  
 SCALE: AS SHOWN  
 DATE: [Date]



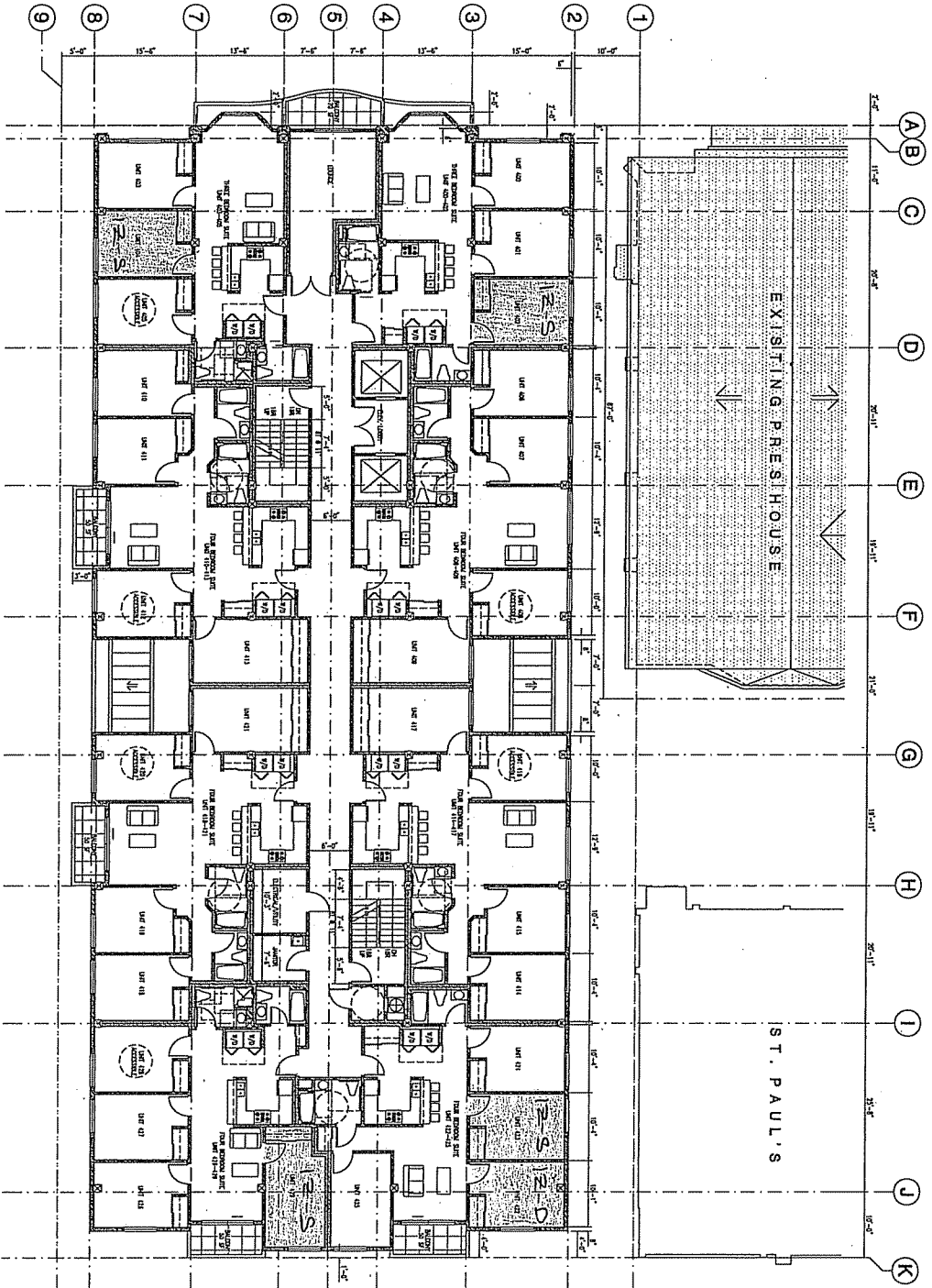
1 SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



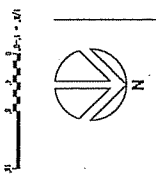
FITCH COURT

<p><b>SUE ASSOCIATES</b> ARCHITECTS - PLANNING</p> <p>800 East Eighth Street Oakdale, CA 94003 (925) 634-2400</p>		<p>PROJECT NAME: <b>PRES HOUSE RENOVATION AND ADDITION</b></p> <p>721 STATE STREET OAKDALE, CALIFORNIA CONSULTANT</p>
<p>PROJECT NO.: DRAWN BY: WES CHECKED BY: BS SCALE: AS SHOWN DATE: 8/20/03</p>		
<p>721 STATE STREET OAKDALE, CALIFORNIA CONSULTANT</p>		
<p>PROJECT NO.: DRAWN BY: WES CHECKED BY: BS SCALE: AS SHOWN DATE: 8/20/03</p>		
<p>1 SECOND FLOOR PLAN</p>		

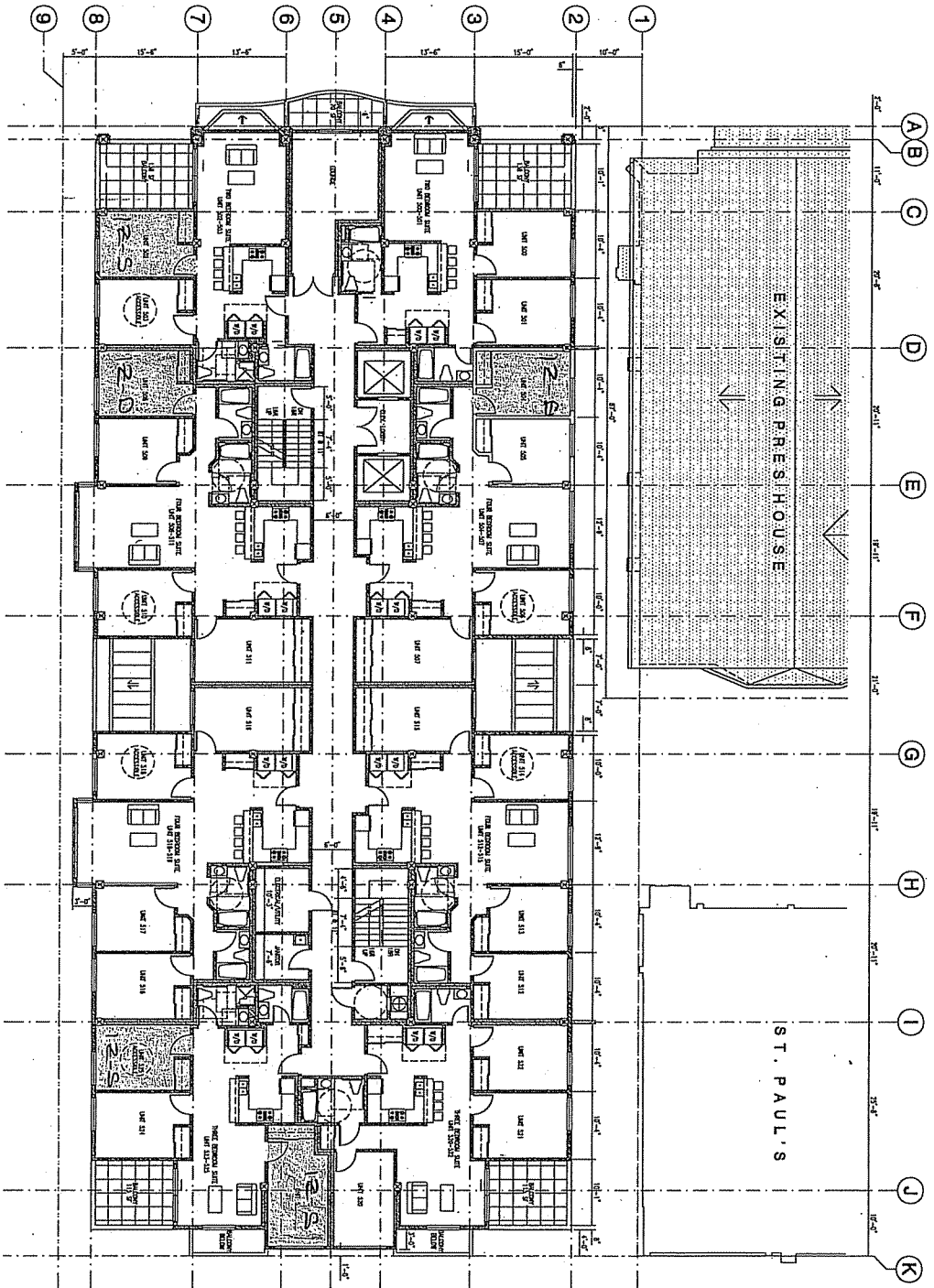


1 THIRD AND FOURTH FLOOR PLANS  
SCALE: 1/8" = 1'-0"

FITCH COURT



<p><b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING 200 East Evelyn Street Oakland, CA 94608 (415) 834-2400</p>		<p><b>PROJECT NAME:</b> PRES. HOUSE RENOVATION AND ADDITION</p>	
<p><b>CONSULTANT:</b> THE STATE STREET ARCHITECTS 1701 STATE STREET SAN FRANCISCO, CA 94133</p>		<p><b>PROJECT NO.:</b> SUE 114</p>	
<p><b>DESIGNER:</b> SUE ASSOCIATES</p>		<p><b>CHECKED BY:</b> A.S. SUE</p>	
<p><b>DATE:</b> 1/19/88</p>		<p><b>SCALE:</b> AS SHOWN</p>	
<p><b>PROJECT NO.:</b> SUE 114</p>		<p><b>SCALE:</b> AS SHOWN</p>	
<p><b>DESIGNER:</b> SUE ASSOCIATES</p>		<p><b>CHECKED BY:</b> A.S. SUE</p>	
<p><b>DATE:</b> 1/19/88</p>		<p><b>SCALE:</b> AS SHOWN</p>	



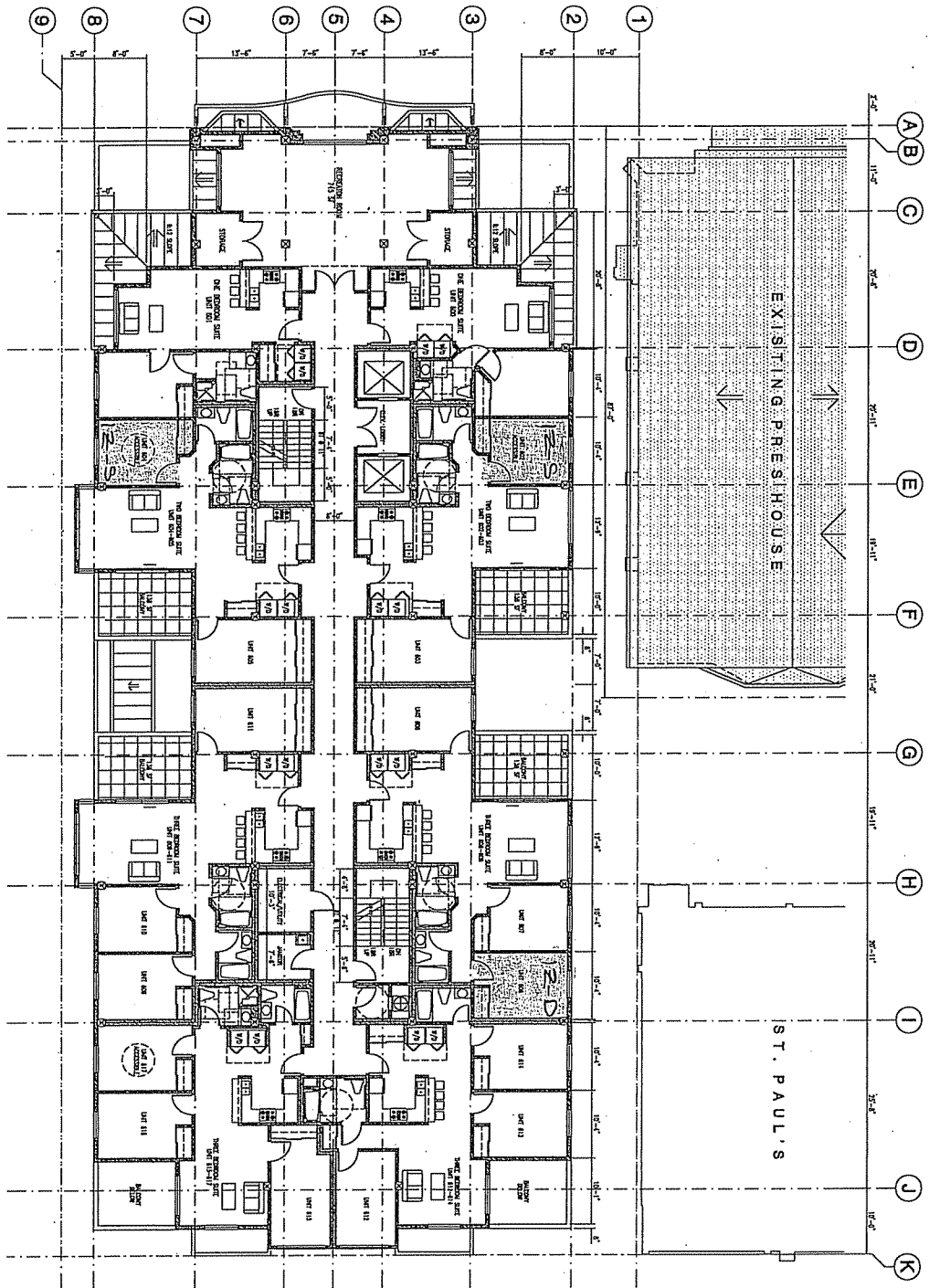
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A15 FIFTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



FITCH COURT

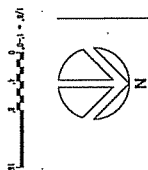
<p><b>SUE ASSOCIATES</b> ARCHITECTURE - PLANNING 200 East Eighth Street Madison, WI 53703 (608) 534-2400</p>		<p><b>PROJECT NAME:</b> PRES. HOUSE RENOVATION AND ADDITION</p>	<p><b>PROJECT VALUE:</b></p>
<p><b>718 STATE STREET MADISON, WISCONSIN CONSULTANTS</b></p>			
<p><b>PROJECT NO.:</b> Sheet No.</p>		<p><b>DATE:</b> 6/20/04</p>	
<p><b>DESIGNED BY:</b> L9</p>		<p><b>DATE:</b> 6/20/04</p>	
<p><b>CHECKED BY:</b> BA</p>		<p><b>DATE:</b> 6/20/04</p>	
<p><b>SCALE:</b> AS SHOWN</p>		<p><b>DATE:</b> 6/20/04</p>	
<p><b>DATE:</b> 6/20/04</p>		<p><b>DATE:</b> 6/20/04</p>	



1  
A16  
SIXTH FLOOR PLAN

SCALE 1/8"=1'-0"

FITCH COURT



<p><b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING</p> <p>500 East Eighth Street Oakland, CA 94608 (510) 534-2400</p>		<p>PROJECT NAME: <b>PRES HOUSE RENOVATION AND ADDITION</b></p> <p>PROJECT VALUE:</p>																
<p>714 STATE STREET OAKLAND, WISCONSIN CONSULTANT:</p>		<p>PROJECT NO.:</p> <p>DRAWN BY: LA</p> <p>CHECKED BY: LB</p> <p>SCALE: AS SHOWN</p> <p>DATE: 1/2/88</p>																
<p>WISCONSIN REGISTERED PROFESSIONAL ARCHITECT</p> <p>SHEET TITLE: <b>SIXTH FLOOR PLAN</b></p>		<p>PROJECT NO.:</p> <p>Sheet No.:</p> <p><b>A16</b></p>																
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NO.	DATE	DESCRIPTION	BY															

B

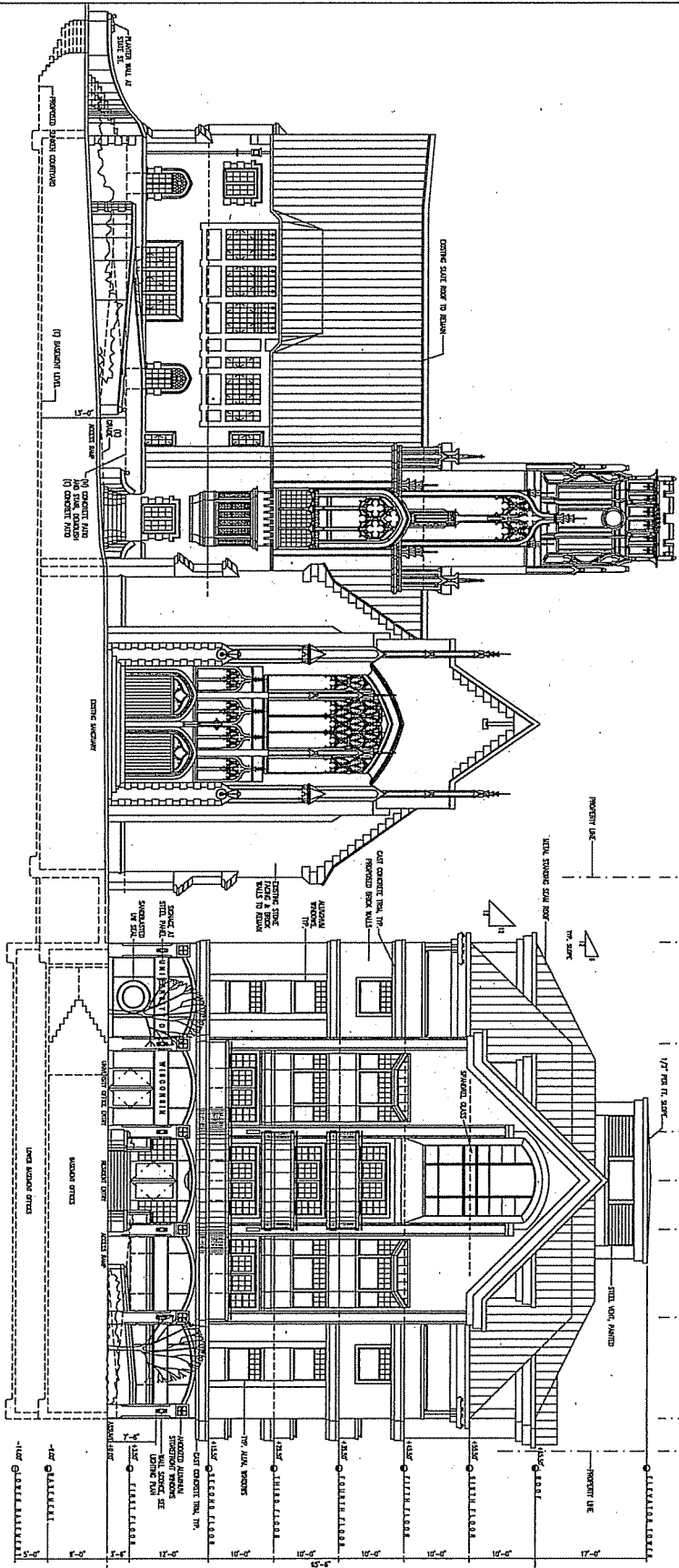
**SUE ASSOCIATES**  
ARCHITECTURE + PLANNING  
600 East Eighth Street  
Oakland, CA 94608  
(510) 834-2100



The drawings, specifications, notes, schedules and other information herein constitute the entire contract between the client and the architect. It is the responsibility of the client to verify the accuracy of the information provided herein. The architect shall not be responsible for errors or omissions in the drawings or specifications unless they are manifestly apparent on their face.

**PRODUCT MADE:**  
PRES HOUSE  
RENOVATION AND  
ADDITION

701 STATE STREET  
MADISON, WISCONSIN  
CONSULTANT:



WEST ELEVATION

SCALE: 1/8"=1'-0"

1/8" = 1'-0"

PROJECT NO.	5041
DESIGN BY	WJA
CHECKED BY	EA
SCALE	AS SHOWN
DATE	8/10/01

**A2.0**

WEST ELEVATION

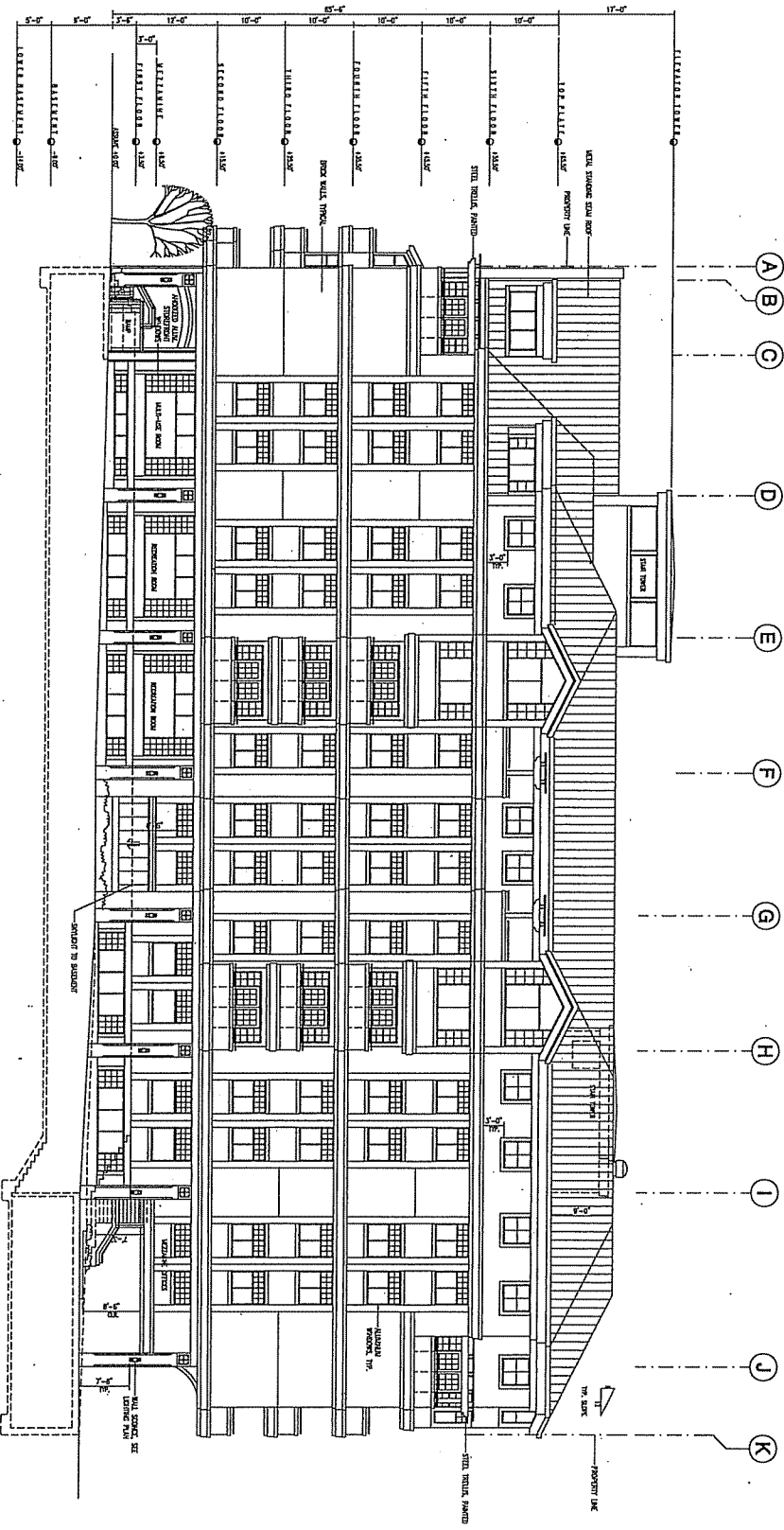
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PROJECT NO.

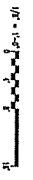
SHEET TITLE

NO.	DATE	DESCRIPTION	BY





**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SUE ASSOCIATES**  
ARCHITECTS - PLANNING  
200 East Eighth Street  
Oakland, CA 94608  
(510) 534-2400

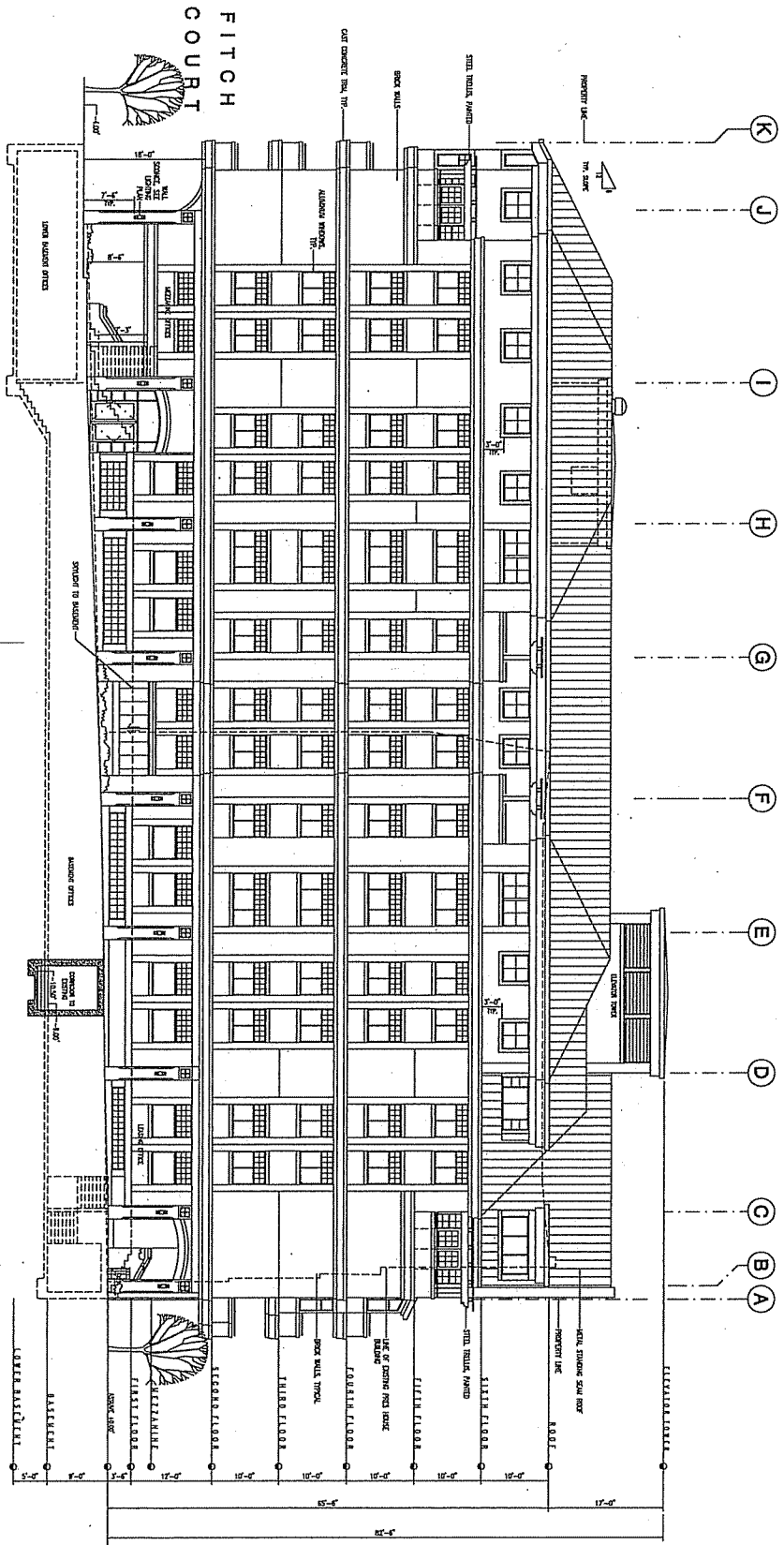
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PROJECT NAME:  
**PRES HOUSE RENOVATION AND ADDITION**

721 STATE STREET  
MADISON, WISCONSIN  
CONSULTANT:

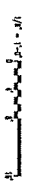
NO.	DATE	DESCRIPTION
1		PRELIMINARY
2		CONCEPTS
3		ARCHITECTURE
4		CONTRACT
5		CONSTRUCTION
6		AS BUILT

PROJECT NO.: **A2.1**  
SHEET TITLE: **SOUTH ELEVATION**  
DRAWN BY: **WES**  
CHECKED BY: **EA**  
SCALE: **AS SHOWN**  
DATE: **8/30/99**



1 NORTH ELEVATION

SCALE 1/8" = 1'-0"



**SUE ASSOCIATES**  
ARCHITECTURE - PLANNING  
800 East Bay Street  
Oakland, CA 94608  
(510) 834-2100



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**PRUS HOUSE RENOVATION AND ADDITION**

721 STATE STREET  
WILSON, WISCONSIN  
CONSULTANT

NO.	DATE	DESCRIPTION	BY

WILSON, WISCONSIN  
SHEET TITLE  
**NORTH ELEVATION**

PROJECT NO. **A22**  
SHEET NO. **1**  
DESIGN BY **RMW**  
CHECKED BY **ES**  
SCALE **AS SHOWN**  
DATE **6/10/02**

**SUE ASSOCIATES**  
 ARCHITECTURE • PLANNING  
 600 East Dean Street  
 St. Paul, MN 55102  
 (612) 234-7400

PROJECT NAME:  
**PRENS HOUSE  
 RENOVATION AND  
 ADDITION**

774 STATE STREET  
**ANDRISON THOMPSON**  
 CONSULTANT:

NO.	DATE	DESCRIPTION	BY

WICKSON THOMPSON GROUP, PLLP  
 ARCHITECTS ASSOCIATED, LLP  
 SHEET TITLE:  
**EAST ELEVATION**

PROJECT NO.: Street No.

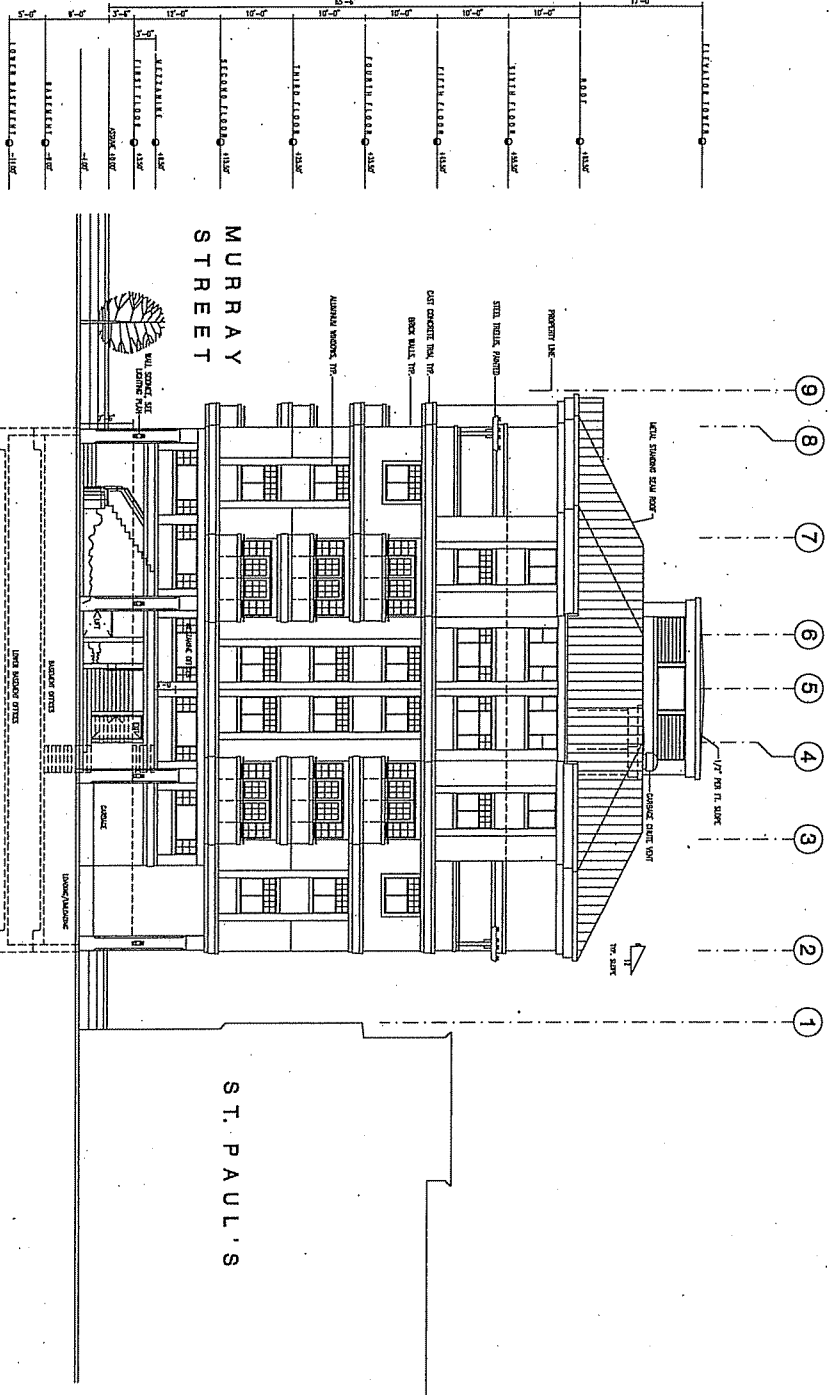
DESIGNED BY: **HOWARD**

CHECKED BY: **EA**

SCALE: **AS SHOWN**

DATE: **8/10/00**

**A23**




① EAST ELEVATION

SCALE 1/8"=1'-0"



**SUE ASSOCIATES**  
ARCHITECTURE • PLANNING  
500 East Esplan Street  
Orange, CA 92668  
(951) 824-2400



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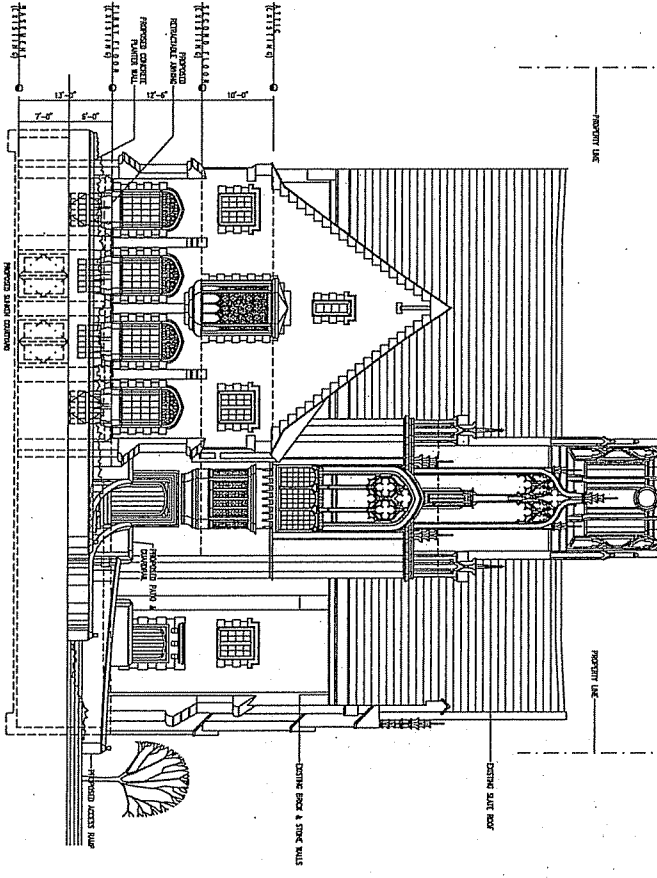
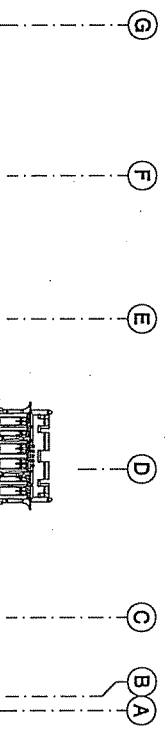
PROJECT NAME:  
**PRENS HOUSE  
RENOVATION AND  
ADDITION**

731 STATE STREET  
MADISON, WISCONSIN  
CONSULTANT:

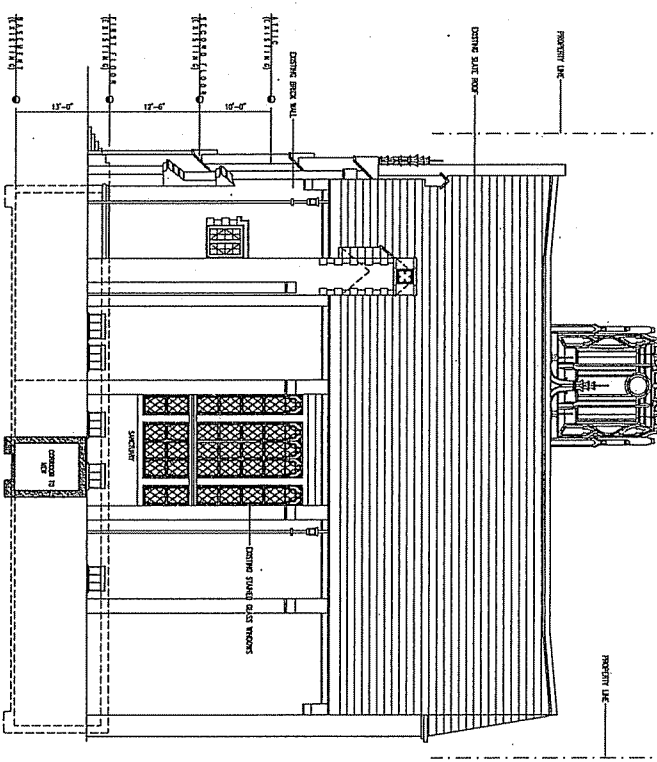
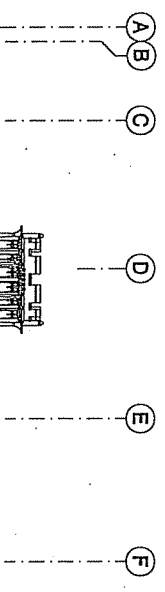
NO.	DATE	DESCRIPTION	BY

SHEET TITLE  
**NORTH AND  
SOUTH ELEVATIONS  
AT EXISTING BUILDING**

PROJECT NO. \_\_\_\_\_  
SHEET NO. **A24**  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
SCALE: AS SHOWN  
DATE: 7/20/01

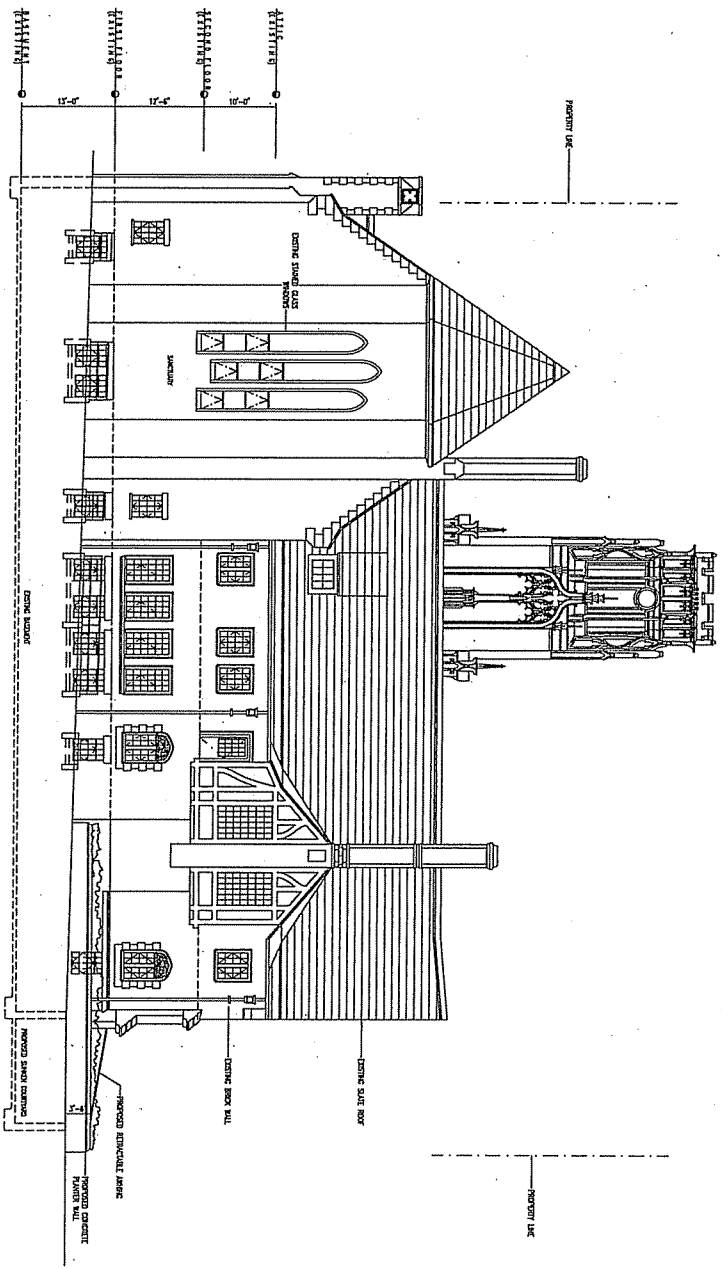


1 STATE STREET ELEVATION  
SCALE 1/8"=1'-0"



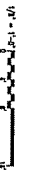
2 SOUTH ELEVATION  
SCALE 1/8"=1'-0"





1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



**SUE ASSOCIATES**  
 ARCHITECTURE + PLANNING  
 500 East Eighth Street  
 Oakland, CA 94608  
 (510) 834-2100

The architect, landscape architect, interior designer and engineer are not responsible for any conditions, laws, codes, ordinances, regulations, or orders of any governmental authority that may be in effect at the time of construction, or for any conditions, laws, codes, ordinances, regulations, or orders of any governmental authority that may be in effect at the time of construction, or for any conditions, laws, codes, ordinances, regulations, or orders of any governmental authority that may be in effect at the time of construction.

**PROJECT NAME:**  
 PRES HOUSE  
 RENOVATION AND  
 ADDITION

**721 STATE STREET  
 LUBJON, WISCONSIN  
 CONSULTANT:**

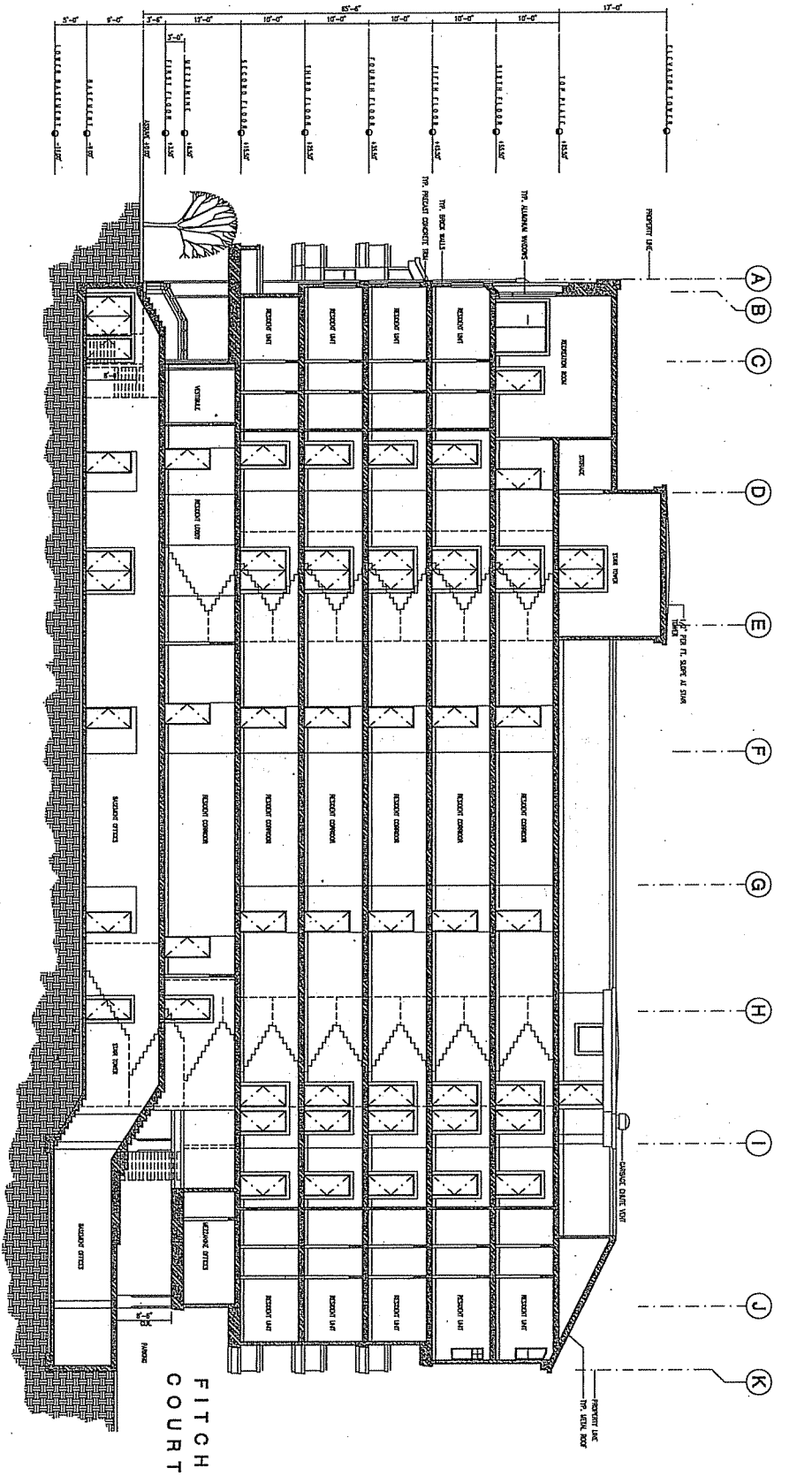
NO.	DATE	REVISION
01		
02		
03		
04		
05		
06		
07		

**SHEET TITLE:**  
 EAST ELEVATION  
 AT EXISTING BUILDING

**PROJECT NO.:** Small Inc.  
**DRAWN BY:** LB  
**CHECKED BY:** SA  
**SCALE:** AS SHOWN  
**DATE:** 7/20/00

**A2.5**


13



SECTION 1

SCALE 7/8"=1'-0"



<p><b>SUE ASSOCIATES</b> ARCHITECTURE • PLANNING</p> <p>800 East South Street Ogden, UT 84403 (801) 834-2400</p> 		<p>The architect, professional, design, contract, and construction management services are provided for the project. The architect is not responsible for the structural design, engineering, or other specialized services. The architect is not responsible for the construction of the project.</p>																
<p><b>PROJECT NAME:</b> PRESS HOUSE RENOVATION AND ADDITION</p> <p><b>PROJECT NUMBER:</b> 725 STATE STREET NORTH OGDEN, UTAH 84403</p> <p><b>CONSULTANT:</b> [Blank]</p>		<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	BY												
NO.	DATE	DESCRIPTION	BY															
<p><b>SECTION</b></p> <p>VICTORIA THOMPSON PROJECT 1743</p> <p>SHEET TITLE: SECTION</p>																		
<p><b>PROJECT NO.:</b> [Blank]</p> <p><b>DRAWN BY:</b> WAS</p> <p><b>CHECKED BY:</b> EB</p> <p><b>SCALE:</b> AS SHOWN</p> <p><b>DATE:</b> 8/20/01</p>	<p>Sheet No.:</p> <p><b>A3.0</b></p>	<p> </p>																